# NEW RESIDENCE Milwaukee, Wisconsin

Landscape	Builder	Architectural	Structural	Plumbing	Mechanical	Electrical
TBD		Striegel-Agacki Studio 1430 Underwood Avenue Wauwatosa, Wisconsin 53213 Ph 414 793.3586		Design-Build	Design-Build	Design-Build
DRAMINGS		G1.0 - PROJECT DATA, GENERAL NOTES  A0.0 - SITE PLAN  A1.1 - FLOOR PLANS  A1.2 - FLOOR PLANS  A3.1 - EXTERIOR ELEVATIONS  A3.2 - WINDOW SCHEDULE				

NEW RESIDENCE
113 West Lloyd
Milwaukee, Wisconsin 53212

STRIEGEL
AGACKI
STUDIO
1430 UNDERWOOD AVENUE

1430 UNDERWOOD AVEN UNIT 2 WAUWATOSA, WI 53213 OWNER:

Vera Property Management Brookfield, Wisconsin 53005

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail and coordination.

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DATE	NO.	REVISION

ISSUED FOR REVIEW NOT FOR CONSTRUCTION

SCALE: As Noted

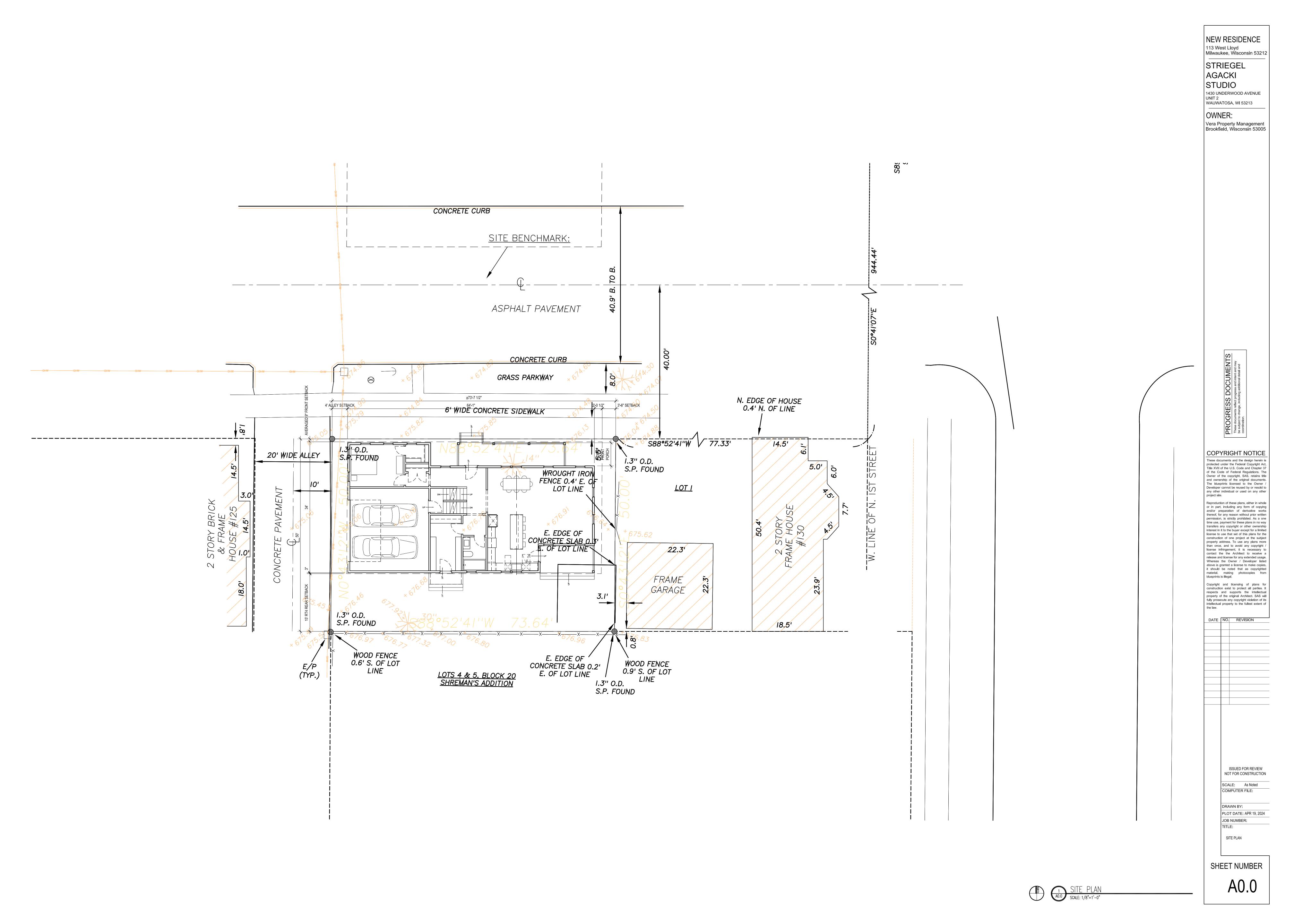
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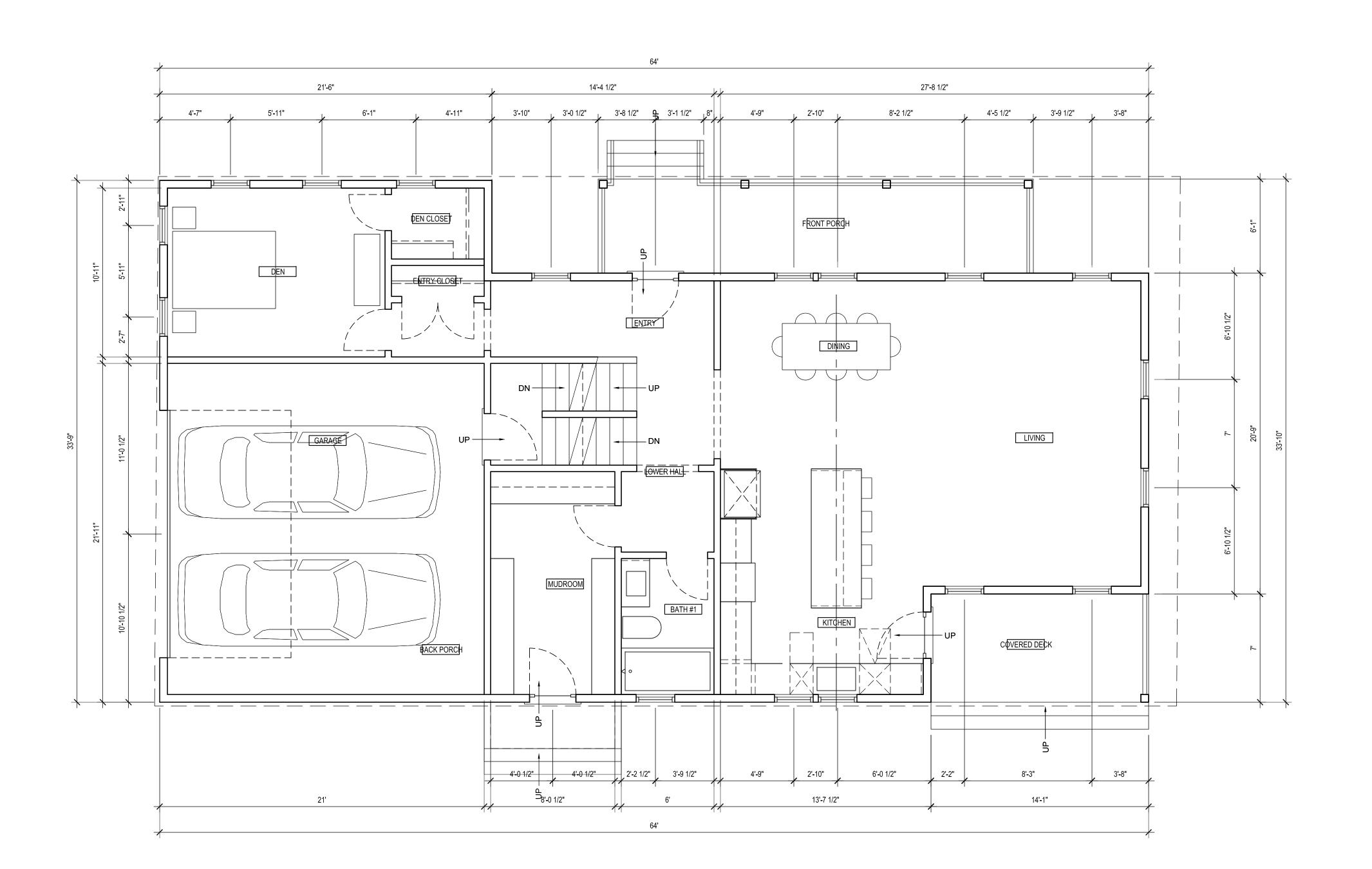
DRAWN BY:
PLOT DATE: APR 19, 2024

