



CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK

Wednesday, July 05, 2023

COMMITTEE MEETING NOTICE

AD 10

BRICCO, Amber E, Agent
DENIZEN MKE - MILWAUKEE LLC
4227 W VLIET St
Milwaukee, WI 53208

You are requested to attend a hearing which is to be held in Room 301-B, Third Floor, City Hall or you may attend virtually using the link below.

Tuesday, July 18, 2023 at 11:00 AM

The access code is <https://meet.goto.com/646911493>. If you wish to call in: +1 (646) 749-3122 and use Access Code: 646-911-493.
Please see the enclosed best practices document for further instructions.

Regarding: Your Class B Tavern and Public Entertainment Premises License Application Requesting Instrumental Musicians, Bands, Comedy Acts, Disc Jockey, Magic Shows, Poetry Readings, Dancing by Performers, Patrons Dancing, Jukebox and Karaoke as agent for "DENIZEN MKE - MILWAUKEE LLC" for "DENIZEN MKE" at 4227 W VLIET St.

There is a possibility that your application may be denied for one or more of the following reasons: The recommendation of the committee regarding the application shall be based on evidence presented at the hearing. Per MCO 85-2.7-4, probative evidence concerning whether or not a new license should be granted may be presented on the following subjects: whether or not the applicant meets the municipal requirements, the appropriateness of the location and premises where the licensed premises is to be located and whether use of the premises for the purposes or activities permitted by the license would tend to facilitate a public or private nuisance or create undesirable neighborhood problems such as disorderly patrons, unreasonably loud noise, litter, and excessive traffic and parking congestion. Probative evidence relating to these matters may be taken from the plan of operation submitted with the license application, if any, but shall not include the content of any music. Evidence regarding the fitness of the location of the premises to be maintained as the principal place of business, including but not limited to whether there is an overconcentration of businesses of the type for which the license is sought; whether the proposal is consistent with any pertinent neighborhood business or development plans, or the location's proximity to areas where children are typically present. The applicant's record in operating similarly licensed premises; and whether or not the applicant has been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the activity to be permitted by the license being applied for or any other factor which reasonably relates to the public health, safety or welfare may also be considered. See attached police report or correspondence.

Notice for applicants with warrants or unpaid fines:

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing. You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings during normal business hours is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of Kilbourn Avenue and Water Street. You must present a copy of the meeting notice to the parking cashier.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: _____

Jim Cooney
License Division Manager

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

200 E. Wells Street, Room 105, City Hall, Milwaukee, WI 53202. www.milwaukee.gov/license
Phone: (414) 286-2238 Fax: (414) 286-3057 Email Address: License@milwaukee.gov



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Jim Cooney
License Division Manager

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200 E. Wells Street, Room 105, City Hall, Milwaukee, WI 53202. www.milwaukee.gov/license
Phone: (414) 286-2238 Fax: (414) 286-3057 Email Address: License@milwaukee.gov

Cox, Andrew

From: License
Sent: Friday, March 10, 2023 10:19 AM
To: Cox, Andrew
Cc: Cooney, Jim
Subject: FW: Denizen Milwaukee LLC

Please add

Marissa Milano
She/her/hers
License Coordinator
City Clerk-License Division
200 E Wells St #105
www.milwaukee.gov/license

REDACTED RECORD



From:
Sent: Friday, March 10, 2023 10:18 AM
To: License <LICENSE@milwaukee.gov>
Subject: Denizen Milwaukee LLC

You don't often get email from [\[redacted\]](#). [Learn why this is important](#)

Good Morning I am objecting the opening of Denizen Mke on 4227 W Vliet St. I believe the opening of an establishment like this one is not a good fit for this mostly residential neighborhood. Parking for the apartments on Vliet St and for Jazzy Rae customers is already extremely limited. Having an event space with no parking lot would cause problems for all of us who rely on street parking. I am also concerned about noise and things like violence that occur when people are consuming alcohol. I have children as do many people in the area. We enjoy this neighborhood so much because it is a great community and place to raise our families. Opening a tavern might disturb the peace in this area that is already rare to find in the Milwaukee area.

Date: Saturday, March 11, 2023
Officer: HUDSON

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Tavern Inspection

Name of Premise: **Denizen**
Address: 4227 W Vliet Street
Phone: 414-429-5787

Owner: Amber Bricco
Owner address: 4304 W Martin Drive
City State Zip: 53208
Owner Phone: 414-429-5787
Owner email: abricco@denizenmke.com

Licensee/Agent: Amber Bricco
Home Address: 4304 W. Martin Drive
City State Zip: Milwaukee, Wisconsin 53208
Phone: 414-429-5787
Email: Abricco@denizenmke.com

Preferred contact: Amber Bricco

Location currently open: YES NO

Projected open date: **October 2023**

Day's open: S M T W Th F SA ALL

Hours of Operation: Sun: N/A 24 hours Y N
Mon: N/A
Tue: N/A
Wed: N/A
Thu: N/A
Fri: 4PM – 12AM
Sat: 4PM – 12 AM

Premise Type: Tavern/Bar
 Restaurant
 Other: This location will be an event space for weddings. The connecting yard space will be used for the ceremony and the inside will be the reception area.

