

MILWAUKEE METRO CENTER
AMENDED DETAILED PLANNED DEVELOPMENT
BERGSTROM AUTOMOTIVE
PROJECT: Description and Owner's Statement of Intent
REVISIONS ARE NOTED IN BOLD PRINT
JUNE 1, 2004

This amended detailed plan is hereby submitted by Bergstrom Automotive. This statement, together with the below described exhibits and supporting materials, comprises the amended development plan.

I. LIST OF EXHIBITS

1. Owner's Statement of Intent
2. Vicinity Map
3. Plat of Survey
4. Site Plan (showing proposed structures, site open spaces, site lighting, site signage, pedestrian and vehicular circulation, parking, loading facilities and refuse collection facilities)
5. Grading, Drainage (showing the existing and proposed topography at one foot contour intervals, location of storm sewers, parking and roadway storm inlets and elevations)
6. Utility and Plumbing Plan
7. Landscaping Plan (showing the proposed landscape screening and plant locations, quantity, type and size)
8. Building Elevations and Rendering (showing all façade elevations of the proposed building with material descriptions and wall signage)
9. Lighting Photo Metrics
10. Test Drive Route

II. DESCRIPTION OF THE DEVELOPMENT

The amended project consists of one structure containing 60.465 gross square feet devoted to office, showroom, and light service facilities, together with outside display area for automobiles in a landscaped setting. Service facilities will be primarily oriented toward providing service for automobile purchases, although as a convenience for area residents, service will be available to the public. In addition, an automobile rental subsidiary will be available, primarily for customers having their vehicles serviced. The showrooms will contain display vehicles in an existing interactive environment. Sales guides are available to assist. All vehicles displayed indoors and outdoors are clearly marked for sale and carry a comprehensive warranty. Parking for visitors is clearly shown on the attached site map as is display locations for sales vehicles. Please note that automobiles are displayed in landscaped bays with landscaping

EXHIBIT A
FILE NO. 040097

designed to provide an open space atmosphere, particularly when viewed from surrounding lands destined for office and hotel development. There are no adjacent residential developments. In addition to the limitations contained in the foregoing description of the development, the proponent agrees to the following special conditions desired by the City of Milwaukee.

OWNER'S STATEMENT OF INTENT

1. Hours of Operation shall be: Sales, Service and Maintenance - 7:00 a.m. to 9:00 p.m. Monday through Friday; 7:00 a.m. to 5:00 p.m. Saturday.
2. Test driving vehicles on residential streets shall be prohibited. No test drives may make a right turn at the intersection of Metro Boulevard and North 107th Street under any circumstances. Test drives will be conducted primarily on the test drive route described as Exhibit "10".
3. No vehicle may be displayed with its hood up, truck lid up, or doors open. No vehicles may be displayed on a ramp or any kind of moving platform except in specialty display areas. Each specialty display area shall not include more than four vehicles.
4. Except for a grand opening to be approved by the City, no balloons, flags, pennants, streamers, spinners, tinsels, or other similar devices, or any signs other than those contained in **Exhibit "4"** and on **Sheet A-1.2** shall be applied to any building or structure or strung on wires or otherwise used on site.
5. Lighting shall conform to that shown in Exhibit "4" and "9". Lighting shall conform to Section 295-409 of the City of Milwaukee. Lighting shall reduce in intensity from the south to the north down to a minimum security level along the rear of the property. At 10:00 p.m. the entire site illumination would be reduced to a low intensity level. Lighting shall not "spill" from the site to any adjacent area in excess of two foot candles. Refer to Photo Metrics attached.
6. Security will be designed to prevent or defer crime on-site through techniques included, but not limited to, lighting, security gates, landscape placement, surveillance cameras, and the like.
7. The majority of the vehicles sold on-site or leased from the site shall be new, some pre-owned vehicles will be sold. All vehicles kept at this site will be new or used retail vehicles owned by Bergstrom customers and employees.
8. Financing for cars sold or leased on-site shall not permit weekly or monthly car payments to be made on-site.
9. Delivery of vehicles should be limited to five trips per day and delivery vehicles may not wait on public rights-of-way.

10. All aforesaid conditions may be enforced by appropriate personnel of the City of Milwaukee including, but not limited to, Department of Building Inspector and Milwaukee Police Departments.

III. COMPLIANCE WITH STANDARDS

The proposed DPD provides for or complies with the standards by Section 295-812 and 295-813 as follows:

- A. Size – the project site contained 11.1897 acres.
- B. Setbacks – Setbacks along the north and south perimeters of the project boundary shall be 25 feet. 10 foot setbacks are required between the west parcel and Bergstrom Chevrolet.
- C. Screening and Open Spaces – There are no adjacent residential uses requiring screening. Nevertheless, the landscape plan (Exhibit "7") shows extensive use of landscaping both on the perimeter of the site and on the interior of the site all of which is in conformance with the standards contained in the ordinance. Bergstrom, Milwaukee Metro Center Developer and General Motors will be responsible for the continuous maintenance and replacement of landscaping, and in addition will maintain all open space on the site in an orderly manner consistent with the approved Landscape Plan. Open space locations are shown on the Development Plan (Exhibit "4" and "5").
- D. Circulation Facilities – The main entry to the DPD site is at the intersection on Metro Boulevard as shown on the Development Plan. Internal circulation provides for adequate safe access for pedestrians and public and private vehicles. Public parking is clearly shown on the Site Plan (Exhibit "4") . Delivery of automobiles by truck shall be at the location marked on the Development Plan and after initial stocking of the site, shall not exceed five trips per day. Unloading and loading of vehicle and parts transport trucks will occur only on the premises.
- E. Lighting – Project lighting shall conform to established standards used by the City and is identified on Plan (Exhibit "4" and "9").
- F. Utilities – all utilities, including storm and sanitary sewers, water mains and laterals, parking and roadway storm inlets, and the like are shown on the Plumbing and Utility Plan (Exhibit "6") and will be or already have been installed underground.
- G. Signage – Signage is described and located on Exhibit "4". **Building Signage will be individual internally illuminated, plastic faced light bar, metal sided letters. Chevrolet sign replacing existing HUMMER sign is internally illuminated, channel letters. New 18' high pylon sign at northwest corner of property will be internally illuminated, a type "A" sign with channel letters and logo cut into metal panel frame. Pylon will be on steel standards covered with aluminum panels. The 24' Chevrolet pylon sign has**

been approved prior to this amendment. The 18' Chevrolet pylon sign will require an amendment to the existing general and detailed plan for the Bergstrom Chevrolet site. This amendment is being submitted for Common Council's review. Signage will meet all requirements of S 295 and CH 244

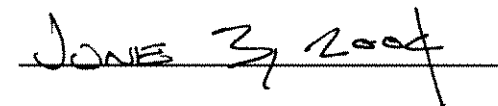
IV. MINOR MODIFICATIONS

Subject to the limitations contained in Section 295-813(4) of the Milwaukee Code of Ordinances, and in order to maintain flexibility as the development proceeds, Bergstrom Automotive expressly retains the right to make reasonable minor modifications provided that the limitations contained in the above cited section of the ordinance are not exceeded.