JOB NUMBER:

T4 0

ABBRE	EVIATIONS	GENERAL NOTES	LIST OF ALTERNATES:	PROJECT DATA	NEW RESIDENCE
ABC aggregate base course ACOUS acoustic ACT acoustical ceiling tile ADJ adjacent	LAB laboratory LAM laminate LAV lavatory LT light	dimensions on site PRIOR TO COMMENCING THE WORK. If the contractor proceeds with any of the work so affected without written instructions of the Designer, the contractor shall make good at his own cost any	PROVIDE SEPARATE ADDITIONAL PRICING FOR THE FOLLOWING ITEMS:  1. PROVIDE PROVIDE R-21 MINIMUM CLOSED CELL SPRAY FOAM INSULATION AT EXTERIOR STUDS IN LIEU OF BATT INSULATION; OMIT VAPOR BARRIER PER SPS.	SEE SHEET A1.0	Milwaukee, Wisconsin 53212 STRIEGEL AGACKI
ADJT adjustable AFF above finished floor AGGR aggregate	LT WT CONC lightweight concrete  LL live load  LLH long leg horizontal	2. Discrepancies between actual conditions and plans shall be brought to the attention of the Designer. Contractor shall submit specific discrepancy for Designers review.			STUDIO  1430 UNDERWOOD AVENUE
A/C air conditioning ALUM aluminum ALT alternate	LLV long leg vertical  MB machine bolt	3. All work, construction and materials shall comply with all provisions of the appropriate Building Code and with other rules, regulations and ordinances governing the place of building. Building code requirements take precedence over the drawings and it shall be the responsibility of anyone supplying labor or materials or both to install his or her work in conformance with the code and to bring to the attention of the Designer any			UNIT 2 WAUWATOSA, WI 53213
AB anchor bolt APPROX approximate (ly)	MH manhole MAS masonry	discrepancies or conflicts between the requirements of the code and the drawings before proceeding with the work.  4. All construction work shall be in compliance with Wisconsin O.S.H.A. guidelines and recommendations.	OUTLINE SPEC		OWNER:
ARCH Designerural ASPH asphalt ASPH PVT asphalt paving	MAT material (s)  MAX maximum	5. The Designer does not assume any responsibility for job site safety for any persons including workmen, visitors, or any other ENTITY, WHICH may enter onto the site. Contractor shall be responsible for locating and avoiding all hazards, including buried utilities or PIPELINES, WHICH MIGHT EXIST on the site.	OOTENIAL OF LO		Vera Property Management Brookfield, Wisconsin 53005
ACP asphaltic concrete paving  BB base board	MECH mechanic (al) MC medicine cabinet MED medium	avoiding all nazaros, including buried utilities or PIPELINES, WHICH MIGHT EXIST on the site.  6. Contractor shall be responsible for coordinating and providing all paperwork as required for all city inspections.			
BM beam BRG bearing B.M. bench mark	MEMB membrane MTL metal MIN minimum	7. Contractor shall be responsible for keeping the construction site continuously free of debris and foreign objects. Area shall remain secured at all times.			
BTUM bituminous BLK block	MISC miscellaneous MOD modular	8. These construction documents are the result of the program and requirements of the owner and local building department and planning CODES; therefore any modification by builders not authorized by the Designer could be in violation of the law and of the contract.			
BLKG blocking BD board BOD bottom of deck	MTD mounted MULL mullion	9. Contractors' choices as to the means of construction, the sequences of construction, and safety precautions incident thereto, are not part of the Designer's responsibility.			
BOT bottom BLDG building BU built-up (roofing)	NAT natural NRC noise reduction coefficient NOM nominal	10. New construction dimensions are based upon on-site measurements of existing conditions. The contractor shall verify drawing dimensions against actual site conditions and boundaries and shall notify the Designer of any AREAS, WHICH would differ from the intent of the drawings or show discrepancy between sections of the construction drawings prior to construction.			
CAB cabinet CIP cast-in-place	N North NIC not in contract NTS not to scale	11. All EXTERIOR Dimensions are to the FACE OF MASONRY OR FACE OF FINISHED WALL SURFACE UNLESS NOTED OTHERWISE. All INTERIOR Dimensions are to FINISHED FACE OF WALL SURFACE.			
CLG ceiling CLG HT ceiling height CEM cement	NO. or # number  OBS obscure	12. Install sealant at exterior sides of all joints, seams, connections or openings which would allow water or air infiltration except as noted otherwise or as recommended by manufacturer for their products, systems or installations. Sealant color to match adjacent surface. Color requires Designers approval.			
CER ceramic CLR clear	OC on center (s) OFCI owner furnished contractor installed	13. Contractor is responsible for producing a weather tight building - details and omissions to the Drawings notwithstanding. All drawing conflicts, which may not allow a weather tight condition shall be brought to the attention of the Designer.			
COL column COMP composition (composite) CONC concrete	OPG opening OPP opposite OD outside diameter	14. Contractor to review all owner documents and familiarize himself with all existing utilities, Contractor shall have the responsibility of verifying in the field by employing field utility locating services before construction starts, and coordination all new utility locations, connections, and penetrations.			
COND condition CMU concrete masonry unit CONT continue or continuous	OH overhead OSB oriented strand board	15. All required exits shall be operable from the inside without special knowledge or use of a key.			
