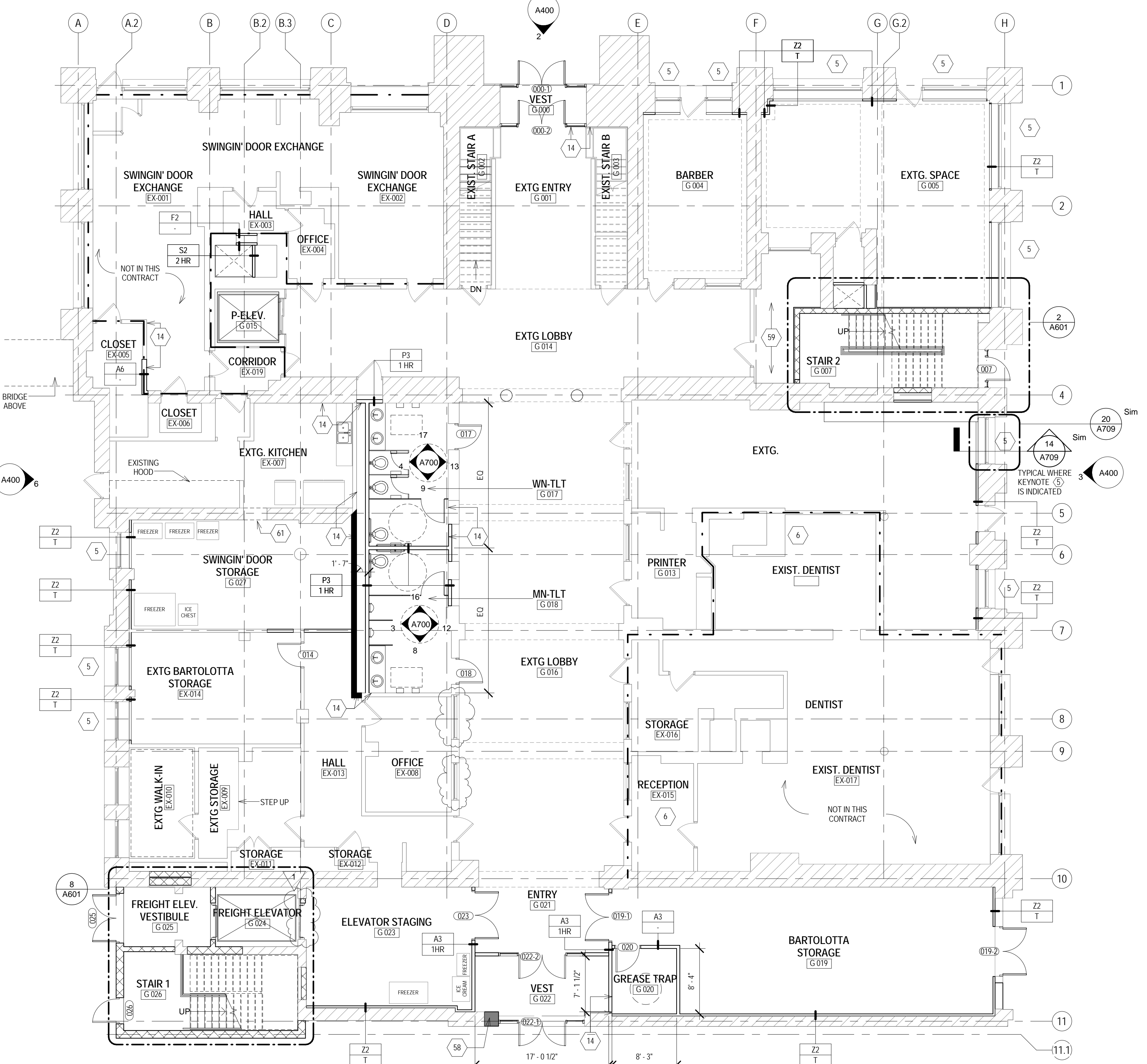


2 NEW WORK - LOWER LEVEL
 Scale: 1/8" = 1'-0"
 0' 2' 4' 8' 12'



1 NEW WORK - GRADE LEVEL
 Scale: 1/8" = 1'-0"
 0' 2' 4' 8' 12'

NEW WORK PLAN KEY NOTES

SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES. NEW WORK PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET. KEY NOTES ARE INDICATED BY (X) ON THE SHEETS.

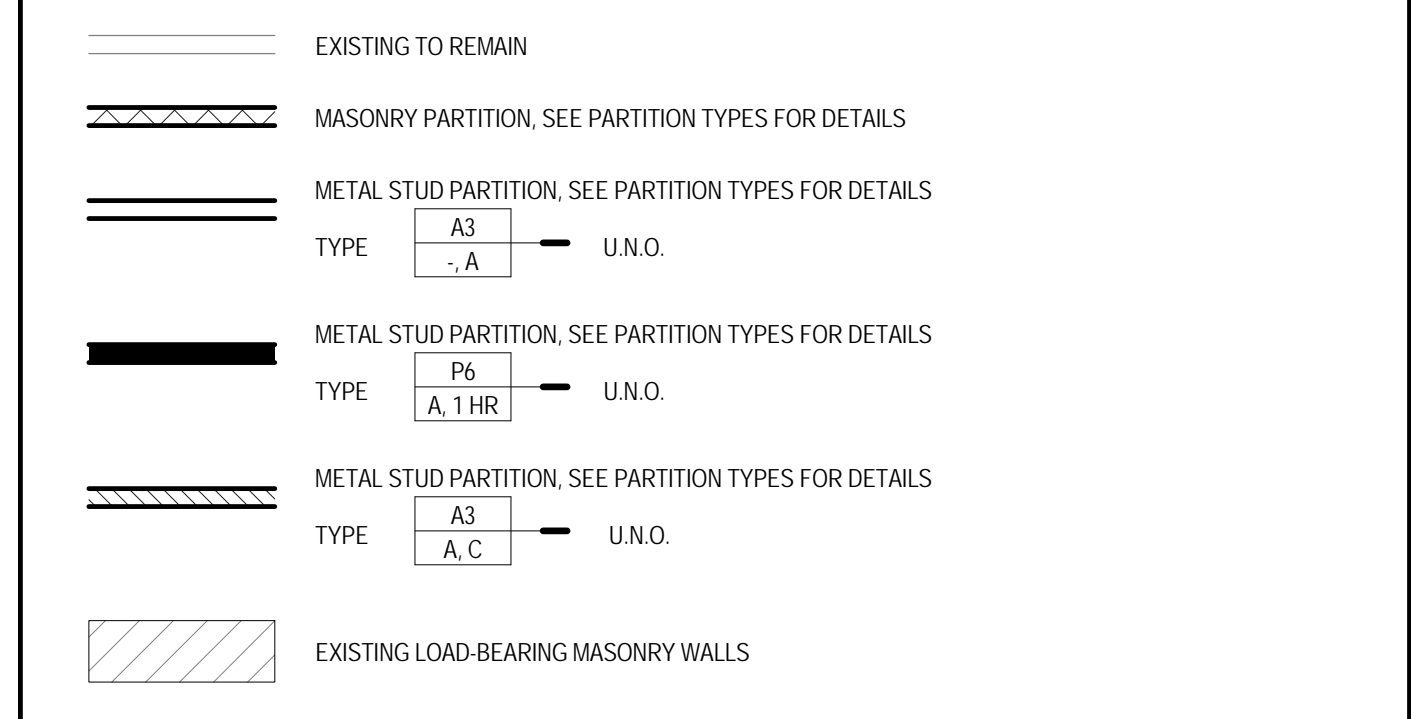
- 1 UNDER CABINET LED LIGHTING AT ALL CABINETS OVER COUNTER TOP SURFACES.
- 2 EXISTING OPENING - NEW DOOR.
- 4 NEW OPENING IN HISTORICAL WALL BOTTOM OF FINISHED OPENING @ 34" AFF AND HEIGHT OF OPENING TO BE 5'-10". FINISH COUNTER PASS THROUGH SPACE WITH SOLID SURFACE SS-1.
- 5 NEW STORM WINDOW. REFER TO TYPICAL FOR EXTENT OF WORK INSIDE GRAIN EXCHANGE. SEE SHEET A400.
- 6 NEW ROUND EXPOSED DUCTWORK OVERHEAD. SEE MECHANICAL. PAINT FINISH. HOLD BOTTOM @ 11'-0" AFF.
- 7 PROVIDE SELF-SUPPORTING COUNTER AS PER SHEET A001 IN THIS BATHROOM.
- 8 LOCATION OF NEW FULLY RECESSED ELECTRICAL PANELS.
- 9 EXISTING HISTORICAL MASONRY CHIMNEY. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- 10 EXISTING NON-HISTORICAL STAIR ACCESS FROM GRAIN EXCHANGE ROOM TO EXISTING MEZZANINE ABOVE.
- 11 EXISTING HISTORICAL GRAIN EXCHANGE ROOM TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- 12 EXISTING SKYLIGHT ABOVE. TO REMAIN.
- 13 PROVIDE AND INSTALL NEW COUNTERTOP SINKS AND TOILETS. CONNECT TO EXISTING PLUMBING CONNECTIONS. PROVIDE AND INSTALL NEW TOILET PARTITIONS, TILE FLOORING AND WALL FINISHES.
- 14 ALIGN NEW FINISHED SURFACE WITH EXISTING FINISHED SURFACE.
- 15 EXISTING RAMP TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- 16 EXISTING STAIR STEPS TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- 17 BUILD A3 WALL @ HEIGHT OF 5'-0" AFF. FINISH TOP WITH WOOD CAP.
- 18 INFILL EXISTING OPENING AND SET BLOCK RISE BY 3/4".
- 19 EXISTING HISTORICAL BRICK WALL TO STAY EXPOSED INSIDE NEW STAIR 1. PROTECT MASONRY AND TUCKPOINT IF NEEDED. TYP.
- 20 EXISTING NON-HISTORICAL OPENING. INFILL & FINISH SURFACE FLUSH TO MATCH ADJACENT SURFACE.
- 21 INSTALL NEW PLASTER TO MATCH EXISTING ADJACENT PLASTER ON ALL EXPOSED JAMBS OF NEW OPENING IN EXISTING BRICK WALL.
- 22 COMMERCIAL STS COUNTER & SINK TO BE RELOCATED HERE. PROVIDE NEW FINISHES TO MATCH EXISTING SURROUNDING SURFACES. PATCH FLOOR AS REQUIRED. SEE PLUMBING DRAWINGS FOR FIXTURE INFO.
- 23 NEW CMU WALL TO BE CONSTRUCTED OVER EXISTING BRICK WALL. PROVIDE CARE TO KEEP CORBELING OF EXISTING BRICK WALL BELOW.
- 24 EXISTING STEPS TO REMAIN.

NEW WORK PLAN KEY NOTES

SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES. NEW WORK PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET. KEY NOTES ARE INDICATED BY (X) ON THE SHEETS.