Licenses currently held:

- Alcohol: Yes No Class: #:
Tobacco: Yes No #:
Food: Yes No #:
Extended Hours: Yes No #:
Secondhand Dealer: Yes No Type: #:
Other: Yes No Type: #:
Other: Yes No Type: #:

Exterior Survey:

1. Is the area around the location clean? Yes No
2. What surrounds the location? (Check all the apply)
 - a. Park
 - b. School
 - c. Youth Center
 - d. Church
 - e. Tavern(s) If so, how many
 - f. Residential
 - g. Other businesses
 - h. Other:
3. Can you see from the outside of the location into the interior Yes No
4. Can you see the employees inside of the location from the outside Yes No
5. Are exterior windows free of signage Yes No
6. Is there a parking lot Yes No
7. Is the parking lot clean? Yes No
8. Off-Street parking Yes No
9. Is the parking lot well lit? Yes No
10. Valet Parking Yes No
 - a. Will this lot have a guard? Yes No
 - b. Will this lot have cameras? Yes No
11. Are there areas where a person could conceal themselves Yes No
12. Is there exterior lighting? Yes No. Does it appears to be adequate Yes No
13. Exterior Payphone? Yes No
14. Are there No Loitering Signs posted? Yes No
15. Are there exterior security cameras Yes No How Many:
16. Are the address numbers prominently displayed and easy to see Yes No

Camera Survey:

17. Does this location have security cameras? Yes No
18. Are they in working order? Yes No
19. What format are the cameras?
 - a. Color Yes No
 - b. Digital Yes No
 - c. Recorded Yes No
20. How long is footage stored for later viewing: N/A
21. Are there exterior cameras Yes No How many:
22. Are there interior cameras Yes No How many:

23. Do all employees know how to retrieve recorded digital images/footage? Yes No
 24. Cameras located in parking lot Yes No How many

Interior Survey:

25. What is the planned capacity: **140 people**
 26. What is the minimum number of employees That will be on premise: **4**
 27. Is the storeowner willing to be a standing complainant regarding loitering? Yes No
 a. If yes have them fill out the standing complaint form and give them two of the commercial signs Yes No
 28. Is the interior of the location neat and clean? Yes No
 29. Does an interior camera face the entrance/exit? Yes No
 30. Is there a lockable area that separates employees from customers? Yes No
 31. Are emergency and non-emergency numbers posted near the phone? Yes No
 32. Does the owner know how to contact their police district directly? Yes No
 a. Did you provide a district contact guide to the owner? Yes No

Security

33. How many security personnel are going to be employed: **0**
 34. How ill they be deployed: Interior Exterior
 35. What days will they be deployed Mon Tue Wed Thu Fri Sat Sun
 36. Will the security be managed by business or contracted
 37. Will they be armed Yes No
 38. What type of security measures to be used:
 Wanding/metal detector
 ID Scanner
 Dress Code
 Cover Charge
 Age restriction
 Other

ADDITIONAL COMMENTS/RECOMMENDATIONS:

- This location is in the process of being renovated and used for an event space.
- There were no cameras on the location but the licensee stated they will have them in the future.
- There will be no security at the location.
- Due to it being the day time, observing the lighting on the exterior wasn't completed.
- Informed the licensee of the importance of the "No standing," complaint form which she was willing to sign.
-

- -The location isn't open at this time, however when they are open, the hours will be Friday and Saturday from 4PM – 12am.
- I wasn't able to see the front of the location because it was boarded up.

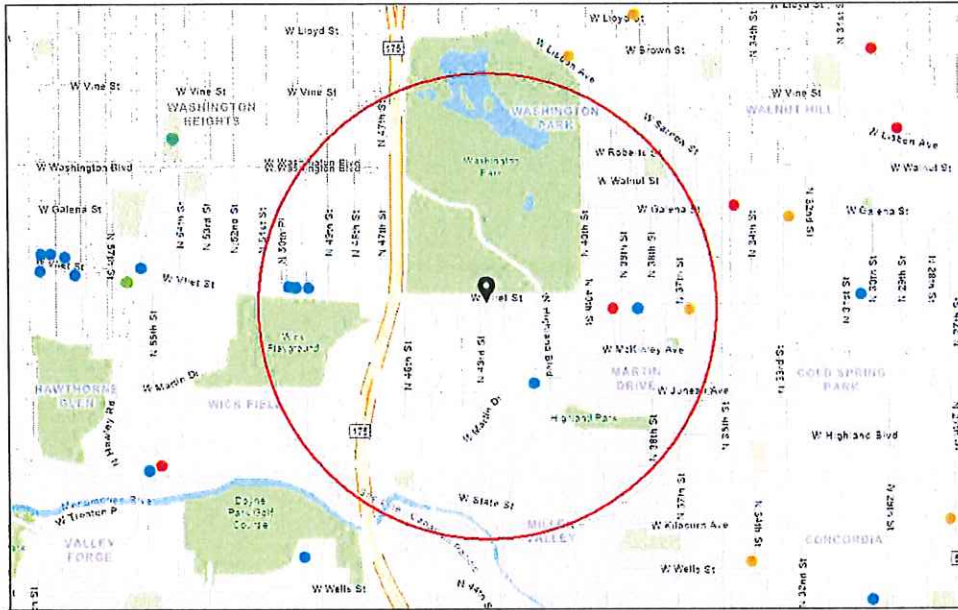


Concentration Map for 4227 W Vliet St

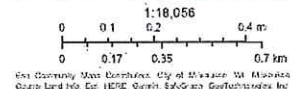
Area of Interest (AOI) Information

Area : 21,862,585.68 ft²

Feb 27 2023 15:31:10 Central Standard Time



- Alcohol Licenses (active)
- Class A Fermented Malt Beverage
- Class B Fermented Malt Beverage
- Class B Tavern
- Class A Liquor and Malt
- Class C Wine Retailer