CJ control joint CL center line CPT carpet	PART BD particle board PT paint (ed) PR pair	16. Provide full wood blocking as required to securely anchor all wall mounted equipment (E.G., cabinets, grab bars, toilet room accessories, hardware, ETC.). Blocking shall provide a rigid connection capable of supporting design loads.	Щ		
DP damproofing	PNL panel PTD paper towel dispenser	17. The General Contractor shall verify and coordinate with all trades, size and locations of all openings for Mechanical, Plumbing, and Electrical equipment, equipment pads or bases, as well as Power, Water and Drain installations, before proceeding with works. Contractor shall provide coordination drawings for proper placement of all trades work. Any concerns, space limitations, or structural conflicts, shall be brought to the	R		
DL dead load DET detail DIAG diagonal	PTD/R combination paper towel dispenser & receptacle PTR paper towel receptacle	attention of the Designer. A REASONABLE RESPONSE TIME SHALL BE ALLOWED.  18. All final mechanical outlets, registers, access panels and equipment locations to be verified by the Designer and owner. Government agency approval resulting from additions and modifications not included in the	OS		
DIAM diameter DIM dimension DISP dispenser	PLAS plaster PLAM plastic laminate PL plate	initial building permit drawings, must be obtained prior to any installations.	<mark>경</mark>		
DIV division DR door DBL double	PLYWD plywood PT point	<ul><li>19. All rough and finish electrical equipment shall be installed to meet local and state code requirements or provisions and shall be U.L. approved.</li><li>20. All floor or wall openings required for pipes, conduits, ETC., shall be sealed in an approved manner.</li></ul>			SL
DN down DS downspout	PVC polyvinyl choloride PSI pounds per square inch PREFAB prefabricate (d)	21. General Structural Notes govern typical conditions whether or not specifically detailed or noted.			DOCUMENT rogress and intent and may ding additional detail and
DWC drywall furring channel DWR drawer	PREFIN prefinished  RAD radius	22. It is the Contractors responsibility to coordinate and locate electrical, data, and phone receptacle, switched, ETC., to avoid casework, door, ETC.			DOCL g additional
DWG drawing DF drinking fountain EA each	REF or RE reference REFR refrigerator REINF reinforce	23. The Drawings indicate the general scope of the project in terms of the Architectural and Structural Design Concept. As "Scope" documents, the Drawing and Specifications do not necessarily indicate or describe all work required for the full performance and completion of the work.			SS Select p
EDF electric drinking fountain ELEC electrical EP electrical panelboard	RESIL resilient RCP reflected ceiling plan	24. Drawings and any specifications are to be taken together. However, any items appearing in only one and not the other is still part of this contract. Should there be any discrepancy between the drawings and the specifications or omissions, the contractor shall notify the Designer for instructions.			PROGRE These documents repeated to change coordination.
ELEV elevation EMER emergency ENCL enclosure	REV revision (s), revised ROW right of way	25. Contractor shall be let on the basis of such documents, with the understanding that the contractor is furnish all items required for proper completion of the work, without adjustment to contract price. It is intended that the work to be of sound and quality construction and the Contractor shall be solely responsible for the inclusion of adequate amounts to cover installation of all items indicated, described, or reasonably implied.			These of subjections of sourding coording of the subjections of the subjection of the
EQ equal EQUIP equipment	R riser RD roof drain RM room	26. Where specified items are mentioned, the Contractor may submit alternate materials for approval by the Owner and the Designer. Package to contain brochure, cut sheets, specifications, costs, availability, references, etc.			COPYRIGHT NOTICE
EXH exhaust EXIST existing EJ expansion joint	RO rough opening REQ required	27. Do not scale drawings. Dimensions are to take precedence over scale, large scale drawings over small scale drawings.			These documents and the design herein is protected under the Federal Copyright Act, Title XVII of the U.S. Code and Chapter 37
EB expansion bolt EXP exposed EXPN expansion	SECT section SES service entrance section SS service sink	28. Details are intended to show method and manner of accomplishing the work. Minor modifications may be required to suit job dimensions or conditions and shall be included as part of the work. Work not explicit in the drawings but clearly implied as necessary to complete the project shall be interpreted as fully drawn.			of the Code of Federal Regulations. The Owner of the copyright, SAS, retains title and ownership of the original documents.
EXT exterior	SHTHG sheathing SHT sheet	29. Dust control measures shall be implemented to the satisfaction of the city during grading and demolition phases of the project in order to minimize the generation of dust.			The blueprints licensed to the Owner / Developer cannot be reused by or resold to any other individual or used on any other project site.
FA fire alarm FACP fire alarm control panel FOC face of concrete	SH + P shelf and pole (closet) SIM similar SC solid core	30. Provide non- absorbent wall board adjacent to wet locations.			Reproduction of these plans, either in whole or in part, including any form of copying and/or preparation of derivative works
FOF face of finish FOM face of masonry FOS face of studs	SPK speaker SPEC specification (s) SW square	31. All INTERIOR Dimensions are to the FINISHED FACE OF STUD FRAMED WALLS UNLESS NOTED OTHERWISE.  32. Install per Manufactures written instructions, warranties shall not be compromised.			thereof, for any reason without prior written permission, is strictly prohibited. As a one time use, payment for these plans in no way transfers any copyright or other ownership