- 25 EXISTING BACK DOOR NOT TO BE USED BY PUBLIC & REMAIN CLOSED.
- 26 INSTALL NEW SUBSTRATE AND NEW FLOORING.
- 27 NON-HISTORICAL EXISTING METAL WINDOWS & WOOD CASING TO BE REPLACED IN SAME SIZE OPENING WITH MATCHING MOUNTINGS OF ALUMINUM FRAME WINDOWS.
- 28 EXISTING HISTORICAL ARCH. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- 29 THE FOOT PRINT OF THE EXISTING LOBBY SPACE WITH BE REPRESENTED IN CEILING BY KEEPING THE ORIGINAL CEILING COVES ABOVE.
- 30 PATCH EXISTING DAMAGED PLASTER COVE ABOVE.
- 33 EXISTING HISTORICAL BEARING WALLS WITH EXISTING FURRED OUT DRYWALLED SURFACES TO REMAIN. AT LOCATIONS CALLED TO RECEIVE WALL TILE, REPLACE EXISTING GYP BOARD WITH GREEN BOARD. IF EXISTING PLASTER IS PRESENT, PATCH TO MATCH EXISTING AND KEEP IN PLACE.
- 34 EXISTING OPENING IN BEARING WALL FROM PREVIOUS ALTERATION TO REMAIN.
- 36 NEW FLAT ROOF WITH TAPERED INSULATION ABOVE.
- 37 SCHEDULE 40 METAL CLOSET POLE WITH MIDWAY SUPPORT. ABOVE CLOSET POLE, INSTALL 12" DEEP P-PLAM SHELF FINISHED ON BOTH SIDES AND FRONT EDGE. PROVIDE SUPPORT AT 4'-0" O.C.
- 38 FINISH EDGE OF HISTORICAL BEARING WALL WITH PLASTER TO MATCH ADJACENT SURFACE.
- 39 ON BEARING WALL EXISTS AN HISTORICAL ENGINEERED ARCHWAY OPENING. CAREFULLY REMOVE GYP FURRING TO EXPOSE THE EXISTING CREAM CITY BRICK PLASTER AND REPAIR ANY DAMAGE.
- 40 DO NOT DAMAGE HISTORICAL MASONRY ARCH. EXPOSE TO THE VOLUME OF ROOM. DO NOT DAMAGE EXISTING CEILING ABOVE.
- 41 EXPOSE HISTORICAL MASONRY ARCH - PROVIDE CARE NOT TO DAMAGE SURFACE. REBUILD DAMAGED AREAS WITH CONSTRUCTION TO MATCH EXISTING.
- 42 REBUILD WITH CREAM CITY BRICK MASONRY THE MISSING PLASTER OF THE EXISTING MASONRY ARCH HERE. TOOL BRICK TO MATCH EXISTING. USE HISTORICAL MORTAR MIX.
- 43 BUILD NEW WALL SUCH THAT IT BYPASSES THE HISTORICAL MASONRY ARCH OPENING.
- 44 PROVIDE BLOCKING FOR RECEIVING TV BRACKET @ 12" AFF. BOTTOM OF 48" TV SCREEN TO BE @ 46" AFF.
- 45 INFILL EXISTING OPENING OF HISTORICAL BEARING WALL WITH NEW STUD WALL. ALIGN SURFACES. MATCH EXISTING FINISHES.
- 46 BEARING WALL CHIPPED INTO TO 7'-0" AFF IN ORDER TO PROVIDE FLOOR CLEARANCE NEEDED. SEE DETAIL XX.
- 47 FOR WASHER DRYER CABINET CONSTRUCTION, SEE INTERIOR ELEVATIONS ON SHEET SERIES A200.
- 48 PATCH EXISTING CEILING AFTER REMOVAL OF EXISTING SOFFIT ABOVE. DO NOT DAMAGE EXISTING COVERED CEILING.
- 49 PATCH PLASTER TO MATCH AT EXISTING HISTORICAL PLASTER WALL WHERE DAMAGE WAS CREATED BY REMOVAL OF OLD PARTITION OR CHASE. AT COVE LOCATIONS ALSO PATCH COVE ABOVE IF DAMAGED.
- 50 TAKE CONSTRUCTION OF NEW WALL TO UNDERSIDE OF EXISTING PLASTER CEILING ON BOTH SIDES OF NEW WALL.
- 51 EXISTING TRUSS.
- 52 PROVIDE NEW FINISHES TO MATCH EXISTING SURROUNDING KITCHEN WALLS INCLUDING FRP PANELS BEHIND RELOCATED SINK & OVER ALL NEW CMU INFILLS.
- 53 PATCH ALL DAMAGE TO EXISTING FLOOR TO MATCH EXISTING AFTER SINK RELOCATION.
- 54 SOFFIT AND COVE ABOVE TO BE MAINTAINED/REBUILT AFTER EXISTING HISTORIC WALL BELOW IS DEMOLISHED. SEE DETAIL 19A704.
- 55 REBUILD SOFFIT AND COVE TO MATCH DETAIL 19A704. FOLLOW SIMILAR DIMENSIONS AND DETAILING.
- 56 NEW RATED WALL ALONG ELEVATOR WALL TO RUN TO UNDERSIDE OF CEILING AND EXISTING COVE.
- 57 EXISTING ENGINEERED MASONRY BRICK AND NON-HISTORICAL BRICK INFILL. EXPOSE AND LEAVE EXISTING ARCH INFILL IN PLACE.
- 58 INFILL WITH BRICK CMU AND GYP BOARD TO MATCH EXISTING CONSTRUCTION. PAINT TO MATCH. INSET FACE BRICK TO SHOW NEW VS. HISTORICAL.
- 59 FOR PATCHING EXISTING FLOOR & REPAIR SEE SHEET A400.
- 60 BUILD STEPS AS SHOWN. EACH RISER SHOULD BE 6" HIGH MAX AND EACH TREAD 12" MAX PER CODE. FIELD MEASURE THE PLATFORM ELEVATION IN DINING ROOM (04) AND LIVING ROOM (05) TO DETERMINE 3 EQUAL RISERS TO MATCH THE 2 ELEVATIONS. CONSTRUCT THE STAIRS OF WOOD AND FINISH TREAD W/ MAPLE. STAIN TO MATCH WOOD FLOOR.
- 61 PATCH NEW OPENING W/ LIKE MATERIAL EXISTING IN KITCHEN ON ALL SIDES.
- 62 PAINT EXISTING METAL RAILING - COORDINATE COLOR SELECTION W/ ARCHITECT.
- 63 STORAGE UNITS TO BE CONSTRUCTED OF WOOD FRAME AND WALLS TO BE MESH.

NEW WORK LEGEND



GENERAL NEW WORK NOTES TO CONTRACTOR

1. SEE SHEET A001 FOR ADDITIONAL INFORMATION.
2. THIS DRAWING IS FURTHER SUPPORTED BY INFORMATION CONTAINED IN THE PART 2 HISTORICAL NARRATIVE WHERE ADDITIONAL COMMENTS ARE PROVIDED.
3. THE CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AUDIO VISUAL, AND SECURITY DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INFORMATION CONTAINED IN ALL THE DRAWINGS BEFORE THE INSTALLATION OF ALL WORK.
4. DO NOT SCALE DRAWINGS. DRAWINGS WERE PREPARED BASED ON AVAILABLE EXISTING BUILDING DOCUMENTATION AND FIELD INVESTIGATION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS TO SATISFY THEIR EXECUTION OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
5. FINISH FLOOR ELEVATIONS ARE TO THE TOP OF THE FINISHED FLOOR MATERIAL UNLESS OTHERWISE NOTED. CONTRACTORS SHALL JOINTLY PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACKING PLATES, WALL BLOCKING AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF CASEWORK, TOILET ACCESSORIES, PARTITIONS, MILLWORK, AND ALL WORK MOUNTED OR SUSPENDED BY ALL TRADES.
6. REFER TO SHEET A002 AND A010 FOR CODE INFORMATION AND FIRE RATED WALLS, FLOORS, SHAFTS AND FIRE PROOFING NOTES.
7. SEE SHEET A002 FOR INTERIOR PARTITION TYPES AND DETAILS.
8. REFER TO SHEET A002 AND A010 FOR CODE INFORMATION AND FIRE RATED WALLS, FLOORS, SHAFTS AND FIRE PROOFING NOTES.
9. SEE SHEET A002 FOR FIRE RATED PARTITION WALL PLAN DETAILS.
10. SEE SHEET A003 FOR DOOR AND FRAME SCHEDULE.
11. DIMENSIONS AT EXTERIOR WALLS ARE TO STRUCTURAL WALL ONLY AND DO NOT INCLUDE FINISHES.
12. SEE A001 FOR ROOM FINISH SCHEDULE.
13. PARTITION TYPES INDICATED WITH A "TT" SHALL BE PROVIDED WITH SPRAY FOAM INSULATION TO FILL ENTIRE STUD CAVITY.
14. WHERE FIRE RATED PARTITIONS, FIRE BARRIERS, OR ANY WALL REQUIRED TO HAVE A FIRE RATING IS CALLED OUT IN THE DRAWINGS, THE GWS SHOULD RUN CONTINUOUS ON BOTH SIDES, EXTEND THE RATING UP TO ADJACENT OR INTERFERING FIRE RATED WALLS IN A MANNER THAT ENSURE A CONTINUOUS FIRE SEPARATION AND MAINTAINS THE INTEGRITY OF THE FIRE RATING. PROVIDE UL RATED FIRE RESISTIVE JOINT SYSTEMS AT ALL PENETRATIONS AND TERMINATIONS.
15. ALL NEW WALLS THAT FACE PUBLIC CORRIDORS OR HISTORICAL LOBBY SPACES ARE TO RECEIVE GYPSUM BOARD WITH PROPER RATINGS & TO BE FINISHED TO LOOK LIKE ADJACENT HISTORICAL PLASTER WALLS.
16. WHERE EXISTING CONSTRUCTION (INCLUDING WALLS, DOORS, EQUIPMENT, DEVICES, PARTITIONS, ETC.) ARE TO BE REMOVED, PATCH EXISTING CONSTRUCTION TO MATCH ADJACENT AND PROVIDE SMOOTH TRANSITION FROM EXISTING TO NEW. PROVIDE CLEARANCE AT DOOR JAMBS TO ALLOW DOORS TO OPEN A FULL 90 DEGREES TAKING INTO ACCOUNT THE LEVER AND THE DOOR STOP.

CONTINUUM
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 Milwaukee, WI 53214-1469
 414 / 259 1500
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PIERCE ENGINEERS INC.
 CONSULTING ENGINEERS
 141 N. Bradley Ave. Suite 100 Milwaukee, WI 53202
 Phone: 414.378.0800 Fax: 414.378.0805
 PE PROJECT 1-4620

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 www.Barthenheier.com

Jeffers & Co.
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 Mailing Address: P.O. Box 305 Milwaukee, WI 53201-0305
 T: 262.764.5787 F: 414.755.0617
 M: 312.622.3266

HISTORIC MACKIE BUILDING RENOVATION
 225 E. MICHIGAN STREET MILWAUKEE, WI 53202
 SHEET TITLE: NEW WORK - LOWER & GRADE LEVELS

REVISIONS:	1	Date 1	Revision 1
SCALE:	VARIES		
PROJECT NUMBER:	140903		
SET TYPE:	FINAL CONSTRUCTION DOCUMENTS		
DATE ISSUED:	6/10/15		
SHEET NUMBER:	A201		

CONSULTANTS:

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414 / 259-0337 fax

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PE PROJECT: 1-4620

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HISTORIC MACKE BUILDING RENOVATION
225 E. MICHIGAN STREET MILWAUKEE, WI 53202

SHEET TITLE: NEW WORK - LEVEL 01

REVISIONS:

1 Date 1 Revision 1

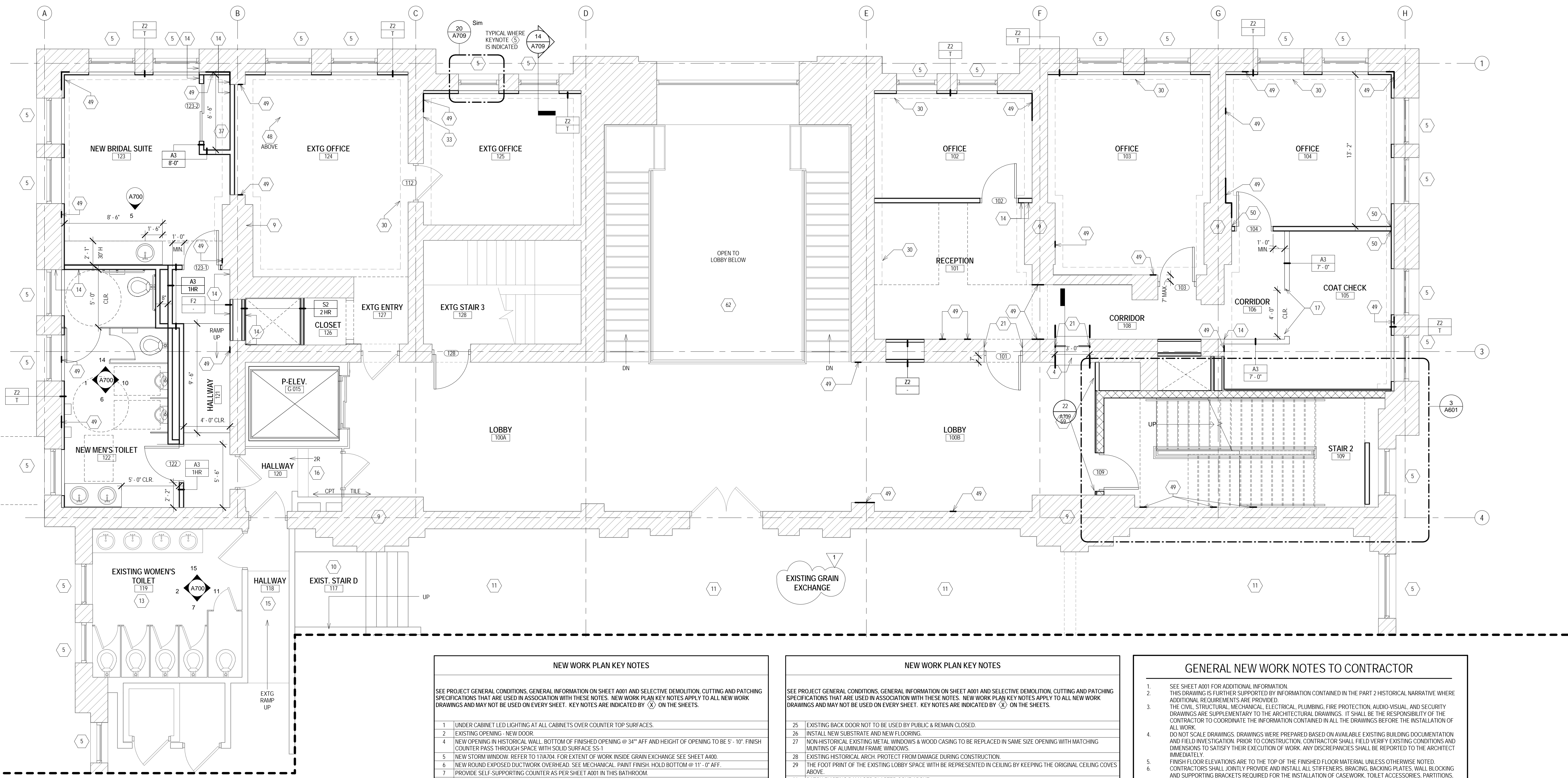
SCALE: VARIES

PROJECT NUMBER: 140903

SET TYPE: FINAL CONSTRUCTION DOCUMENTS

DATE ISSUED: 6/10/15

SHEET NUMBER: A202



3 NEW WORK - LEVEL 01 NORTH
Scale: 1/4" = 1'-0"



NEW WORK PLAN KEY NOTES

SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES. NEW WORK PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET. KEY NOTES ARE INDICATED BY (X) ON THE SHEETS.