Respectfully submitted by:
Bergstrom Automotive

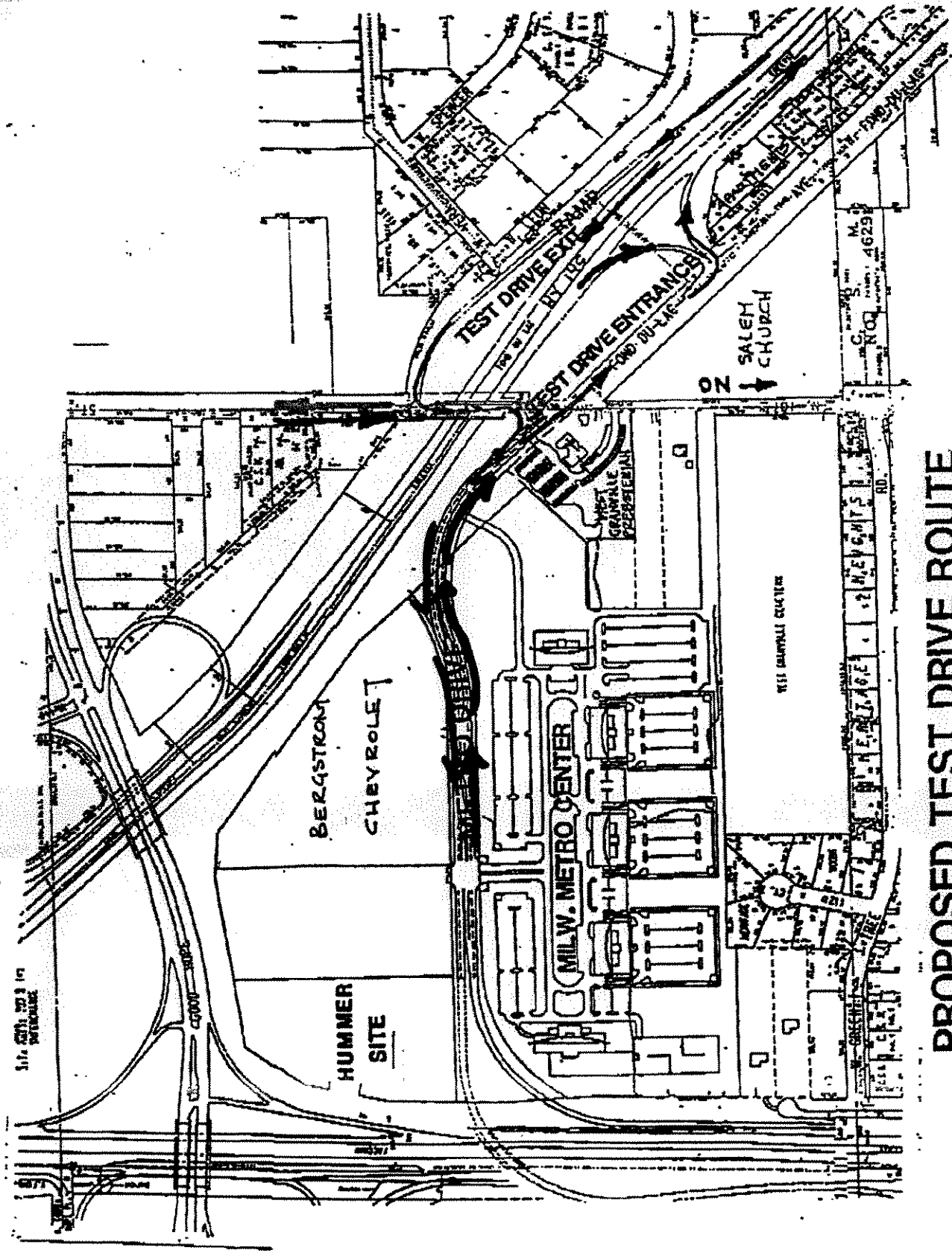

Agent: Stephen Gries

Date:



V. PROJECT STATISTICAL DATA

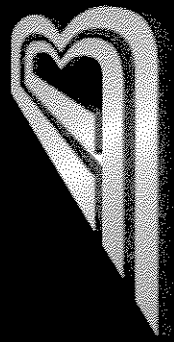
TOTAL SITE AREA	11.1897 ACRES
BUILDING COVERAGE	55,202 SF
PARKING	683 SPACES
GREEN SPACE	141,102 SF



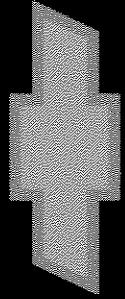
PROPOSED TEST DRIVE ROUTE

EXHIBIT 10

EXHIBIT A cont. File No. 040097



*Illuminated Pylon Sign
night view*



Bergstrom

MILWAUKEE METRO CENTER

AMENDED STAGE ONE DETAILED PLANNED DEVELOPMENT
BERGSTROM GOLDEN EAGLE DEALERSHIP

CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN

G:\Jay's AutoCAD r14 Work\03-014Bergstrom-Chey\National Survey\8-22-03\TSD01D50.dwg, 06/03/04 07:51:31 AM, © Gries Architectural Group, Inc.

OWNER:

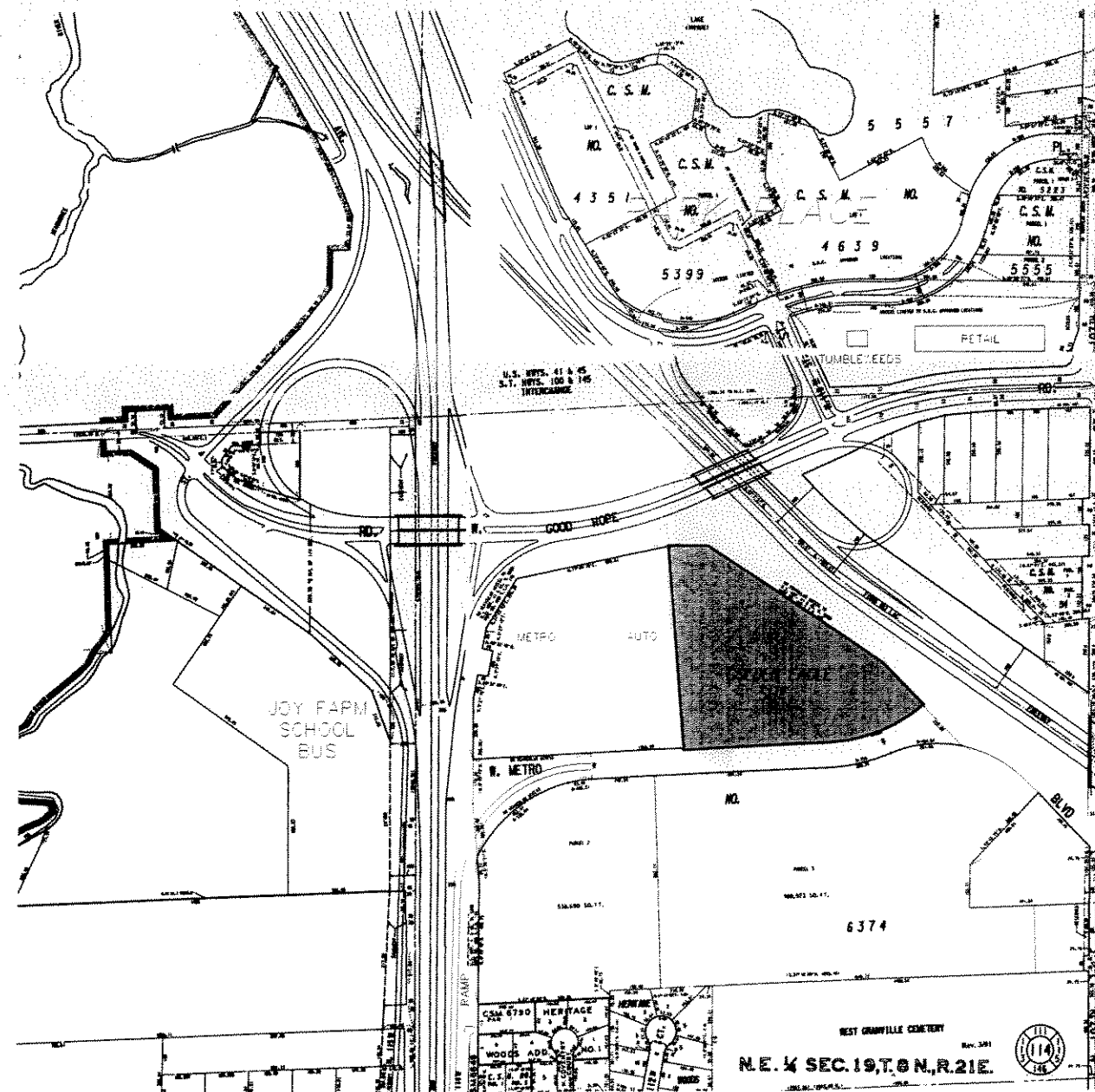
BERGSTROM CORPORATION
153 NORTH GREEN BAY ROAD
NEENAH, WI 54956
PH: 920/722-1111
FAX: 920/729-1111

ARCHITECT:

GRIES ARCHITECTURAL GROUP INC.
307 SOUTH COMMERCIAL STREET
NEENAH, WI 54956
PH: 920/722-2445
FAX: 920/722-6605

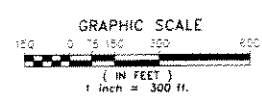
ENGINEER:

National Survey & Engineering
Telephone 262-781-1000
Facsimile 262-781-8400
16745 A. Bluemound Road
Suite 200
Brockfield, WI 53006-5938
www.nse.com



PLAN INDEX

SHEET NO.	DESCRIPTION
	COVER SHEET
EXHIBIT 1	OWNER'S STATEMENT OF INTENT
EXHIBIT 2	VICINITY MAP
EXHIBIT 3	PLAT OF SURVEY
EXHIBIT 4	SITE PLAN
EXHIBIT 5	GRADING PLAN
EXHIBIT 6	UTILITY PLAN
EXHIBIT 7	LANDSCAPE PLAN
EXHIBIT 8	BUILDING ELEVATIONS