FOW face of wall FIN finish (ed) FFE finished floor elevation	SS stainless steel STD standard STA station	33. SUBMITTAL: Provide SHOP DRAWINGS, SAMPLES, & PRODUCT DATA for millwork, metal work, painted or sealed finishes, etc.			interest in it to the buyer except for a limited license to use that set of this plans for the construction of one project at the subject property address. To use any plans more
FFL finished floor lilne FE fire extinguisher	STL steel STO storage	34. SUBMITTALS & SUBSTITUTIONS shall be provided to Designer in a timely manner to allow for reasonable REVIEW & RESUBMISSION, without delay to project.			than once, and to avoid any copyright / license infringement, it is necessary to contact the the Architect to receive a release and license for any extended usage.
FEC fire extinguisher cabinet FHC fire hose cabinet FLR floor (ing)	SUSP suspended SY square yard SYMM symmetry (ical)	35. Designer shall approve all substitutions. Contractor shall provide acceptable documentation and costs of submissions including related work.  36. All work/equipment shall be NEW unless noted as EXISTING.			Whereas the Owner / Developer listed above is granted a license to make copies, it should be noted that as copyrighted
FD floor drain FLUOR fluorescent FT foot or feet	SCHED schedule SHR shower SMACNA Sheet Metal and Air Cond.	37. Provide sound batt insulation at all bathroom walls.			material, making photocopies from blueprints is illegal.  Copyright and licensing of plans for
FTG footing FNDN foundation FS floor sink	Contractors National Assoc.  TB towel bar	STRUCTURAL, MECHANICAL, ELECTRICAL & UTILITY SYSTEMS, & MAJOR DesignerURAL ELEMENTS OF CONSTRUCTION. AS "SCOPE" DOCUMENTS, THE	O C		construction exist to protect all parties. It respects and supports the intellectual property of the original Architect. SAS will fully prosecute any copyright violation of its
GA gage, gauge	TEL telephone TV television	DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL PERFORMANCE & COMPLETION OF THE WORK. CONTRACTS SHALL BE LET ON THE BASIS OF SUCH DOCUMENTS, WITH THE UNDERSTANDING THAT THE CONTRACTOR IS FURNISH ALL ITEMS REQUIRED FOR PROPER COMPLETION OF THE WORK WITHOUT ADJUSTMENT TO CONTRACT PRICE. IT IS INTENDED THAT THE WORK TO BE OF SOUND & QUALITY CONSTRUCTION AND			intellectual property to the fullest extent of the law.
GALV galvanized GD garbage disposal GI galvanized iron	THRES threshold T&G tongue and groove TPD toilet paper dispenser	THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INCLUSION OF ADEQUATE AMOUNTS TO COVER INSTALLATION OF ALL ITEMS INDICATED, DESCRIBED OR REASONABLY IMPLIED.			DATE NO. REVISION
GL glass, glazing GLB glue laminated beam GND ground	TYP typical TC top of curb TP top of pavement or toilet paper	SECURITY  1. All doors, windows, glass lights, and skylights shall comply with all applicable provisions set forth in the Building Code.			
GSN general structural notes GWB gypsum wall board GYP BD gypsum wall board	T tread THK thick (ness) TOM top of masonry	ENERGY  1. All insulation materials shall be certified by the manufacturer as complying with the Wisconsin quality standards for insulating material.			
GB grab bar  HVAC heating/ventilating/air conditioning	UNO unless noted otherwise	2. All openings (doors and windows) shall be properly weather-stripped, certified and labeled. 3. Ducts shall be constructed, installed and insulated according to Uniform Mechanical Codes. All joints in the duct system shall be tightly sealed with mastic or tape.			
HT height HC handicap	VCT vinyl composition tile VERT vertical				
HM hollow metal HORIZ horizontal HB hose bib	VEST vestibule VT vinyl tile	CABINETRY / MILLWORK NOTES			
HWH hot water heater HR hour H handicap	WC water closet, wheelchair WP waterproofing WWF welded wire fabric	MILLWORK TYPES:			
HRDWR hardware HRDWD hardwood	W/O without WD wood	CABINETS TO BE FULL OVERLAY, FLUSH PANEL, RIFT SAWN WHITE OAK, SEQUENCE MATCHED VENEER, VERIFY GRAIN DIRECTION WITH OWNER/ARCHITECT. PROVIDE FINISH SAMPLES FOR OWNER/ARCHITECT REVIEW			
INCL include (d), (ing) ID inside diameter INT interior	W/ with WT weight	INTERIORS OF CABINETS: STAINED WOOD VENEER, PROVIDE AVAILABLE FINISHES FOR OWNER/ARCHITECT REVIEW			
INT Interior INSUL insulation INV invert		GENERAL MILLWORK NOTES:			
JT joint		1. PROVIDE FINISHED SAMPLE OF WOOD FOR APPROVAL BY OWNER AND DESIGNER PRIOR TO STARTING FABRICATION.  2. GAP BETWEEN DRAWERS/DOORS WHEN CLOSED NOT TO EXCEED 1/8" (U.N.O.).  3. ALL DOOR HARDWARE TO BE W/ SELECLOSING CONCEALED CASECOOD HINGES BY BLUM OR APPROVED FOUND.			ISSUED FOR REVIEW NOT FOR CONSTRUCTION
l		3. ALL DOOR HARDWARE TO BE W/ SELF CLOSING CONCEALED CASEGOOD HINGES BY BLUM OR APPROVED EQUAL.  4. ALL DOOR, DRAWER AND PULLOUT HARDWARE TO BE SELF CLOSING BY BLUM OR APPROVED EQUAL.  5. ALL CARINETS TO HAVE AD JUSTABLE SHELVING LINE OF ON LINE BODE (1.1/4" O.C.) WITH ZINC BIN SUPPORTS.			SCALE: As Noted COMPUTER FILE:
		5. ALL CABINETS TO HAVE ADJUSTABLE SHELVING U.N.O. ON LINE BORE (1-1/4" O.C.) WITH ZINC PIN SUPPORTS 6. PROVIDE SILENCERS @ DRAWERS/DOORS. 7. ALL MILLWORK SHALL COMPLY WITH THE LATEST AWI PREMIUM GRADE STANDARDS			DRAWN BY:
		7. ALL MILLWORK SHALL COMPLY WITH THE LATEST AWI PREMIUM GRADE STANDARDS.  8. ALL WD. VENEER DRAWERS/DOORS/PANELS SHALL BE VENEERED ON ALL SIX SIDES, (U.N.O.).			PLOT DATE: APR 19, 2024  JOB NUMBER:
					PROJECT DATA
					OUTLINE SPEC SYMBOL LEGEND
					SHEET NUMBER
			•		G1.0





FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

#### GENERAL NOTES

1. FIELD VERIFY ALL DIMENSIONS, ELEVATIONS ARE AN INDICATION OF DESIGN INTENT – DIMENSIONS WILL VARY FROM ELEVATIONS. DO NOT SCALE DRAWINGS, IN CASES WHERE DIMENSIONS ARE NOT CLEAR; THE DIMENSIONS ARE TO BE VERIFIED BY REQUESTS FOR INFORMATION (RFI). INTERIOR DIMENSION STRINGS CLOSE OUT TO FACE OF EXTERIOR STUD WALL. DIMENSIONS OF CIP CONCRETE WALLS ARE TO NOMINAL FACE OF CONCRETE. EXTERIOR FACE OF FOUNDATION ALIGNS TO EXTERIOR FACE OF FRAMING. INTERIOR DIMENSIONS ARE TO NOMINAL FACE OF GYP BOARD, AND CLOSE OUT TO FACE OF FOUNDATION / FACE OF FRAMING.

2. THE CONTRACTOR (AND HIS SUB-CONTRACTORS) SHALL STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT IN WRITING ALL ERRORS, INCONSISTENCIES AND OMISSIONS IF DISCOVERED AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING THE WORK. IF THE CONTRACTOR PROCEEDS WITH ANY OF THE WORK SO AFFECTED WITHOUT WRITER INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD AT HIS OWN GOOD ANY RESULTING ERROR, DAMAGE, DEFECTS OR TIME DELAYS SO CAUSED. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK WITHOUT CONTRACT DOCUMENTS OR WHERE REQUIRED APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLES FOR SUCH PORTION OF THE WORK. MODIFICATION OF THIS DESIGN OR THESE DOCUMENTS IS EXPRESSLY PROHIBITED BY THE ARCHITECT AND STRUCTURAL ENGINEER WITHOUT WRITTEN PERMISSION.

3. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK. WORK NOT EXPLICIT IN THE DRAWINGS BUT CLEARLY IMPLIED AS NECESSARY TO COMPLETE THE PROJECT SHALL BE INTERPRETED AS FULLY DRAWN.

4. PROVIDE ONE LAYER MINIMUM 5/8" TYPE-X GYPSUM BOARD AT GARAGE CEILINGS. PROVIDE ONE LAYER MINIMUM 5/8" TYPE-X GYPSUM BOARD AT ALL INTERIOR WALL SURFACES, EXCEPT WET AREAS TO RECEIVE TILE; PROVIDE TILE BACKER AT THESE LOCATIONS.

5. ALL BEDROOM WINDOWS TO HAVE NET CLEAR OPENING DIMENSION OF AT LEAST 20" X 24" IRRESPECTIVE OF HEIGHT OR WIDTH TO ALLOW FOR EGRESS.

6. PROVIDE WEATHER RESISTIVE BARRIER (WRB, TYVEK D) AT ALL NEW WOOD FRAMED EXTERIOR WALLS. PROVIDE R-21 MINIMUM BATT INSULATION AT EXTERIOR STUDS AT INTERIOR FACE OF STUD WALL.

7. ALL ROOMS TO HAVE 8% MINIMUM NATURAL LIGHT THROUGH WINDOW OPENINGS, AND 3.5% MINIMUM NATURAL VENTILATION THROUGH OPERABLE

WINDOWS.

8. PROVIDE MINIMUM 2X FIRE BLOCKING AT FLOOR TO CEILING

INTERSECTION WITHIN INTERVENING STUD CAVITIES.

9. FIXTURE SELECTION, AND COORDINATION INTO ALL ASPECTS OF THE WORK, IS THE RESPONSIBILITY OF THE AND GC. FIELD VERIFY ALL DIMENSIONS. DIMENSIONS ARE AN INDICATION OF DESIGN INTENT ONLY—DIMENSIONS WILL VARY IN FIELD. OWNER AND GC ARE RESPONSIBLE FOR COORDINATION WITH FIXTURE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION AND OPERATION PER MANUFACTURER'S RECOMMENDATIONS. ALL APPLIANCES INCLUDING REFRIGERATOR CABINET HEIGHT AND WIDTH TO BE VERIFIED WITH OWNER AND COORDINATED BY GC, OPENING SIZED ACCORDINGLY TO REFRIGERATOR MANUFACTURER'S REQUIREMENTS.

10. GC / OWNER TO COORDINATE DESIGN—BUILD MECHANICAL / PLUMBING FOR REQUIRED PENETRATIONS AND CHASES FROM FIRST TO AND THROUGH SECOND FLOOR.

11. TOILET ACCESSORIES BY OWNER. PROVIDE BLOCKING IN WALL AS REQUIRED FOR INSTALLATION. PROVIDE WD BLOCKING IN WALL AT ALL SHOWER WALLS TO ACCOMMODATE SHOWER ROD. GC TO COORDINATE WITH OWNER FOR TOILET ACCESSORY LOCATIONS. PROVIDE CONTINUOUS WOOD BLOCKING AT HEADS AND AT CORNERS OF WINDOWS AND EXTERIOR DOORS FOR FUTURE WINDOW TREATMENT INSTALLATION.

#### FLOOR FINISH LEGEND

TYPICAL: SEE SHEET G1.0, VERIFY ALL SELECTIONS WITH OWNER/ARCHITECT, VERIFY FLOORING DIRECTION AND PATTERN WITH OWNER PRIOR TO INSTALLATION

LUXURY VINYL TILE

EXTERIOR WOOD DECK

CIP CONCRETE WALL, SEE STRUCTURAL

CIP CONCRETE SLAB SURFACE

### WALL LEGEND

EXTERIOR WALL, SEE WALL TYPES SHEET A1.1

ONE-HOUR RATED WALL, SEE WALL TYPES SHEET A1.1

## DOOR NOTES

DOOR NOTE:
1. PROVIDE INSULATED DOOR WITH 20 MIN. RATED DOOR, FRAME

AND ASSEMBLY AT GARAGE MAN DOOR.

2. SEE PLAN FOR DOOR OPERATION TYPE AND SWING, GC TO COORDINATE.

COORDINATE.
 GC TO AUDIT DOOR QUANTITIES AND HARDWARE W/ OWNER.
 ALL INTERIOR DOORS TO FLUSH PANEL RIFT SAWN WHITE OAK TO BE FIELD FINISHED. PROVIDE 30" WIDE NET CLEAR OPENING PER SPS 321.035, TYPICAL U.N.O.
 OVERHEAD GARAGE SECTION DOOR TO BE INSULATED UNIT

COMPLIANT WITH SPS 322 FOR R / U VALUE.

