

NEW RESIDENCE

Milwaukee, Wisconsin

PROJECT

CONSULTANTS

DRAWINGS

Landscape
TBD

Builder

Architectural
Striegel-Agacki Studio
1430 Underwood Avenue
Wauwatosa, Wisconsin 53213

Ph 414 793.3586

Structural

Plumbing
Design-Build

Mechanical
Design-Build

Electrical
Design-Build

- G1.0 - PROJECT DATA, GENERAL NOTES
- A0.0 - SITE PLAN
- A1.1 - FLOOR PLANS
- A1.2 - FLOOR PLANS
- A3.1 - EXTERIOR ELEVATIONS
- A3.2 - WINDOW SCHEDULE

NEW RESIDENCE
113 West Lloyd
Milwaukee, Wisconsin 53212

**STRIEGEL
AGACKI
STUDIO**
1430 UNDERWOOD AVENUE
UNIT 2
WAUWATOSA, WI 53213

OWNER:
Vera Property Management
Brookfield, Wisconsin 53005

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SCALE: As Noted
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DRAWN BY:
PLOT DATE: APR 19, 2024
JOB NUMBER:
TITLE:
SHEET

SHEET NUMBER
T1.0

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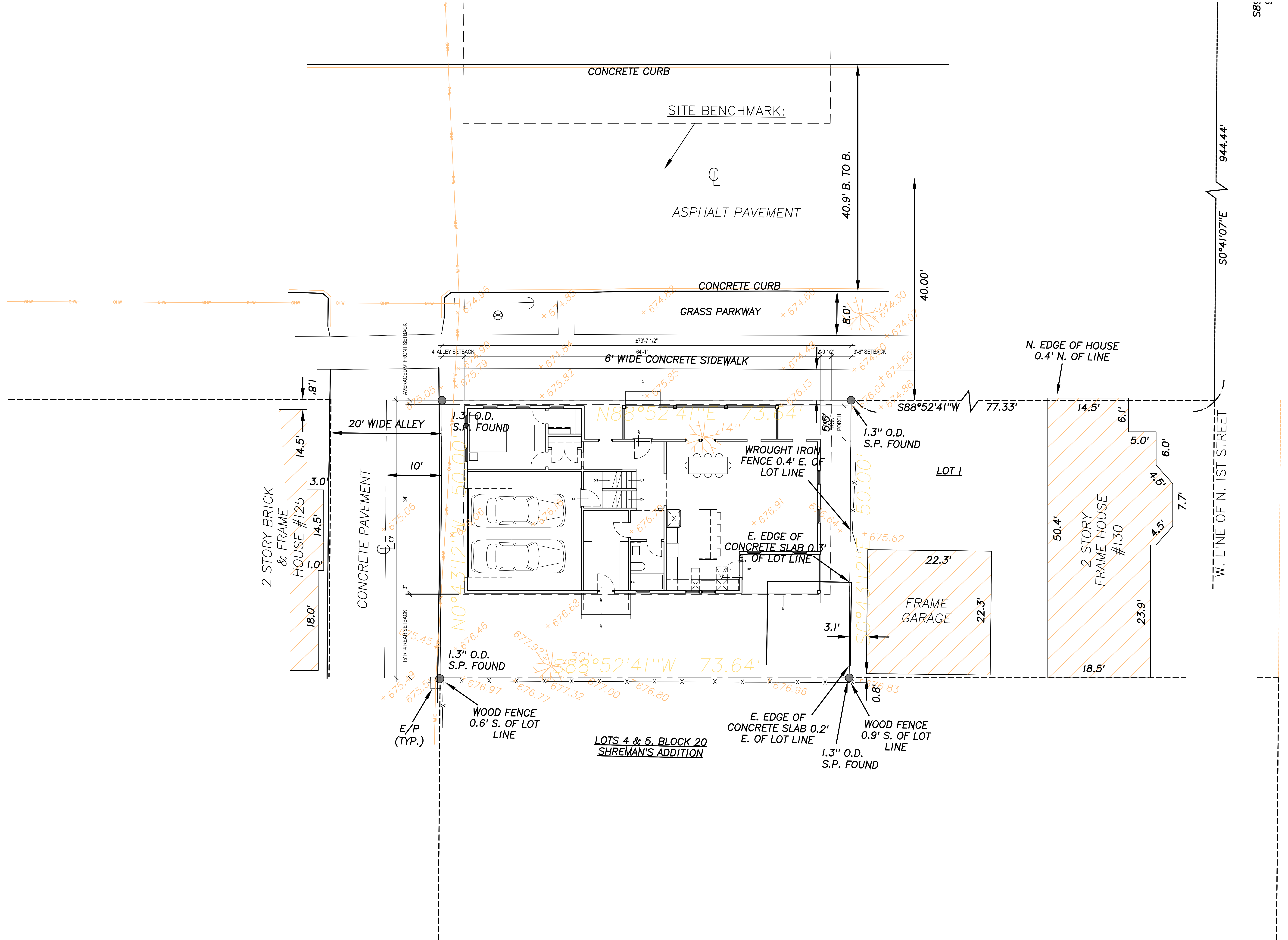
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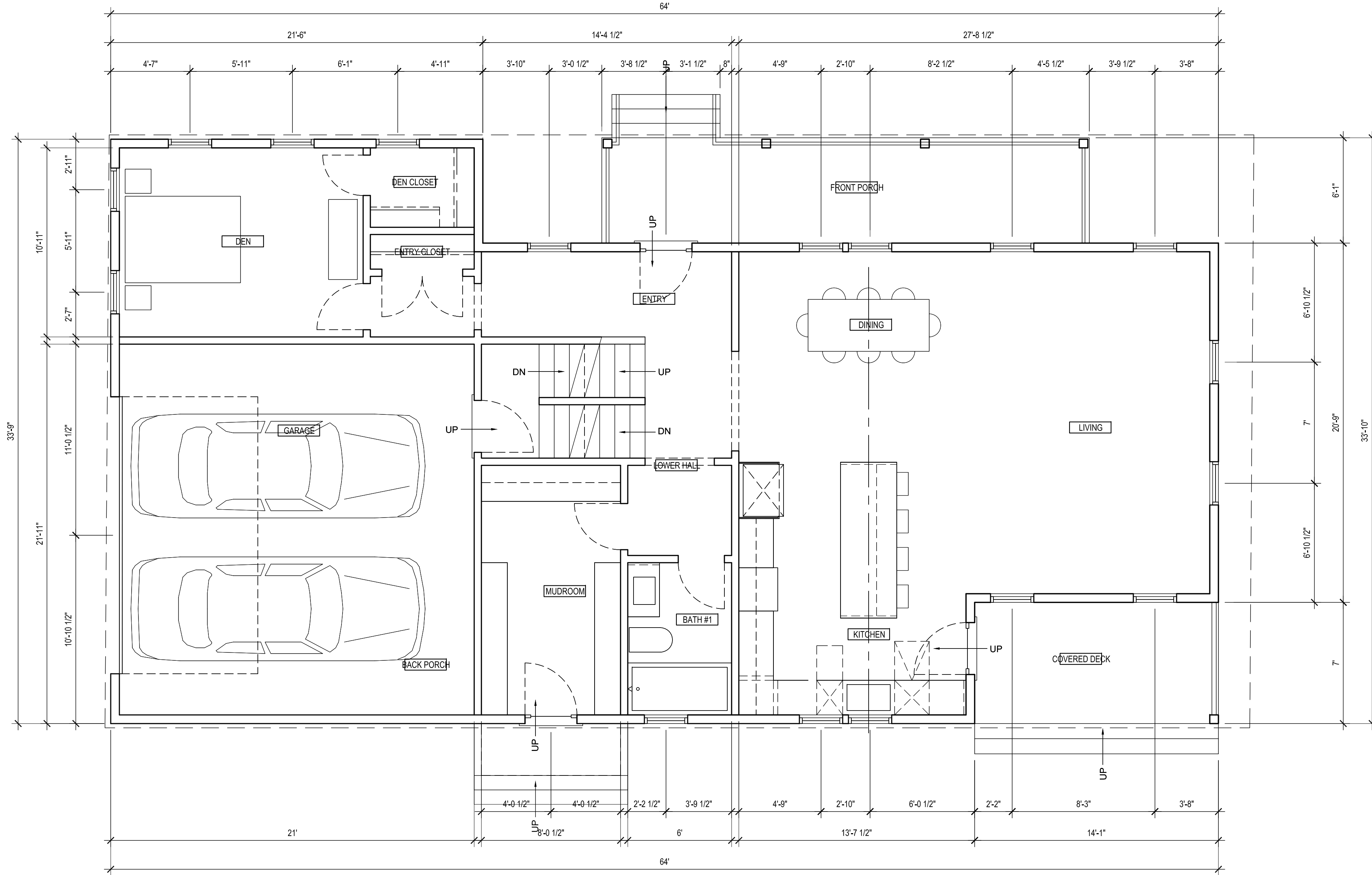
SITE PLAN