Summary

Name	Count	Area(ft ²)	Length(mi)
Alcohol Licenses	9		

Alcohol Licenses

#	Legal Entity	Trade Name	Licensee	Address	License Type Name	Total Capacity	Expiration Date	Count
1	FAST STOP FOOD MARKET, LLC	FAST STOP FOOD MARKET	HARVINDER B SINGH, Agt	3611 W VLIET ST	Class A Fermented Malt Beverage Retailer's License		6/2/2023, 7:00 PM	1
2	CARADARO CLUB RESTAURANT GROUP LLC	CARADARO CLUB	WALLACE M KUTCH, Agt	5010 W VLIET ST	Class C Wine Retailer's License		5/23/2023, 7:00 PM	1
3	CARADARO CLUB RESTAURANT GROUP LLC	CARADARO CLUB	WALLACE M KUTCH, Agt	5010 W VLIET ST	Class B Fermented Malt Beverage Retailer's License	99	5/23/2023, 7:00 PM	1
4	THE FIELD HOUSE, INC	DANA'S FIELDHOUSE	DANA N BLODGETT, Agt	5004 W VLIET ST	Class B Tavern License	70	7/5/2023, 7:00 PM	1
5	PTP ENTERPRISE S, INC	O'BRIENS PUB	JOEL J KLAMANN, Agt	4928 W VLIET ST	Class B Tavern License	150	7/22/2023, 7:00 PM	1
6	Indemnity Financial Group LLC	2 Mesa	Maricela Feker, Agt	4110 W Martin DR	Class B Tavern License		7/10/2023, 7:00 PM	1
7	Wisconsin Liquor and Food Three, Inc.	ABC Liquor	NAVDIP KAUR, Agt	3901 W VLIET ST	Class A Malt & Class A Liquor License		7/26/2023, 7:00 PM	1
8	The Gymnasium, LLC	Dandy	Ryan J Day, Agt	5020 W VLIET ST	Class B Tavern License		9/20/2023, 7:00 PM	1
9	TRICICLO PERU LLC	TRICICLO PERU	Mario J Diaz Herrera, Agt	3801&3805 W VLIET ST	Class B Tavern License		2/5/2024, 6:00 PM	1

Establishments within a 0.5 miles radius centered on area of interest.



Wednesday, July 05, 2023



Notice of Public Hearing

Blank Notice

BRICCO, Amber E, Agent
DENIZEN MKE at 4227 W VLIET St

Class B Tavern and Public Entertainment Premises License Application Requesting Instrumental Musicians, Bands, Comedy Acts, Disc Jockey, Magic Shows, Poetry Readings, Dancing by Performers, Patrons Dancing, Jukebox and Karaoke

Tuesday, July 18, 2023 at 11:00 AM

To whom it may concern:

The above application has been made by the above named applicant(s). This requires approval from the Licenses Committee and the Common Council of the City of Milwaukee. The hearing before the Licenses Committee will take place on 7/18/2023 at 11:00 AM in Room 301-B, Third Floor, City Hall. This is a public hearing. Those wishing to view the proceeding are able to do so via the City Channel – Channel 25 on Spectrum Cable – or on the Internet at <http://city.milwaukee.gov/citychannel>. Those wishing to provide oral testimony via phone or internet are asked to contact the staff assistant, Yadira Melendez at (414) 286-2775 or stasst5@milwaukee.gov for necessary information. Please make such requests no later than one business day prior to the start of the meeting. You are not required to attend the hearing, but please see the information below if you would like to provide testimony. Once the Licenses Committee makes its recommendation, this recommendation is forwarded to the full Common Council for approval at its next regularly scheduled hearing.

Important details for those wishing to provide information for the Licenses Committee to consider when making its recommendation:

1. The license application is scheduled to be heard at the above time. Due to other hearings running longer than scheduled, you may have to wait some time to provide your testimony.
2. You must appear in person and testify as to matters that you have personally experienced or seen. (You cannot provide testimony for your neighbor, parent or anyone else; this is considered hearsay and cannot be considered by the committee.)
3. No letters or petitions can be accepted by the committee (unless the person who wrote the letter or the persons who signed the petition are present at the committee hearing and willing to testify).
4. Persons opposed to the license application are given the opportunity to testify first; supporters may testify after the opponents have finished.
5. When you are called to testify, you will be sworn in and asked to give your name, and address. (If your first and/or last names are uncommon please spell them.)
6. You may then provide testimony.
 - a. Include only information relating to the above license application.
 - b. Include only information you have personally witnessed or seen.
 - c. Provide concise and relevant information detailing how this business has affected or may affect the peaceful enjoyment of your neighborhood.
 - d. If by the time you have the opportunity to testify, the information you wish to share has already been provided to the committee, you may state that you agree with the previous testimony. Redundant or repetitive testimony will not assist the committee in making its recommendation.
7. After giving your testimony, the members of the Licenses Committee and the licensee may ask questions regarding the testimony you have given or other factors relating to the license application.
8. Business Competition is not a valid basis for denial or non-renewal of a license.
Please Note: If you have submitted an objection to the above application your objection cannot be considered by the committee unless you personally testify at the hearing.