REVISED
CHANGES TO AMMENDMENT
6/1/2004

DATE: AUGUST 22, 2003

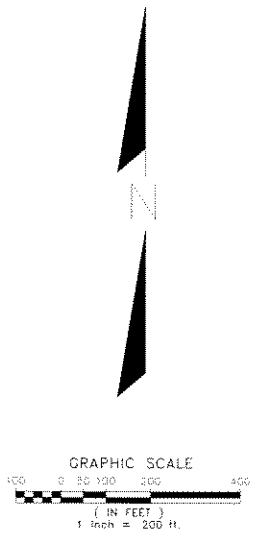
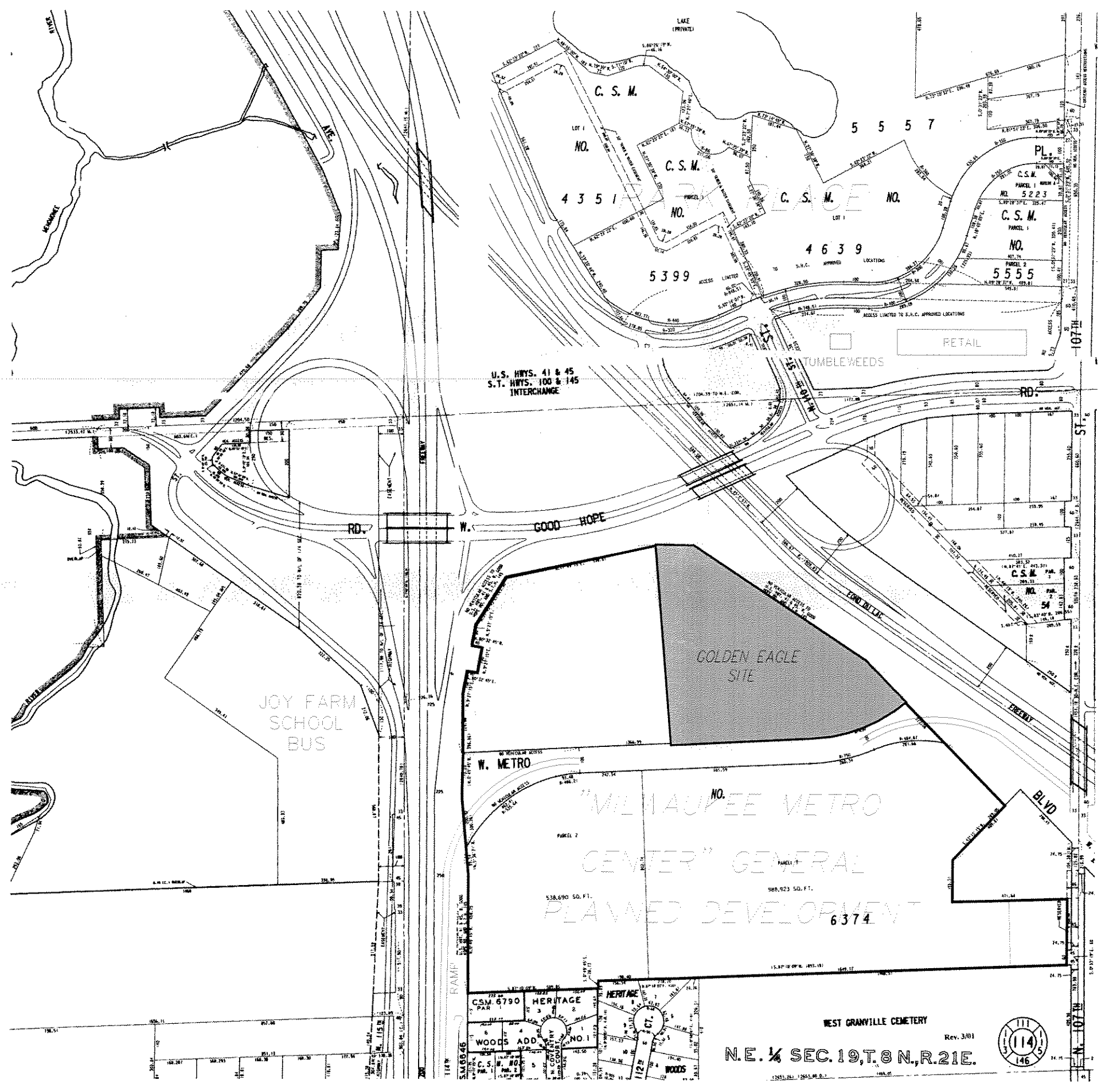


EXHIBIT 2

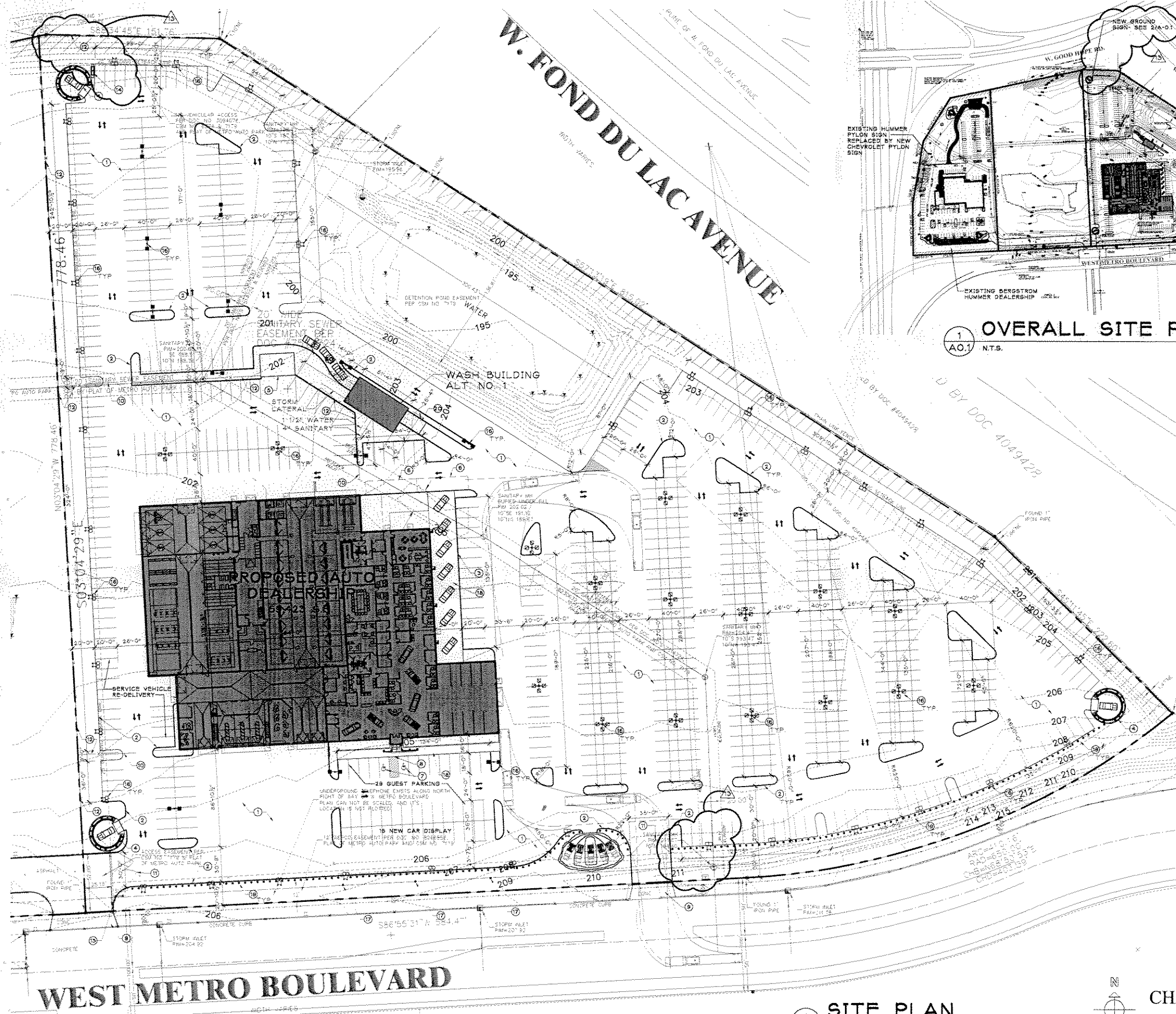
DETAILED PLANNED DEVELOPMENT
BERGSTROM GOLDEN EAGLE DEALERSHIP
MILWAUKEE, WISCONSIN

**EXHIBIT 2
VICINITY MAP**

National Survey & Engineering
Telephone 262-781-1000
Facsimile 262-781-8488
16745 N. Blumound Road
Suite 205
Brookfield, WI 53005-5636
www.nsebe.com