- 1 UNDER CABINET LED LIGHTING AT ALL CABINETS OVER COUNTER TOP SURFACES.
- 2 EXISTING OPENING - NEW DOOR.
- 4 NEW OPENING IN HISTORICAL WALL. BOTTOM OF FINISHED OPENING @ 34" AFF AND HEIGHT OF OPENING TO BE 5'-10". FINISH COUNTER PASS THROUGH SPACE WITH SOLID SURFACE SS-1.
- 5 NEW STORM WINDOW. REFER TO 17A704. FOR EXTENT OF WORK INSIDE GRAIN EXCHANGE SEE SHEET A600.
- 6 NEW ROUND EXPOSED DUCTWORK OVERHEAD. SEE MECHANICAL. PAINT FINISH. HOLD BOTTOM @ 11'-0" AFF.
- 7 PROVIDE SELF-SUPPORTING COUNTER AS PER SHEET A001 IN THIS BATHROOM.
- 8 LOCATION OF NEW FULLY RECESSED PLASTER COVE ABOVE.
- 9 EXISTING HISTORICAL MASONRY CHIMNEY. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- 10 EXISTING NON-HISTORICAL STAIR ACCESS FROM GRAIN EXCHANGE ROOM TO EXISTING MEZZANINE ABOVE.
- 11 EXISTING HISTORICAL GRAIN EXCHANGE ROOM TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- 12 EXISTING SKYLIGHT ABOVE. TO REMAIN.
- 13 PROVIDE AND INSTALL NEW COUNTER TOP SINKS, AND TOILETS. CONNECT TO EXISTING PLUMBING CONNECTIONS. PROVIDE AND INSTALL NEW TOILET PARTITIONS, TILE FLOORING AND WALL FINISHES.
- 14 ALIGN NEW FINISHED SURFACE WITH EXISTING FINISH SURFACE.
- 15 EXISTING RAMP TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- 16 EXISTING STAIR STEPS TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- 17 BUILD AS WALL @ HEIGHT OF 5'-0" AFF. FINISH TOP WITH WOOD CAP.
- 18 INFILL EXISTING OPENING AND SET BLOCK INSET BY 3/4".
- 19 EXISTING HISTORICAL BRICK WALL TO STAY EXPOSED INSIDE NEW STAIR 1. PROTECT MASONRY AND TUCKPOINT IF NEEDED. TYP.
- 21 INSTALL NEW PLASTER TO MATCH EXISTING ADJACENT PLASTER ON ALL EXPOSED JAMBS OF NEW OPENING IN EXISTING BRICK WALL.
- 22 COMMERCIAL STS COUNTER & SINK TO BE RELOCATED HERE. PROVIDE NEW FINISHES TO MATCH EXISTING SURROUNDING SURFACES. PATCH FLOOR AS REQUIRED. SEE PLUMBING DRAWINGS FOR FIXTURE INFO.
- 23 NEW CMU WALL TO BE CONSTRUCTED OVER EXISTING BRICK WALL. PROVIDE CARE TO KEEP CORBELING OF EXISTING BRICK WALL BELOW.
- 24 EXISTING STEPS TO REMAIN.

NEW WORK PLAN KEY NOTES

SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES. NEW WORK PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET. KEY NOTES ARE INDICATED BY (X) ON THE SHEETS.

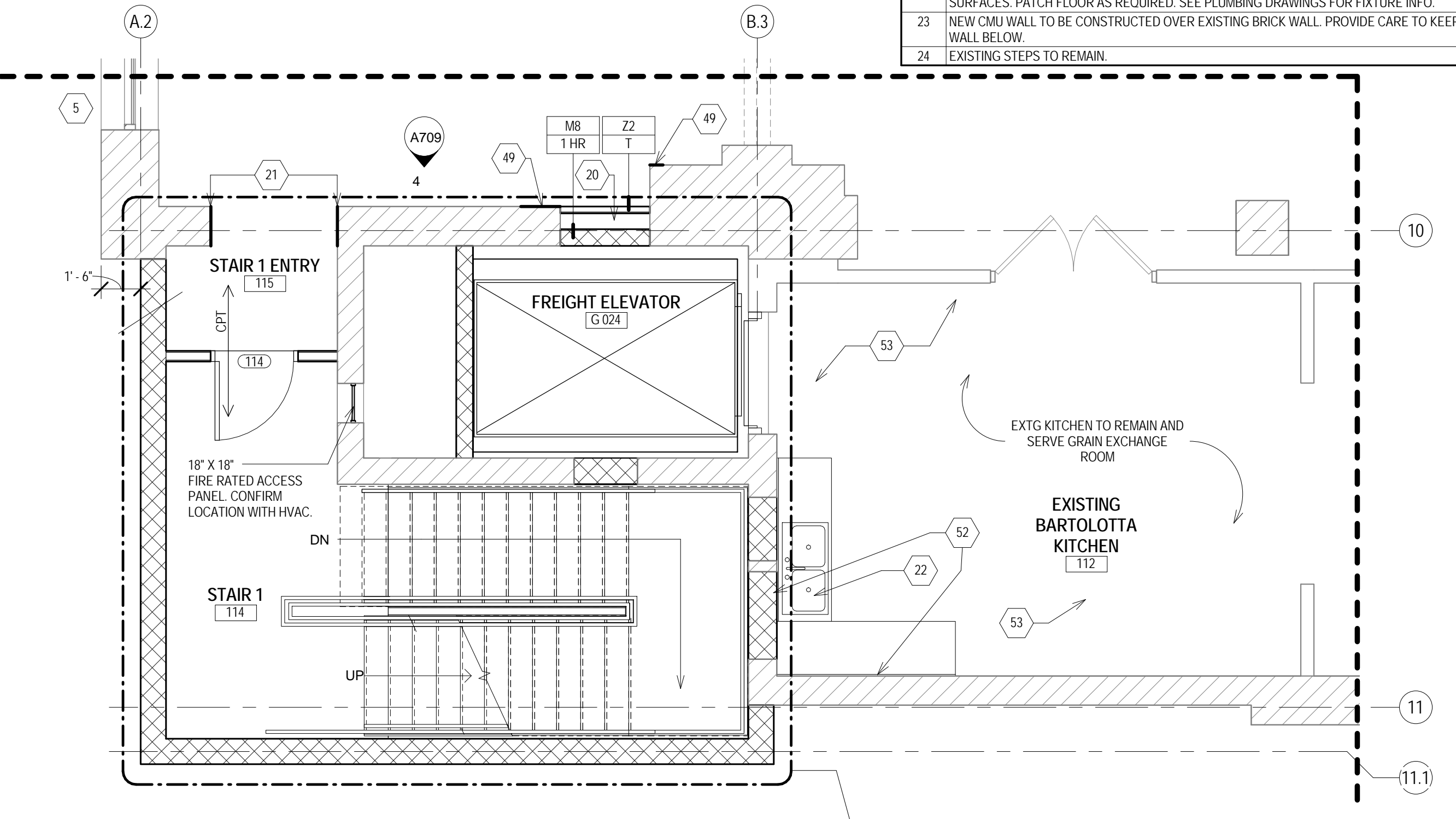
- 25 EXISTING BACK DOOR NOT TO BE USED BY PUBLIC & REMAIN CLOSED.
- 26 INSTALL NEW SUBSTRATE AND NEW FLOORING.
- 27 NON-HISTORICAL EXISTING METAL WINDOWS & WOOD CASING TO BE REPLACED IN SAME SIZE OPENING WITH MATCHING MUNTINS OF ALUMINUM FRAME WINDOWS.
- 28 EXISTING HISTORICAL ARCH. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- 29 THE FOOT PRINT OF THE EXISTING LOBBY SPACE WITH BE REPRESENTED IN CEILING BY KEEPING THE ORIGINAL CEILING COVES ABOVE.
- 30 PATCH EXISTING DAMAGED PLASTER COVE ABOVE.
- 33 EXISTING HISTORICAL BEARING WALL WITH EXISTING FURRED OUT DRYWALLED SURFACES TO REMAIN. AT LOCATIONS CALLED TO REMOVE WALL TILE. REPLACE EXISTING GYP BOARD WITH GREEN BOARD. IF EXISTING PLASTER IS PRESENT, PATCH TO MATCH EXISTING AND KEEP IN PLACE.
- 34 EXISTING OPENING IN BEARING WALL FROM PREVIOUS ALTERATION TO REMAIN.
- 36 NEW FLAT ROOF WITH TAPERED INSULATION ABOVE.
- 37 SCHEDULE 40 METAL CLOSET POLE WITH MIDWAY SUPPORT ABOVE CLOSET POLE. INSTALL 12" DEEP P-PLAM SHELF FINISHED ON BOTH SIDES AND FRONT EDGE. PROVIDE SUPPORT AT 4'-0" O.C.
- 38 FINISH EDGE OF HISTORICAL BEARING WALL WITH PLASTER TO MATCH ADJACENT SURFACE.
- 39 ON BEARING WALL EXISTING HISTORICAL ENGINEERED ARCHWAY OPENING - CAREFULLY REMOVE GYP FURRING TO EXPOSE THE EXISTING CREAM CITY BRICK PLASTER AND REPAIR ANY DAMAGE.
- 40 DO NOT DAMAGE HISTORICAL MASONRY ARCH. EXPOSE TO THE VOLUME OF ROOM. DO NOT DAMAGE COVE CEILING ABOVE.
- 41 EXPOSE HISTORICAL MASONRY ARCH - PROVIDE CARE NOT TO DAMAGE SURFACE. REBUILD DAMAGED AREAS WITH CONSTRUCTION TO MATCH EXISTING.
- 42 REBUILD WITH CREAM CITY BRICK MASONRY THE MISSING PLASTER OF THE EXISTING MASONRY ARCH HERE. TOOL BLOCK TO MATCH EXISTING. USE HISTORICAL MORTAR MIX.
- 43 BUILD NEW WALL SUCH THAT IT BYPASSES THE HISTORICAL MASONRY ARCH OPENING.
- 44 PROVIDE BLOCKING FOR RECEIVING TV BRACKET @ 22" AFF. BOTTOM OF 48" TV SCREEN TO BE @ 40" AFF.
- 45 INFILL EXISTING OPENING OF HISTORICAL BEARING WALL WITH NEW STUD WALL. ALIGN SURFACES. MATCH EXISTING FINISHES.
- 46 BEARING WALL CHIPPED INTO TO 7'-0" AFF IN ORDER TO PROVIDE FLOOR CLEARANCE. NEEDED. SEE DETAIL XX.
- 47 FOR WASHER/DRYER CABINET CONSTRUCTION. SEE INTERIOR ELEVATIONS ON SHEET SERIES A700.
- 48 PATCH EXISTING CEILING AFTER REMOVAL OF EXISTING SOFFIT ABOVE. DO NOT DAMAGE EXISTING COVED CEILING.
- 50 TAKE CONSTRUCTION OF NEW WALL TO UNDERSIDE OF EXISTING PLASTER CEILING ON BOTH SIDES OF NEW WALL.
- 51 EXISTING TRUSS.
- 52 PROVIDE NEW FINISHES TO MATCH EXISTING SURROUNDING KITCHEN WALLS INCLUDING FRP PANELS BEHIND RELOCATED SINK & OVER ALL NEW CMU INFILLS.
- 53 PATCH ALL DAMAGE TO EXISTING FLOOR TO MATCH EXISTING AFTER SINK RELOCATION.
- 54 SOFFIT AND COVE ABOVE TO BE MAINTAINED/REBUILT AFTER EXISTING HISTORIC WALL BELOW IS DEMOLISHED. SEE DETAIL 19A704.
- 55 REBUILD SOFFIT AND COVE TO MATCH DETAIL 19A704. FOLLOW SIMILAR DIMENSIONS AND DETAILING.
- 56 NEW RATED WALL ALONG ELEVATOR WALL TO RUN TO UNDERSIDE OF CEILING AND EXISTING COVE.
- 57 EXISTING ENGINEERED MASONRY ARCH AND NON-HISTORIC BRICK INFILL. EXPOSE AND LEAVE EXISTING ARCH INFILL IN PLACE.
- 58 INFILL WITH BRICK, CMU, AND GYP BOARD TO MATCH EXISTING CONSTRUCTION. PAINT TO MATCH. INSET FACE BRICK TO SHOW NEW VS. HISTORICAL.
- 59 FOR PATCHING EXISTING FLOOR & REPAIR SEE SHEET A600.
- 60 BUILD STEPS AS SHOWN. EACH RISER SHOULD BE 6" HIGH MAX AND EACH TREAD 12" MAX PER CODE. FIELD MEASURE THE PLATFORM ELEVATION IN LIVING ROOM (U6) AND LIVING ROOM (U5) TO DETERMINE 1/2 EQUAL RISERS TO MATCH THE 2 ELEVATIONS. CONSTRUCT THE STAIRS OF WOOD AND FINISH TREAD W/ MAPLE. STAIN TO MATCH WOOD FLOOR.
- 61 PATCH NEW OPENING W/ LIKE MATERIAL EXISTING IN KITCHEN ON ALL SIDES.
- 62 PAINT EXISTING METAL RAILING - COORDINATE COLOR SELECTION W/ ARCHITECT.

