

*Detailed Planned Development
For
Granville Park*

**Project Description
and
Owner's Statement of Intent**

Highland Limited Partnership of Wisconsin, joins with SunStarr Housing Group, LLC, in requesting a change from the Granville General Planned Development previously approved for Lot 3, Block 2 to a Detailed Planned Development.

Subject Property

The property subject to this Planned Development is described as:

Lot Three (3), Block Two (2), in the Highlands, a Planned Development, being a subdivision of a part of the Northeast One-quarter (1/4) and Southeast One-quarter (1/4) of Section Seven (7), Township Eight (8) North, Range Twenty-one (21) East, together with the area of the vacated roadway adjoining the parcel to the west, in the City of Milwaukee, Milwaukee County, Wisconsin.

The property is a 3.500 acre tract of land generally described as 8383 N. 107th Street In the City of Milwaukee.

This parcel will be reserved for development of 65 multi-family residential units exclusively for seniors, 55 years or older, as set forth in the previously approved General Development Plan. The development will also offer limited supportive personal and nursing services as provided under the Wisconsin Administrative Code, Chapter HFS 89, as set forth in the previously approved General Development Plan.

A shared access drive with Meetinghouse and Le Parc House is provided. No access to the existing Highlands Condominiums will be provided, as agreed to by the Highlands Homeowners' Association.

Intended Development

The property will be developed as *Garden Place*, a two and three-story building with 64 living units for senior residents 55 years or older. The prairie-style building will be finished in a combination of shale Ledgestone® and tan stucco-style EFIS siding. The building will have multiple key-lock entrances providing access to one elevator and two stairwells. The building will have a maximum height of 42 feet and will have a roof pitch of 4 in 12.

The building will include 51 studio and one-bedroom units and 13 two-bedroom residential units with full kitchens and emergency pull-cords and 31 units will have balconies or patios. *Garden Place* will also have a central kitchen, common and private dining areas, a beauty salon, a library with computer access and several community rooms. The building will also have a fitness facility and separate a health office for medical purposes.

A walking path from 107th Street will welcome visitors into a courtyard setting leading to the building's primary east-side entrance. A second, west-side entrance is provided for residents and visitors who wish to access *Garden Place* by motor vehicle.

Traffic will access the development off a shared-access drive connected to Donna Drive. A combination of 36 outdoor and 36 indoor parking spaces will be provided, of which two outdoor and two indoor spaces will be designated for handicapped use.

A single, low profile monument sign identifying the development will be located near the east entrance and visible from 107th Street. A second, low profile monument sign identifying the development will be located near the Donna Drive access in order to direct visitors. Both signs shall be in full compliance with applicable City codes and design standards.

Planned Development Standards

Use:

The residential use of *Garden Place* is consistent with the General Planned Development known as Granville Park.

Design Standards:

Design elements and standards are set forth in the plans submitted herewith.

Density:

The overall parcel density of 18.29 units per acre is a slight reduction from the prior approved density of 18.57 units per acre for *Granville Park*.

Setbacks:

Minimum allowable building setbacks are 32 feet to the south and west, 40 feet to the east and 50 feet to the north. Minimum actual building setbacks will be as follows:

- 73.6 ft to the south property line,
- 169.3 ft to the west property line,
- 42.0 ft. to the east property line, and
- 56.8 ft to the north property line

Open Space:

Please see conceptual plans submitted herewith.

Circulation, Parking and Loading:

Garden Place will have 36 underground spaces and 36 outdoor spaces, including four handicapped spaces. *Garden Place* also includes a pedestrian walkway from the primary east entrance and the secondary north and south courtyard entrances to the sidewalk along 107th Street. It also includes a walking path through its open space.

Landscaping and Screening

The landscaping plan for *Garden Place* was designed to take advantage of existing trees to create an attractive outdoor setting while providing appropriate screening for its residential neighbors. Landscaping along the south and west sides of the development will be a mixture of new and existing evergreen and deciduous trees and shrubs to provide year-round screening. Additional landscaping consisting of a variety of species will enhance the eastern courtyard and compliment the building's architecture. Please see the detailed conceptual plans submitted herewith.

Lighting:

Parking lot driveway and walkway lighting will be 150-watt HPS area-cutoff fixtures mounted on 15' standards. All lighting will be designed to eliminate intrusion into neighboring residences.

Utilities:

All utility lines will be underground. Any above-grade utility facilities will be screened.

Signs: Temporary and Permanent

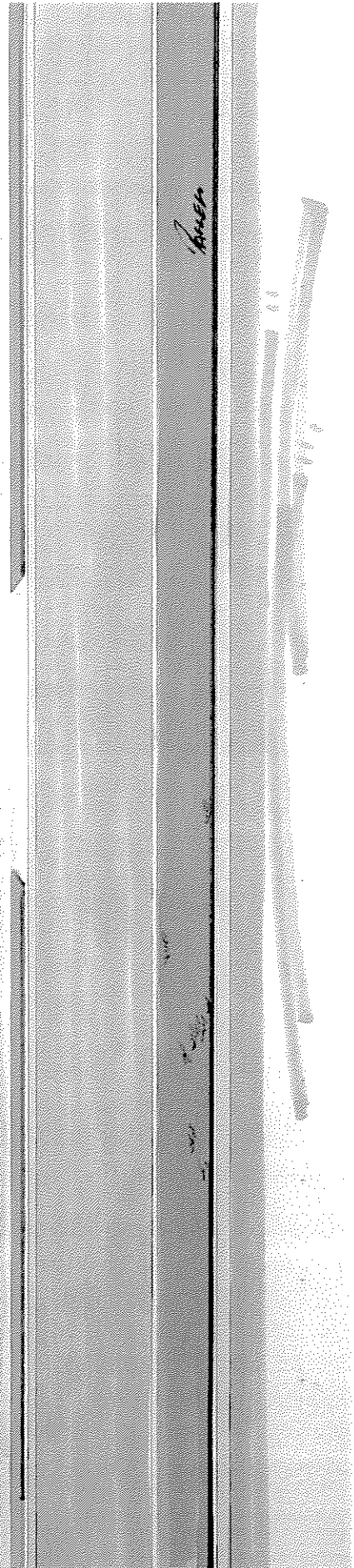
Temporary signs pertaining to the construction of the building and the rental of the units will be compliant with §295-907-3 L-4. Two permanent, development identification monument signs will be compliant with §295-907-3 L-1. Please see detailed sign plans submitted herewith. The primary identification sign will be located near the east entrance so it is visible from 107th Street. A secondary identification sign will be located near the shared-access drive coming off Donna Drive in order to direct residents and visitors to the appropriate development. Both signs will be illuminated. The source of illumination will not be visible and not be intermittent.

**DETAILED PLANNED DEVELOPMENT
FOR GRANVILLE PARK**

Statistical Information Sheet

	Square Feet	Acres	Percent of Total
Gross Land Area	152,495	3.500	100%
Building Coverage	22,651	.52	14.9%
Parking, Drives & Walkways	30,056	.69	19.7%
Landscaped Open Spaces	99,752	2.29	65.4%

Number of buildings	1
Total Dwelling Units	64
Studio or One Bedroom Units	51
Two Bedroom Units	13
Dwelling Unit Density	18.29 units per acre
Parking Spaces Provided	72
Indoor Parking Spaces	36
Outdoor Parking Spaces	36