REVISIONS	
DATE	BY



1 OVERALL SITE PLAN
A0.1 N.T.S.

- SITE PLAN NOTES:**
- 1 PROVIDE 3" BITUMINOUS PAVING OVER MIN. 8" COMPACTED AGGREGATE FILL. PAVING TO BE INSTALLED IN 12' LINES (1 BINDER COURSE AND 1" WEAR COURSE). PAINTED PARKING LINES AND SYMBOLS AS SHOWN. VERIFY COLOR OF LINES AND SYMBOLS W/ OWNER. REFER TO CIVIL PLANS FOR DETAILS.
 - 2 8" CONCRETE CURB REFER TO DETAIL 2-A03
 - 3 MOUNTABLE CURB REFER TO DETAIL 1-A03
 - 4 RAISED CONCRETE DISPLAY PAD BY OWNER.
 - 5 DUMPSTER ENCLOSURE PER DETAIL 3-A03
 - 6 12'-0"x4'-6" LOADING AND UNLOADING SPACE.
 - 7 ADA PARKING W/ H.C. SIGN AND POST PER D.O.T. ADMIN. BUILD TRANS 200.07 TYPICAL. MINIMUM ONE POST MOUNTED SIGN TO HAVE ADDITIONAL D.O.T. APPROVED SIGN STATING VAN ACCESSIBLE.
 - 8 CURB RAMP PER ADA. REFER TO DETAIL 4-A03
 - 9 DRIVEWAY W/ CONCRETE APRON PER CITY OF MILWAUKEE STANDARDS
 - 10 SLIDING GATE
 - 11 SWING GATE. SEE DETAIL 12/A03
 - 12 8'-0" HIGH BLACK CHAIN LINK FENCE.
 - 13 DIRECTIONAL SIGN T&D
 - 14 GROUND SIGN, (ELEC. CONTR. TO PROVIDE CONDUIT AND POWER AS REQUIRED). VERIFY W/ OWNER.
 - 15 NEW 5" CONCRETE WALK (EXPOSED AGGREGATE) W/ 6X6 W/4 X W/4 WALK OVER BY MIN. COMPACTED AGGREGATE FILL. PROVIDE SCORE JOINTS AS SHOWN ON PLAN AND CONTROL JOINTS AT 30'-0" O.C. MAX. 5" RAMP NOT TO EXCEED 1:20 W/ FLARED SIDES AT RAMP NOT TO EXCEED 1:10 SLOPE. SEE MOUNTABLE CURB DETAIL 3-A03.
 - 16 PARKING LOT LIGHT FIXTURE WITH CONCRETE BASE. REFER TO DETAIL 3-A03
 - 17 (B) 40'-0" FLAG POLES WITH LIGHTS. SPACE POLES 12'-0" APART
 - 18 CONCRETE APRONS AND STOOP
 - 19 VINYL COVERED PIPE BOLLARDS 8" 8'-6" O.C. REFER TO DETAIL 10-A03
 - 20 12" X 20" CONCRETE APRON

SITE DATA

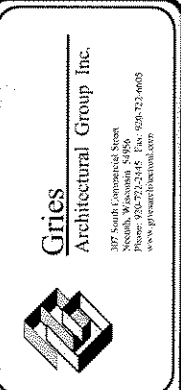
PROPERTY OWNER	BERGSTROM AUTOMOTIVE
SITE LOCATION	CITY OF MILWAUKEE
ZONING	MILWAUKEE METRO CENTER
ADJACENT ZONING	GENERAL PLANNED DEVELOPMENT MILWAUKEE METRO CENTER GENERAL PLANNED DEVELOPMENT

SITE USAGE

TOTAL SITE AREA	487,424 SF
PROPOSED BUILDING FOOTPRINT	56,202 SF 11%
PAVED AREA (IMPERVIOUS)	281,122 SF 58%
LANDSCAPE AREA	141,102 SF 29%

PARKING SUMMARY:

GUEST PARKING PROVIDED	30 SPACES
EMPLOYEE PARKING PROVIDED	78 SPACES
SERVICE PARKING PROVIDED	81 SPACES
VEHICLE DISPLAY PROVIDED	456 SPACES
TOTAL	645 SPACES



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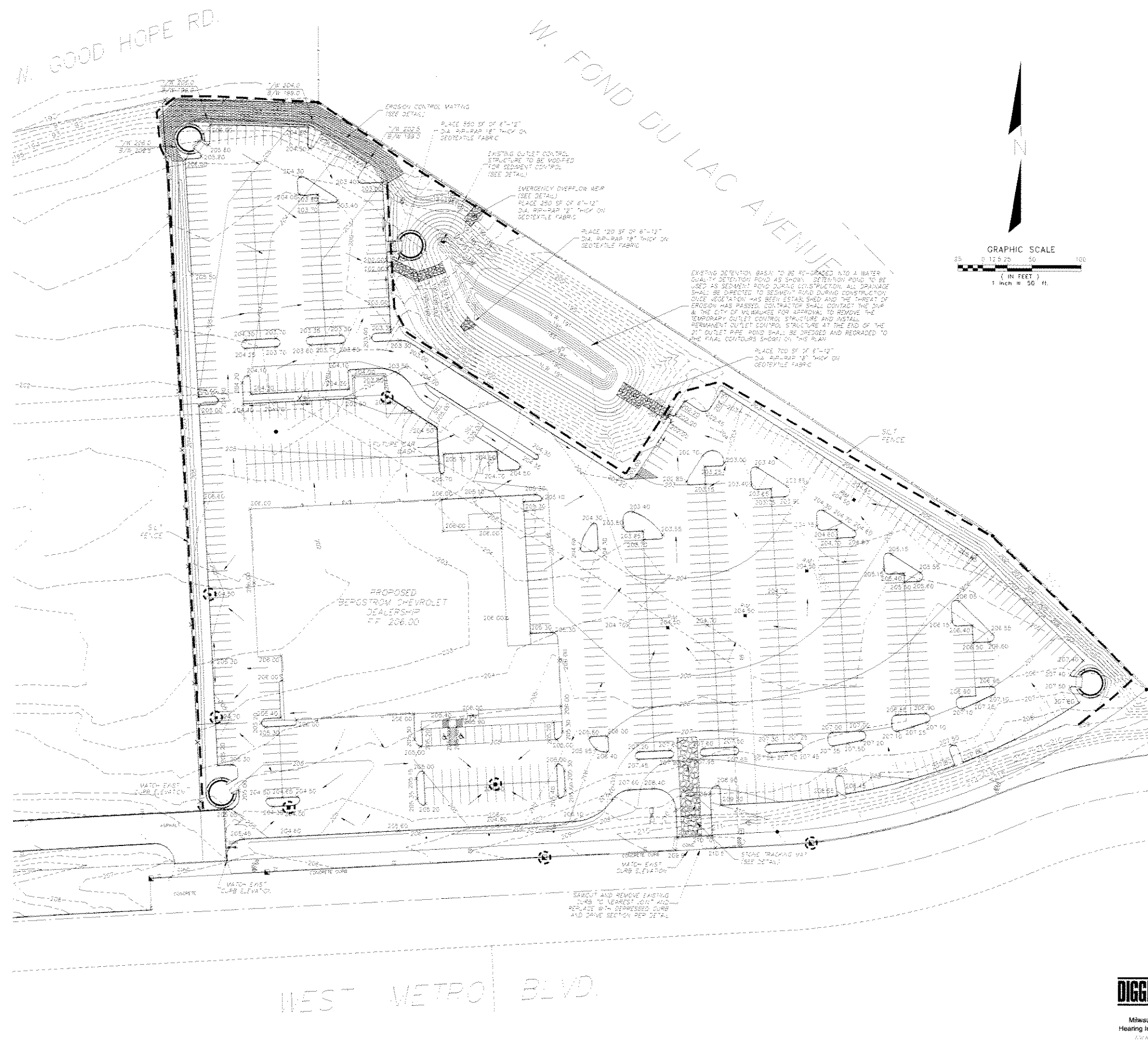
PROPOSED NEW BUILDING FOR:
BERGSTROM CHEVROLET
MILWAUKEE, WISCONSIN

date: 5/14/04
job: 03-014
d. by: JAY, JAC
rev. SIGN REL-OC 5/14/04

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0.1

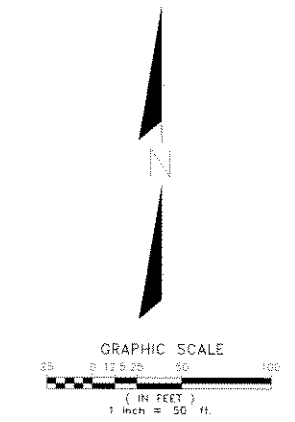
2 SITE PLAN
A0.1 1/4"=1'-0"

EXHIBIT 4
REVISED
CHANGES TO AMMENDMENT
6/1/2004



SPECIFICATIONS FOR GRADING & PAVING

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE MICHIGAN D.D. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL VERIFY THE CORNER AND THE VERTICALITY CORNER POINT (SEE NOTES FROM THE START OF CONSTRUCTION).
3. THE CONTRACTOR SHALL HAVE THE RIGHT TO REJECT, REWORK, AND SELECT THE CONSTRUCTION OF THE IMPROVEMENTS DETAILED BY THIS PLAN.
4. THE CONTRACTOR SHALL VERIFY THE CORNER, THE ELEVATION, AND THE VERTICALITY WITH RESPECT TO THE CORNER POINTS AND THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK IN THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORNER POINTS AND THE VERTICALITY WITH RESPECT TO THE CORNER POINTS AND THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK IN THIS PROJECT.
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- LEGEND**
- EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE (DASH GRADE)
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION (DASH GRADE)
 - EXISTING STORY STRUCTURE
 - PROPOSED STORY STRUCTURE
 - PROPOSED SILT FENCE (SEE DETAIL)
 - PROPOSED SILT GRATE SCREEN (SEE DETAIL)
 - PROPOSED EROSION CONTROL MATTING (SEE DETAIL)

NOTES:

EXISTING TOPOGRAPHY PROVIDED BY NATIONAL SURVEY & ENGINEERING, DATED FEBRUARY 12, 2003.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MILWAUKEE EROSION CONTROL ORDINANCE AND THE ILLINOIS CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

NATIONAL SURVEY & ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF NATIONAL SURVEY & ENGINEERING.