SHEET NUMBER

A0.0



S&S



FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"

GENERAL NOTES

- FIELD VERIFY ALL DIMENSIONS. ELEVATIONS ARE AN INDICATION OF DESIGN INTENT - DIMENSIONS WILL VARY FROM ELEVATIONS. DO NOT SCALE DRAWINGS. IN CASES WHERE DIMENSIONS ARE NOT CLEAR, THE DIMENSIONS ARE TO BE VERIFIED BY REQUESTS FOR INFORMATION (RFI). INTERIOR DIMENSION STRINGS CLOSE OUT TO FACE OF EXTERIOR STUD WALL. DIMENSIONS OF CIP CONCRETE WALLS ARE TO NOMINAL FACE OF CONCRETE. EXTERIOR FACE OF FOUNDATION ALONG TO EXTERIOR FACE OF FRAMING. INTERIOR DIMENSIONS ARE TO NOMINAL FACE OF GYP BOARD, AND CLOSE OUT TO FACE OF FOUNDATION / FACE OF FRAMING.
- THE CONTRACTOR (AND HIS SUB-CONTRACTORS) SHALL SUIT TO THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT IN WRITING ALL ERRORS, INCONSISTENCIES AND OMISSIONS IF DISCOVERED AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING THE WORK. IF THE CONTRACTOR PROCEEDS WITH ANY OF THE WORK SO AFFECTED WITHOUT WRITER INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD AT HIS OWN GOOD ANY RESULTING ERROR, DAMAGE, DEFECTS OR TIME DELAYS SO CAUSED. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK WITHOUT CONTRACT DOCUMENTS OR WHERE REQUIRED APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLES FOR SUCH PORTION OF THE WORK. MODIFICATION OF THIS DESIGN OR THESE DOCUMENTS IS EXPRESSLY PROHIBITED BY THE ARCHITECT AND STRUCTURAL ENGINEER WITHOUT WRITTEN PERMISSION.
- MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK. WORK NOT EXPLICIT IN THE DRAWINGS BUT CLEARLY IMPLIED AS NECESSARY TO COMPLETE THE PROJECT SHALL BE INTERPRETED AS FULLY DRAWN.
- PROVIDE ONE LAYER MINIMUM 5/8" TYPE-X GYPSUM BOARD AT GARAGE CEILING. PROVIDE ONE LAYER MINIMUM 5/8" TYPE-X GYPSUM BOARD AT ALL INTERIOR WALL SURFACES EXCEPT WET AREAS TO RECEIVE TILE; PROVIDE TILE BACKER AT THESE LOCATIONS.
- ALL BEDROOM WINDOWS TO HAVE NET CLEAR OPENING DIMENSION OF AT LEAST 20" X 24" RESPECTIVE OF HEIGHT OR WIDTH TO ALLOW FOR EGRESS.
- PROVIDE WEATHER RESISTIVE BARRIER (WRB, TYVEK D) AT ALL NEW WOOD FRAMED EXTERIOR WALLS. PROVIDE R-21 MINIMUM BATT INSULATION AT EXTERIOR STUDS AT INTERIOR FACE OF STUD WALL.
- ALL ROOMS TO HAVE 8% MINIMUM NATURAL LIGHT THROUGH WINDOW OPENINGS, AND 3.5% MINIMUM NATURAL VENTILATION THROUGH OPERABLE WINDOWS.
- PROVIDE MINIMUM 2X FIRE BLOCKING AT FLOOR TO CEILING INTERSECTION WITHIN INTERVENING STUD CAVITIES.
- FIXTURE SELECTION, AND COORDINATION INTO ALL ASPECTS OF THE WORK IS THE RESPONSIBILITY OF THE AND GC. FIELD VERIFY ALL DIMENSIONS. DIMENSIONS ARE AN INDICATION OF DESIGN INTENT ONLY - DIMENSIONS WILL VARY IN FIELD. OWNER AND GC ARE RESPONSIBLE FOR COORDINATION WITH FIXTURE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION AND OPERATION PER MANUFACTURER'S RECOMMENDATIONS. ALL APPLIANCES INCLUDING REFRIGERATOR CABINET HEIGHT AND WIDTH TO BE VERIFIED WITH OWNER AND COORDINATED BY GC, OPENING SIZED ACCORDING TO REFRIGERATOR MANUFACTURER'S REQUIREMENTS.
- GC / OWNER TO COORDINATE DESIGN-BUILD MECHANICAL / PLUMBING FOR REQUIRED PENETRATIONS AND CHASES FROM FIRST TO AND THROUGH SECOND FLOOR.
- TOILET ACCESSORIES BY OWNER. PROVIDE BLOCKING IN WALL AS REQUIRED FOR INSTALLATION. PROVIDE NO BLOCKING IN WALL AT ALL SHOWER WALLS TO ACCOMMODATE SHOWER ROD. GC TO COORDINATE WITH OWNER FOR TOILET ACCESSORY LOCATIONS. PROVIDE CONTINUOUS WOOD BLOCKING AT HEADS AND AT CORNERS OF WINDOWS AND EXTERIOR DOORS FOR FUTURE WINDOW TREATMENT INSTALLATION.