GENERAL NEW WORK NOTES TO CONTRACTOR

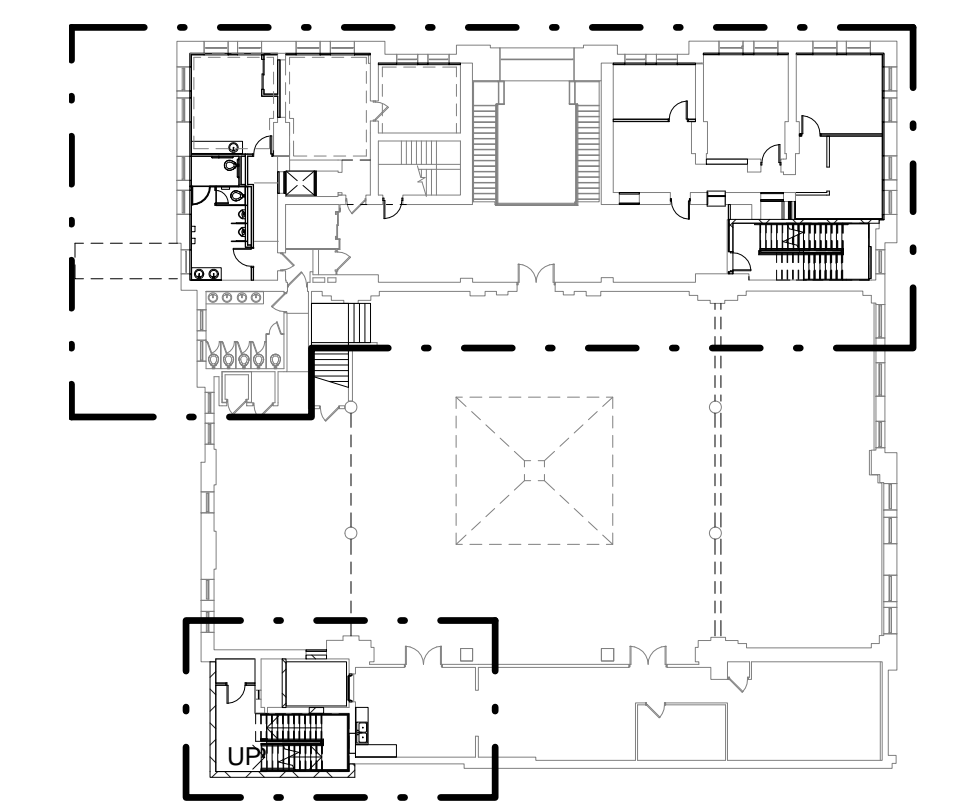
1. SEE SHEET A001 FOR ADDITIONAL INFORMATION.
2. THIS DRAWING IS FURTHER SUPPORTED BY INFORMATION CONTAINED IN THE PART 2 HISTORICAL NARRATIVE WHERE ADDITIONAL REQUIREMENTS ARE PROVIDED.
3. THE CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AUDIO-VISUAL, AND SECURITY DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INFORMATION CONTAINED IN ALL THE DRAWINGS BEFORE THE INSTALLATION OF ALL WORK.
4. DO NOT SCALE DRAWINGS. DRAWINGS WERE PREPARED BASED ON AVAILABLE EXISTING BUILDING DOCUMENTATION AND FIELD INVESTIGATION PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS TO SATISFY THEIR EXECUTION OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
5. FINISH FLOOR ELEVATIONS ARE TO THE TOP OF THE FINISHED FLOOR MATERIAL UNLESS OTHERWISE NOTED. CONTRACTORS SHALL JOINTLY PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACKING PLATES, WALL BLOCKING AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF CASEWORK, TOILET ACCESSORIES, PARTITIONS, MILLWORK, AND ALL WORK MOUNTED OR SUSPENDED BY ALL TRADES.
6. SEE SHEET A002 FOR INTERIOR PARTITION TYPES AND DETAILS.
7. REFER TO SHEET A002 AND A010 FOR CODE INFORMATION AND FIRE RATED WALLS, FLOORS, SHAFTS AND FIRE PROOFING NOTES.
8. SEE SHEET A002 FOR FIRE RATED PARTITION WALL PLAN DETAILS.
9. SEE SHEET A001 FOR DOOR AND FRAME SCHEDULE.
10. DIMENSIONS AT EXTERIOR WALLS ARE TO STRUCTURAL WALL ONLY AND DO NOT INCLUDE FINISHES.
11. SEE A001 FOR ROOM FINISH SCHEDULE.
12. PARTITION TYPES INDICATED WITH "A" SHALL BE PROVIDED WITH SPRAY FOAM INSULATION TO FILL ENTIRE STUD CAVITY.
13. WHERE FIRE RATED PARTITIONS, FIRE BARRIERS, OR ANY WALL REQUIRED TO HAVE A FIRE RATING IS CALLED OUT IN THE DRAWINGS, THE CMU SHOULD RUN CONTINUOUS ON BOTH SIDES. EXTEND THE RATING UP TO ADJACENT OR INTERSECTING FIRE RATED WALLS IN A MANNER THAT ENSURE A CONTINUOUS FIRE SEPARATION AND MAINTAINS THE INTEGRITY OF THE FIRE RATING. PROVIDE UL RATED FIRE RESISTIVE JOINT SYSTEMS AT ALL PENETRATIONS AND TERMINATIONS.
14. ALL NEW WALLS THAT FACE PUBLIC CORRIDORS OR HISTORICAL LOBBY SPACES ARE TO RECEIVE GYPSUM BOARD WITH PROPER RATING & TO BE FINISHED TO LOOK LIKE ADJACENT HISTORICAL PLASTER WALLS. WHERE EXISTING CONSTRUCTION INCLUDING WALLS, DOORS/EQUIPMENT, DEVICES, PENETRATIONS, ETC. ARE REMOVED, PATCH EXISTING CONSTRUCTION TO MATCH ADJACENT AND PROVIDE SMOOTH TRANSITION FROM EXISTING TO NEW.
15. PROVIDE CLEARANCE AT DOOR JAMBS TO ALLOW DOORS TO OPEN A FULL 90 DEGREES TAKING INTO ACCOUNT THE LEVER AND THE DOOR STOP.

NEW WORK LEGEND

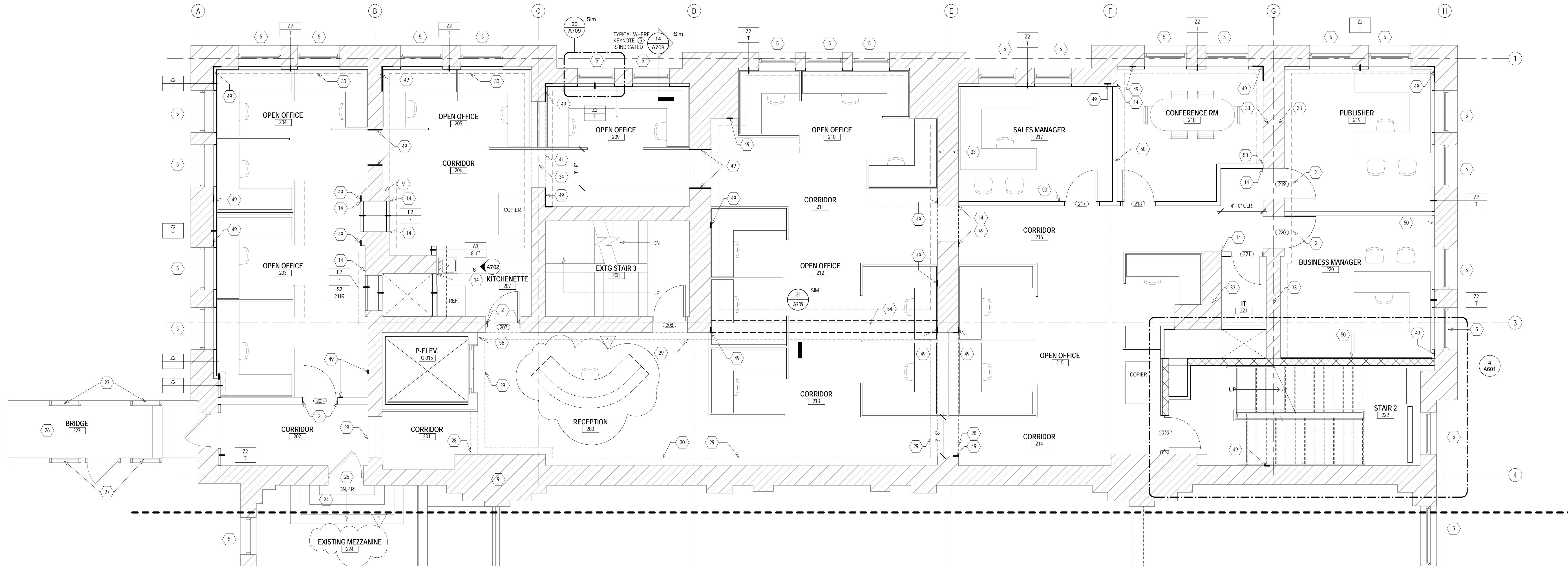
- EXISTING TO REMAIN
- MASONRY PARTITION. SEE PARTITION TYPES FOR DETAILS
- METAL STUD PARTITION. SEE PARTITION TYPES FOR DETAILS
- METAL STUD PARTITION. SEE PARTITION TYPES FOR DETAILS
- METAL STUD PARTITION. SEE PARTITION TYPES FOR DETAILS
- EXISTING LOAD-BEARING MASONRY WALLS



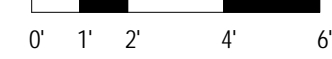
2 NEW WORK - LEVEL 01 SOUTH
Scale: 1/4" = 1'-0"