ALL DIMENSIONS SHOWN ARE TO PROPERTY LINES, EXCEPT BUILDING WALLS, OF FACE OF CURB UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT CREATION AND DIMENSIONS OF BUILDINGS, DRIVEWAYS, STAIRS, RETAINING WALLS, RAMPS, PROPOSED BUILDING DIMENSIONS AND EXISTING BUILDING UTILITY ENTRANCE LOCATIONS.

EXHIBIT 5

PROJECT MANAGER: AARON E. KOCH, P.E.
 BERGSTROM CHEVROLET DEALERSHIP
 CITY OF MILWAUKEE, WI

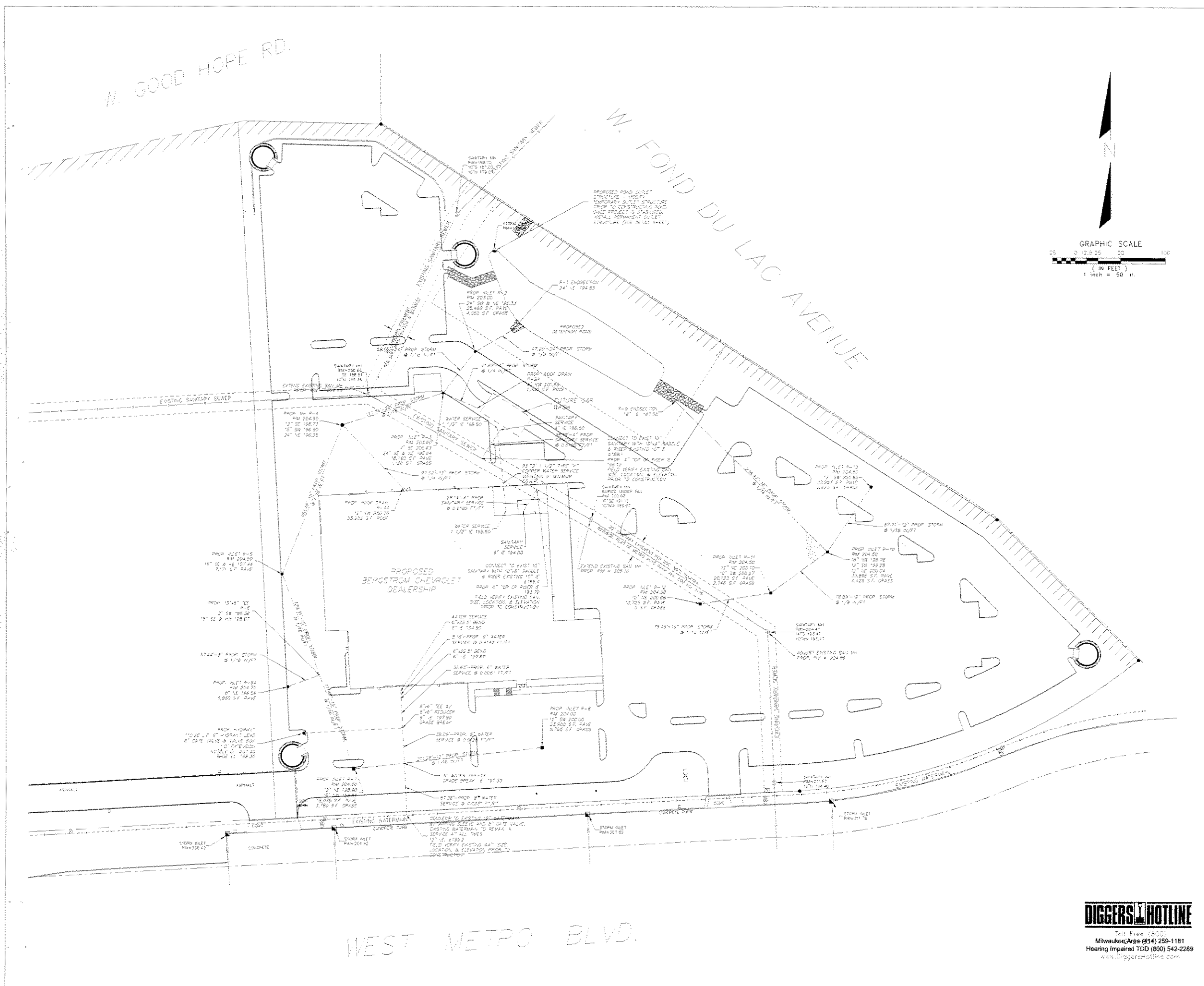
REVISIONS	
DATE	BY
09/23/03	CLR
09/30/03	CLR
10/03/03	PTA

GRADING, PAVING AND EROSION CONTROL PLAN

National Survey & Engineering
 Telephone 262-781-1500
 Fax 262-781-1500
 1745 S. Burrwood Road
 Suite 200
 Brookfield, WI 53005-0238
 414.956.2200



PROJECT NO: 3030135.03
 DATE: 10/01/03 SCALE: 1"=50'
 SHEET NO: 2 OF 4



SPECIFICATIONS FOR PRIVATE UTILITIES

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN RECENTEST EDITION AND THE LOCAL ORDINANCES AND SPECIFICATIONS.

2. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY, THROUGH THE ENGINEER, AT LEAST 14 DAYS PRIOR TO START OF CONSTRUCTION. THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO OBJECT, APPROVE, AND REFUSE TO CONSTRUCTION OF THE IMPROVEMENTS OF THIS PROJECT.

3. THE CONTRACTOR SHALL NOTIFY THE OWNER, THE ENGINEER AND THE MUNICIPALITY, THEIR AGENTS, ETC., FROM AT LEAST 14 DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND THE COMMENCEMENT OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE MUNICIPALITY.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE MUNICIPALITY.

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20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE MUNICIPALITY.

NOTES:

EXISTING TOPOGRAPHY PROVIDED BY NATIONAL SURVEY & ENGINEERING, DATED FEBRUARY 17, 2003.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MILWAUKEE EROSION CONTROL ORDINANCE AND THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

NATIONAL SURVEY & ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF NATIONAL SURVEY & ENGINEERING.

ALL DIMENSIONS SHOWN ARE TO PROPERTY, UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, WALKWAYS, BUILDING OVERLAYS AND EXISTING BUILDING UTILITY ENTRANCE LOCATIONS.

EXHIBIT 6

PROJECT MANAGER: AARON E. KOCH, P.E.

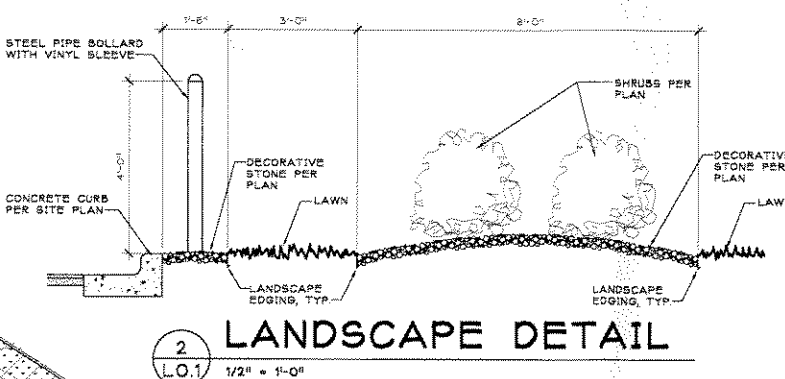
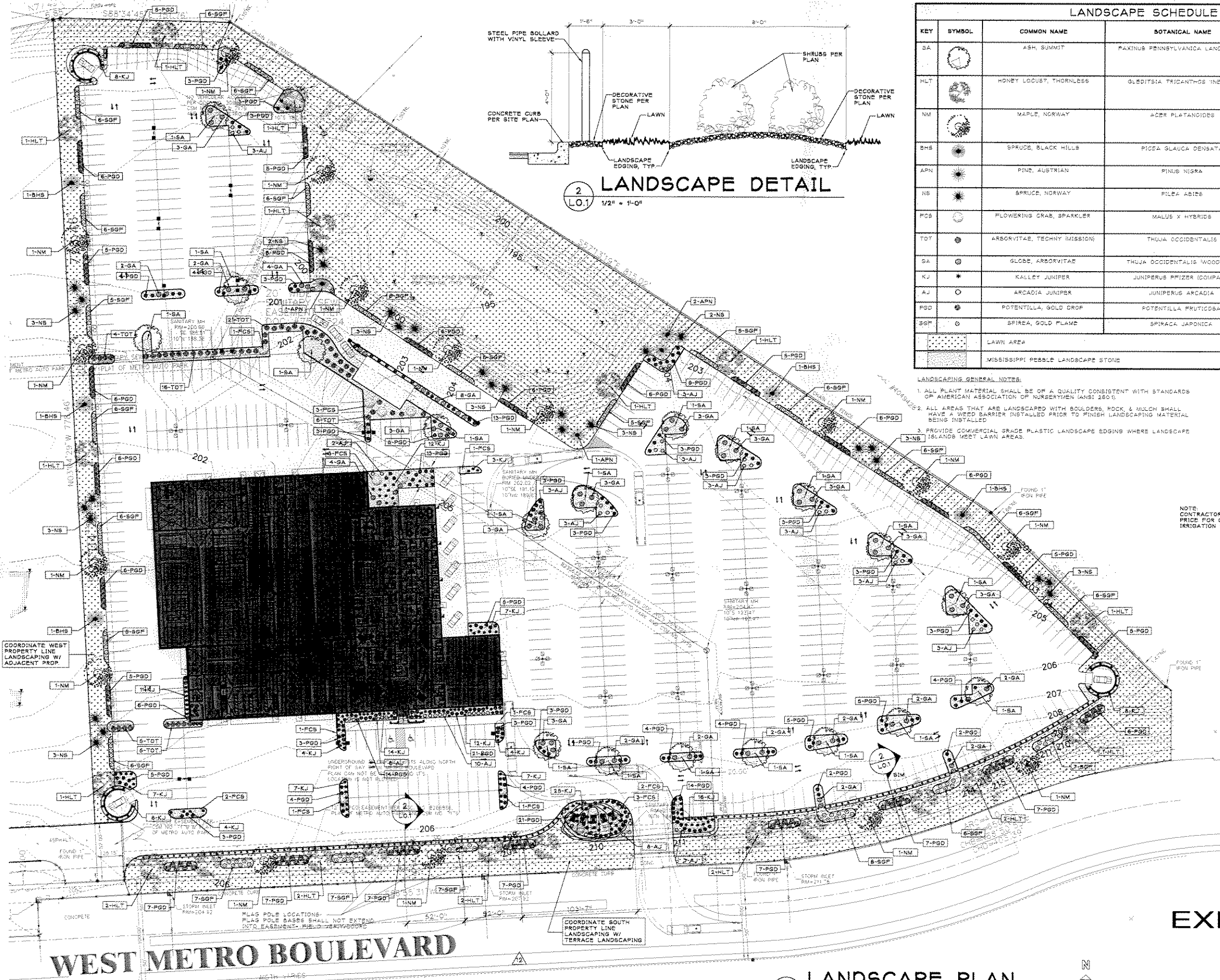
BERGSTROM CHEVROLET DEALERSHIP
CITY OF MILWAUKEE, WI