#### NEW RESIDENCE

113 West Lloyd Milwaukee, Wisconsin 53212

Milwaukee, Wisconsin 5
STRIEGEL
AGACKI

STUDIO

1430 UNDERWOOD AVENUE
UNIT 2
WAUWATOSA, WI 53213

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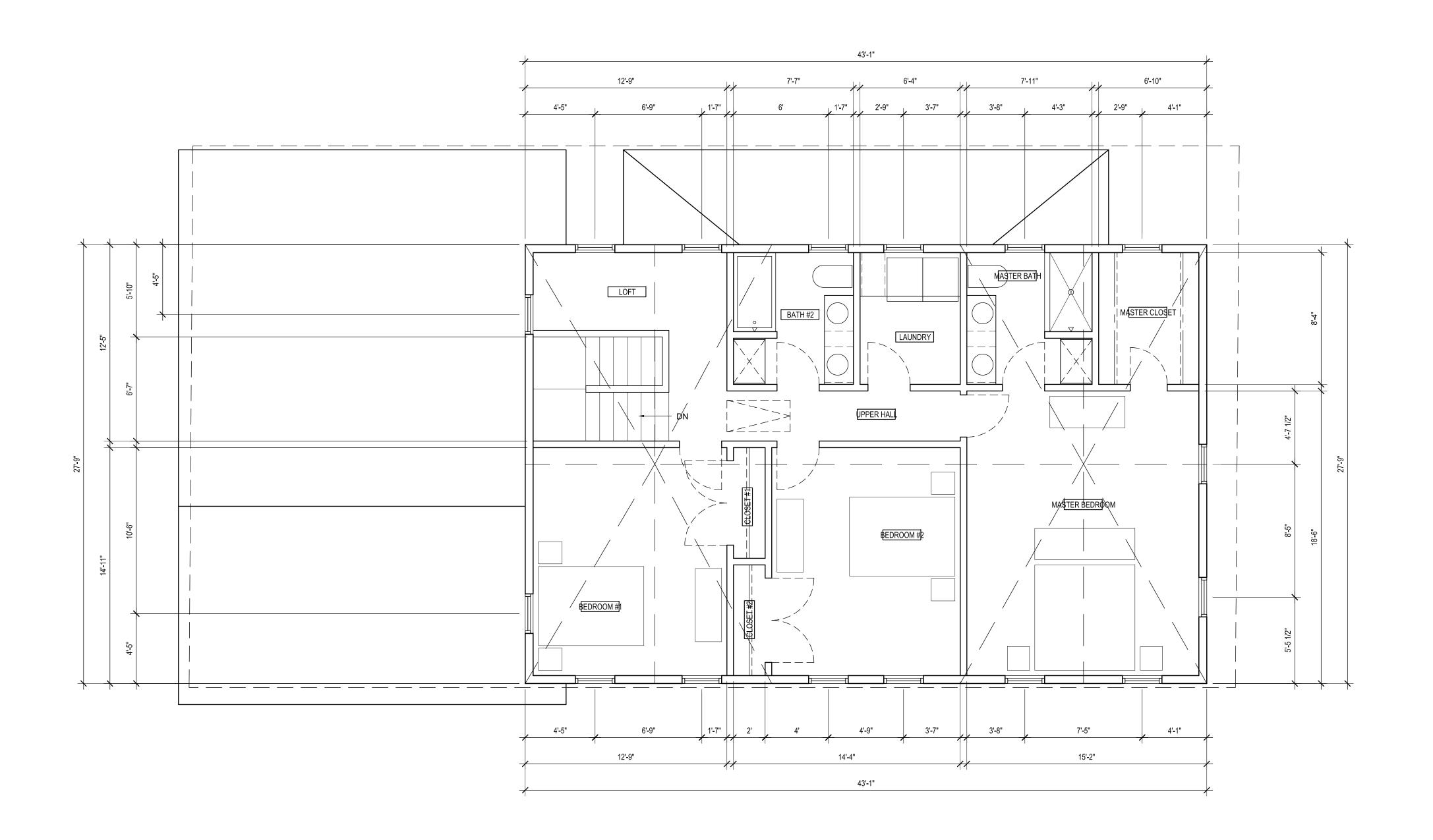
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LANS





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FULLY DRAWN. 4. PROVIDE ONE LAYER MINIMUM 5/8" TYPE-X GYPSUM BOARD AT GARAGE CEILINGS. PROVIDE ONE LAYER MINIMUM 5/8" TYPE—X GYPSUM BOARD AT ALL INTERIOR WALL SURFACES, EXCEPT WET AREAS TO

WORK. WORK NOT EXPLICIT IN THE DRAWINGS BUT CLEARLY IMPLIED AS NECESSARY TO COMPLETE THE PROJECT SHALL BE INTERPRETED AS

RECEIVE TILE; PROVIDE TILE BACKER AT THESE LOCATIONS. 5. ALL BEDROOM WINDOWS TO HAVE NET CLEAR OPENING DIMENSION OF AT LEAST 20" X 24" IRRESPECTIVE OF HEIGHT OR WIDTH TO ALLOW FOR EGRESS.

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7. ALL ROOMS TO HAVE 8% MINIMUM NATURAL LIGHT THROUGH WINDOW OPENINGS, AND 3.5% MINIMUM NATURAL VENTILATION THROUGH OPERABLE

8. PROVIDE MINIMUM 2X FIRE BLOCKING AT FLOOR TO CEILING INTERSECTION WITHIN INTERVENING STUD CAVITIES.

9. FIXTURE SELECTION, AND COORDINATION INTO ALL ASPECTS OF THE WORK, IS THE RESPONSIBILITY OF THE AND GC. FIELD VERIFY ALL DIMENSIONS. DIMENSIONS ARE AN INDICATION OF DESIGN INTENT ONLY -DIMENSIONS WILL VARY IN FIELD. OWNER AND GC ARE RESPONSIBLE FOR COORDINATION WITH FIXTURE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION AND OPERATION PER MANUFACTURER'S RECOMMENDATIONS. ALL APPLIANCES INCLUDING REFRIGERATOR CABINET HEIGHT AND WIDTH TO BE VERIFIED WITH OWNER AND COORDINATED BY GC, OPENING SIZED ACCORDINGLY TO REFRIGERATOR MANUFACTURER'S REQUIREMENTS.

10. GC / OWNER TO COORDINATE DESIGN—BUILD MECHANICAL / PLUMBING FOR REQUIRED PENETRATIONS AND CHASES FROM FIRST TO AND THROUGH SECOND FLOOR.

11. TOILET ACCESSORIES BY OWNER. PROVIDE BLOCKING IN WALL AS REQUIRED FOR INSTALLATION. PROVIDE WD BLOCKING IN WALL AT ALL SHOWER WALLS TO ACCOMMODATE SHOWER ROD. GC TO COORDINATE WITH OWNER FOR TOILET ACCESSORY LOCATIONS. PROVIDE CONTINUOUS WOOD BLOCKING AT HEADS AND AT CORNERS OF WINDOWS AND EXTERIOR DOORS FOR FUTURE WINDOW TREATMENT INSTALLATION.