1 LEVEL 01 KEY PLAN
NOT TO SCALE



3 ENLARGED PLAN - LEVEL 02 NORTH
Scale: 1/4" = 1'-0"



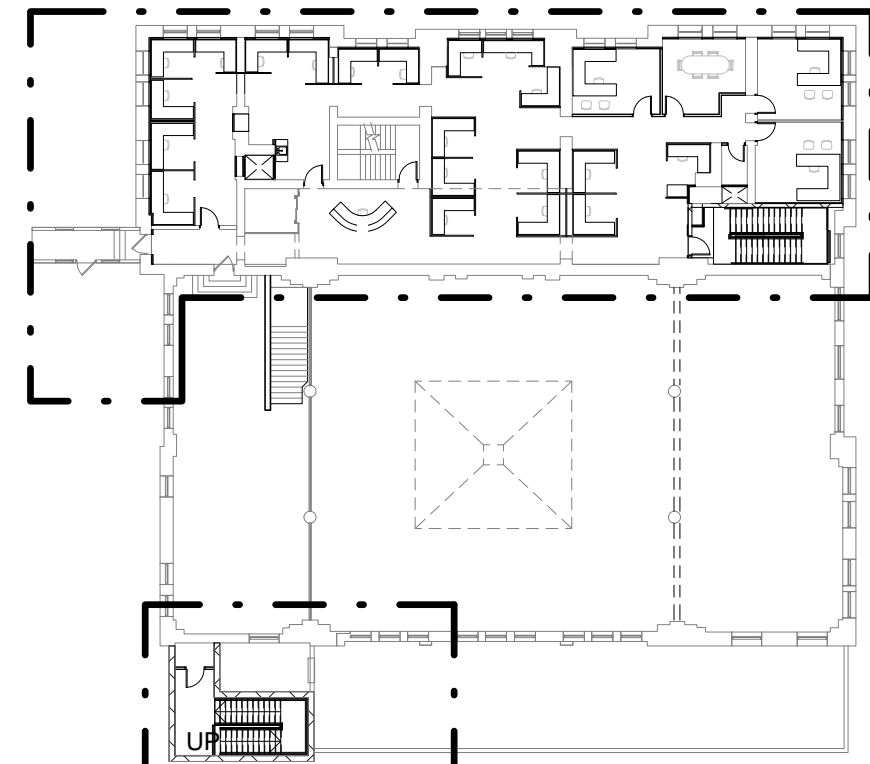
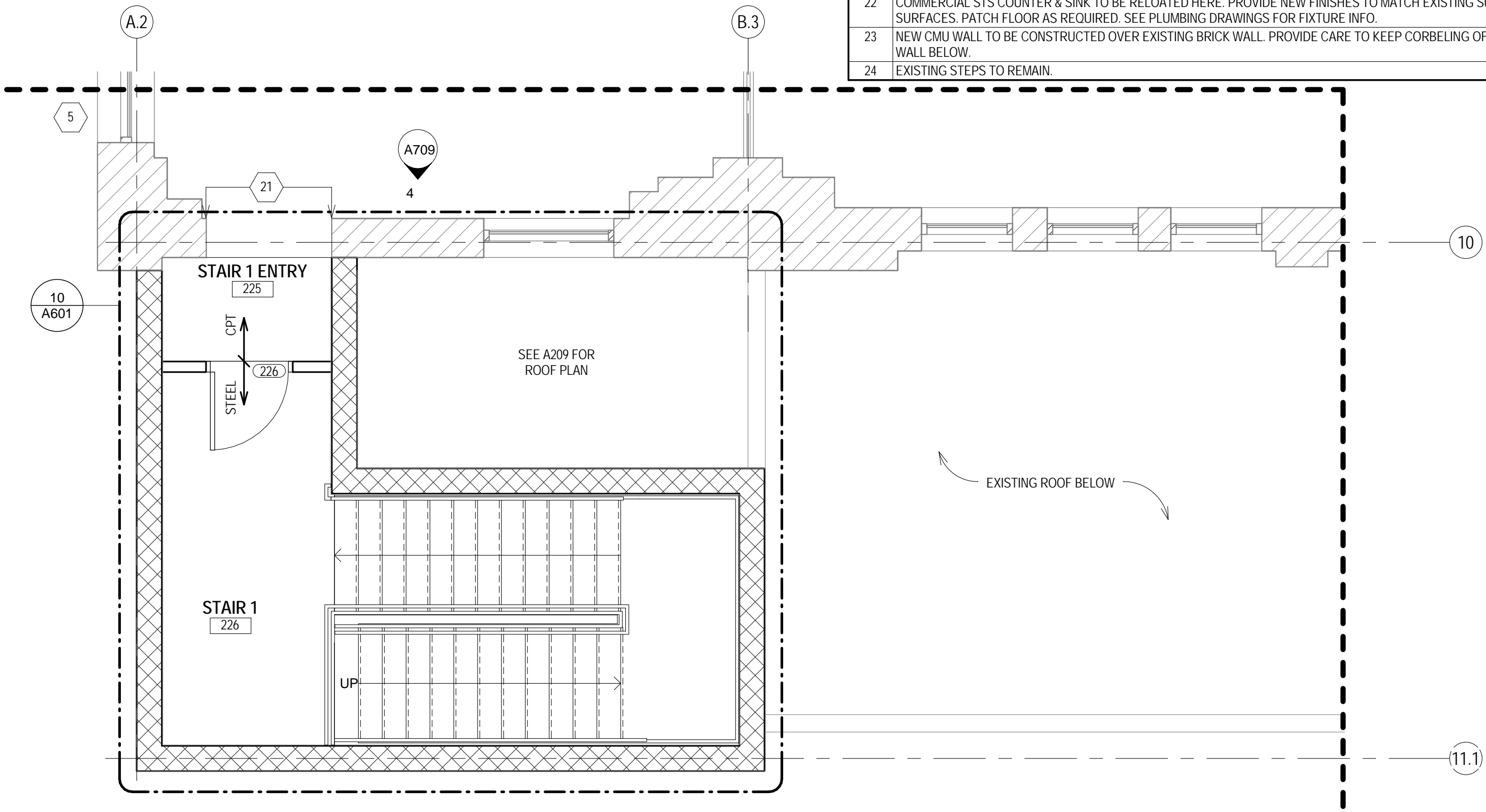
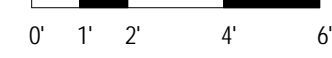
NEW WORK PLAN KEY NOTES	
SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES. NEW WORK PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET. KEY NOTES ARE INDICATED BY (X) ON THE SHEETS.	
1	UNDER CABINET LED LIGHTING AT ALL CABINETS OVER COUNTER TOP SURFACES.
2	EXISTING OPENING, NEW DOOR.
4	NEW OPENING IN HISTORICAL EXISTING METAL WINDOWS & WOOD CASING TO BE REPLACED IN SAME SIZE OPENING WITH MATCHING MUNTINS OF ALUMINUM FRAME WINDOWS.
5	NEW STORM WINDOW, REFER TO T17A704. FOR EXTENT OF WORK INSIDE, GRAB EXCHANGE SEE SHEET A400.
6	NEW ROUND EXPOSED DUCTWORK OVERHEAD. SEE MECHANICAL. PAINT FINISH: HOLD BOTTOM @ 11'-0" AFF.
7	PROVIDE SELF-SUPPORTING COUNTER AS PER SHEET A001 IN THIS BATHROOM.
8	LOCATION OF NEW FULLY RECESSED ELECTRICAL PANELS.
9	EXISTING HISTORICAL MASONRY CHIMNEY. PROTECT FROM DAMAGE DURING CONSTRUCTION.
10	EXISTING NON-HISTORICAL STAIR ACCESS FROM GRAB EXCHANGE ROOM TO EXISTING MEZZANINE ABOVE.
11	EXISTING HISTORICAL GRAB EXCHANGE ROOM TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
12	EXISTING SKYLIGHT ABOVE, TO REMAIN.
13	PROVIDE AND INSTALL NEW COUNTERTOP, SINKS, AND TOILETS. CONNECT TO EXISTING PLUMBING CONNECTIONS. PROVIDE AND INSTALL NEW TOILET PARTITIONS, TILE FLOORING AND WALL FINISHES.
14	ALIGN NEW FINISHED SURFACE WITH EXISTING FINISHED SURFACE.
15	EXISTING RAMP TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
16	EXISTING STAIR STEPS TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
17	BUILD AS WALL @ HEIGHT OF 5'-0" AFF. FINISH TOP WITH WOOD CAP.
18	INFILL EXISTING OPENING AND SET BLOCK INSET BY 3/4"
19	EXISTING HISTORICAL BRICK WALL TO STAY EXPOSED INSIDE NEW STAIR 1. PROTECT MASONRY AND TUCKPOINT IF NEEDED. TYP.
20	EXISTING NON-HISTORICAL OPENING, INFILL & FINISH SURFACE FLUSH TO MATCH ADJACENT SURFACE.
21	INSTALL NEW PLASTER TO MATCH EXISTING ADJACENT PLASTER ON ALL EXPOSED JAMBS OF NEW OPENING IN EXISTING BRICK WALL.
22	COMMERCIAL STS COUNTER & SINK TO BE RELOCATED HERE. PROVIDE NEW FINISHES TO MATCH EXISTING SURROUNDING SURFACES. PATCH FLOOR AS REQUIRED. SEE PLUMBING DRAWINGS FOR FIXTURE INFO.
23	NEW CMU WALL TO BE CONSTRUCTED OVER EXISTING BRICK WALL. PROVIDE CARE TO KEEP CORBELING OF EXISTING BRICK WALL BELOW.
24	EXISTING STEPS TO REMAIN.

NEW WORK PLAN KEY NOTES	
SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES. NEW WORK PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET. KEY NOTES ARE INDICATED BY (X) ON THE SHEETS.	
25	EXISTING BACK DOOR NOT TO BE USED BY PUBLIC & REMAIN CLOSED.
26	INSTALL NEW SUBSTRATE AND NEW FLOORING.
27	NON-HISTORICAL EXISTING METAL WINDOWS & WOOD CASING TO BE REPLACED IN SAME SIZE OPENING WITH MATCHING MUNTINS OF ALUMINUM FRAME WINDOWS.
28	EXISTING HISTORICAL ARCH. PROTECT FROM DAMAGE DURING CONSTRUCTION.
29	THE FOOT PRINT OF THE EXISTING LOBBY SPACE WITH BE REPRESENTED IN CEILING BY KEEPING THE ORIGINAL CEILING COVES ABOVE.
30	PATCH EXISTING DAMAGED PLASTER COVE ABOVE.
33	EXISTING HISTORICAL BEARING WALL WITH EXISTING FLURRED OUT DRYWALLED SURFACES TO REMAIN. AT LOCATIONS CALLED TO RECEIVE WALL TILE, REPLACE EXISTING GYP BOARD WITH GREEN BOARD. IF EXISTING PLASTER IS PRESENT, PATCH TO MATCH EXISTING AND KEEP IN PLACE.
34	EXISTING OPENING IN BEARING WALL FROM PREVIOUS ALTERATION TO REMAIN.
36	NEW FLAT ROOF WITH TAPERED INSULATION ABOVE.
37	SCHEDULE 40 METAL CLOSET POLE WITH HIDEWAY SUPPORT ABOVE CLOSET POLE. INSTALL 12" DEEP P-PLAM SHELF FINISHED ON BOTH SIDES AND FRONT EDGE. PROVIDE SUPPORT AT 4'-0" O.C.
38	FINISH EDGE OF HISTORICAL BEARING WALL WITH PLASTER TO MATCH ADJACENT SURFACE.
39	ON BEARING WALL EXISTS AN HISTORICAL ENGINEERED ARCHWAY OPENING - CAREFULLY REMOVE GYP FURRING TO EXPOSE THE EXISTING CREAM CITY BRICK PLASTER AND REPAIR ANY DAMAGE.
40	DO NOT DAMAGE HISTORICAL MASONRY ARCH. EXPOSE TO THE VOLUME OF ROOM. DO NOT DAMAGE COVE CEILING ABOVE.
41	EXPOSE HISTORICAL MASONRY ARCH - PROVIDE CARE NOT TO DAMAGE SURFACE. REBUILD DAMAGED AREAS WITH CONSTRUCTION TO MATCH EXISTING.
42	REBUILD WITH CREAM CITY BRICK MASONRY THE MISSING PLASTER OF THE EXISTING MASONRY ARCH HERE. TOOL BRICK TO MATCH EXISTING. USE HISTORICAL MORTAR MIX.
43	BUILD NEW WALL SUCH THAT IT BYPASSES THE HISTORICAL MASONRY ARCH OPENING.
44	PROVIDE BLOCKING FOR RECEIVING TV BRACKET @ 17" AFF. BOTTOM OF 48" TV SCREEN TO BE @ 40" AFF.
45	INFILL EXISTING OPENING OF HISTORICAL BEARING WALL WITH NEW STUD WALL. ALIGN SURFACES. MATCH EXISTING FINISHES.
46	BEARING WALL CHIPPED INTO TO 7'-0" AFF IN ORDER TO PROVIDE FLOOR CLEARANCE NEEDED. SEE DETAIL XX.
47	FOR WASHER/DRYER CABINET CONSTRUCTION. SEE INTERIOR ELEVATIONS ON SHEET SERIES A700.
48	PATCH EXISTING CEILING AFTER REMOVAL OF EXISTING SOFFIT ABOVE. DO NOT DAMAGE EXISTING COVED CEILING.
49	PATCH PLASTER TO MATCH AT EXISTING HISTORICAL PLASTER WALL WHERE DAMAGE WAS CREATED BY REMOVAL OF OLD PARTITION OR CHASE. AT COVE LOCATIONS ALSO PATCH COVE ABOVE IF DAMAGED.
50	TAKE CONSTRUCTION OF NEW WALL TO UNDERSIDE OF EXISTING PLASTER CEILING ON BOTH SIDES OF NEW WALL.
51	EXISTING TRUSS.
52	PROVIDE NEW FINISHES TO MATCH EXISTING SURROUNDING KITCHEN WALLS INCLUDING FRP PANELS BEHIND RELOCATED SINK & OVER ALL NEW CMU INFILLS.
53	PATCH ALL DAMAGE TO EXISTING FLOOR TO MATCH EXISTING AFTER SINK RELOCATION.
54	SOFFIT AND COVE ABOVE TO BE MAINTAINED/REBUILT AFTER EXISTING HISTORIC WALL BELOW IS DEMOLISHED. SEE DETAIL T18A704.
55	REBUILD SOFFIT AND COVE TO MATCH DETAIL T18A704. FOLLOW SIMILAR DIMENSIONS AND DETAILING.
56	NEW RATED WALL ALONG ELEVATOR WALL TO RUN TO UNDERSIDE OF CEILING AND EXISTING COVE.
57	EXISTING ENGINEERED MASONRY ARCH AND NON-HISTORICAL BRICK INFILL. EXPOSE AND LEAVE EXISTING ARCH INFILL IN PLACE.
58	INFILL WITH BRICK, CMU, AND GYP BOARD TO MATCH EXISTING CONSTRUCTION. PAINT TO MATCH. INSET FACE BRICK TO SHOW NEW VS. HISTORICAL.
59	FOR PATCHING EXISTING FLOOR & REPAIR SEE SHEET A600.
60	BUILD STEPS AS SHOWN. EACH RISER SHOULD BE 6" HIGH MAX AND EACH TREAD 12" MAX PER CODE. FIELD MEASURE THE PLATE FROM ELEVATION IN DINING ROOM (U) AND LIVING ROOM (U) TO DETERMINE 3 EQUAL RISERS TO MATCH THE 2 ELEVATIONS. CONSTRUCT THE STAIRS OF WOOD AND FINISH TREAD W/ MAPLE. STAIN TO MATCH WOOD FLOOR.
61	PATCH NEW OPENING W/ LIKE MATERIAL EXISTING IN KITCHEN ON ALL SIDES.
62	PAINT EXISTING METAL RAILING - COORDINATE COLOR SELECTION W/ ARCHITECT.
63	STAIRWORK FINISHES TO BE CONSTRUCTED TO MATCH EXISTING FINISHES.