OCCUPANT	MAIL ADDRESS	CITY STATE ZIP
CURRENT OCCUPANT	1309 N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1311 N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1312 N 44TH ST	MILWAUKEE, WI 53208-2729
CURRENT OCCUPANT	1314 N 43RD ST	MILWAUKEE, WI 53208-2723
CURRENT OCCUPANT	1314 N 44TH ST	MILWAUKEE, WI 53208-2729
CURRENT OCCUPANT	1315 N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1316 N 43RD ST	MILWAUKEE, WI 53208-2723
CURRENT OCCUPANT	1320 N 43RD ST	MILWAUKEE, WI 53208-2723
CURRENT OCCUPANT	1320 N 44TH ST	MILWAUKEE, WI 53208-2729
CURRENT OCCUPANT	1321 N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1321A N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1322 N 44TH ST	MILWAUKEE, WI 53208-2729
CURRENT OCCUPANT	1324 N 43RD ST	MILWAUKEE, WI 53208-2723
CURRENT OCCUPANT	1324 N 44TH ST	MILWAUKEE, WI 53208-2729
CURRENT OCCUPANT	1325 N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1326 N 43RD ST	MILWAUKEE, WI 53208-2723
CURRENT OCCUPANT	1328 N 44TH ST	MILWAUKEE, WI 53208-2729
CURRENT OCCUPANT	1329 N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1329A N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1330 N 44TH ST	MILWAUKEE, WI 53208-2729
CURRENT OCCUPANT	1332 N 43RD ST	MILWAUKEE, WI 53208-2723
CURRENT OCCUPANT	1333 N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1334 N 43RD ST	MILWAUKEE, WI 53208-2723
CURRENT OCCUPANT	1335 N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1336 N 44TH ST	MILWAUKEE, WI 53208-2729
CURRENT OCCUPANT	1336A N 44TH ST	MILWAUKEE, WI 53208-2729
CURRENT OCCUPANT	1337 N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1338 N 43RD ST	MILWAUKEE, WI 53208-2723
CURRENT OCCUPANT	1339 N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1340 N 43RD ST	MILWAUKEE, WI 53208-2723
CURRENT OCCUPANT	1341 N 43RD ST	MILWAUKEE, WI 53208-2724
CURRENT OCCUPANT	1342 N 44TH ST	MILWAUKEE, WI 53208-2729
CURRENT OCCUPANT	1342A N 44TH ST	MILWAUKEE, WI 53208-2729
CURRENT OCCUPANT	1348 N 44TH ST# 1	MILWAUKEE, WI 53208-2731
CURRENT OCCUPANT	1348 N 44TH ST# 2	MILWAUKEE, WI 53208-2731
CURRENT OCCUPANT	1348 N 44TH ST# 21	MILWAUKEE, WI 53208-2731
CURRENT OCCUPANT	1348 N 44TH ST# 22	MILWAUKEE, WI 53208-2731
CURRENT OCCUPANT	1348 N 44TH ST# 23	MILWAUKEE, WI 53208-2731
CURRENT OCCUPANT	1348 N 44TH ST# 24	MILWAUKEE, WI 53208-2732
CURRENT OCCUPANT	1348 N 44TH ST# 25	MILWAUKEE, WI 53208-2732
CURRENT OCCUPANT	1348 N 44TH ST# 26	MILWAUKEE, WI 53208-2732
CURRENT OCCUPANT	1348 N 44TH ST# 3	MILWAUKEE, WI 53208-2731
CURRENT OCCUPANT	1348 N 44TH ST# 31	MILWAUKEE, WI 53208-2732
CURRENT OCCUPANT	1348 N 44TH ST# 32	MILWAUKEE, WI 53208-2732
CURRENT OCCUPANT	1348 N 44TH ST# 33	MILWAUKEE, WI 53208-2732
CURRENT OCCUPANT	1348 N 44TH ST# 34	MILWAUKEE, WI 53208-2732

CURRENT OCCUPANT	1348 N 44TH ST# 35	MILWAUKEE, WI 53208-2732
CURRENT OCCUPANT	1348 N 44TH ST# 36	MILWAUKEE, WI 53208-2732
CURRENT OCCUPANT	1348 N 44TH ST# 4	MILWAUKEE, WI 53208-2731
CURRENT OCCUPANT	1351 N 42ND ST	MILWAUKEE, WI 53208-2718
CURRENT OCCUPANT	1353 N 42ND ST	MILWAUKEE, WI 53208-2718
CURRENT OCCUPANT	1359 N 42ND ST	MILWAUKEE, WI 53208-2718
CURRENT OCCUPANT	1363 N 42ND ST	MILWAUKEE, WI 53208-2718
CURRENT OCCUPANT	1364 N 42ND ST	MILWAUKEE, WI 53208-2717
CURRENT OCCUPANT	1367 N 42ND ST	MILWAUKEE, WI 53208-2718
CURRENT OCCUPANT	1368 N 42ND ST	MILWAUKEE, WI 53208-2717
CURRENT OCCUPANT	1373 N 42ND ST	MILWAUKEE, WI 53208-2718
CURRENT OCCUPANT	1374 N 42ND ST	MILWAUKEE, WI 53208-2717
CURRENT OCCUPANT	1377 N 42ND ST	MILWAUKEE, WI 53208-2718
CURRENT OCCUPANT	1377A N 42ND ST	MILWAUKEE, WI 53208-2718
CURRENT OCCUPANT	1378 N 42ND ST	MILWAUKEE, WI 53208-2717
CURRENT OCCUPANT	4141 W VLIET ST	MILWAUKEE, WI 53208-2766
CURRENT OCCUPANT	4143 W VLIET ST	MILWAUKEE, WI 53208-2766
CURRENT OCCUPANT	4203 W VLIET ST	MILWAUKEE, WI 53208-2767
CURRENT OCCUPANT	4211 W VLIET ST# 1	MILWAUKEE, WI 53208-2767
CURRENT OCCUPANT	4211 W VLIET ST# 2	MILWAUKEE, WI 53208-2767
CURRENT OCCUPANT	4211 W VLIET ST# 3	MILWAUKEE, WI 53208-2767
CURRENT OCCUPANT	4211 W VLIET ST# 4	MILWAUKEE, WI 53208-2767
CURRENT OCCUPANT	4217 W VLIET ST	MILWAUKEE, WI 53208-2767
CURRENT OCCUPANT	4219 W VLIET ST	MILWAUKEE, WI 53208-2767
CURRENT OCCUPANT	4303A W VLIET ST	MILWAUKEE, WI 53208-2768
CURRENT OCCUPANT	4307A W VLIET ST	MILWAUKEE, WI 53208-2768
CURRENT OCCUPANT	4307B W VLIET ST	MILWAUKEE, WI 53208-2768
CURRENT OCCUPANT	4311A W VLIET ST	MILWAUKEE, WI 53208-2768
CURRENT OCCUPANT	4315A W VLIET ST	MILWAUKEE, WI 53208-2768