#### FLOOR FINISH LEGEND

TYPICAL: SEE SHEET G1.0, VERIFY ALL SELECTIONS WITH OWNER/ARCHITECT, VERIFY FLOORING DIRECTION AND PATTERN WITH OWNER PRIOR TO INSTALLATION

TILE FLOOR

EXTERIOR WOOD DECK

CIP CONCRETE WALL, SEE STRUCTURAL

CIP CONCRETE SLAB SURFACE

LUXURY VINYL TILE

#### WALL LEGEND

EXTERIOR WALL, SEE WALL TYPES SHEET A1.1

ONE-HOUR RATED WALL, SEE WALL TYPES SHEET A1.1

# DOOR NOTES

DOOR NOTE: 1. PROVIDE INSULATED DOOR WITH 20 MIN. RATED DOOR, FRAME AND ASSEMBLY AT GARAGE MAN DOOR.

2. SEE PLAN FOR DOOR OPERATION TYPE AND SWING, GC TO 3. GC TO AUDIT DOOR QUANTITIES AND HARDWARE W/ OWNER.

4. ALL INTERIOR DOORS TO FLUSH PANEL RIFT SAWN WHITE OAK TO BE FIELD FINISHED. PROVIDE 30" WIDE NET CLEAR OPENING PER SPS 321.035, TYPICAL U.N.O. OVERHEAD GARAGE SECTION DOOR TO BE INSULATED UNIT

COMPLIANT WITH SPS 322 FOR R / U VALUE.

Milwaukee, Wisconsin 53212 STRIEGEL

1430 UNDERWOOD AVENUE

Vera Property Management

Brookfield, Wisconsin 53005

WAUWATOSA, WI 53213

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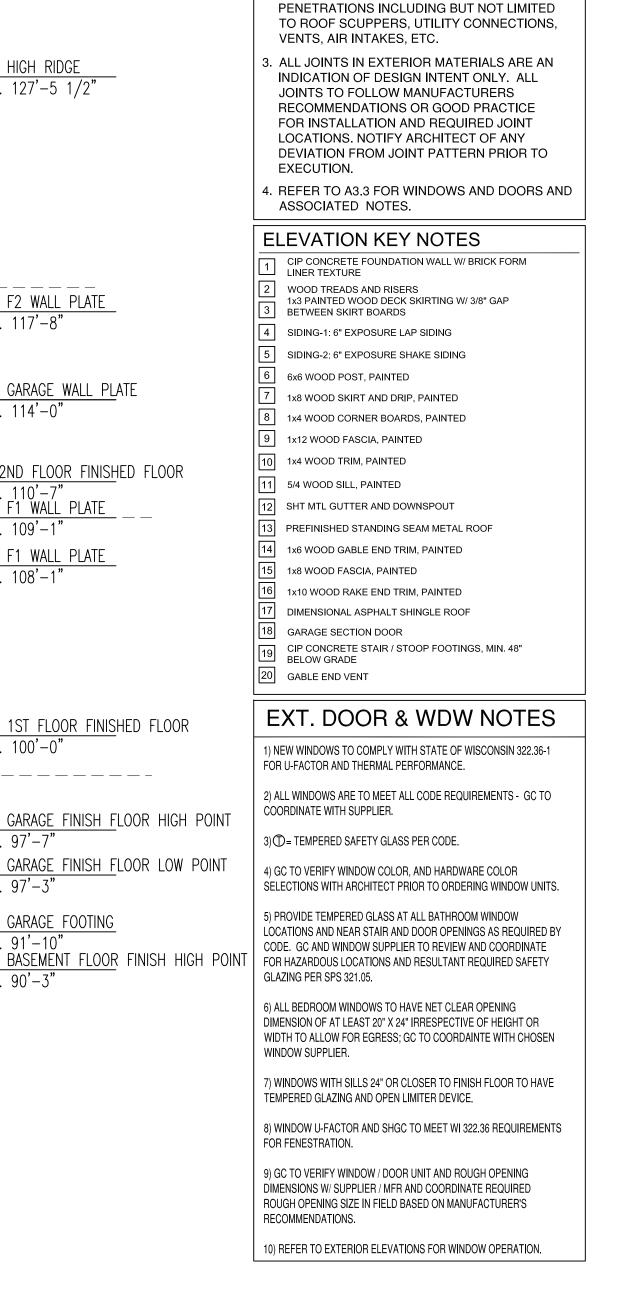
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GENERAL NOTES

AT NO COST TO THE OWNER.