NEW WORK LEGEND	
	EXISTING TO REMAIN
	MASONRY PARTITION, SEE PARTITION TYPES FOR DETAILS
	METAL STUD PARTITION, SEE PARTITION TYPES FOR DETAILS
TYPE: A3 - A	U.N.O.
	METAL STUD PARTITION, SEE PARTITION TYPES FOR DETAILS
TYPE: P6 - A, 1 HR	U.N.O.
	METAL STUD PARTITION, SEE PARTITION TYPES FOR DETAILS
TYPE: A3 - A, C	U.N.O.
	EXISTING LOAD-BEARING MASONRY WALLS

GENERAL NEW WORK NOTES TO CONTRACTOR	
1.	SEE SHEET A001 FOR ADDITIONAL INFORMATION.
2.	THIS DRAWING IS FURTHER SUPPORTED BY INFORMATION CONTAINED IN THE PART 2 HISTORICAL NARRATIVE WHERE ADDITIONAL REQUIREMENTS ARE PROVIDED.
3.	THE CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AUDIO-VISUAL, AND SECURITY DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INFORMATION CONTAINED IN ALL THE DRAWINGS BEFORE THE INSTALLATION OF ALL WORK.
4.	DO NOT SCALE DRAWINGS. DRAWINGS WERE PREPARED BASED ON AVAILABLE EXISTING BUILDING DOCUMENTATION AND FIELD INVESTIGATION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS TO SATISFY THEIR EXECUTION OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
5.	FINISH FLOOR ELEVATIONS ARE TO THE TOP OF THE FINISHED FLOOR MATERIAL UNLESS OTHERWISE NOTED.
6.	CONTRACTORS SHALL JOINTLY PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACKING PLATES, WALL BLOCKING AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF CASEWORK, TOILET ACCESSORIES, PARTITIONS, MILLWORK, AND ALL WORK MOUNTED OR SUSPENDED BY ALL TRADES.
7.	SEE SHEET A002 FOR INTERIOR PARTITION TYPES AND DETAILS.
8.	REFER TO SHEET A002 AND A010 FOR CODE INFORMATION AND FIRE RATED WALLS, FLOORS, SHAFTS AND FIRE PROOFING NOTES.
9.	SEE SHEET A002 FOR FIRE RATED PARTITION WALL PLAN DETAILS.
10.	SEE SHEET A002 FOR DOOR AND FRAME SCHEDULE.
11.	DIMENSIONS AT EXTERIOR WALLS ARE TO STRUCTURAL WALL ONLY AND DO NOT INCLUDE FINISHES.
12.	SEE A002 FOR ROOM FINISH SCHEDULE.
13.	PARTITION TYPES INDICATED WITH A "T" SHALL BE PROVIDED WITH SPRAY FOAM INSULATION TO FILL ENTIRE STUD CAVITY.
14.	WHERE FIRE RATED PARTITIONS, FIRE BARRIERS, OR ANY WALL REQUIRED TO HAVE A FIRE RATING IS CALLED OUT IN THE DRAWINGS, THE ONE SHOULD RUN CONTINUOUS ON BOTH SIDES. EXTEND THE RATING UP TO ADJACENT INTERSECTING FIRE RATED WALLS IN A MANNER THAT ENSURE A CONTINUOUS FIRE SEPARATION AND MAINTAINS THE INTEGRITY OF THE FIRE RATING. PROVIDE UL RATED FIRE RESISTIVE JOINT SYSTEMS AT ALL PENETRATIONS AND TERMINATIONS.
15.	ALL NEW WALLS THAT FACE PUBLIC CORRIDORS OR HISTORICAL LOBBY SPACES ARE TO RECEIVE GYPSUM BOARD WITH PROPER RATING & TO BE FINISHED TO LOOK LIKE ADJACENT HISTORICAL PLASTER WALLS.
16.	WHERE EXISTING CONSTRUCTION (INCLUDING WALLS, DOORS, EQUIPMENT, DEVICES, PENETRATIONS, ETC) ARE REMOVED, PATCH EXISTING CONSTRUCTION TO MATCH ADJACENT AND PROVIDE SMOOTH TRANSITION FROM EXISTING TO NEW.
17.	PROVIDE CLEARANCE AT DOOR JAMBS TO ALLOW DOORS TO OPEN A FULL 90 DEGREES TAKING INTO ACCOUNT THE LEVER AND THE DOOR STOP.

2 ENLARGED PLAN - LEVEL 02 SOUTH
Scale: 1/4" = 1'-0"



1 LEVEL 02 KEY PLAN
NOT TO SCALE

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HISTORIC MACHIE BUILDING RENOVATION
225 E. MICHIGAN STREET MILWAUKEE, WI 53202
SHEET TITLE: NEW WORK - LEVEL 02

REVISIONS	
1	Date 1 Revision 1

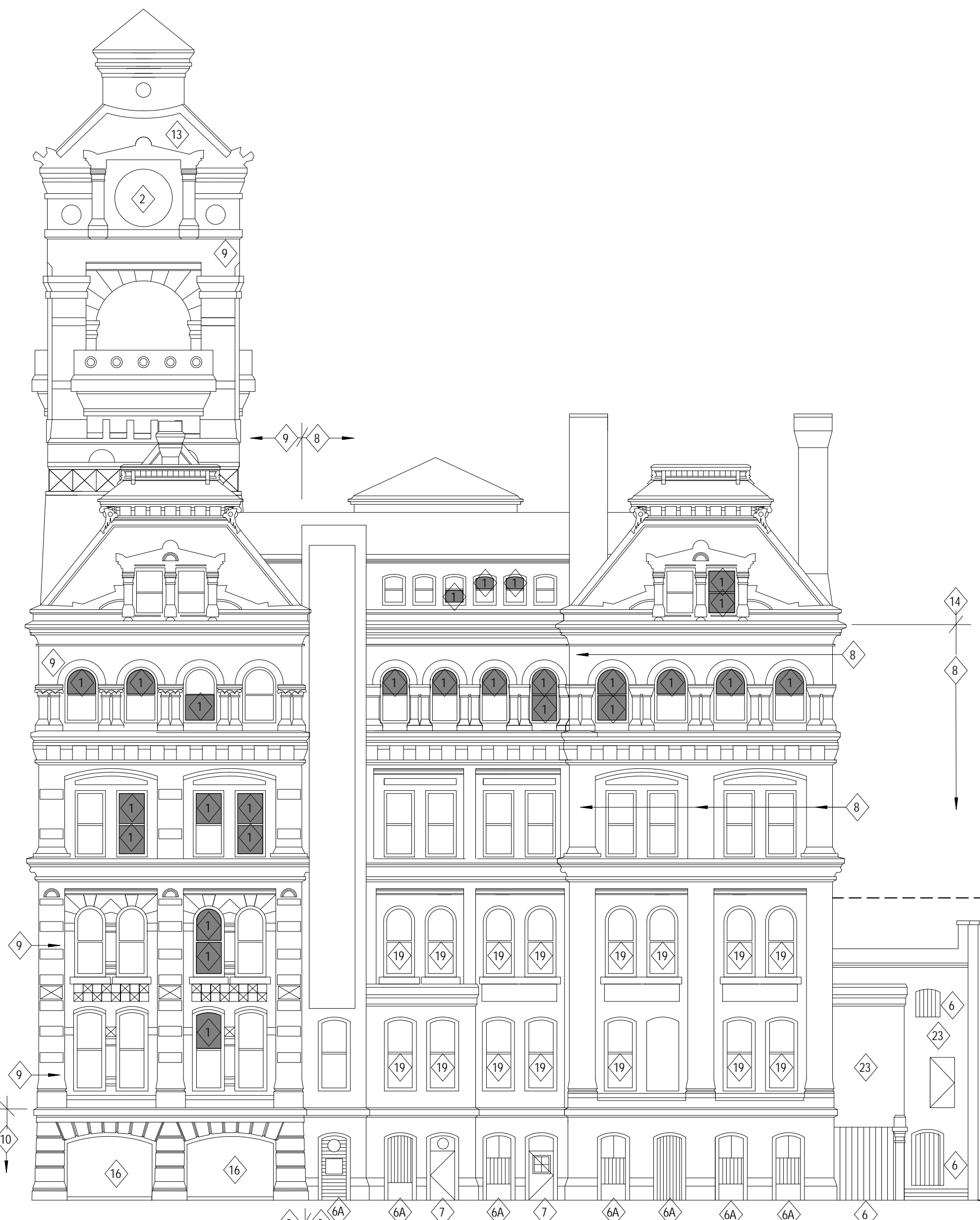
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SET TYPE	FINAL CONSTRUCTION DOCUMENTS
DATE ISSUED	6/10/15
SHEET NUMBER	A203

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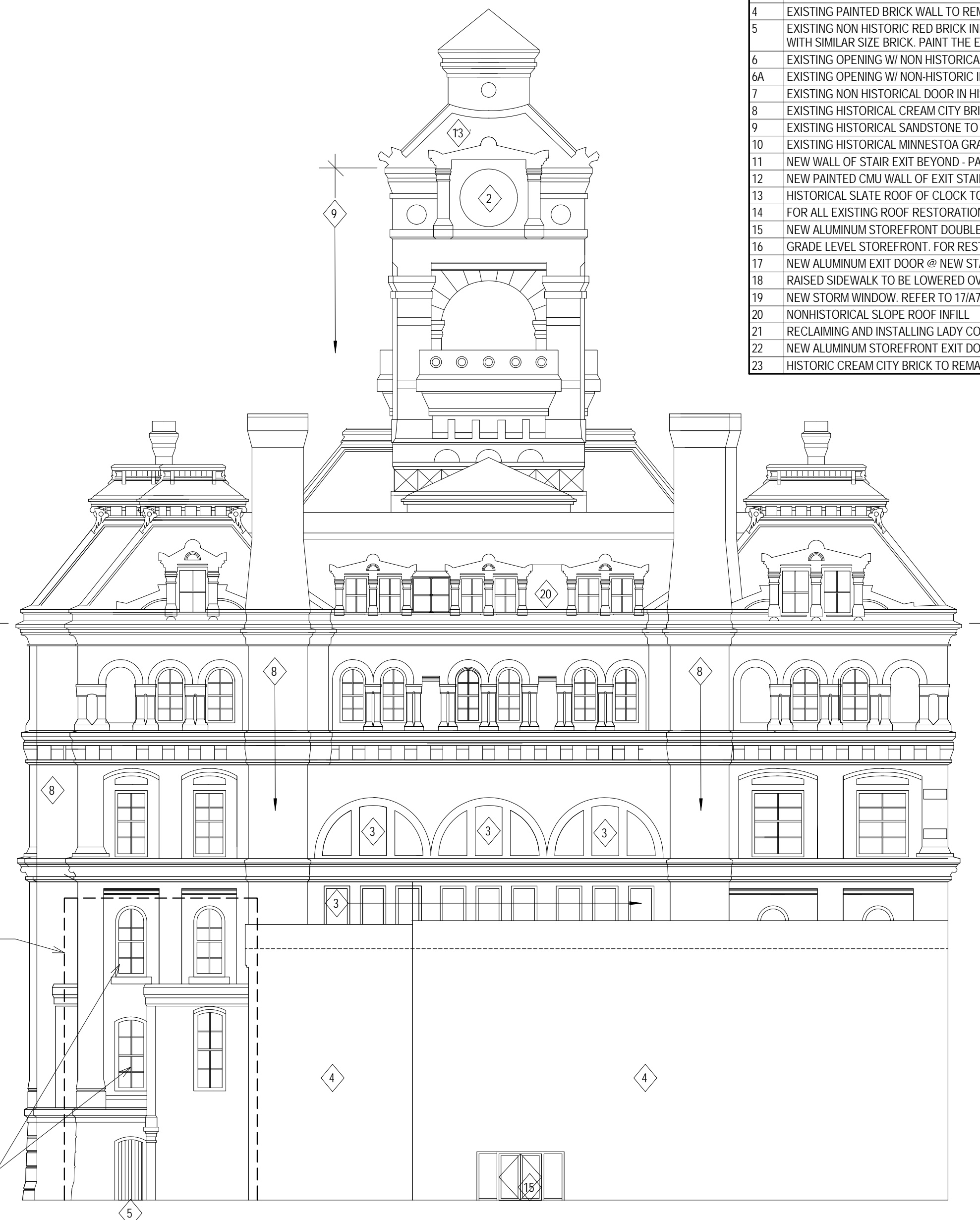
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NOTE: ELEVATION DRAWINGS ARE FOR VISUAL REFERENCE ONLY - NOT TO BE USED FOR ESTIMATE. QUANTITY OF RESTORATION REGARDING FACADE REPAIR OR CLEANING