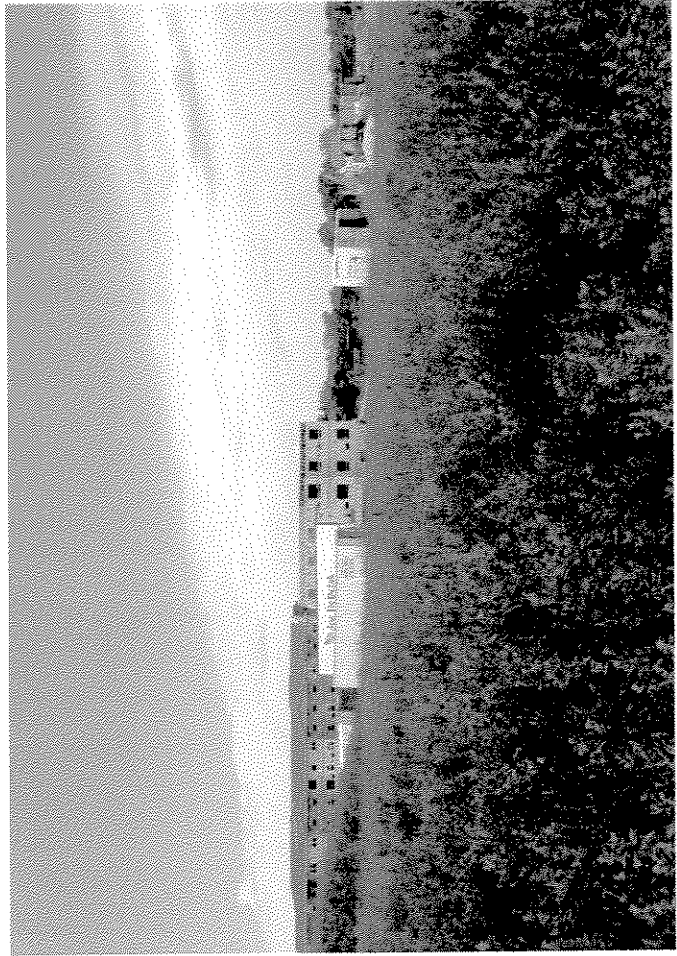




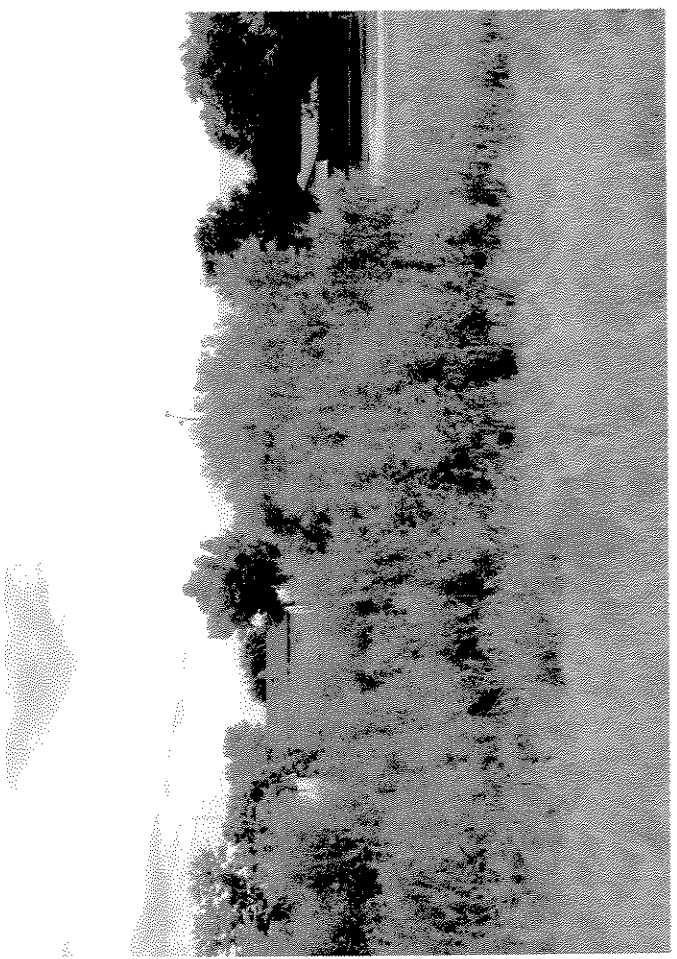
LOOKING SOUTH AT PROPERTY



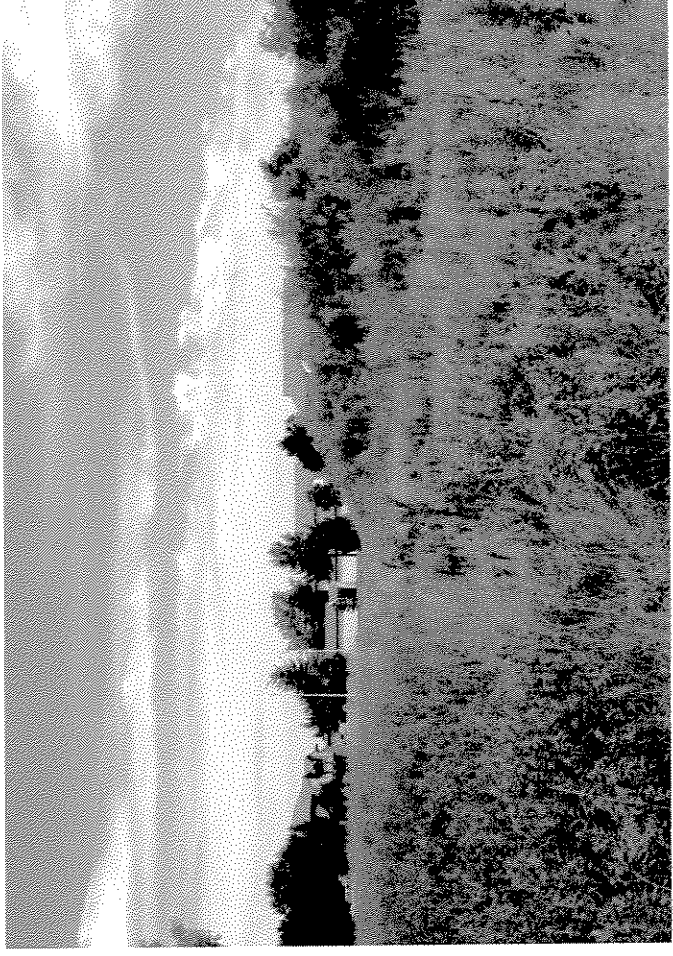
LOOKING WEST AT PROPERTY



LOOKING OUT FACING WEST



LOOKING OUT FACING EAST

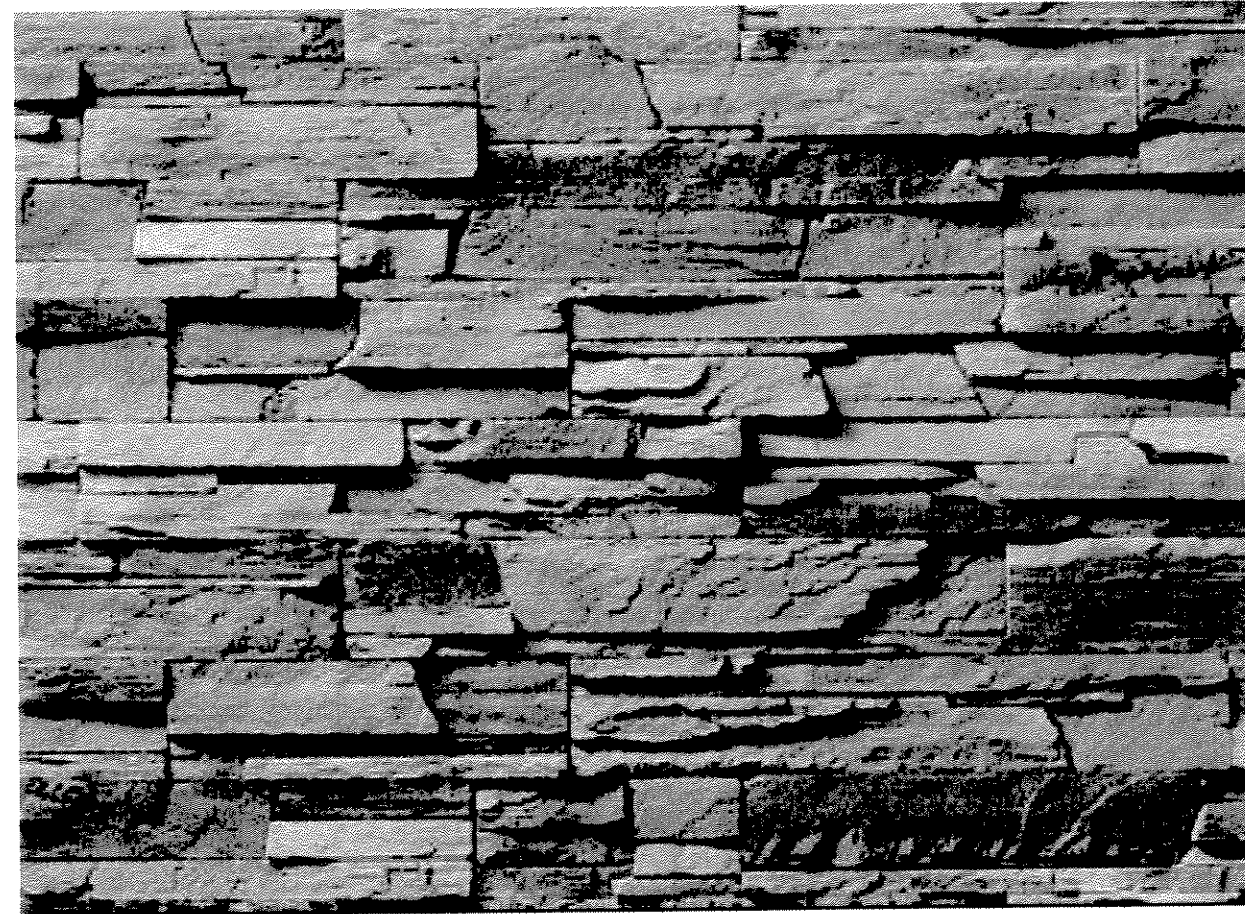


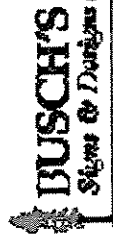
LOOKING OUT FACING NORTH



LOOKING OUT FACING SOUTH

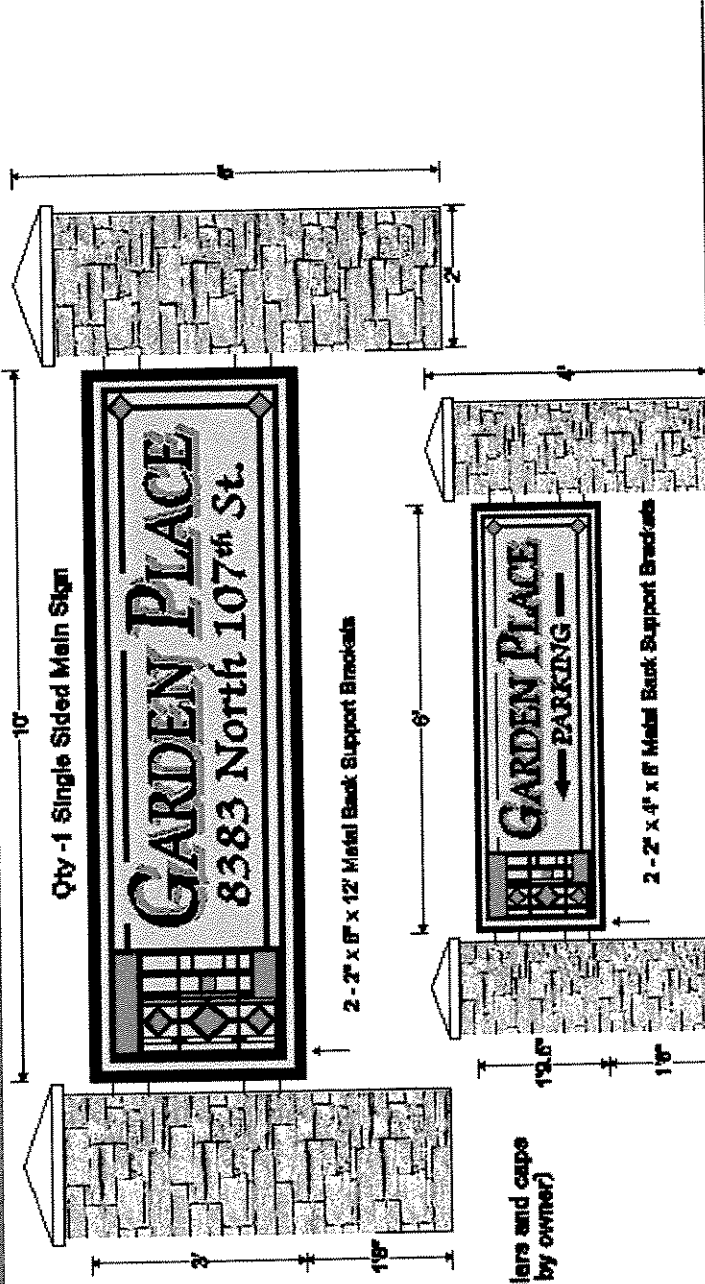
Example - Shale Pro-Fit Ledgestone®





310 Locust Drive • Verona, WI 53593
(608) 848-1900 • (800) 848-1901 FAX
www.buschsigns.com • Email: buschsigns@buschsigns.com

JOB NAME: Garden Place
FAXED / E-MAILED: DC 8/19/04



SCALE: 1/2" = 1'

QUANTITY: See above

TYPE STYLE: See above
Franklin Gothic

DESIGNER: David C. M/19/04

This drawing is the exclusive property of