SITE UTILITY PLAN

National Survey, & Engineering
Telephone 262-781-1000
Fax 262-781-1000
16745 S. Greenfield Road
Suite 200
Brookfield, WI 53005-5536
www.nseinc.com

REVISIONS		
DATE	By	
09-30-03	CLR	
10-03-03	PTA	

DIGGERS HOTLINE
Toll Free (800) 368-3673
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



2 LANDSCAPE DETAIL
L.O.1 1/2" = 1'-0"

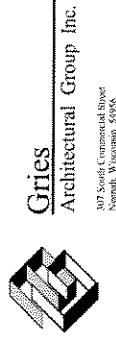
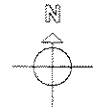
LANDSCAPE SCHEDULE						
KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	QTY.	MINIMUM SIZE & PLANTING	SIZE & MATURITY
SA		ASH, SUMMIT	FAXINUS PENNSYLVANICA LANCEOLATA	18	2 1/2" DIA.	50'
HLT		HONEY LOCUST, THORNLESS	GLEDISIA TRICANTHOS 'NERMIS'	20	2 1/2" DIA.	35'-60'
NM		MAPLE, NORWAY	ACER PLATANOIDES	16	2 1/2" DIA.	50'-60'
BHS		SPRUCE, BLACK HILLS	PICEA GLAUCA DENSATA	5	4'-6" HEIGHT	60'
APN		PINE, AUSTRIAN	PINUS NISRA	4	4'-8" HEIGHT	80'
NS		SPRUCE, NORWAY	PICEA ABIES	28	4'-6" HEIGHT	50'-60'
PCS		FLOWERING CRAB, SPARKLER	MALUS X HYBRIDS	18	2 1/2" DIA.	15'
TOT		ARBOVITAE, TECHN Y MISSION	THUJA OCCIDENTALIS	57	18" B&B	15'
GA		GLOBE, ARBOVITAE	THUJA OCCIDENTALIS 'WOODWARD'	58	18" B&B	3'
KJ		KALLEY JUNIPER	JUNIPERUS PRIFER (COMPACT)	187	12" B&B	2'
AJ		ARCADIA JUNIPER	JUNIPERUS ARCADIA	64	10" B&B	1'-3'
PGD		POTENTILLA, GOLD DROP	POTENTILLA FRUTICOSA	370	12" B&B	2'
SGP		SPIREA, GOLD FLAME	SPIRAGA JAPONICA	146	12" B&B	2'
		LAWN AREA				
		MISSISSIPPI PEBBLE LANDSCAPE STONE				

LANDSCAPING GENERAL NOTES:
 1. ALL PLANT MATERIAL SHALL BE OF A QUALITY CONSISTENT WITH STANDARDS OF AMERICAN ASSOCIATION OF NURSERYMEN (ANSI 260).
 2. ALL AREAS THAT ARE LANDSCAPED WITH BOULDERS, ROCK & MULCH SHALL HAVE A WEED BARRIER INSTALLED PRIOR TO FINISH LANDSCAPING MATERIAL BEING INSTALLED.
 3. PROVIDE COMMERCIAL GRADE PLASTIC LANDSCAPE EDGING WHERE LANDSCAPE ISLANDS MEET LAWN AREAS.

NOTE: CONTRACTOR TO PROVIDE ALTERNATE PRICE FOR COMPLETE LANDSCAPE IRRIGATION SYSTEM.

WEST METRO BOULEVARD

1 LANDSCAPE PLAN
L.O.1 1" = 40'-0"



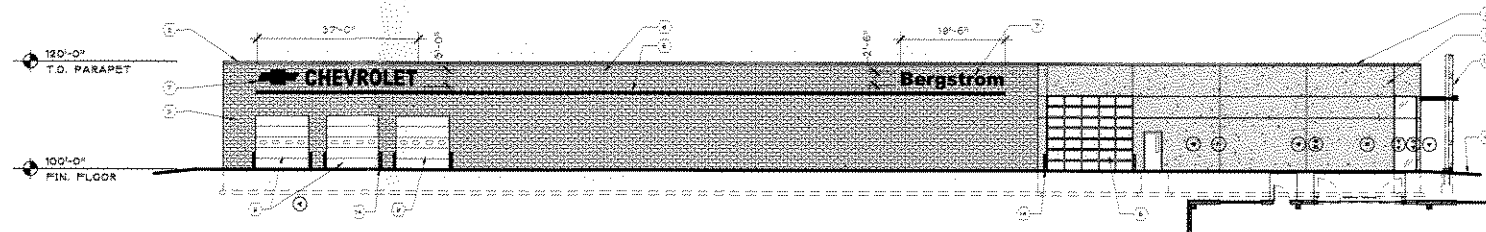
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PROPOSED NEW BUILDING FOR:
BERGSTROM CHEVROLET
 MILWAUKEE, WISCONSIN

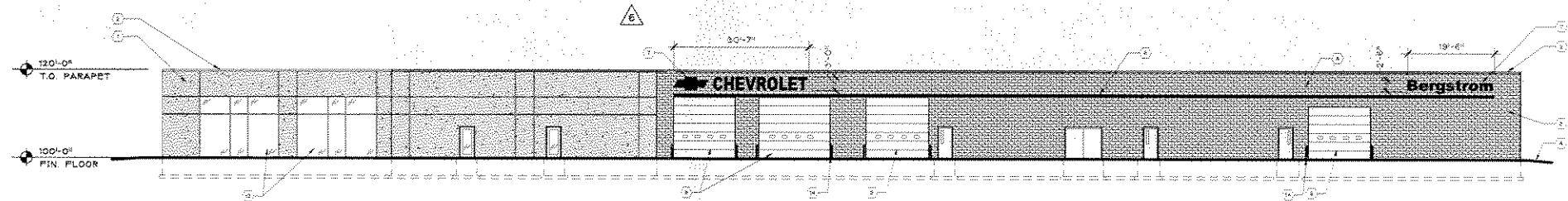
date: 06/03/04
 job: 03014
 d. by: JAK
 rev: PER CLARIF. 3/21/04