FLOOR FINISH LEGEND

- TYPICAL: SEE SHEET C1.0. VERIFY ALL SELECTIONS WITH OWNER/ARCHITECT. VERIFY FLOORING DIRECTION AND PATTERN WITH OWNER PRIOR TO INSTALLATION.
- TILE FLOOR
 - LUXURY VINYL TILE
 - EXTERIOR WOOD DECK
 - CIP CONCRETE WALL, SEE STRUCTURAL
 - CIP CONCRETE SLAB SURFACE

WALL LEGEND

- EXTERIOR WALL, SEE WALL TYPES SHEET A1.1
- ONE-HOUR RATED WALL, SEE WALL TYPES SHEET A1.1

DOOR NOTES

- DOOR NOTE:
 1. PROVIDE INSULATED DOOR WITH 20 MIN. RATED DOOR, FRAME AND ASSEMBLY AT GARAGE MAN DOOR.
 2. SEE PLAN FOR DOOR OPERATION TYPE AND SWING, GC TO COORDINATE.
 3. GC TO ADJUST DOOR QUANTITIES AND HARDWARE W/ OWNER.
 4. ALL INTERIOR DOORS TO FLUSH PANEL RFT SAWN WHITE OAK TO BE FIELD FINISHED. PROVIDE 30" WIDE NET CLEAR OPENING PER SPS 321.025, TYPICAL U.N.O.
 5. OVERHEAD GARAGE SECTION DOOR TO BE INSULATED UNIT COMPLIANT WITH SPS 322 FOR R / U VALUE.

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JOB NUMBER:
 TITLE:

FLOOR
 PLANS

SHEET NUMBER

A1.1

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- ALL BEDROOM WINDOWS TO HAVE NET CLEAR OPENING DIMENSION OF AT LEAST 20" X 24" IRRESPECTIVE OF HEIGHT OR WIDTH TO ALLOW FOR EGRESS.
- PROVIDE WEATHER RESISTIVE BARRIER (WRB, TYVEK D) AT ALL NEW WOOD FRAMED EXTERIOR WALLS. PROVIDE R-21 MINIMUM BATT INSULATION AT EXTERIOR STUDS AT INTERIOR FACE OF STUD WALL.
- ALL ROOMS TO HAVE 8% MINIMUM NATURAL LIGHT THROUGH WINDOW OPENINGS, AND 3.5% MINIMUM NATURAL VENTILATION THROUGH OPERABLE WINDOWS.
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- TOILET ACCESSORIES BY OWNER. PROVIDE BLOCKING IN WALL AS REQUIRED FOR INSTALLATION. PROVIDE WD BLOCKING IN WALL AT ALL SHOWER WALLS TO ACCOMMODATE SHOWER ROD. GC TO COORDINATE WITH OWNER FOR TOILET ACCESSORY LOCATIONS. PROVIDE CONTINUOUS WOOD BLOCKING AT HEADS AND AT CORNERS OF WINDOWS AND EXTERIOR DOORS FOR FUTURE WINDOW TREATMENT INSTALLATION.

FLOOR FINISH LEGEND

TYPICAL: SEE SHEET G1.0, VERIFY ALL SELECTIONS WITH OWNER/ARCHITECT, VERIFY FLOORING DIRECTION AND PATTERN WITH OWNER PRIOR TO INSTALLATION

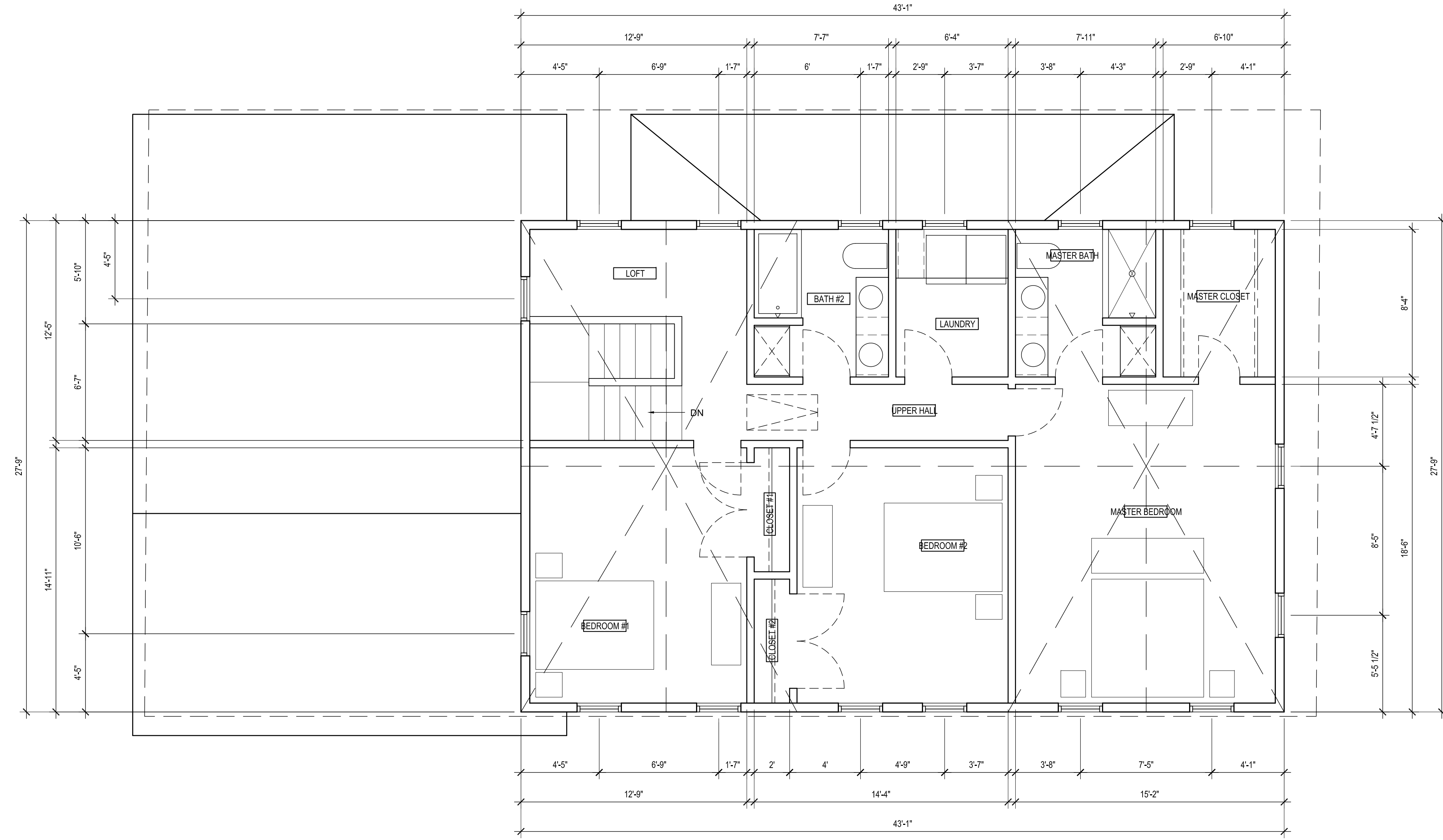
-  TILE FLOOR
-  LUXURY VINYL TILE
-  EXTERIOR WOOD DECK
-  CIP CONCRETE WALL, SEE STRUCTURAL
-  CIP CONCRETE SLAB SURFACE