BUSCH'S SIGNS & DISPLAYS, INC. and cannot be
reproduced, copied, or modified without
the written consent of BUSCH'S SIGNS &
DISPLAYS, INC.

COLORS

BACKGROUND: Maroon Thin Skin

BRICK: Heidelberg Tigr Sign

BORDER: Dark Brown Paint

PINSTRIPES: Black Red Paint

LETTERS: Top - Dark Brown w/ Bellermann Brown Shadow

Bottom - Dark Brown Paint

LOGO: Black Red w/ Bellermann Brown Highlights

POSTS: _____

BRACKETS: _____

CUSTOMER APPROVAL: _____

DATE: _____

DETAILED PLANNED DEVELOPMENT FOR GARDEN PLACE MILWAUKEE, WISCONSIN

OWNER / DEVELOPER

MR. SCOTT STEVLINGSON, CHIEF OPERATING OFFICER
SUNSTARR REAL ESTATE GROUP, LLC
845 S. MAIN STREET, SUITE 100
FOND DU LAC, WI 54935
PH.: 920-929-8600
FAX: 920-929-8601

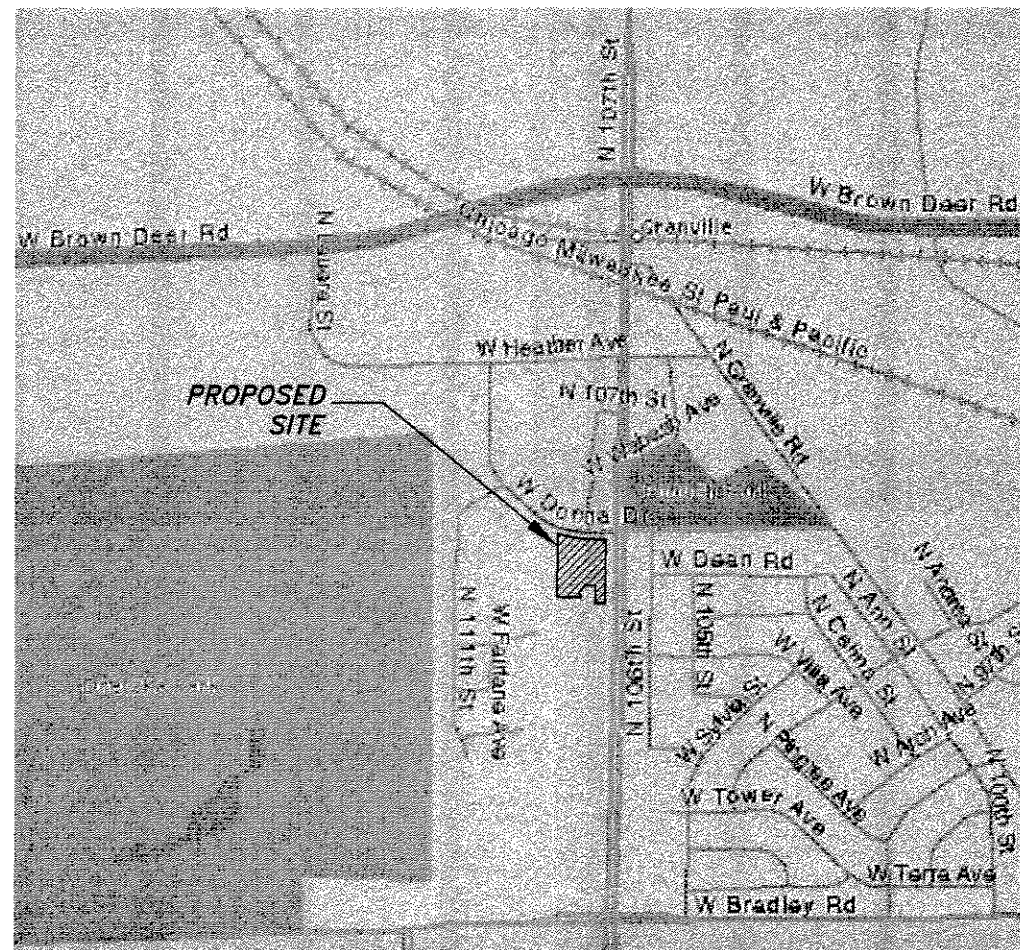
ENGINEER:

NATIONAL SURVEY & ENGINEERING
CONTACT: JOHN L. FLATT, P.E.
16745 W. BLUEMOUND ROAD, SUITE 200
BROOKFIELD, WI 53005-5938
PH.: 262/781-1000
FAX: 262/781-8466
DATA: 262/797-4582

National Survey & Engineering



VICINITY MAP



PLAN	INDEX
SHEET NO.	DESCRIPTION
1	VICINITY MAP
2	PLAT OF SURVEY
3	BOUNDARY SURVEY
4	SITE PLAN
5	GRADING PLAN
6	STORM SEWER
7	UTILITY PLAN
8	DETAILS
9	DETAILS
10	LIGHTING PLAN
11-12	LANDSCAPE PLANS
13-14	ARCH. PLANS

	SQUARE FEET	ACRES	PERCENT OF TOTAL
GROSS LAND AREA	152,495	3.50	
BUILDING COVERAGE	22,717	0.52	14.86
PARKING, DRIVES & WALKWAYS	30,100	0.69	19.71
LANDSCAPED OPEN SPACE	99,678	2.29	65.43

NUMBER OF BUILDINGS	1
DWELLING UNITS PER BUILDING	64
ONE BEDROOM UNITS	50
TWO BEDROOM UNITS	14
DWELLING UNIT DENSITY	18 UNITS/ACRE
PARKING SPACES PROVIDED	72
INDOOR PARKING SPACES	36
OUTDOOR PARKING SPACES	36

FOR REVIEW ONLY

PLAT OF SURVEY WITH TOPOGRAPHIC DATA

SITUATED ON WEST DONNA DRIVE IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN:
 PART OF LOT THREE (3), BLOCK TWO (2), IN THE HIGHLANDS, BEING A SUBDIVISION OF A PART OF THE
 NORTHWEST 1/4 AND THE SOUTHEAST 1/4 OF SECTION SEVEN (7), SITUATED ON NORTH 20TH STREET IN THE
 TOWNSHIP EIGHT (8) NORTH, RANGE TWENTY-ONE (21) EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE
 COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:
 COMMENCING AT THE S.W. CORNER OF SAID LOT 3, SAID POINT BEING ON THE WEST RIGHT OF WAY
 LINE OF NORTH 10TH STREET AND THE SOUTH RIGHT OF WAY LINE OF WEST DONNA DRIVE; THENCE
 SOUTH 00°30'59" EAST ALONG THE WEST LINE OF SAID LOT 3, SAID POINT BEING ON THE WEST RIGHT OF WAY
 LINE OF NORTH 10TH STREET AND THE SOUTH RIGHT OF WAY LINE OF WEST DONNA DRIVE; THENCE
 SOUTH 85°00'00" EAST ALONG THE WEST LINE OF SAID LOT 3, SAID POINT BEING ON THE WEST RIGHT OF WAY
 LINE OF NORTH 10TH STREET AND THE SOUTH RIGHT OF WAY LINE OF WEST DONNA DRIVE; THENCE
 SOUTH 75°14'30" WEST TO A POINT, THENCE SOUTH 37°09'08" WEST 48.85 FEET TO A POINT, THENCE SOUTH
 08°40'47" WEST ALONG THE EAST LINE OF LOT 3, BLOCK 2, FOR A DISTANCE OF 473.55 FEET TO A
 POINT ON THE SOUTH LINE OF WEST DONNA DRIVE, THENCE EASTERLY 248.31 FEET ALONG SAID SOUTH
 LINE OF WEST DONNA DRIVE, THENCE SOUTHWESTERLY 181.25 FEET TO A POINT, THENCE NORTH 68°19'43" EAST
 ALONG SAID SOUTH LINE 118.78 FEET TO THE POINT OF BEGINNING.
 EXCEPTING THEREFROM THOSE LANDS DESCRIBED AS FOLLOWS:

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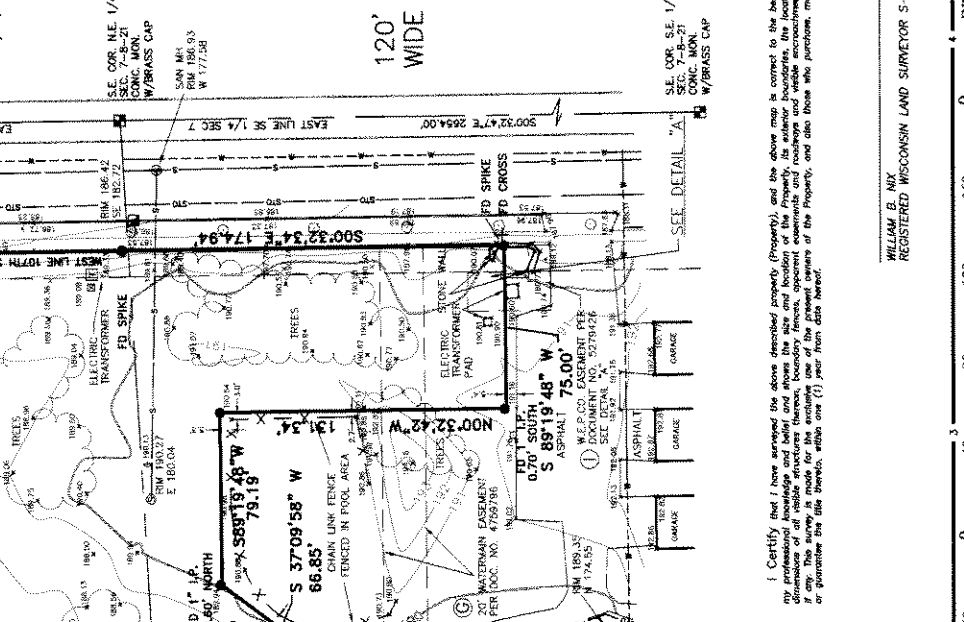
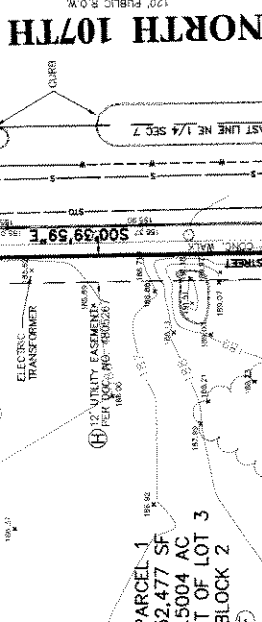
JUNE 2, 2004
 SUNSTARR CONSTRUCTION GROUP, LLC SURVEY NO. 148183-JJV

NOTES:

- A. THIS SURVEY WAS PREPARED BASED ON TICOR TITLE INSURANCE COMPANY TITLE COMMITMENT
 NO. L48581, EFFECTIVE DATE OF JUNE 9, 2004, WHICH LISTS THE FOLLOWING EASEMENTS AND/OR
 RESTRICTIONS:
 E. UTILITY EASEMENT RECORDED ON DECEMBER 26, 1951 IN VOLUME 2187 OF DEEDS AT PAGE
 54, AS DOCUMENT NO. 507853, AFFECTS SITE BY LOCATION - SHOWN
 F. EASEMENT RECORDED ON MARCH 31, 1963 IN REEL 183, IMAGE 2065, AS DOCUMENT NO.
 474488, SAID EASEMENT IS 20 FOOT SEWER EASEMENT - AFFECTS SITE BY LOCATION -
 SHOWN
 G. AGREEMENT EXECUTED BY AND BETWEEN CATHOLIC ARCHDIOCESE OF MILWAUKEE AND
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 H. CERTIFIED COPY OF ORDINANCE OF THE HIGHLANDS, RECORDED ON MAY 27, 1991 IN REEL 1377,
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 I. SUBDIVISION DEVELOPMENT AGREEMENT EXECUTED BY AND BETWEEN THE HIGHLANDS AND
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 J. EASEMENT RECORDED ON FEBRUARY 13, 1973 ON REEL 704, IMAGE 864, AS DOCUMENT NO.
 472692, AFFECTS SITE BY LOCATION - SHOWN
 K. EASEMENT RECORDED ON MAY 14, 1973 IN REEL 719, IMAGE 1638, AS DOCUMENT NO. 478976,
 AFFECTS SITE BY LOCATION - SHOWN
 L. UTILITY EASEMENT RECORDED ON NOVEMBER 13, 1973 ON REEL 755, IMAGE 1119, AS
 DOCUMENT NO. 466287, AFFECTS SITE BY LOCATION - SHOWN
 M. UTILITY EASEMENT RECORDED ON DECEMBER 27, 1979 ON REEL 1173, IMAGE 623, AS
 DOCUMENT NO. 5279436, AFFECTS SITE BY LOCATION - SHOWN
 N. RESTRICTION PROHIBITING VEHICULAR INGRESS AND EGRESS FROM THE SOUTH SIDE OF
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 19, LTD, A FLORIDA LIMITED PARTNERSHIP RECORDED MARCH 21, 2003 AT 1:09 PM ON REEL
 5544, IMAGE 2879, AS DOCUMENT NO. 8460726, AFFECTS SITE BY LOCATION - SHOWN