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EXHIBIT 7

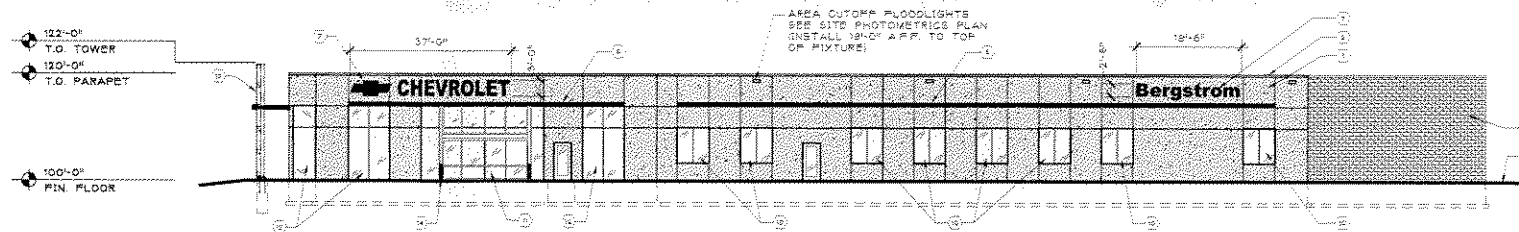


4 WEST ELEVATION
A4.1 1/16"=1'-0"

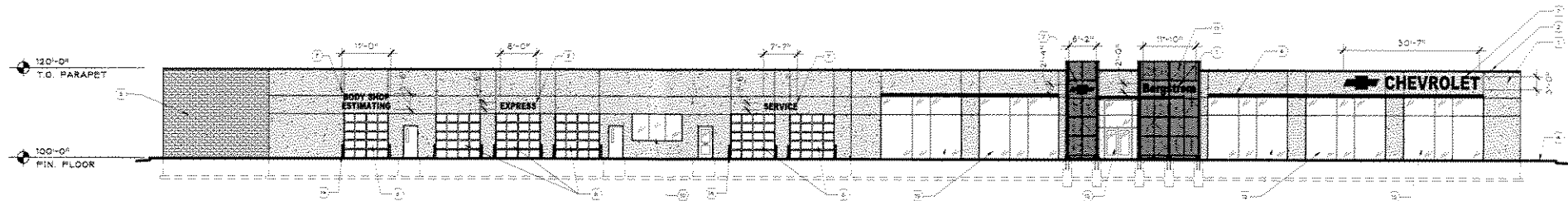


3 NORTH ELEVATION
A4.1 1/16"=1'-0"

- GENERAL ELEVATION NOTES:**
1. S.I.F.S. WITH 2 1/2" WIDE REVEALS, SEE WALL SECTIONS FOR MORE INFORMATION.
 2. PREFINISHED METAL COPING.
 3. PAINTED SPLIT FACE CMU.
 4. FINISHED GRADE, SEE GRADING PLAN FOR DETAILS.
 5. ALUMINUM OVERHEAD DOOR WITH INSULATED GLASS, SEE DOOR SCHEDULE FOR DETAILS.
 6. ACCENT BAND WITH INTERNAL LIGHTING, ELECTRICIAN TO PROVIDE POWER AS REQUIRED.
 7. DEALER SIGNAGE, 4 1/2" DEPTH LETTERS WITH PLASTIC FACE AND INTERNAL LIGHTING.
 8. CONTROL JOINT, TYP.
 9. INSULATED STEEL OVERHEAD DOOR, SEE DOOR SCHEDULE FOR DETAILS.
 10. ALUMINUM FRAMED WINDOWS WITH INSULATED GLASS.
 11. ALUMINUM FRAMED VEHICLE DELIVERY DOOR WITH INSULATED GLASS, SEE DOOR SCHEDULE FOR DETAILS.
 12. ALUMINUM FRAME STOREFRONT SYSTEM WITH INSULATED GLASS.
 13. PREMANUFACTURED ENTRY TOWER, SEE FLOOR PLAN FOR DETAILS.
 14. STEEL PIPE BOLLARD, TYP. SEE FLOOR PLAN FOR LOCATIONS.



2 EAST ELEVATION
A4.1 1/16"=1'-0"



1 SOUTH ELEVATION
A4.1 1/16"=1'-0"

EXHIBIT 8

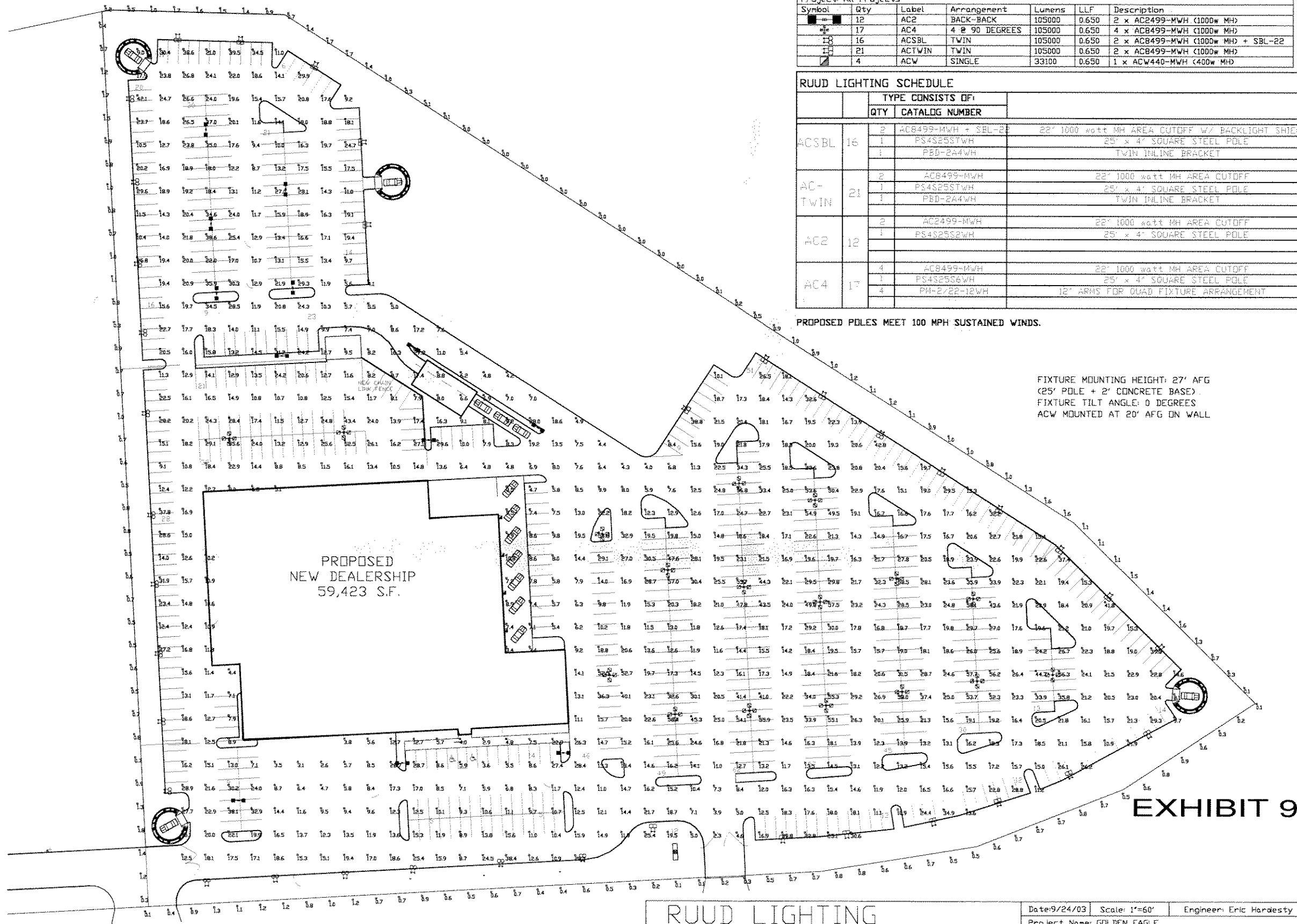
Gries Architectural Group Inc.
397 South Commercial Street
Milwaukee, WI 53212-3345
Phone: 414-224-3345 Fax: 414-224-4605
www.griesarchitect.com

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PROPOSED NEW BUILDING FOR:
BERGSTROM CHEVROLET
MILWAUKEE, WISCONSIN

date: 02/20/04
job: 03-04
d. by: AM
rev: 6 PER ACCENT 2/18/04

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4.1



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
■	12	AC2	BACK-BACK	105000	0.650	2 x ACB499-MWH (1000w MH)
■	17	AC4	4 @ 90 DEGREES	105000	0.650	4 x ACB499-MWH (1000w MH)
■	16	ACSBL	TWIN	105000	0.650	2 x ACB499-MWH (1000w MH) + SBL-22
■	21	ACTWIN	TWIN	105000	0.650	2 x ACB499-MWH (1000w MH)
■	4	ACW	SINGLE	33100	0.650	1 x ACW440-MWH (400w MH)

RUUD LIGHTING SCHEDULE			
		TYPE CONSISTS OF:	
	QTY	CATALOG NUMBER	
ACSBL	16	2	ACB499-MWH + SBL-22 22' 1000 watt MH AREA CUTOFF W/ BACKLIGHT SHIELD
		1	PS4S25S2WH 25' x 4" SQUARE STEEL POLE
		1	PBD-2A4WH TWIN INLINE BRACKET
AC-TWIN	21	2	ACB499-MWH 22' 1000 watt MH AREA CUTOFF
		1	PS4S25S2WH 25' x 4" SQUARE STEEL POLE
		1	PBD-2A4WH TWIN INLINE BRACKET
AC2	12	2	ACB499-MWH 22' 1000 watt MH AREA CUTOFF
		1	PS4S25S2WH 25' x 4" SQUARE STEEL POLE
AC4	17	4	ACB499-MWH 22' 1000 watt MH AREA CUTOFF
		1	PS4S25S6WH 25' x 4" SQUARE STEEL POLE
		4	PH-2/22-12WH 12' ARMS FOR QUAD FIXTURE ARRANGEMENT

PROPOSED POLES MEET 100 MPH SUSTAINED WINDS.