ELEVATIONS KEYNOTES	
ELEVATION KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET. KEY NOTES ARE INDICATED BY (X) ON SHEET SERIES A400.	
ALL EXISTING EXTERIOR WOOD SASH WINDOWS TO HAVE AN EXISTING 1/8" GLAZING REMOVED AND REPLACED WITH 1/4" GLAZING. EXISTING WOOD MUTINS TO BE ROUTERED OUT TO ACCOMMODATE NEW 1/4" GLAZING. THIS WORK IS FOR ALL EXISTING EXTERIOR WINDOWS UNLESS OTHERWISE NOTED BY ELEVATION KEYNOTE 1 OR 3.	
1	HISTORIC GLAZING TO REMAIN
2	NEW CLOCK IN CLOCK TOWER. SEE PART 2 NARRATIVE
3	HISTORICAL STAINED GLASS WINDOWS TO REMAIN. PROTECT DURING CONSTRUCTION
4	EXISTING PAINTED BRICK WALL TO REMAIN AND RECEIVE NEW PAINT
5	EXISTING NON HISTORIC RED BRICK INFILL. REMOVE INFILL TO THE EXTENT NEEDED TO INSERT A NEW SET OF HM DOORS. PATCH BALANCE OF EXISTING BRICK WITH SIMILAR SIZE BRICK. PAINT THE EXISTING BRICK TO MATCH COLOR OF SOUTH ELEVATION
6	EXISTING OPENING W/ NON HISTORICAL INFILLS. WILL BE ENGULFED IN NEW EXT. STAIR TOWER
6A	EXISTING OPENING W/ NON HISTORICAL INFILL TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
7	EXISTING NON HISTORICAL DOOR IN HISTORICAL OPENING
8	EXISTING HISTORICAL CREAM CITY BRICK WALL TO REMAIN. FOR TUCKPOINTING AND CLEANING PROCESS REFER TO NARRATIVE PART 2
9	EXISTING HISTORICAL SANDSTONE TO REMAIN FOR CLEANING AND TUCKPOINTING SEE PART 2 NARRATIVE
10	EXISTING HISTORICAL MINNESOTA GRANITE TO REMAIN. FOR CLEANING AND TUCKPOINTING SEE PART 2 NARRATIVE
11	NEW WALL OF STAIR EXIT BEYOND - PAINTED CMU
12	NEW PAINTED CMU WALL OF EXIT STAIR
13	HISTORICAL SLATE ROOF OF CLOCK TOWER. FOR RESTORATION SEE PART 2 OF NARRATIVE
14	FOR ALL EXISTING ROOF RESTORATION AT MANSARD ROOF - UPPER ROOF & UPPER FLAT ROOF AND FLASHING. SEE PART 2 NARRATIVE
15	NEW ALUMINUM STOREFRONT DOUBLE SET OF DOORS
16	GRADE LEVEL STOREFRONT. FOR RESTORATION AND REFURBISHING OF THE GRADE LEVEL WOOD STOREFRONT SEE PART 2 OF NARRATIVE
17	NEW ALUMINUM EXIT DOOR @ NEW STAIR
18	RAISED SIDEWALK TO BE LOWERED OVER HISTORICAL SIDEWALK VAULT - SEE PART 2 NARRATIVE
19	NEW STORM WINDOW. REFER TO 17A704. FOR EXTENT OF WORK INSIDE GRAN EXCHANGE SEE SHEET A400.
20	NONHISTORICAL SLOPE ROOF INFILL
21	RECLAIMING AND INSTALLING LADY COMMERCE STATUE IN ITS ORIGINAL POSITION
22	NEW ALUMINUM STOREFRONT EXIT DOOR AND SIDELIGHT @ HISTORICAL OPENING
23	HISTORIC CREAM CITY BRICK TO REMAIN EXPOSED IN NEW STAIR TOWER EXISTING INFILL OF OLD OPENING TO BE OF CMU BLOCK



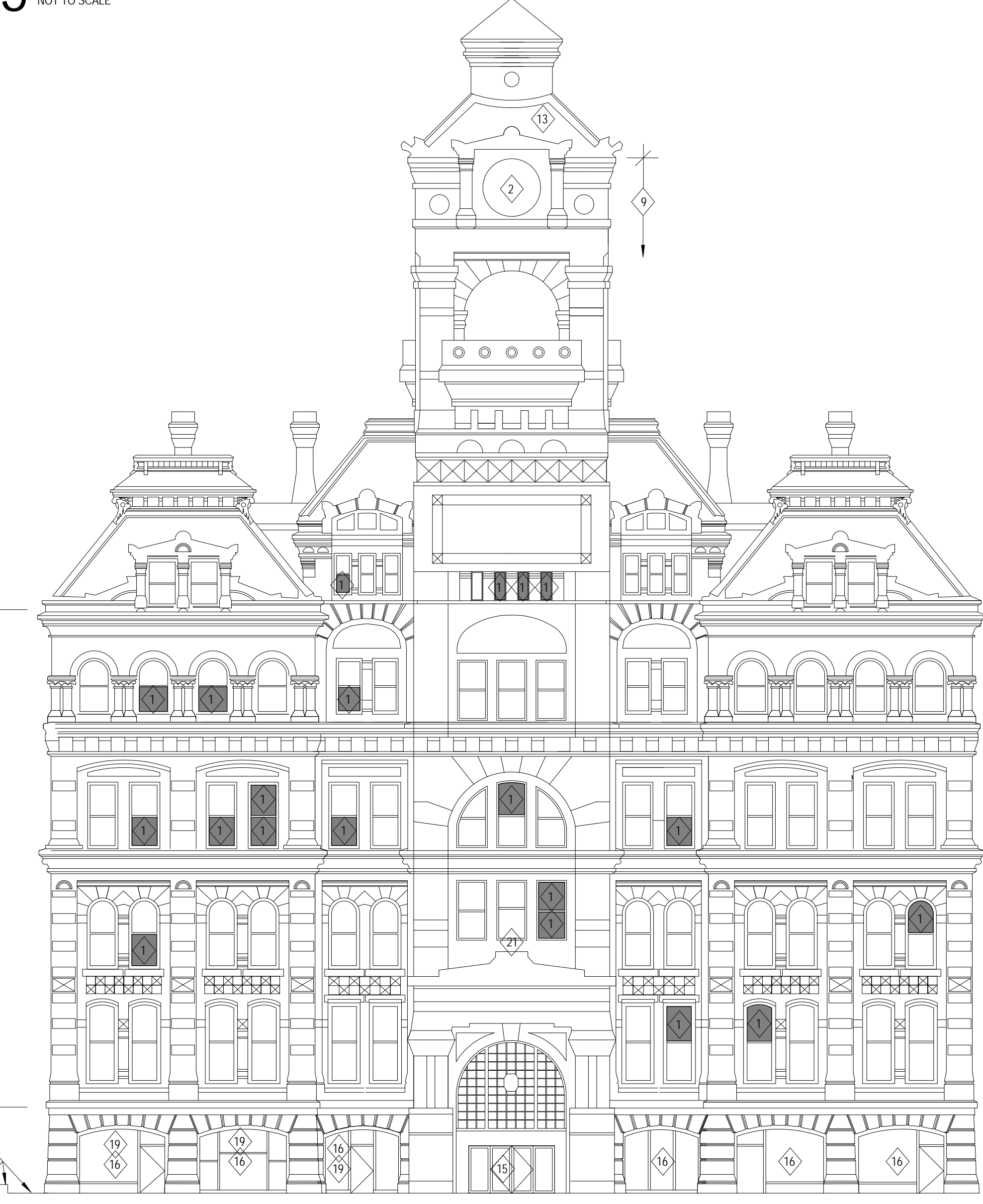
6 WEST ELEVATION - (ALLEY SIDE)
NOT TO SCALE