LEGEND

- BENCHMARK
- ⊗ SEWING CORNER
- ⊙ IRON PIPE FOUND
- ⊙ IRON PIPE SET
- ⊙ WOODEN SIGN
- ⊙ FLAPOLE
- ⊙ SIGN
- ⊙ BANNER
- ⊙ CONCRETE SIGN
- ⊙ CABLE PEDESTAL
- ⊙ CABLE PEDESTAL
- ⊙ CABLE PEDESTAL
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ GUY WIRE
- ⊙ GUY WIRE
- ⊙ GROUND OR OTHER SPOT SHOT
- ⊙ HANDICAPPED PARKING
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC METER
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- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE PEDESTAL
- ⊙ GAS METER
- ⊙ GAS METER
- ⊙ STORM MANHOLE
- ⊙ ROUND INLET
- ⊙ SANITARY MANHOLE
- ⊙ SANITARY MANHOLE OR SEPTIC VENT
- ⊙ MISCELLANEOUS MANHOLE
- ⊙ MISCELLANEOUS MANHOLE
- ⊙ MISCELLANEOUS MANHOLE
- ⊙ WATER MANHOLE
- ⊙ WATER MANHOLE
- ⊙ WATER MANHOLE
- ⊙ WATER SURFACE
- ⊙ WETLANDS FLAG
- ⊙ CONIFEROUS TREE
- ⊙ SHRUB



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THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS THE PROPERTY OF NATIONAL ENGINEERING & SURVEYING, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND THE LOCAL JURISDICTION. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

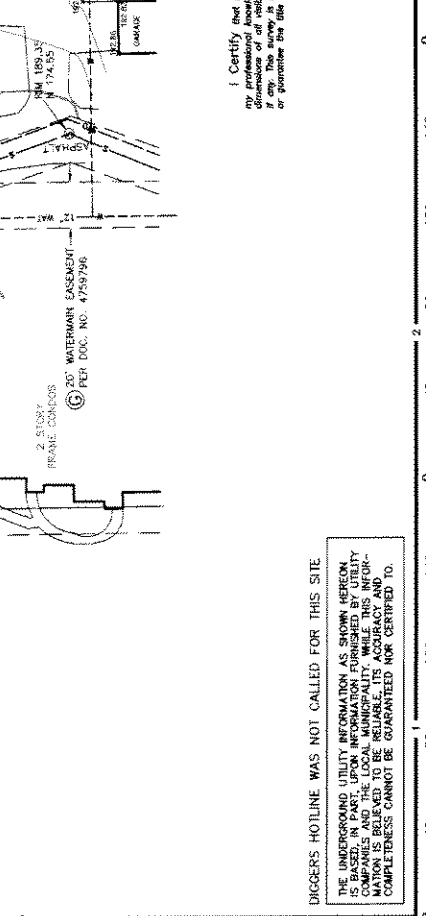
National Engineering & Surveying
 A Division of N.A. Smith & Associates, Inc.
 262-781-1000
 Fax 262-797-7173
 16745 W. Bluemound Road
 Suite 200
 Brookfield, WI 53005-9938
 www.nesac.com
 PLSUR030304SurSurvey
 1581300204wb 1510104wg
 SHEET 1 OF 1

I Certify that I have prepared the above described property (Property) and the above map is correct to the best of my professional knowledge and belief and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary lines, adjacent easements and roadways and visible encroachments, and that I am a duly Licensed Professional Land Surveyor in the State of Wisconsin and that I am duly Licensed in the State of Wisconsin.

WILLIAM B. NIX
 REGISTERED WISCONSIN LAND SURVEYOR S-2690

DIGGERS HOTLINE WAS NOT CALLED FOR THIS SITE

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WEST DONNA DRIVE

NORTH 107TH STREET

PARCEL 1
152,477 SF
3.5004 AC
PART OF LOT 3
BLOCK 2

3.501 ACRES

LOT 5, BLOCK 2

THE HIGHLANDS

BOTTOM
FILL PILE

FILL PILE

UNDER CONSTRUCTION

SITE BM
EL=190.23

2 STORY
FRAME CONDOS

GARAGE GARAGE GARAGE

DIGGERS HOTLINE
Toll Free (800) 240-8871
Milwaukee Area (414) 255-1181
Hearing Impaired TDD (800) 942-2289
www.DiggersHotline.com

NATIONAL SURVEY & ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF NATIONAL SURVEY & ENGINEERING.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

LEGEND

- ▲ BENCHMARK
- SECTION CORNER
- IRON PIPE FOUND
- IRON PIPE SET
- BOLLARD
- ⊕ SOIL BORING/MONITORING WELL
- ⊕ FLAGPOLE
- ⊕ WALKBOX
- SIGN
- BILLBOARD
- CONTROL BOX
- ⊕ TRAFFIC SIGNAL
- ⊕ RAILROAD CROSSING SIGNAL
- ⊕ CABLE PEDESTAL
- ⊕ POWER POLE
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ LIGHT POLE
- ⊕ GROUND OR OTHER SPOT SHOT
- ⊕ HANDICAPPED PARKING
- ⊕ ELECTRIC PEDESTAL
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC METER
- ⊕ TELEPHONE MANHOLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ FOMARKED FIBER OPTIC
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ STORM MANHOLE
- ⊕ ROUND INLET
- ⊕ SQUARE INLET
- ⊕ STORM SEWER END SECTION
- ⊕ SANITARY MANHOLE
- ⊕ SANITARY CLEANOUT OR SEPTIC VENT
- ⊕ SANITARY INTERCEPTOR MANHOLE
- ⊕ MISCELLANEOUS MANHOLE
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER SERVICE CURB STOP
- ⊕ WATER MANHOLE
- ⊕ WELL
- ⊕ WATER SURFACE
- ⊕ WETLANDS FLAG
- ⊕ MARSH
- ⊕ CONIFEROUS TREE
- ⊕ DECIDUOUS TREE
- ⊕ SHRUB

LEGAL DESCRIPTION OF 3.501 ACRE SITE

SITUATED ON WEST DONNA DRIVE IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

PART OF LOT THREE (3), BLOCK TWO (2), IN THE HIGHLANDS, BEING A SUBDIVISION OF A PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION SEVEN (7), SITUATED ON NORTH 107th STREET IN THE TOWNSHIP EIGHT (8) NORTH, RANGE TWENTY-ONE (21) EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 3, SAID POINT BEING ON THE WEST RIGHT OF WAY LINE OF NORTH 107TH STREET AND THE SOUTH RIGHT OF WAY LINE OF WEST DONNA DRIVE; THENCE SOUTH 00°39'59" EAST ALONG THE WEST LINE OF NORTH 107TH STREET 298.90 FEET TO A POINT; THENCE SOUTH 00°32'47" EAST ALONG SAID WEST LINE 174.94 FEET TO A POINT; THENCE SOUTH 89°19'48" WEST 75.00 FEET TO A POINT; THENCE NORTH 00°32'42" WEST 131.34 FEET TO A POINT; THENCE SOUTH 89°19'48" WEST 79.19 FEET TO A POINT; THENCE SOUTH 37°09'58" WEST 66.85 FEET TO A POINT; THENCE SOUTH 20°27'23" EAST 38.22 FEET TO A POINT; THENCE SOUTH 89°27'18" WEST 177.65 FEET TO A POINT; THENCE NORTH 00°40'17" WEST ALONG THE EAST LINE OF LOT 5, BLOCK 2, FOR A DISTANCE OF 473.68 FEET TO A POINT ON THE SOUTH LINE OF WEST DONNA DRIVE; THENCE EASTERLY 248.31 FEET ALONG SAID SOUTH LINE AND THE ARC OF A CURVE WHOSE CENTER LIES TO THE NORTH, WHOSE RADIUS IS 712.82 FEET AND WHOSE CHORD BEARS SOUTH 80°41'31" EAST 247.05 FEET TO A POINT; THENCE NORTH 89°19'43" EAST ALONG SAID SOUTH LINE 116.70 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THOSE LANDS DESCRIBED AS FOLLOWS:

PART OF LOT THREE (3), BLOCK TWO (2), IN THE HIGHLANDS, BEING A SUBDIVISION OF A PART OF THE NORTHEAST ONE-QUARTER (1/4) AND THE SOUTHEAST ONE-QUARTER (1/4) OF SECTION SEVEN (7), IN TOWNSHIP EIGHT (8) NORTH, RANGE TWENTY-ONE (21) EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

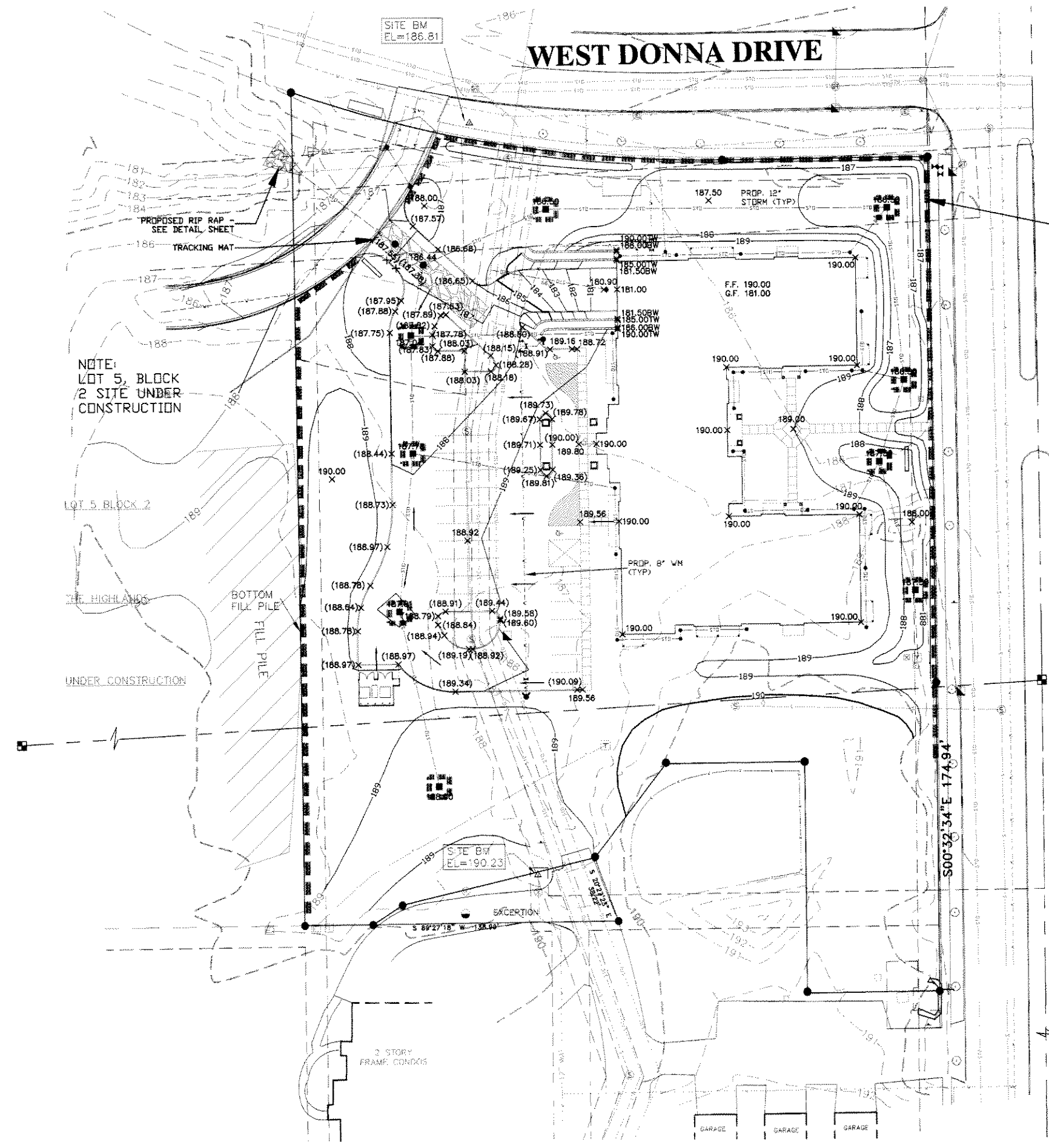
COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHEAST 1/4 SECTION; THENCE SOUTH 86°39'53" WEST ALONG THE NORTH LINE OF SAID 1/4 SECTION 60.07 FEET TO A POINT ON THE WEST LINE OF NORTH 107TH STREET; THENCE SOUTH 00°32'47" EAST PARALLEL WITH THE EAST LINE OF SAID 1/4 SECTION 172.08 FEET TO A POINT; THENCE SOUTH 89°19'48" WEST 75.00 FEET TO A POINT; THENCE NORTH 00°32'42" WEST 131.34 FEET TO A POINT; THENCE SOUTH 89°19'48" WEST 79.19 FEET TO A POINT; THENCE SOUTH 37°09'58" WEST 66.85 FEET TO THE POINT OF BEGINNING OF THE LANDS TO BE DESCRIBED; THENCE SOUTH 20°27'23" EAST 38.22 FEET TO A POINT; THENCE SOUTH 89°27'18" WEST 138.99 FEET TO A POINT; THENCE NORTH 56°42'10" EAST 19.95 FEET TO A POINT; THENCE NORTH 76°29'16" EAST 112.05 FEET TO THE POINT OF BEGINNING.

JUNE 2, 2004 SUNSTARR CONSTRUCTION GROUP L.L.C. SURVEY NO. 158153-JV

PROJECT MANAGER: John Flatt, P.E.	
GARDEN PLACE MILWAUKEE, WI	
BOUNDARY PLAN	
National Survey & Engineering Telephone 262-781-0000 Facsimile 262-781-0408 5718 W. Elmwood Road Suite 200 Brookfield, WI 53005-0608 www.nse.com	
NSE PROJECT NO. 3040233	SHEET NO. 3 OF 9
DATE: 07/12/04 SCALE: 1" = 30'	

WEST DONNA DRIVE

NORTH 107TH STREET



NOTE:
LOT 5, BLOCK
2 SITE UNDER
CONSTRUCTION

LOT 5, BLOCK 2

THE HIGHLANDS

UNDER CONSTRUCTION

BOTTOM
FILL PILE

3 STORY
FRAM. CONDOS

GARAGE GARAGE GARAGE

LEGEND

- EXISTING CONTOUR LINE
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR LINE
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB SPOT ELEVATION (000.00)
- PROPOSED FINISHED FLOOR GRADE (F.F. 000.00)
- PROPOSED GARAGE FLOOR GRADE (G.F. 000.00)
- PROPOSED SILT FENCE (SEE DETAIL SHEET)
- PROPOSED TRACKING MAT (SEE DETAIL SHEET)
- PROPOSED INLET GRATE SCREEN (SEE DETAIL SHEET)
- PROPOSED RIP RAP (SEE DETAIL SHEET)

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Milwaukee Area (414) 259-1181
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www.DiggersHotline.com

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CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE MILWAUKEE EROSION CONTROL ORDINANCE AND THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.

EXISTING TOPOGRAPHY OBTAINED BY NATIONAL SURVEY & ENGINEERING. DATED: JUNE 2, 2004

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

FOR REVIEW ONLY

PROJECT MANAGER: John L. Flatt, P.E.