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Total Records: 75

Radius 250.0 feet and Center of the Circle: 4227 W Vliet St



BUSINESS LICENSE PLAN OF OPERATION

ccl-busplan 5/12/2020

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license e-mail address: license@milwaukee.gov

1. Type of Business

Applying for: Extended Hours (12AM to 5AM) - If a food establishment, check all that apply: Delivery Drive Thru Dining Room
 Self Service Laundry Massage Establishment Filling Station
 Other (supplemental application for specific license also required).

Provide a detailed description of the type of business you plan on operating:

Denzan Mike will be an event space hosting weddings & community events

Do you have any experience operating this type of business? No Yes If yes, explain: *Worked at wedding/event venues for 10 years*

2. Business Operations

- a. Proposed Opening Date: October 1, 2023
- b. Is this premise under construction? No Yes If yes, list estimated completion date: September 16, 2023
- c. Is this a franchise? No Yes
- d. Is this premises currently licensed? No Yes If yes, list type of license: _____
- e. Is the current licensee operating? No Yes If no, list date closed: _____
- f. Do you have future plans for other businesses, licenses or permits at this location? No Yes
If yes, explain: _____
- g. Have you previously held an Extended Hours License in Milwaukee? No Yes
If yes, list address(es): _____
- h. Are other businesses operating in the same building? No Yes If yes, describe: _____

3. Litter & Noise

- a. How are grounds kept clean? Sweep Pressure Wash Pick Up Litter Other: _____
- b. How often will grounds be cleaned? Daily Weekly As Needed Monthly Other: _____
- c. Grounds cleaned by: Licensee Building Owner Employees Hired Maintenance Other: _____
- d. How are noise issues prevented and/or addressed? Security Manager approaches customer(s) Call Police
 Signs Posted Other: *A privacy fence will wrap around the courtyard keepir*
- e. Will a sound amplification system be used? No Yes If yes, describe: DJs will bring in speakers for weddings

4. Smoking & Sanitation

- a. Are there designated outdoor smoking areas? No Yes If yes, describe: Private patio space
- b. Number of Garbage Cans: Inside: 8 Locations: Event space, behind bar, bathrooms, catering space
Outside: 8 Locations: Distributed around patio and front entrance, dumpster ei
- c. Is a crowd control barrier used? No Yes If yes, describe: _____
- d. How many restrooms are on the premises? 4
- e. Name of solid waste contractor: Advanced Disposal Waste Management Other: _____

5. Security

- a. Are there onsite parking spaces? No Yes If yes, how many? _____ and describe the parking security plan: Street parking on north and south sides of Vliet St. Owners and employees to complete property walk arou
- b. Is there a loading zone? No Yes If yes, describe the loading area security plan: We will be getting a loading zor with assistance of Alderman Murphy, at the front of our building on Vliet St.
- c. Will you have security personnel on premise? No Yes If yes, how many? _____ and answer the following:
 What are their responsibilities? _____
 Is security equipment used? No Yes If yes, describe _____
 List their licensing, certification, or training credentials _____
- d. Will there be security cameras? No Yes If yes, how many? ⁴ _____ and list locations: _____
Front entrance, side patio entrance, above bar and basement
- e. Will searches/identification checks be done upon entry? No Yes If yes, describe _____

6. Percentage of Sales (must total 100%)

Alcohol <u>50</u> %	Food _____ %	Secondhand Merchandise _____ %	Precious Metals & Gems _____ %
Entertainment <u>50</u> %	Cigarettes _____ %	Personal Services (such as tattoo, body piercing, salon, tailor, tanning, etc.) _____ %	Other _____ % Describe: _____
Pawnbroker Activity _____ %	Salvaged Materials _____ % (such as scrap metal)		

7. Businesses/Licenses on the Premises (check all that apply):

Type 1

- Full Service Restaurant Cafe/Coffee Shop Deli or Fast Food Restaurant Private/Fraternal/Veterans Club
- Night Club Tavern Cocktail Lounge Teen Club
- Banquet Hall Sports Facility Bowling Alley
- Hotel/Motel : Number of Floors: _____ Rooming House: Number of Floors: _____
 Number of Rooms: _____ Number of Rooms: _____

Type 2

- Liquor Store Corner Store Supermarket Convenience Store
- Gas Station Amusement/Phonograph Distributor Recycling, Salvage or Towing
- Used Car Dealer Personal Service Establishment
 (such as tattoo business, hair salon, tailor, etc.) Recording Studio

What other licenses/permits will you hold at this location? (check all that apply)

- Occupancy Permit Cigarette & Tobacco Gas Station Extended Hours Class "B" Tavern Weights & Measures
- Secondhand Dealer Precious Metal & Gem Other: Seller's Permit

8. Legal Capacity (only if a Type 1 premises in #7 above)

Capacity 148 (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

9. Premises Description

- a. Identify all area(s) of the premises that will be used in operating this business (include areas used only for storage):
 1st Floor 2nd Floor Basement Storage Patio Beer Garden Sidewalk Café Deck Rooftop
 Other: Describe: _____
- b. Describe Location: Major Thoroughfare Secondary Street Other: W. Vliet St
- c. Nearest Major Cross Street: N 35th Street
- d. Describe Building: Free Standing Building Strip Mall Other: _____
- e. Describe Premises Structure: Single Story Multi-Story - # of Stories _____ Other: _____
- f. Describe Surrounding Area: Commercial Residential Industrial Other: _____
- g. Building Owner Name: Rachael Flood Phone Number: 8152123748
 Building Owner Address: 4304 W. Martin Drive Milwaukee, WI 53208