5 SOUTH ELEVATION - (PARKING LOT SIDE)
NOT TO SCALE

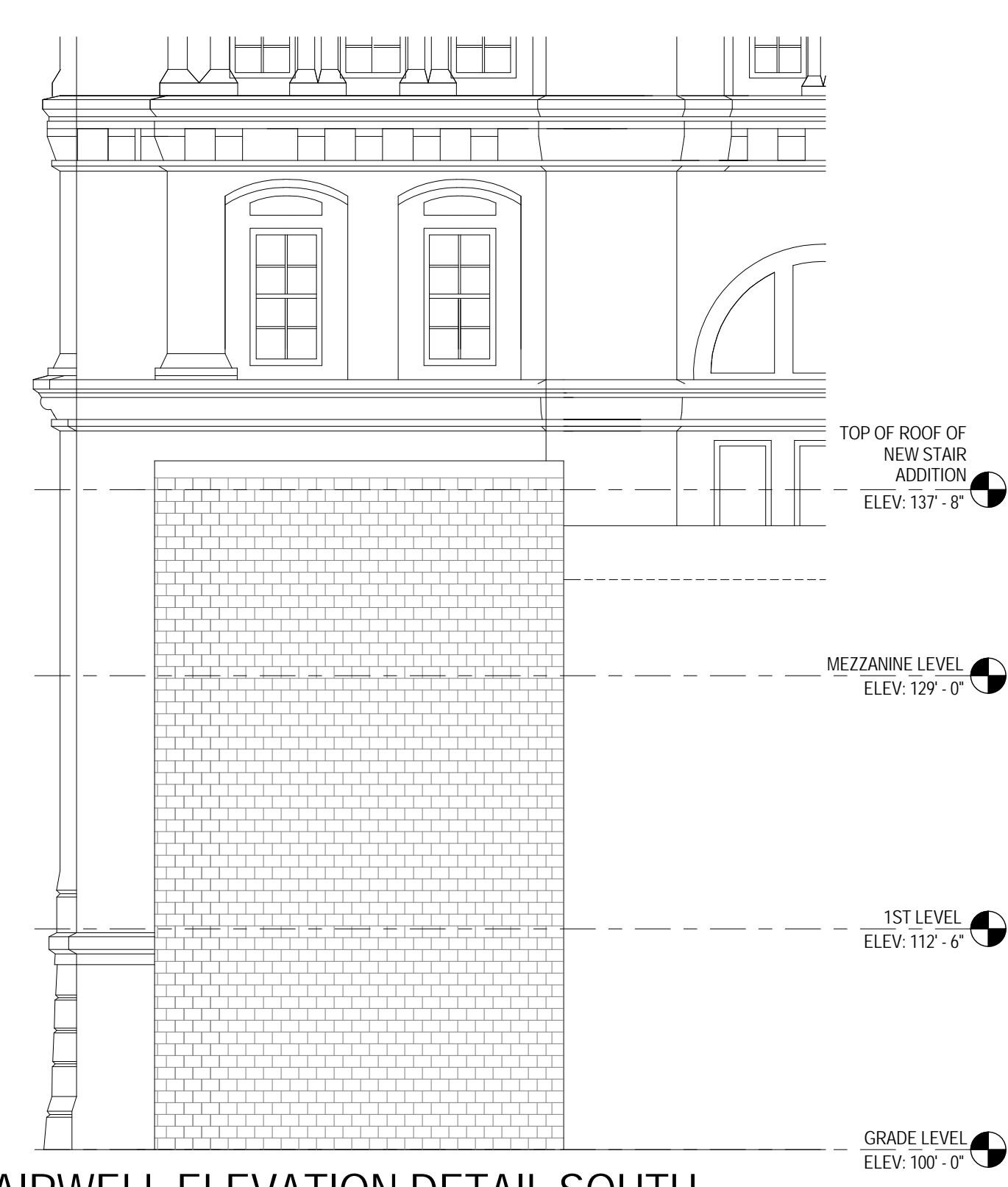


3 EAST ELEVATION - (BROADWAY STREET)
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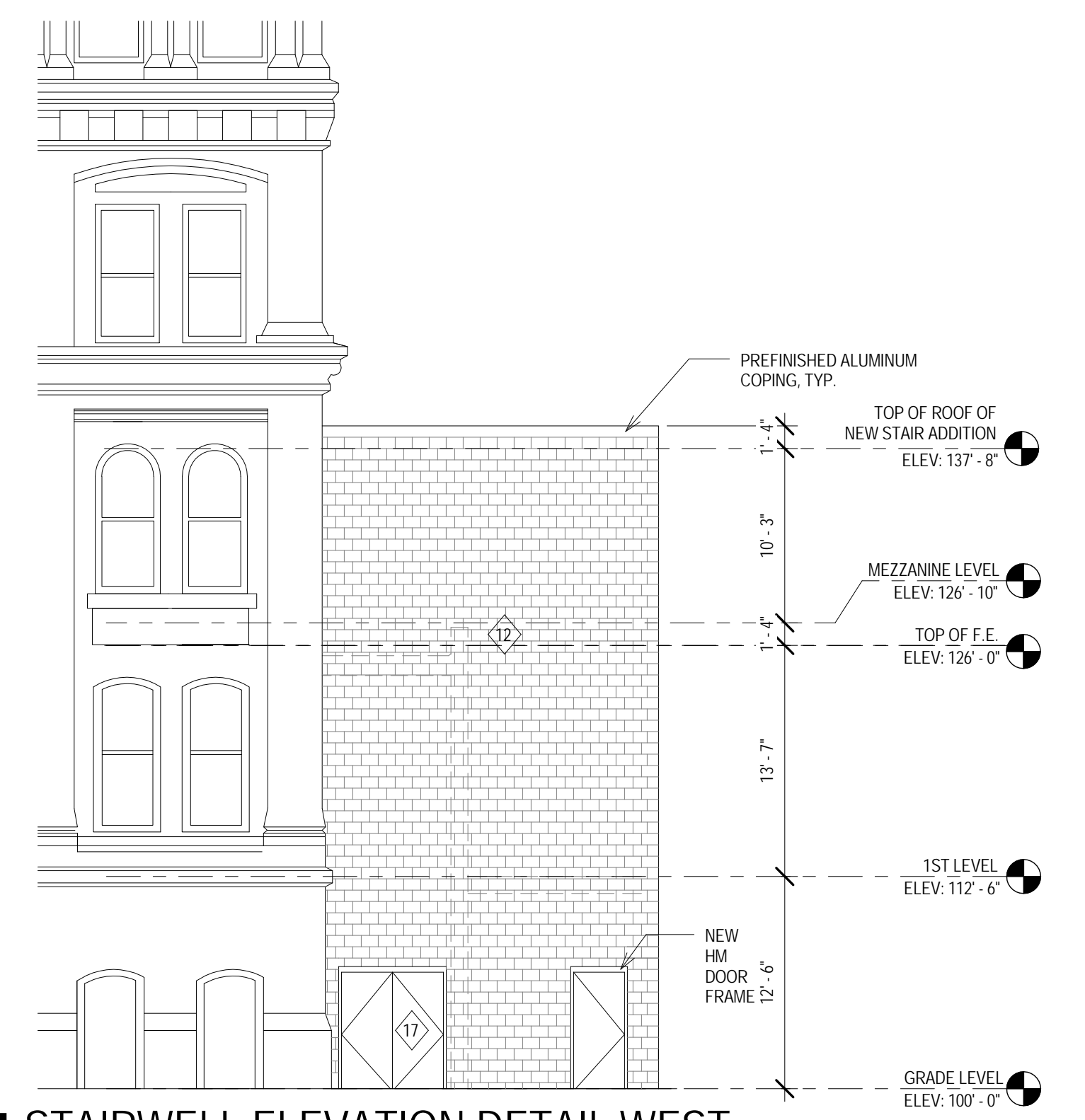


2 NORTH ELEVATION - (MICHIGAN STREET)
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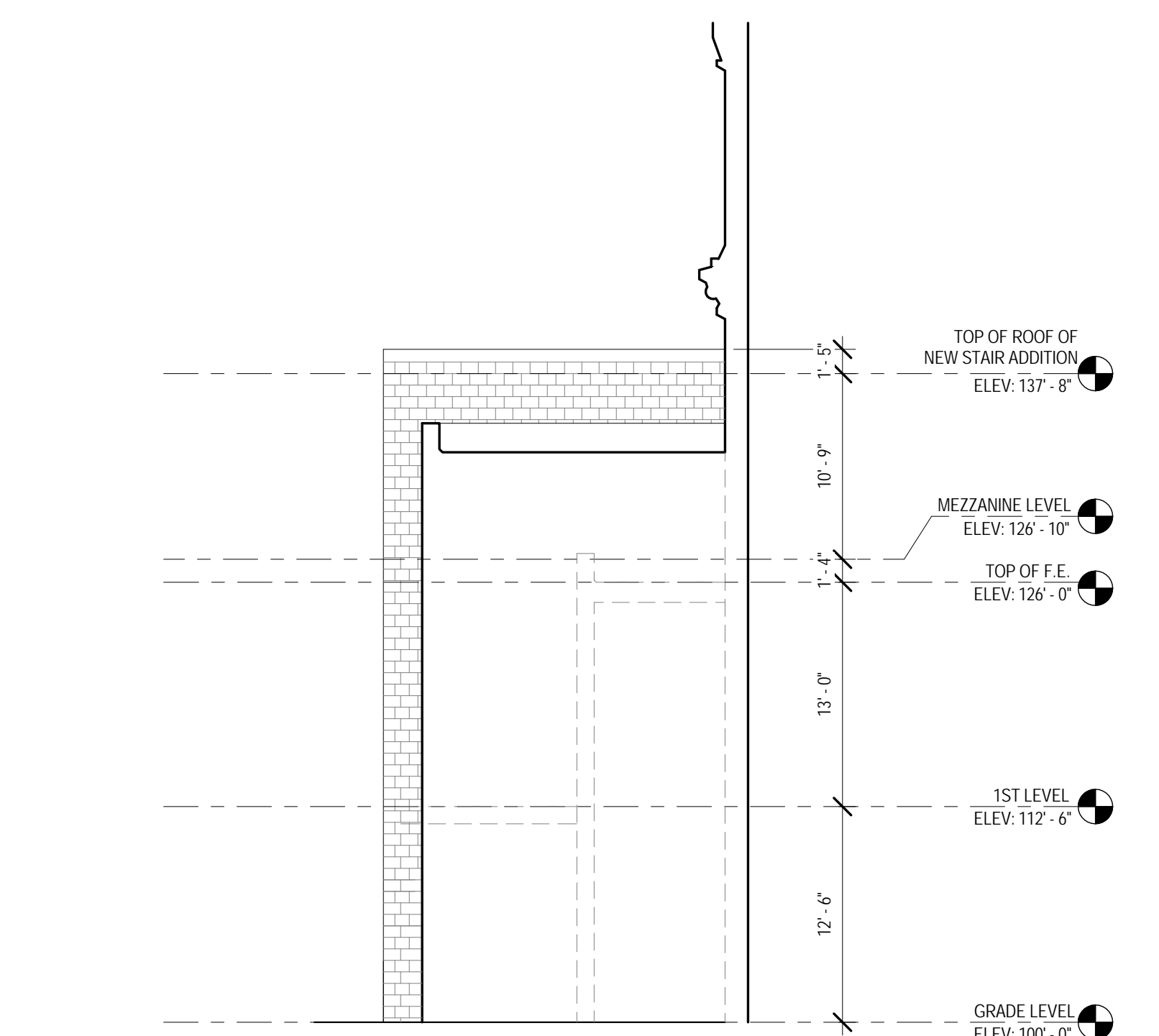
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ELEV: 188' - 8"
- 5TH LEVEL
ELEV: 174' - 6"
- 4TH LEVEL
ELEV: 160' - 4"
- 3RD LEVEL
ELEV: 144' - 8"
- 2ND LEVEL
ELEV: 129' - 0"
- 1ST LEVEL
ELEV: 112' - 6"
- GRADE LEVEL
ELEV: 100' - 0"



7 STAIRWELL ELEVATION DETAIL SOUTH
Scale: 1/8" = 1'-0"



4 STAIRWELL ELEVATION DETAIL WEST
Scale: 1/8" = 1'-0"



1 STAIRWELL ELEVATION DETAIL EAST
Scale: 1/8" = 1'-0"

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SHEET TITLE: EXTERIOR ELEVATIONS

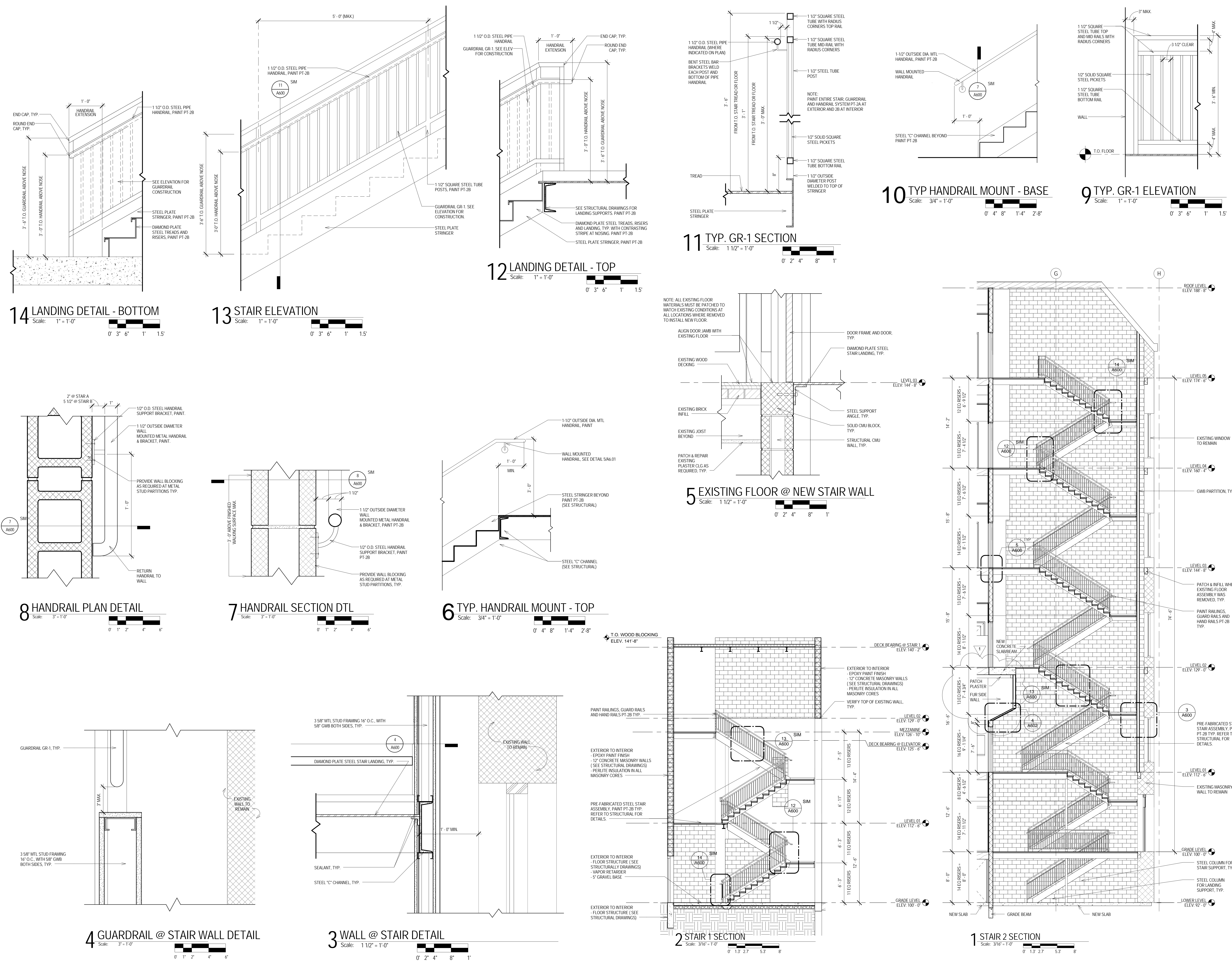
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SET TYPE	FINAL CONSTRUCTION DOCUMENTS
DATE ISSUED	6/10/15
SHEET NUMBER	A400

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REVISIONS	
1	Date 1 Revision 1

SCALE	VARIES
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SET TYPE	FINAL CONSTRUCTION DOCUMENTS
DATE ISSUED	6/10/15
SHEET NUMBER	A600



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