2. NOTE ONE ABOVE APPLIES TO ALL

. PRIOR TO PENETRATION OF ANY EXTERIOR WALL

SURFACE THE LOCATION OF THE PENETRATION MUST BE COORDINATED AND APPROVED BY THE ARCHITECT. FAILURE TO OBTAIN PERMISSION

MAY RESULT IN RELOCATION OF THE INSTALLED

ITEM AND REPAIR OF THE AFFECTED SURFACES

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1430 UNDERWOOD AVENUE

Vera Property Management

Brookfield, Wisconsin 53005

WAUWATOSA, WI 53213

113 West Lloyd

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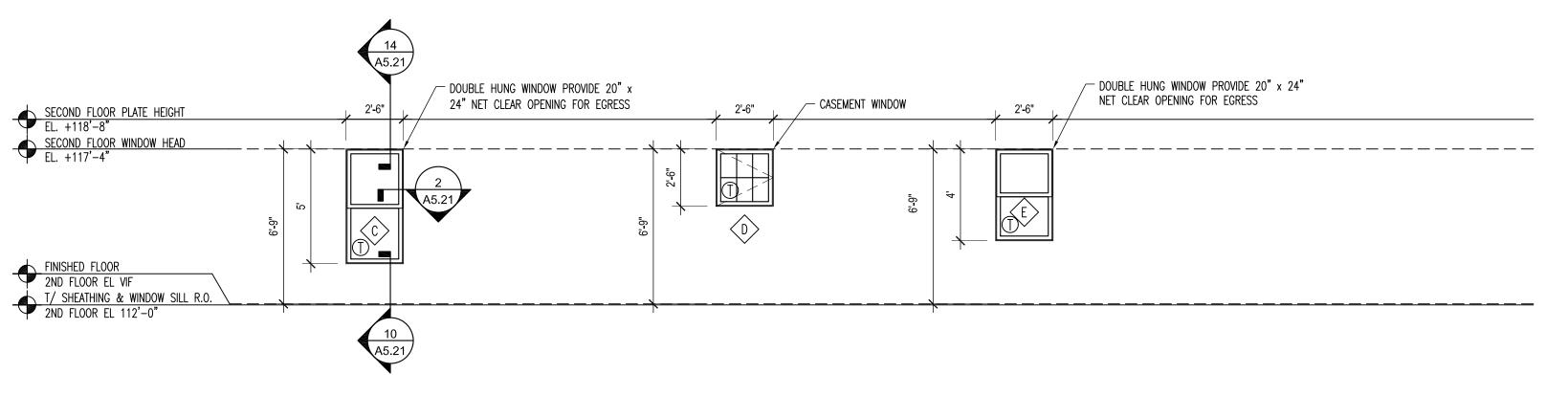
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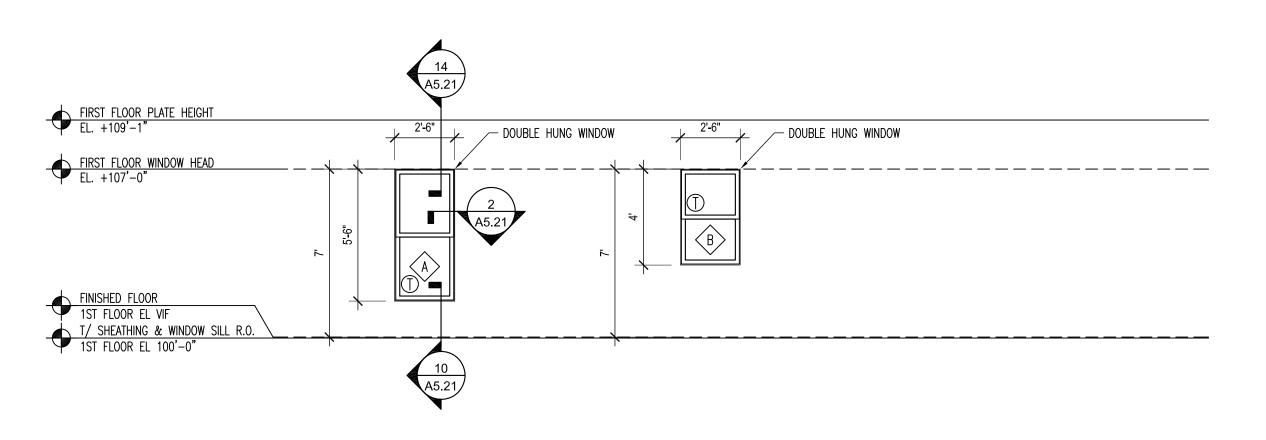
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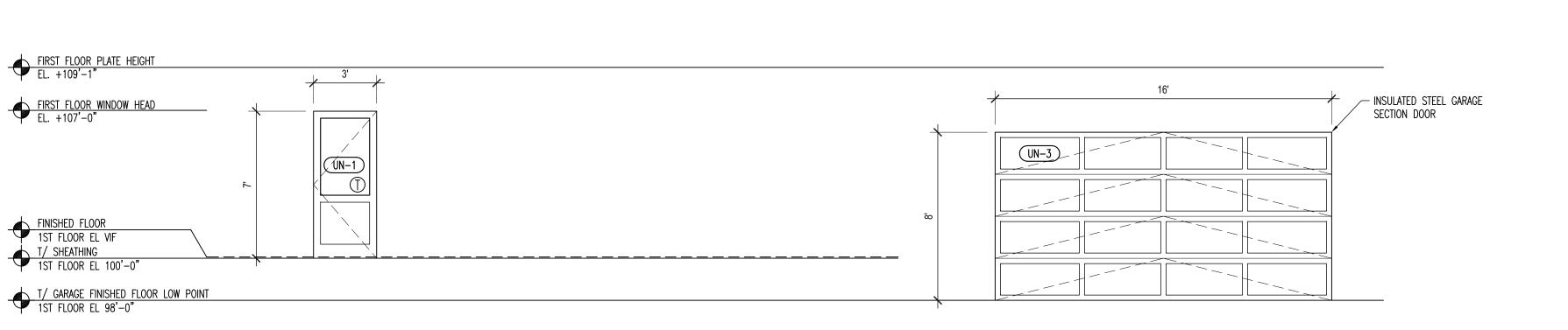
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#### GENERAL NOTES

1. WINDOW GROUPS TO BE FACTORY ASSEMBLED WITH NAILING FIN AND MATCHING JAMB COVERS.

2. ALL WINDOWS ARE TO MEET ALL CODE REQUIREMENTS - GC TO COORDINATE WITH SUPPLIER.

3.(T)= TEMPERED SAFETY GLASS PER CODE.

TO ORDERING WINDOW UNITS.

MANUFACTURER / SUPPLIER.

4. SWINGING DOORS WITH FULL LITES TO HAVE MINIMUM 10" HIGH BOTTOM RAIL PER ICC/ANSI A117.1 - 2009, 404.2.9.

5. REFER TO ELEVATION DRAWINGS FOR WINDOW OPERATION OR GROUPINGS.

6. GC TO VERIFY ALL WINDOW AND DOOR ROUGH OPENINGS IN FIELD PRIOR

7. ALL GLAZING TO COMPLY WITH IBC 2009, CHAPTER 24 FOR SAFETY GLAZING MATERIALS, REQUIRED APPLICABLE TESTING AND LOCATIONS, GC

AND SUPPLER TO VERIFY. 8. CHANGES IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAXIMUM IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER

THAN 1:2, VERIFY WITH DOOR LOCATIONS AND COORDINATE WITH

9. WINDOW AND DOOR SIZES ARE UNIT DIMENSIONS, NOT ROUGH OPENINGS. GC TO COORDINATE APPROVED WINDOW AND DOOR MANUFACTURER'S REQUIRED ADDITIONAL SHIM SPACE GIVEN POTENTIAL BUILDING SHRINKAGE AT WOOD FLOORS AND RESULTANT REQUIRED WINDOW AND DOOR ROUGH OPENINGS AND REPORT TO ARCH.

10. PROVIDE WINDOW OPENING LIMITERS THAT RESTRICT THE PASSAGE OF A 4" SPHERE IN COMPLIANCE WITH ASTM F2006.

11. EXTERIOR DOOR CLEAR OPENING WITH DOOR SWUNG OPEN TO 90 DEGREES OR FULLY SLID OPEN TO BE MINIMUM 32" CLEAR WIDTH, GC AND SUPPLIER TO VERIFY AND REPORT TO ARCH.

12. REFER TO A3 SHEETS FOR EXTERIOR CLADDING MATERIALS ADJACENT TO WINDOW UNITS AND NUMBERED DETAILS.

113 West Lloyd Milwaukee, Wisconsin 53212 STRIEGEL AGACKI

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OWNER: Vera Property Management Brookfield, Wisconsin 53005

WAUWATOSA, WI 53213

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WINDOW & DOOR