WALL LEGEND

-  EXTERIOR WALL, SEE WALL TYPES SHEET A1.1
-  ONE-HOUR RATED WALL, SEE WALL TYPES SHEET A1.1

DOOR NOTES

- DOOR NOTE:
- PROVIDE INSULATED DOOR WITH 20 MIN. RATED DOOR, FRAME AND ASSEMBLY AT GARAGE MAN DOOR.
 - SEE PLAN FOR DOOR OPERATION TYPE AND SWING, GC TO COORDINATE.
 - GC TO AUDIT DOOR QUANTITIES AND HARDWARE W/ OWNER.
 - ALL INTERIOR DOORS TO FLUSH PANEL RHT SWN WHITE OAK TO BE FIELD FINISHED. PROVIDE 3" WIDE NET CLEAR OPENING PER SPS 321.035, TYPICAL I.N.O.
 - OVERHEAD GARAGE SECTION DOOR TO BE INSULATED UNIT COMPLIANT WITH SPS 322 FOR R / U VALUE.



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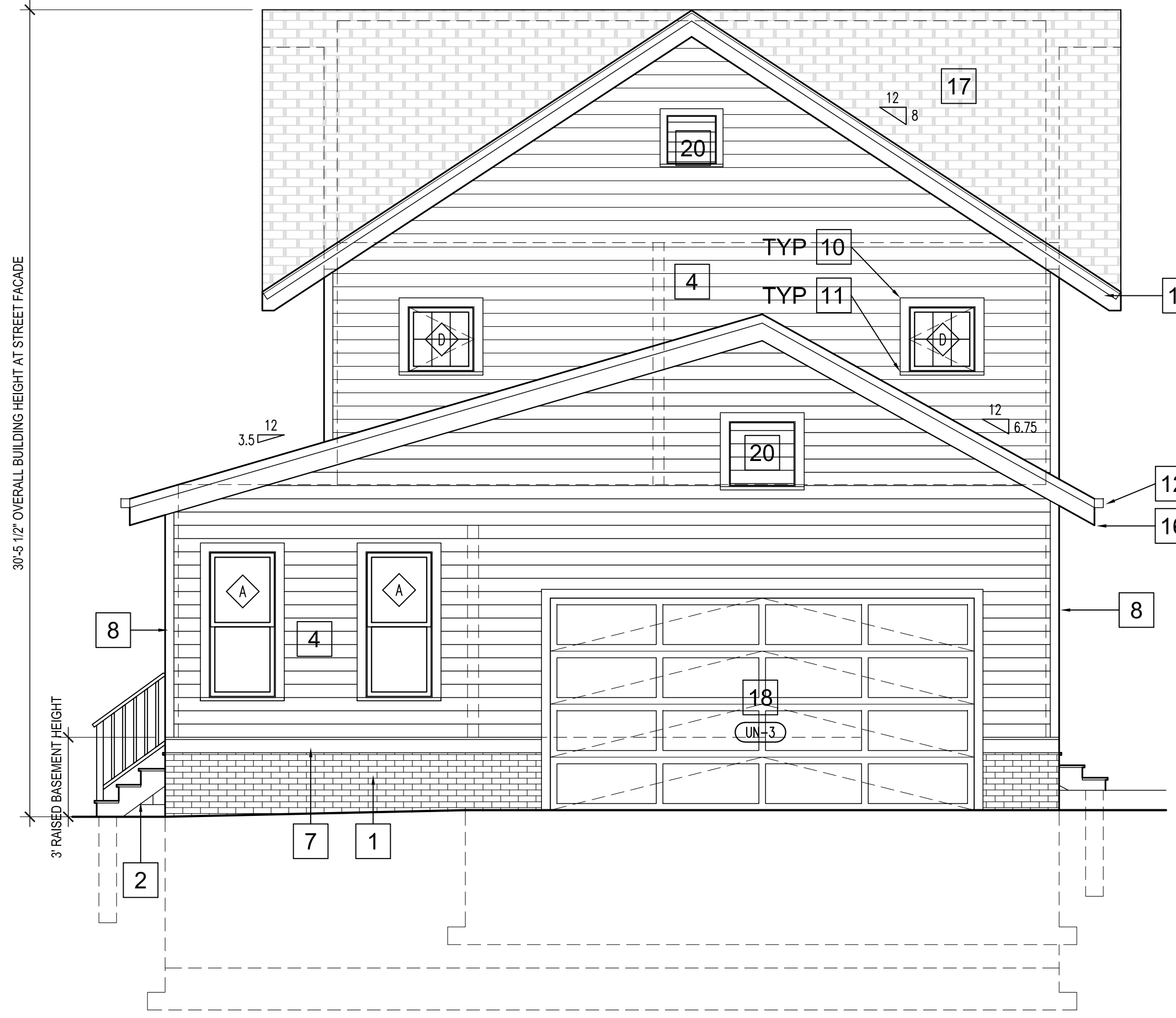
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PLANS