FIXTURE MOUNTING HEIGHT: 27' AFG
(25' POLE + 2' CONCRETE BASE)
FIXTURE TILT ANGLE: 0 DEGREES
ACW MOUNTED AT 20' AFG ON WALL

PROPOSED
NEW DEALERSHIP
59,423 S.F.

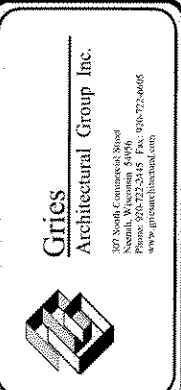
EXHIBIT 9

LIGHTING PHOTOMETRICS PLAN
1
AO.2 1"=40'-0"

RUUD LIGHTING
800.236.7000 USA <www.ruudlighting.com> 905.671.1991 CAN

Illumination results shown on this lighting design are based on project parameters provided to Ruud Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying compliance with any applicable electrical, lighting, or energy code.

Date: 9/24/03	Scale: 1"=60'	Engineer: Eric Hardesty			
Project Name: GOLDEN EAGLE					
Filename: v:\Common\AppEng\OUT\30825GAIE.DHR2.A32					
MAINTAINED FOOTCANDLES SHOWN AT GRADE					
Numeric Summary					
Project: All Projects					
Label	Avg	Max	Min	Avg/Min	Max/Min
LOT	18.79	58.5	2.3	8.17	25.43
PROPERTY LINE	0.75	1.8	0.0	0.00	0.00

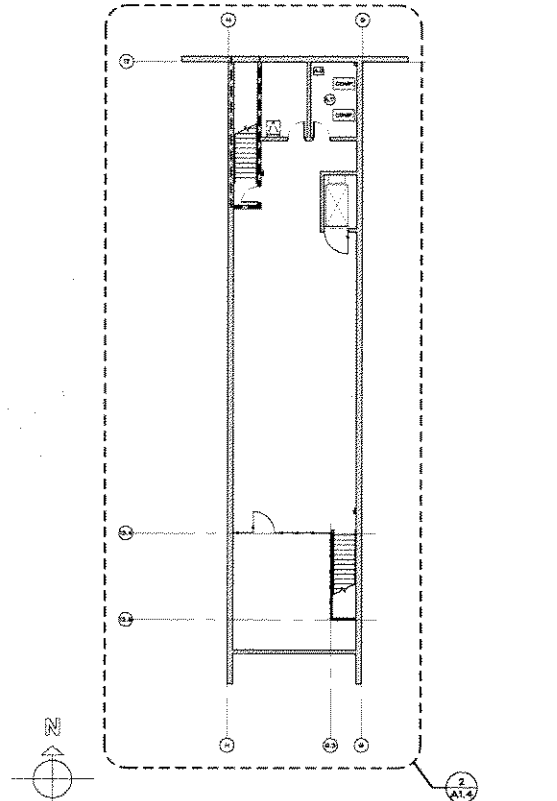


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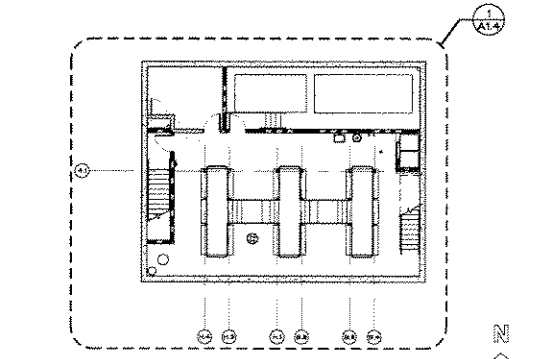
PROPOSED NEW BUILDING FOR:
BERGSTROM CHEVROLET
MILWAUKEE, WISCONSIN

date: 9/22/03
job: 2204
d. by: eh
rev:

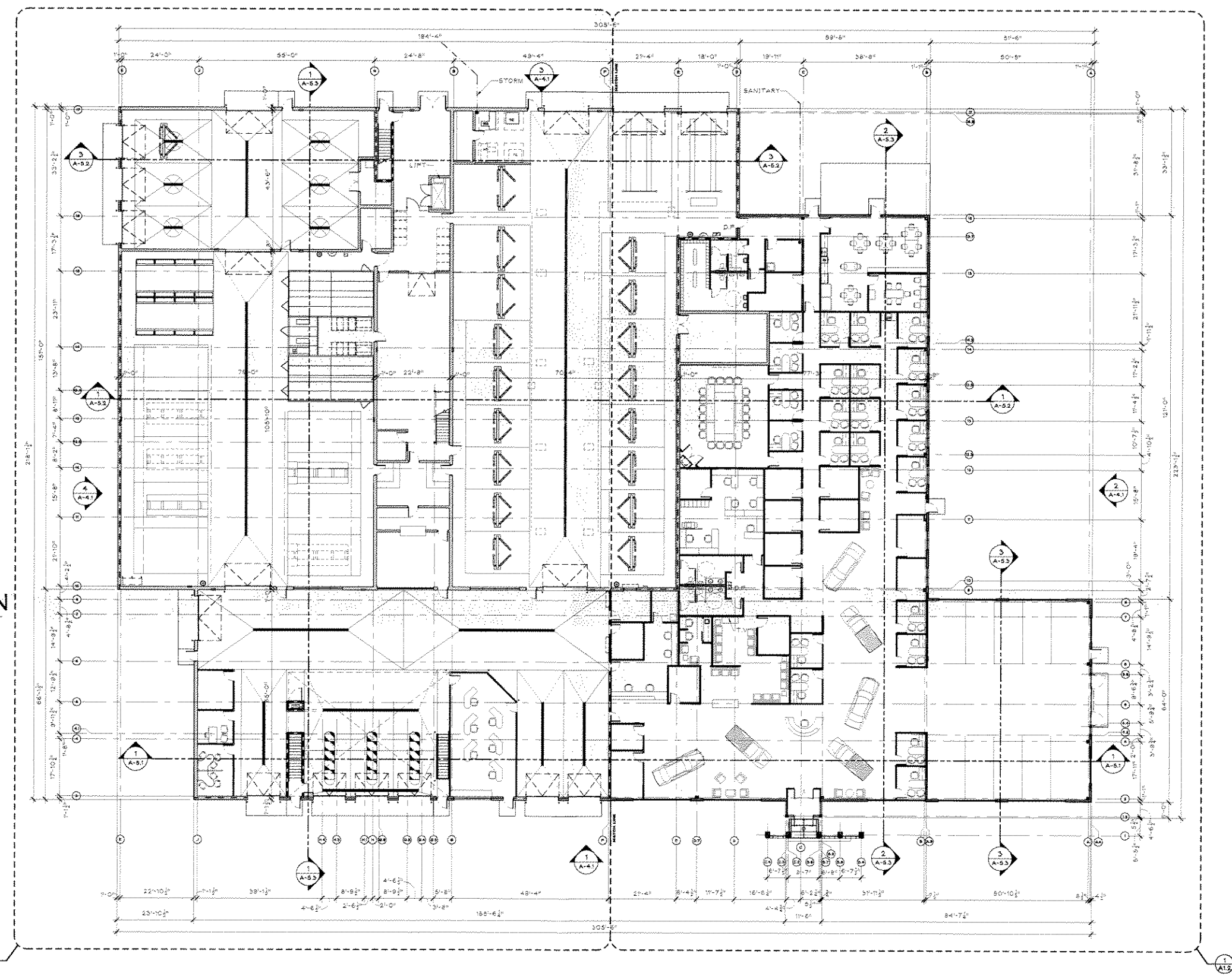
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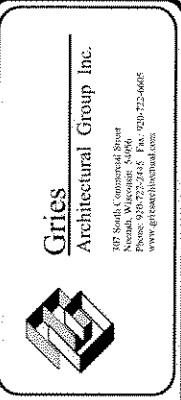
3 SECOND FLOOR PLAN
1/16"=1'-0" [SECOND FLOOR PARTS= 2,258 S.F.]



2 EXPRESS LUBE BASEMENT PLAN
1/16"=1'-0" [BASEMENT LUBE PIT= 1,863 S.F.]



1 OVERALL FIRST FLOOR PLAN
1/16"=1'-0" [FIRST FLOOR TOTAL= 55,202 S.F.]



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PROPOSED NEW BUILDING FOR:
BERGSTROM CHEVROLET
MILWAUKEE, WISCONSIN

date: 5/22/04
job: 0304
d. by: ASH
rev:

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