**GARDEN PLACE
MILWAUKEE, WI**

**GRADING AND EROSION
CONTROL PLAN**

National Survey & Engineering

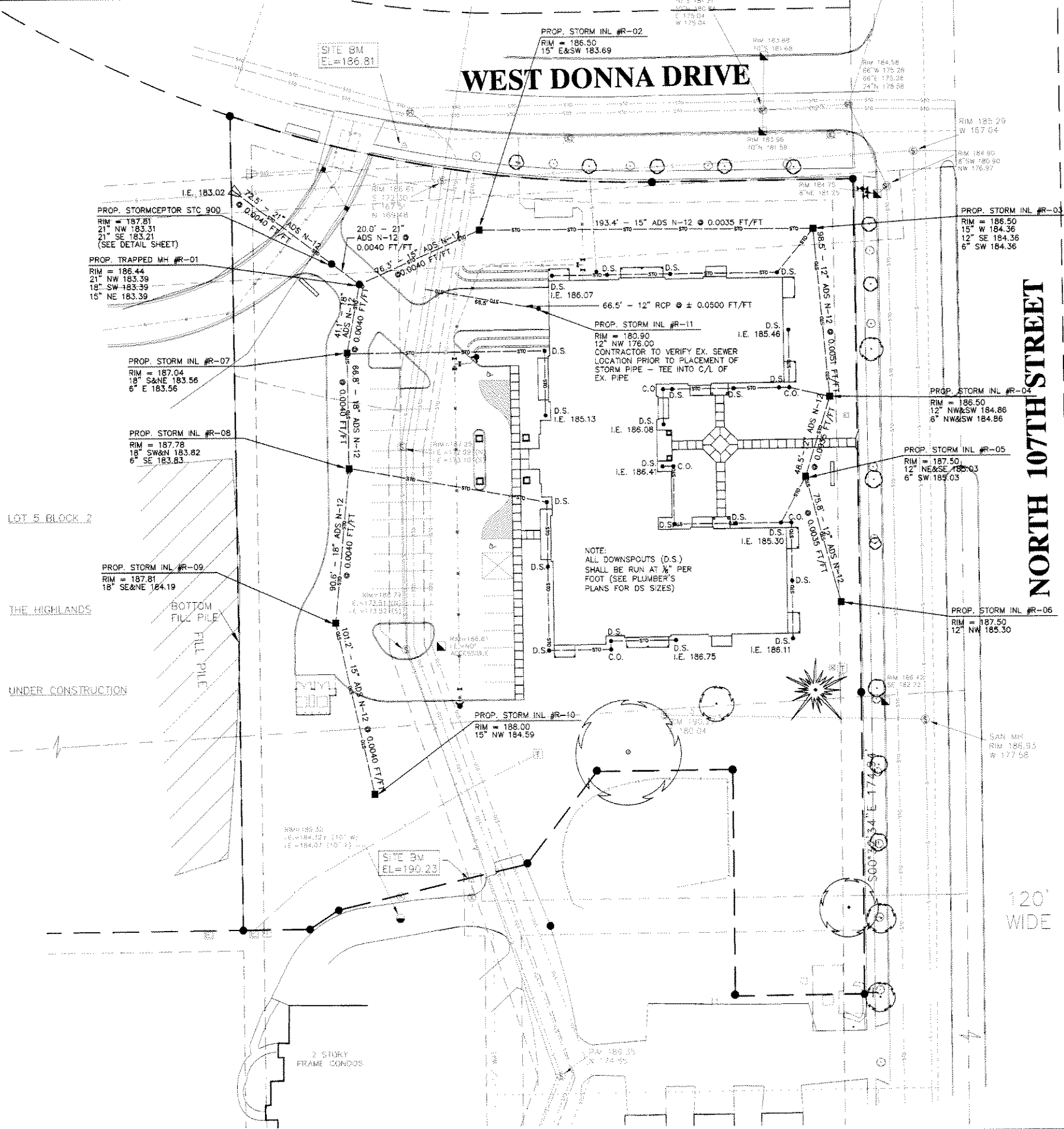
Telephone 262-781-1000
262-781-8499
9742 W. Bluemound Road
Suite 202
Brookfield, WI 53005-0668
www.nse.com



REVISIONS	
DATE	BY

NSE PROJECT NO.: 3040235 SHEET NO. 5 OF 9
DATE: 07/12/04 SCALE: 1" = 30'

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WEST DONNA DRIVE

NORTH 107TH STREET

LOT 5, BLOCK 2

THE HIGHLANDS

BOTTOM FILL PILE
TOP FILL PILE

UNDER CONSTRUCTION

2 STORY FRAME CONDOS

120' WIDE

LEGEND

- ▲ BENCHMARK
- SECTION CORNER
- IRON PIPE FOUND
- BOLLARD
- ⊕ SOIL BORING/MONITORING WELL
- ▬ FLAGPOLE
- ⊕ MAILBOX
- SSN
- BILLBOARD
- ▭ CONTROL BOX
- ⊕ TRAFFIC SIGNAL
- ▬ RAILROAD CROSSING SIGNAL
- ▭ CABLE PEDESTAL
- ⊕ POWER POLE
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ LIGHT POLE
- ⊕ GROUND OR OTHER SPOT SHOT
- ⊕ HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ⊕ ELECTRIC PEDESTAL
- ⊕ ELECTRIC METER
- ⊕ TELEPHONE MANHOLE
- ▭ TELEPHONE PEDESTAL
- ⊕ FIBER OPTIC
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ STORM MANHOLE
- ROUND INLET
- ▭ SQUARE INLET
- ▬ STORM SEWER END SECTION
- ▬ SANITARY MANHOLE
- ▬ SANITARY CLEANOUT OR SEPTIC VENT
- ▬ SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER SERVICE CURB STOP
- ⊕ WATER MANHOLE
- ⊕ WELL
- ⊕ WATER SURFACE
- ▬ WETLANDS FLAG
- ▬ MARSH
- ▲ CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- ▬ SANITARY SEWER
- ▬ STORM SEWER
- WATERMAIN
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- BUREAU ELEC. SERV.
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC

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PIPE LENGTH DISTANCES & ELEVATIONS ARE GIVEN FROM CENTER OF STRUCTURE OR END OF OUTFALL STRUCTURES. OUTFALL STRUCTURES SHALL BE PLACED TO BLEND WITH EXISTING OR PROPOSED TOPOGRAPHY.

FOR REVIEW ONLY

PROJECT MANAGER: John Fiatt, P.E.
 GARDEN PLACE
MILWAUKEE, WI

REVISIONS	
DATE	BY

STORM SEWER

National Survey & Engineering

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 8714 W. Bluemound Road
 Suite 200
 Brookfield, WI 53005-6668
www.nse.com



NSE PROJECT NO.: 3040235
 DATE: 07/12/04 SCALE: 1"= 30'
 SHEET NO.
6 OF 9

LEGEND

- ▲ BENCHMARK
- SECTION CORNER
- IRON PIPE FOUND
- IRON PIPE SET
- BOLLARD
- ⊕ SOIL BORING/MONITORING WELL
- ⊕ FLAGPOLE
- ⊕ WALLEBOX
- SIGN
- BILLBOARD
- ⊕ CONTROL BOX
- ⊕ TRAFFIC SIGNAL
- ⊕ RAILROAD CROSSING SIGNAL
- ⊕ CABLE PEDESTAL
- ⊕ POWER POLE
- ⊕ GUY WIRE
- ⊕ LIGHT POLE
- ⊕ GROUND OR OTHER SPOT SHOT
- ⊕ HANDICAPPED PARKING
- ⊕ ELECTRIC MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ MARKED FIBER OPTIC
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ STORM MANHOLE
- ⊕ ROUND INLET
- ⊕ SQUARE INLET
- ⊕ STORM SEWER END SECTION
- ⊕ SANITARY MANHOLE
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FOR REVIEW ONLY