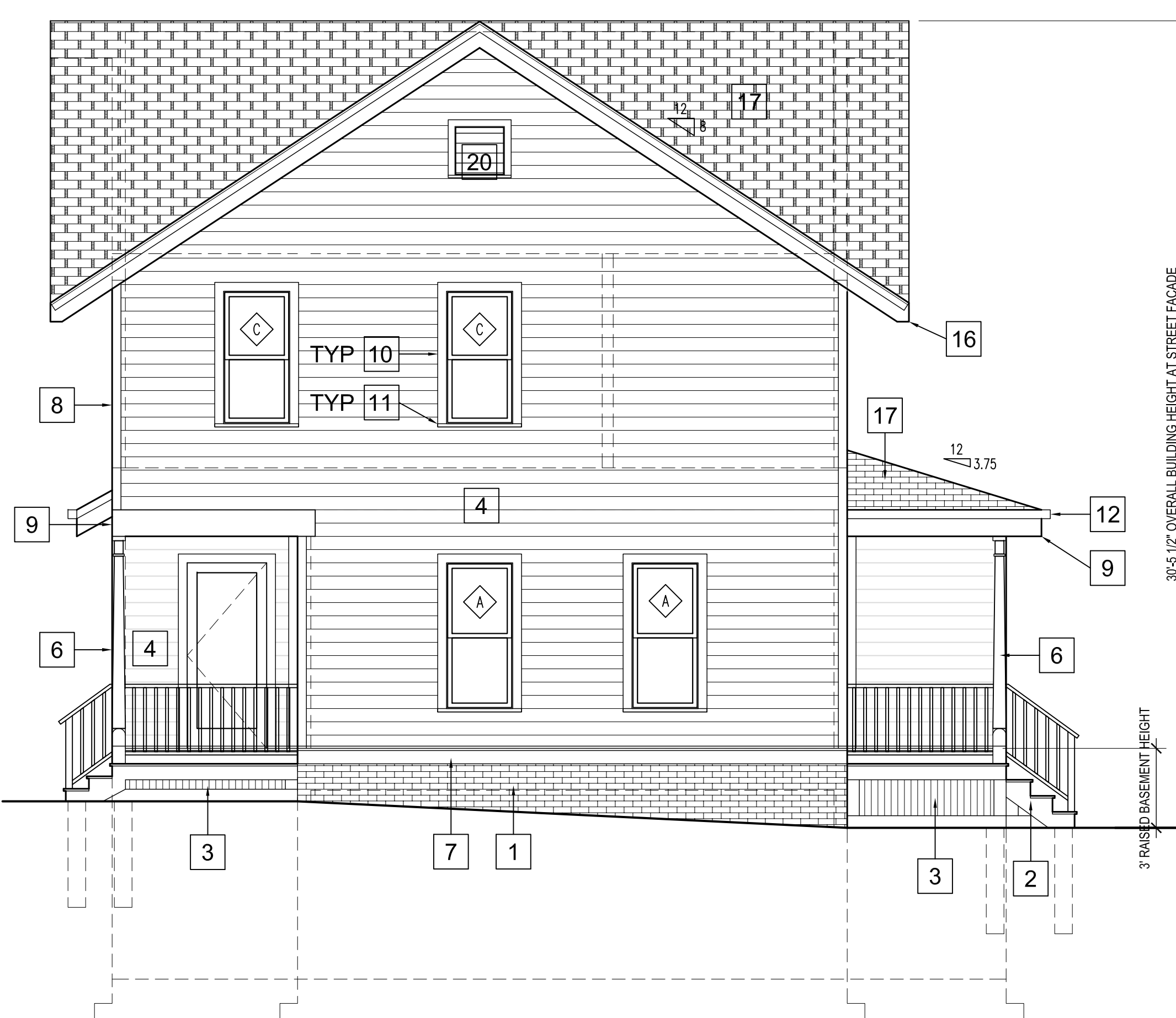
SHEET NUMBER
A1.2



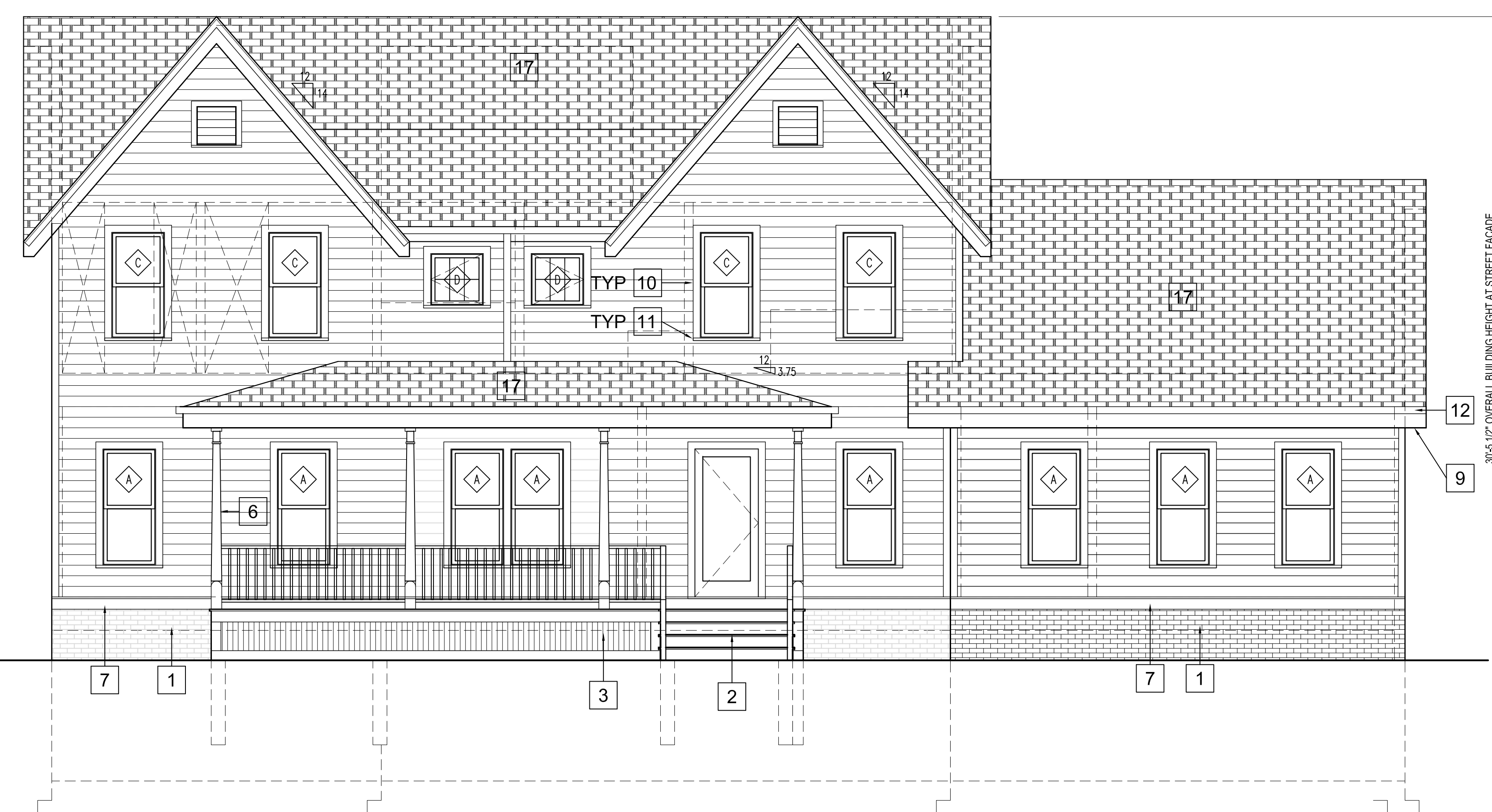
4 WEST ELEVATION
SCALE: 1/4"=1'-0"