10. Hours of Operation & Customers

Will customers be entering the premises? No Yes

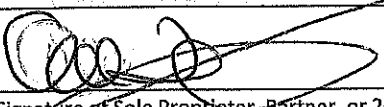
Day of the Week	Proposed Hours of Operation:		Estimated Number of Customers expected each day	Potential Age Range of Customers	Class B Tavern Applicant Only: Age Restriction (If none, write 'None')
	Open Time (include a.m. or p.m.)	Close Time (include a.m. or p.m.)			
Sunday	12:00pm	12:00am	100	18 - 85	None
Monday	8am	5:00pm	2	22 - 40	None
Tuesday	8am	5:00pm	2	22 - 40	None
Wednesday	8am	5:00pm	2	22 - 40	None
Thursday	8am	5:00pm	2	22 - 40	None
Friday	12:00pm	12:00am	120	18 - 85	None
Saturday	12:00pm	12:00am	140	18 - 85	None

An Extended Hours Establishment License is required for any convenience store, filling station, personal service establishment (such as tattoo, body piercing, salon, tailor, tanning, etc.), recording studio or restaurant which is open between the hours of 12:00 a.m. and 5:00 a.m.

Alcohol Establishments Class A: 8:00 am to 9:00 pm Sunday thru Saturday
 Permitted Hours of Operation: Class B: 6:00 am to 2:00 am Sunday thru Thursday, 6:00 am to 2:30 am Friday & Saturday

Entertainment Outdoor Closing Hours: 10:00pm Sunday-Thursday; 12:00am Friday & Saturday; unless a different time, either earlier or later, is established by the Common Council in its approval of the licensee's plan of operation.

11. Signature(s)


 Signature of Sole Proprietor, Partner, or 20% or more Shareholder
 (If there are no 20% or more shareholders,
 Corporate Officer-print name/title and sign)

 Signature of additional partner or 20% or more shareholder

See Application Information for a complete list of all required application forms.



ALCOHOL BEVERAGE & PUBLIC ENTERTAINMENT PREMISES SUPPLEMENTAL APPLICATION

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 e-mail address: license@milwaukee.gov www.milwaukee.gov/license

Legal Entity Name: Denizen MKA

Premise Address: 4227 W Vliet Street

Proximity of Premises to Church, School, Daycare Center or Hospital

Is the building within 300 feet of any church, school, daycare center or hospital? No Yes

"Service Bar Only" Designation

If applying for Class B or C license, are you applying for "Service Bar Only"? No Yes
Service Bar Only means customers cannot sit at the bar. Alcohol is served to employees who serve patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.

Business Information

a) Are you taking out this application for anyone that may not be eligible for a license? No Yes
If yes, list their name and address: _____

b) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business? No Yes
If no, list the name and address of the person(s) who will: _____

Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.

c) Does anyone else have money invested or any other interest in this business? No Yes
If yes, explain: _____

d) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business? No Yes
If yes, list name and address: _____

Property Information (New & Transfer Applicants Only)

a) Do you own or lease the building? Own Lease

b) Who owns the fixtures (for example, coolers, etc.)? Denizen MKA

c) Are you purchasing the stock and/or fixtures? No Yes If yes, amount paid \$ 12,000

d) Total amount paid for business \$ 925,000

e) Total amount paid for goodwill of the business \$ _____
Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.

f) Have you made arrangements with the seller for payment of personal property taxes? No Yes

Lease Information (New & Transfer Applicants who are leasing the premises only)

a) Date lease begins _____ Ends _____

b) Monthly rental \$ _____

c) Do you have an option to renew the lease? No Yes

d) Does your lease allow for assignment to another party without the consent of the owner? No Yes

e) For what length of time have you been guaranteed occupancy (number of years)? _____

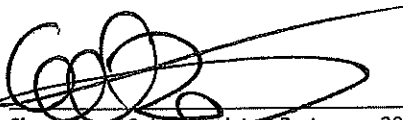
Lease Information (Continued)

- f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? No Yes If yes, explain _____
- g) Does the present owner or occupant object to the granting of your license? No Yes
If yes, explain _____

Change of Agent Applicants Only

Have there been any changes to the floor plan since the last application was submitted? No Yes
If no, a new floor plan is not required. If yes, submit a new floor plan and explain the change(s):

Signature



Signature of Sole Proprietor, Partner or 20% or More Shareholder
(If no 20% or more Shareholder, Corporate Officer - print name/title and sign)

Note: All information contained in this application is subject to approval by the Common Council.
Deviating from approved plan of operation will subject licensee to citations, and/or suspension or non-renewal of the license.
Contact the License Division for information on how to request changes.