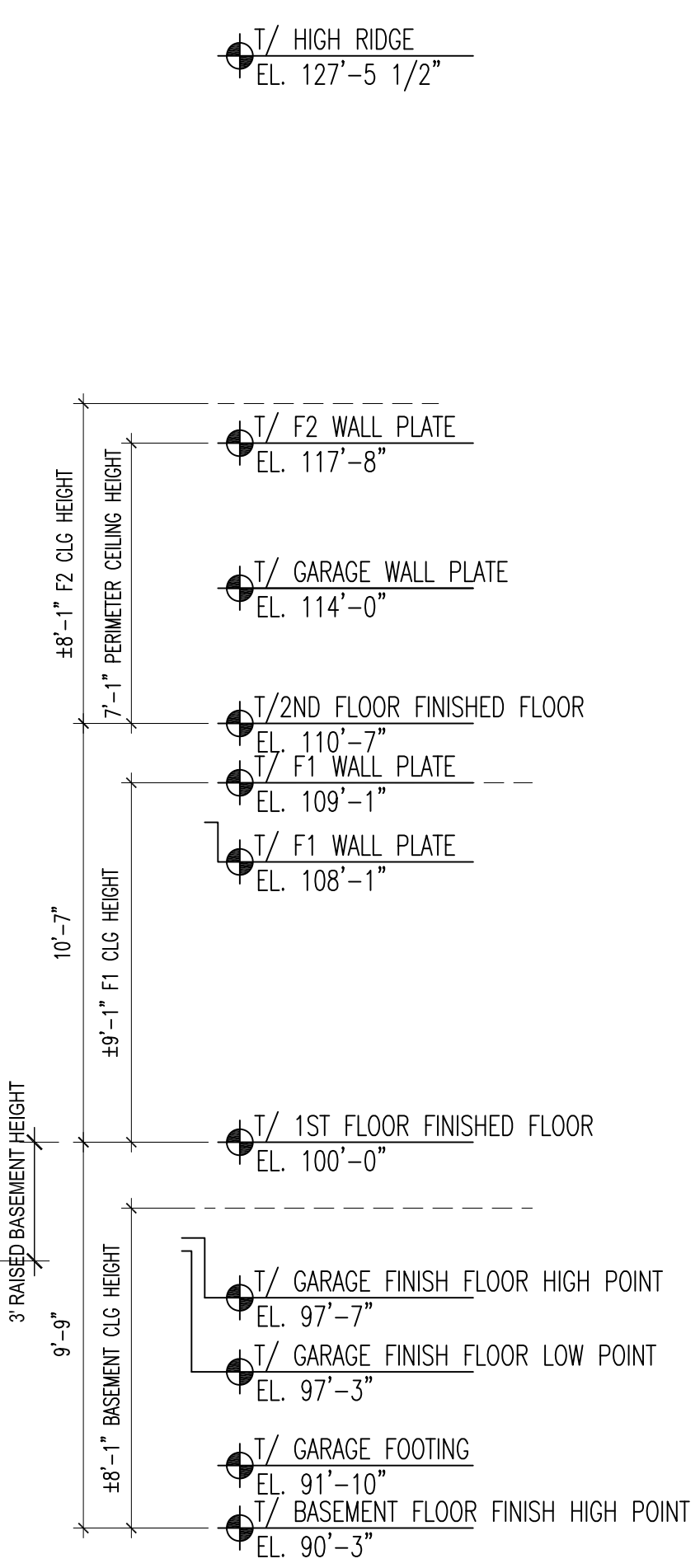
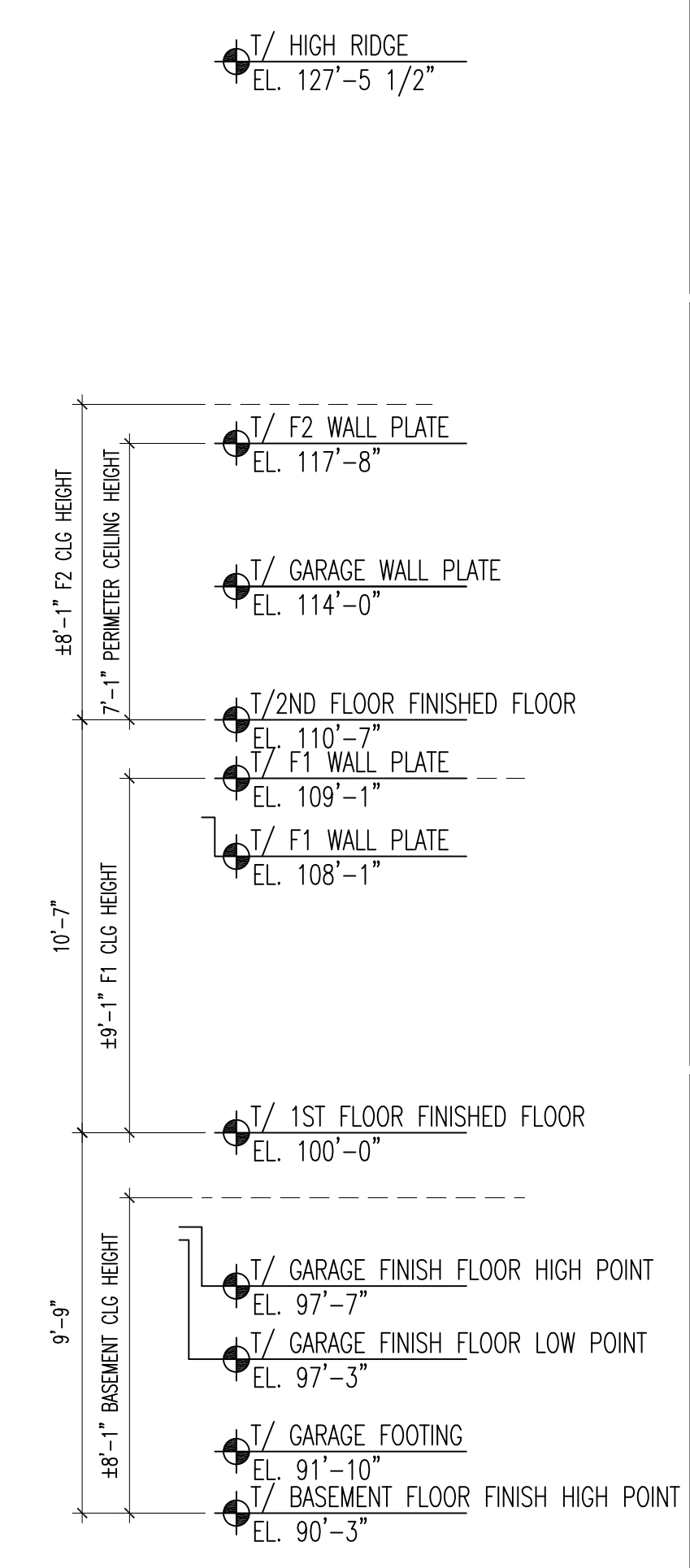
3 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2 EAST ELEVATION
SCALE: 1/4"=1'-0"