New and transfer of premises applicants must submit the following:

- Detailed floor plan
 If a restaurant, copy of the menu



PUBLIC ENTERTAINMENT PREMISES LICENSE SUPPLEMENTAL APPLICATION

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license e-mail address: license@milwaukee.gov

PREMISES ADDRESS: <u>4227 W Vliet Street, Milwaukee, WI 53208</u>			
TYPES OF ENTERTAINMENT (CHECK ALL THAT APPLY)			
<input checked="" type="checkbox"/> Instrumental Musicians	<input type="checkbox"/> Battle of the Bands	<input checked="" type="checkbox"/> Dancing by Performers	<input type="checkbox"/> Amusement Machines How many? _____
<input checked="" type="checkbox"/> Bands	<input checked="" type="checkbox"/> Comedy Acts	<input type="checkbox"/> Adult Entertainment/ Strippers/Erotic Dance	<input type="checkbox"/> Concerts Approx. # per year? _____
<input type="checkbox"/> Bowling Alley How many? _____	<input checked="" type="checkbox"/> Disc Jockey	<input type="checkbox"/> Wrestling	<input type="checkbox"/> Theatrical Performances Approx. # per year? _____
<input type="checkbox"/> Pool Tables How many? _____	<input checked="" type="checkbox"/> Magic Shows	<input type="checkbox"/> Patron Contests	<input checked="" type="checkbox"/> Jukebox
<input type="checkbox"/> Motion Pictures (movies by admission) - How many? _____	<input checked="" type="checkbox"/> Poetry Readings	<input checked="" type="checkbox"/> Patrons Dancing	<input checked="" type="checkbox"/> Karaoke
<input type="checkbox"/> Other: _____			
<i>Entertainment Outdoor Closing Hours: 10:00pm Sunday-Thursdays; 12:00am Friday & Saturday; unless a different time, either earlier or later, is established by the Common Council in its approval of the licensee's plan of operation.</i>			
PROMOTERS/SOUND AMPLIFICATION			
Will promoters ever be used for any of the entertainment? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, Describe:			
At any time will sound amplification be used? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If Yes, Describe: <u>DJs will have speakers / sound systems for bands</u>			
LEGAL CAPACITY OF PREMISES			
<u>148</u> (Call the Development Center at 414-286-8211 with questions.) Legal capacity determines the fee for your Public Entertainment Premises License. If you would like to request the license be approved with a lower capacity than that listed above, indicate the lower capacity here: _____. If approved, this lower capacity will print on your license and override the capacity listed on your Occupancy Permit.			
ACKNOWLEDGEMENT/SIGNATURE			
I understand that after the license has been issued, a change to the plan of operation will require a written request to change and approval from the Common Council. I agree to inform the City Clerk within 10 days of any substantial changes in the information supplied in this application. I understand that I shall not willfully refuse to provide the services offered under this license, or add charges or require deposits not required of the general public because of race, color, sex, religion, national origin or ancestry, age, handicap, lawful source of income, marital status, sexual orientation, gender identity or expression, familial status or the fact that a person is now or has been a member of the military service, whether dressed in uniform or not; and shall not seek such information as a condition of employment, or penalize any employee or discriminate in the selection of personnel for training or promotion on the basis of such information.			
I have knowledge of the City Ordinances currently regulating public entertainment, and understand that the license may be subject to suspension, non-renewal or revocation, if I violate any rule, law or regulation of the city of Milwaukee and State of Wisconsin.			
 _____ Signature of Sole Proprietor, Partner or 20% or More Shareholder (If no 20% or more Shareholder, Corporate Officer - print name/title and sign)			

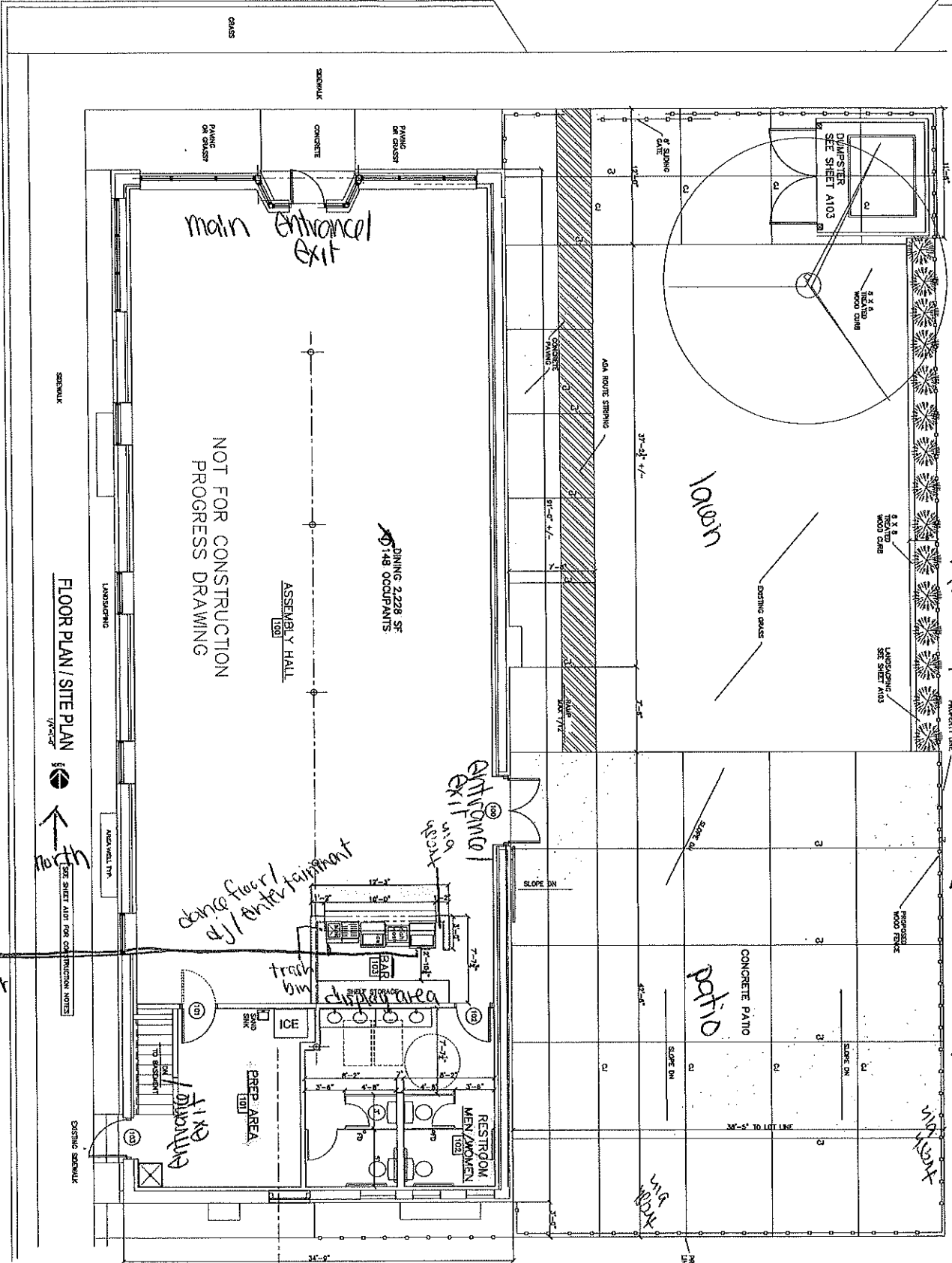
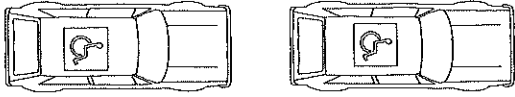
Office Use Only:

Initials: _____ Filed: _____ App: _____

Only PEP? No Yes If Yes, Queue to MPD and Email Mgrs/Team Lead (must be heard w/in 60 days)

street parking

Violet Street



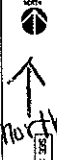
main Entrance/Exit

NOT FOR CONSTRUCTION
PROGRESS DRAWING

DINING 2,228 SF
148 OCCUPANTS

ASSEMBLY HALL
100

FLOOR PLAN / SITE PLAN



SEE SHEET A101 FOR CONSTRUCTION NOTES

dance floor /
DJ / entertainment

entrance
exit

trash bin
dishwasher
ICE
SINK

PREP AREA
101

RESTROOM
MEN/WOMEN
102

patio
CONCRETE PATIO

2,228 sf
148 OCC

3,100 total
square feet

amber
brico /
agent

Denizen M
4227 W
Violet St
Milwaukee
WI 53208

2/27/2023

parts
r/c/h

ice bins
dish washer
sink

A100
DATE 10-9-22
DATE 10-9-22
DESIGNED FOR

DENIZEN MKE INTERIOR REMODELING

4227 W. Violet Street
Milwaukee, Wisconsin

Vision

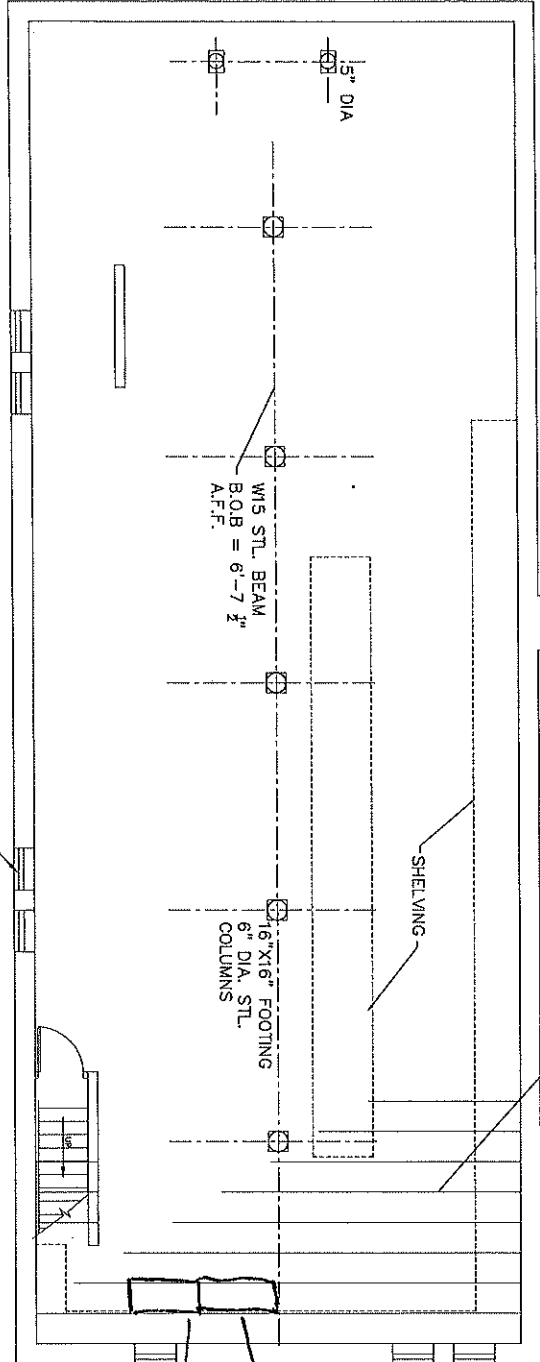
Architects & Engineers
5565 S. 25th Street
Milwaukee, Wisconsin 53221
Cell: (414) 897-4723
lycj9800@gmail.com

NO.	DATE	REVISIONS	BY

Violet Street

123rd Street

EXISTING BASEMENT PLAN



FIRST FLOOR STEEL JOISTS ABOVE
AT 24" O.C.
(12' DEEP, B.O.J = 6'-11" A.F.F.)

1169" x 109" x 112"
 1169" x 109" x 112"
 5311 x 3211
 8 feet tall
 cooler storage
 1169" x 109" x 112"

Amber Bricco/Agent

Denizen MKR
 4227 w Violet Street
 Milwaukee, WI 53208
 3,100 square feet

2/14/2022