1 NORTH (STREET) ELEVATION
SCALE: 1/4"=1'-0"



GENERAL NOTES

- PRIOR TO PENETRATION OF ANY EXTERIOR WALL SURFACE THE LOCATION OF THE PENETRATION MUST BE COORDINATED AND APPROVED BY THE ARCHITECT. FAILURE TO OBTAIN PERMISSION MAY RESULT IN RELOCATION OF THE INSTALLED ITEM AND REPAIR OF THE AFFECTED SURFACES AT NO COST TO THE OWNER.
- NOTE ONE ABOVE APPLIES TO ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO ROOF SCUPPERS, UTILITY CONNECTIONS, VENTS, AIR INTAKES, ETC.
- ALL JOINTS IN EXTERIOR MATERIALS ARE AN INDICATION OF DESIGN INTENT ONLY. ALL JOINTS TO FOLLOW MANUFACTURERS RECOMMENDATIONS OR GOOD PRACTICE FOR INSTALLATION AND REQUIRED JOINT LOCATIONS. NOTIFY ARCHITECT OF ANY DEVIATION FROM JOINT PATTERN PRIOR TO EXECUTION.
- REFER TO A3.3 FOR WINDOWS AND DOORS AND ASSOCIATED NOTES.

ELEVATION KEY NOTES

- CIP CONCRETE FOUNDATION WALL W/ BRICK FORM LINER TEXTURE
- WOOD TREADS AND RISERS
- PAINTED WOOD DECK SKIRTING W/ 3/8" GAP BETWEEN SKIRT BOARDS
- SIDING-1: 6" EXPOSURE LAP SIDING
- SIDING-2: 6" EXPOSURE SHAKE SIDING
- WOOD POST, PAINTED
- WOOD SKIRT AND DRIP, PAINTED
- WOOD CORNER BOARDS, PAINTED
- WOOD FASCIA, PAINTED
- WOOD TRIM, PAINTED
- WOOD SILL, PAINTED
- MITL GUTTER AND DOWNSPOUT
- PREFINISHED STANDING SEAM METAL ROOF
- WOOD GABLE END TRIM, PAINTED
- WOOD FASCIA, PAINTED
- WOOD RAKE END TRIM, PAINTED
- DIMENSIONAL APPROVAL SHINGLE ROOF
- GARAGE SECTION DOOR
- CIP CONCRETE STAIR / STOOP FOOTINGS, MIN. 4" BELOW GRADE
- GABLE END VENT

EXT. DOOR & DWD NOTES

- NEW WINDOWS TO COMPLY WITH STATE OF WISCONSIN 322.36-1 FOR U-FACTOR AND THERMAL PERFORMANCE.
- ALL WINDOWS ARE TO MEET ALL CODE REQUIREMENTS - GC TO COORDINATE WITH SUPPLIER.
- TEMPERED SAFETY GLASS PER CODE.
- GC TO VERIFY WINDOW COLOR AND HARDWARE COLOR SELECTIONS WITH ARCHITECT PRIOR TO ORDERING WINDOW UNITS.
- PROVIDE TEMPERED GLASS AT ALL BATHROOM WINDOW LOCATIONS AND NEAR STAIR AND DOOR OPENINGS AS REQUIRED BY CODE. GC AND WINDOW SUPPLIER TO REVIEW AND COORDINATE FOR HAZARDOUS LOCATIONS AND RESULTANT REQUIRED SAFETY GLAZING PER SPS 322.15.
- ALL BEDROOM WINDOWS TO HAVE NET CLEAR OPENING DIMENSION OF AT LEAST 20" X 44" RESPECTIVE OF HEIGHT OR WIDTH TO ALLOW FOR EGRESS; GC TO COORDINATE WITH CHOSEN WINDOW SUPPLIER.
- WINDOWS WITH SILLS 24" OR CLOSER TO FINISH FLOOR TO HAVE TEMPERED GLAZING AND OPEN LIMITER DEVICE.
- WINDOW U-FACTOR AND SHGC TO MEET W/ 322.36 REQUIREMENTS FOR FENESTRATION.
- GC TO VERIFY WINDOW / DOOR UNIT AND ROUGH OPENING DIMENSIONS W/ SUPPLIER / MFR AND COORDINATE REQUIRED ROUGH OPENING SIZE IN FIELD BASED ON MANUFACTURERS RECOMMENDATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR WINDOW OPERATION.

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EXTERIOR ELEVATIONS

SHEET NUMBER
A3.1

GENERAL NOTES

1. WINDOW GROUPS TO BE FACTORY ASSEMBLED WITH NAILING FIN AND MATCHING JAMB COVERS.
2. ALL WINDOWS ARE TO MEET ALL CODE REQUIREMENTS - GC TO COORDINATE WITH SUPPLIER.
3. (T) TEMPERED SAFETY GLASS PER CODE.
4. SWINGING DOORS WITH FULL LITES TO HAVE MINIMUM 10" HIGH BOTTOM RAIL PER ICCANSI A117.1 - 2009, 404.2.9.
5. REFER TO ELEVATION DRAWINGS FOR WINDOW OPERATION OR GROUPINGS.
6. GC TO VERIFY ALL WINDOW AND DOOR ROUGH OPENINGS IN FIELD PRIOR TO ORDERING WINDOW UNITS.
7. ALL GLAZING TO COMPLY WITH IBC 2009, CHAPTER 24 FOR SAFETY GLAZING MATERIALS, REQUIRED APPLICABLE TESTING AND LOCATIONS, GC AND SUPPLIER TO VERIFY.
8. CHANGES IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAXIMUM IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. VERIFY WITH DOOR LOCATIONS AND COORDINATE WITH MANUFACTURER / SUPPLIER.
9. WINDOW AND DOOR SIZES ARE UNIT DIMENSIONS, NOT ROUGH OPENINGS. GC TO COORDINATE APPROVED WINDOW AND DOOR MANUFACTURER'S REQUIRED ADDITIONAL SHIM SPACE GIVEN POTENTIAL BUILDING SHRINKAGE AT WOOD FLOORS AND RESULTANT REQUIRED WINDOW AND DOOR ROUGH OPENINGS AND REPORT TO ARCH.
10. PROVIDE WINDOW OPENING LIMITERS THAT RESTRICT THE PASSAGE OF A 4" SPHERE IN COMPLIANCE WITH ASTM F2006.
11. EXTERIOR DOOR CLEAR OPENING WITH DOOR SWUNG OPEN TO 90 DEGREES OR FULLY SLID OPEN TO BE MINIMUM 32" CLEAR WIDTH, GC AND SUPPLIER TO VERIFY AND REPORT TO ARCH.
12. REFER TO A3 SHEETS FOR EXTERIOR GLAZING MATERIALS ADJACENT TO WINDOW UNITS AND NUMBERED DETAILS.

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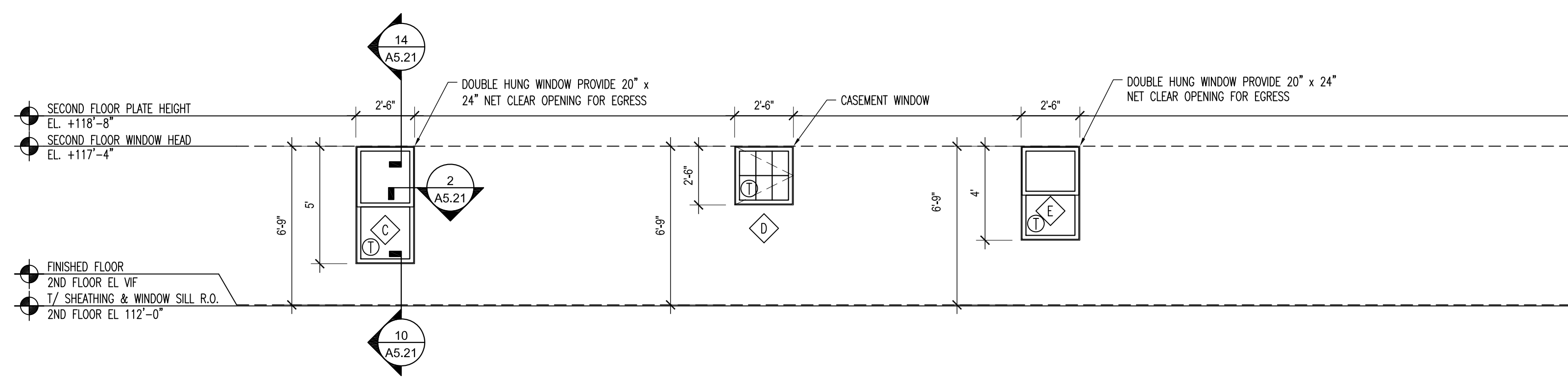
DATE	NO.	REVISION

ISSUED FOR REVIEW
 NOT FOR CONSTRUCTION

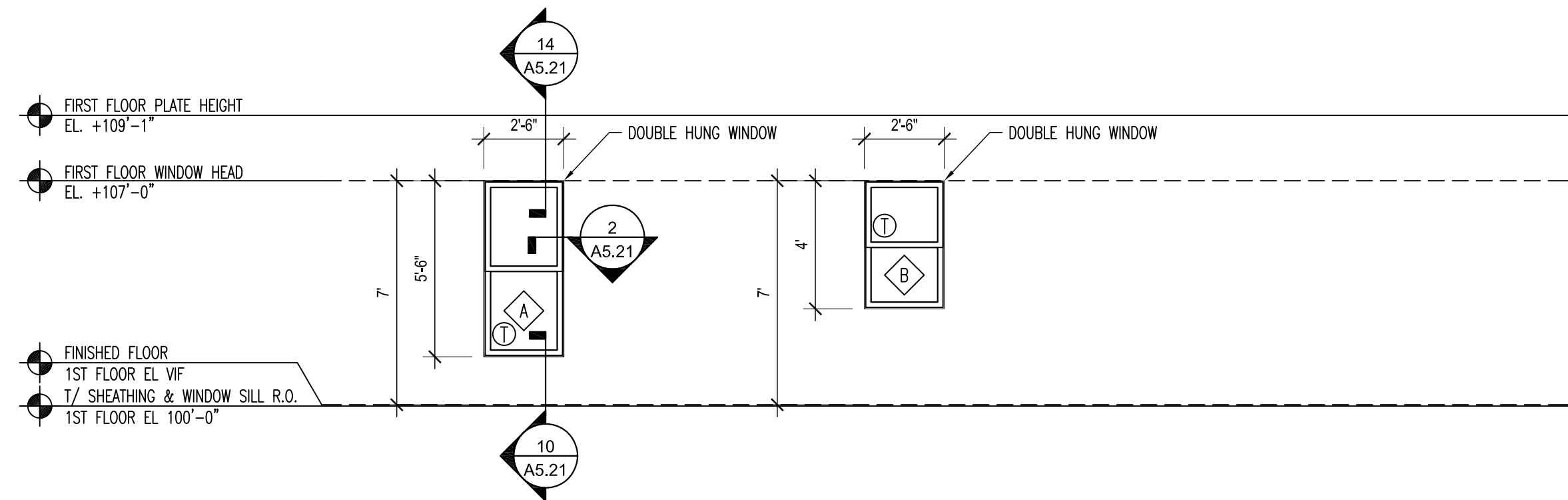
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 COMPUTER FILE:

DRAWN BY:
 PLOT DATE: APR 19, 2024
 JOB NUMBER:
 TITLE:
 WINDOW & DOOR
 SCHEDULE

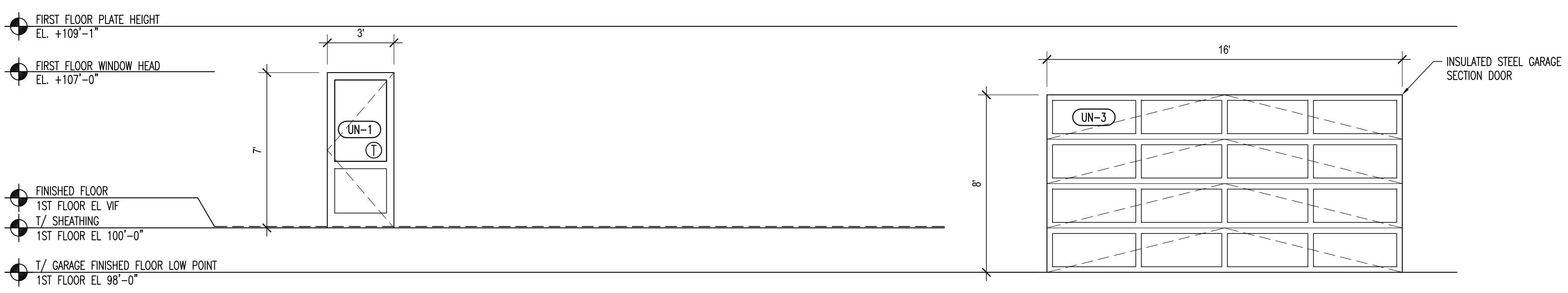
SHEET NUMBER
A3.2



3 SECOND FLOOR WINDOW TYPES
 SCALE: 1/4"=1'-0"



1 FIRST FLOOR WINDOW TYPES
 SCALE: 1/4"=1'-0"



2 FIRST FLOOR EXTERIOR DOOR TYPES
 SCALE: 1/4"=1'-0"