PROJECT MANAGER: John Fiatt, P.E.
GARDEN PLACE
MILWAUKEE, WI

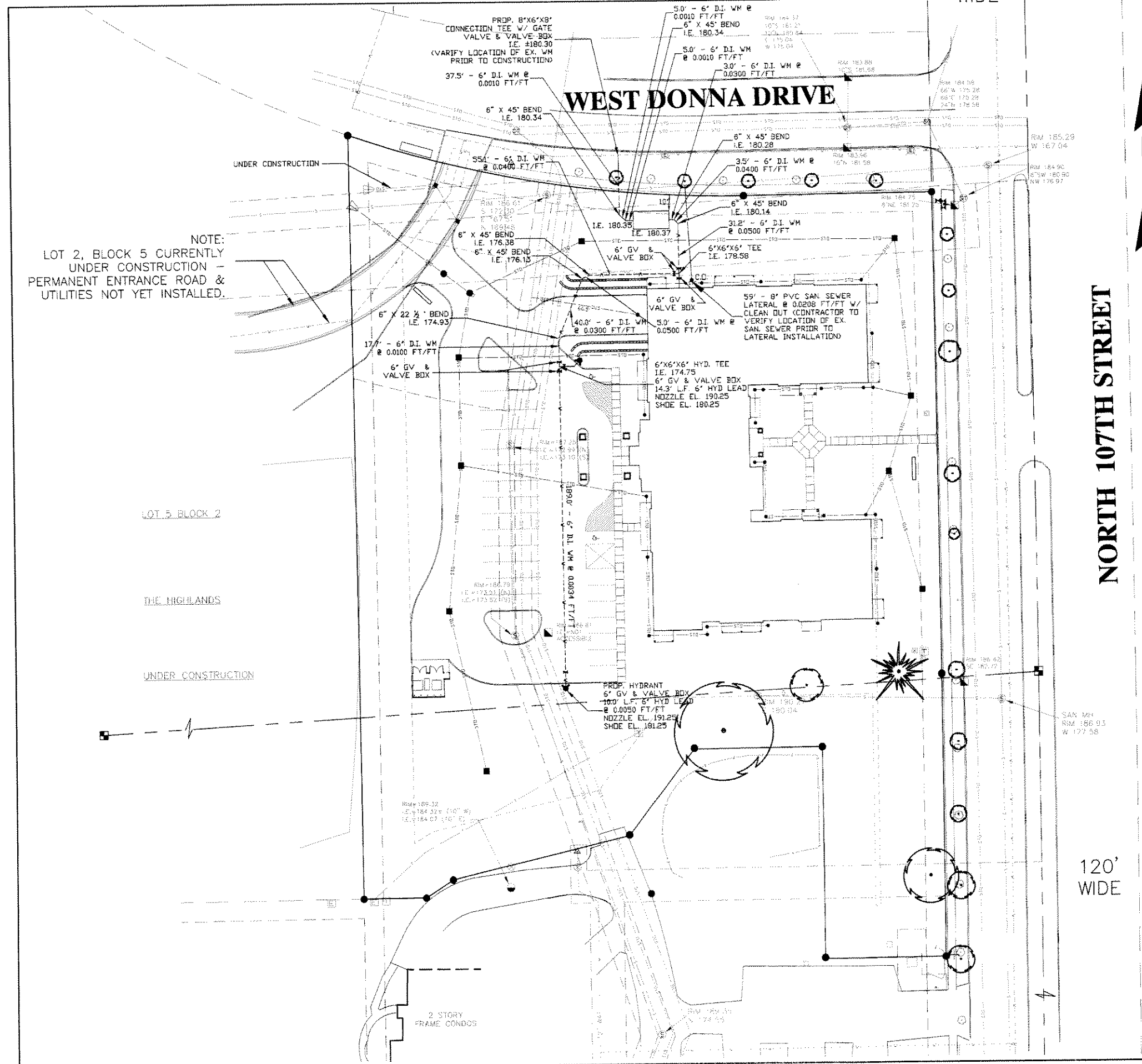
UTILITY PLAN

National Survey & Engineering

Telephone 262-781-8200
 Facsimile 262-781-8488
 15745 W. Blumound Road
 Suite 200
 Brookfield, WI 53005-0068
www.nse.com

NSE PROJECT NO.: 3040235
 DATE: 07/12/04 SCALE: 1" = 30'
 SHEET NO.: 7 OF 9

REVISIONS	
DATE	BY



NORTH 107TH STREET

120' WIDE



NOTE:
 LOT 2, BLOCK 5 CURRENTLY
 UNDER CONSTRUCTION -
 PERMANENT ENTRANCE ROAD &
 UTILITIES NOT YET INSTALLED.

LOT 5, BLOCK 2

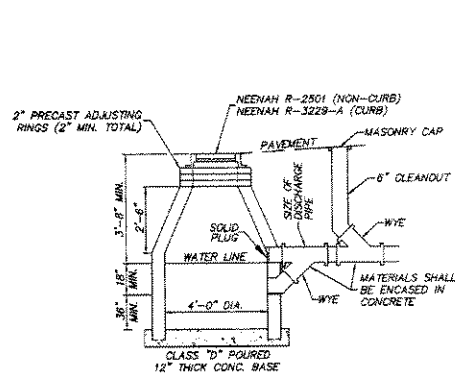
THE HIGHLANDS

UNDER CONSTRUCTION

2 STORY
 FRAME CONDO'S

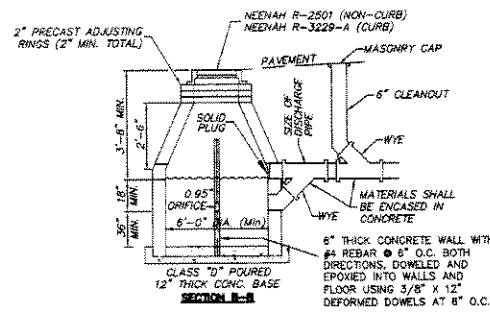
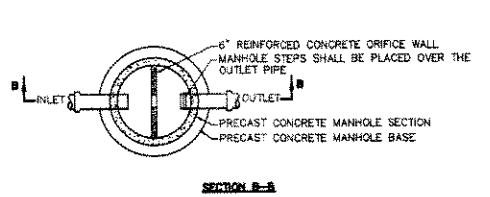
SPECIFICATIONS FOR PRIVATE UTILITIES

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE SECTION COMM. 82-87, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION. THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND OBJECT TO CONSTRUCTION OF THE IMPROVEMENTS OF THIS PROJECT.
- THE CONTRACTOR SHALL INDENTIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK SHOWN.
- THE CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR SITE SAFETY.
- THE BIDDER SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN THE PROPOSAL. BIDS SHALL BE BASED ON THE BIDDERS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL THE DIGGER'S HOT LINE AT 1-800-242-8511, TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO ARRANGE FOR REQUIRED FIELD MARKING OF EXISTING UTILITIES.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORDED CONNECTIONS.
- PROPOSED SANITARY SEWER, WATER MAIN, AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. STORM SEWER CONNECTING TO EXTERIOR DOWN SPOUTS SHALL BE PER DETAILS ON THE ARCHITECTURAL PLANS. THE EXACT LOCATION OF ALL DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS.
- MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 36" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS H-12. TRENCH SECTION SHALL BE CLASS "B" FOR ALL MATERIALS INLETS SHALL BE PRE-CAST REINFORCED CONCRETE, ASTM C-478 AREA DRAINS SHALL BE ADS NYLOPLAST OR EQUAL.
- MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212. TRENCH SECTION SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. PREFABRICATED WYE CONNECTIONS ARE REQUIRED FOR SANITARY LATERALS.
- MATERIALS FOR WATER SERVICE SHALL BE AS FOLLOWS: WATER SERVICE 4" OR LARGER SHALL BE PVC, SDR-18, CLASS 150, AWWA C-900, WITH ELASTOMERIC JOINTS (ASTM D-3139), WITH A VALVE AT THE SUPPLY MAIN. WATER SERVICE LESS THAN 4" SHALL BE COPPER, TYPE "K", WITH A VALVE AT THE SUPPLY MAIN. ALL FITTINGS SHALL BE MECHANICAL JOINT, DUCTILE IRON CONFORMING TO AWWA C-111. HYDRANTS SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY'S STANDARD SPECIFICATIONS. GATE VALVES SHALL BE RESILIENT WEDGE TYPE, AWWA C-508 AND SHALL BE INSTALLED WITH AN ADJUSTABLE VALVE BOX AND COVER MARKED "WATER". TRENCH SECTION SHALL CONFORM TO SECTION 4.3.3, FILE NO. 36 OF THE STANDARD SPECIFICATIONS. SAND OR STONE CHIP BEDDING MATERIAL IS REQUIRED.
- EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
- UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
- CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS. ANY SUCH MUD OR DEBRIS SHALL BE REMOVED FROM THE ROADWAY IMMEDIATELY.
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHOULD BE INCLUDED IN THE COST OF THE IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.



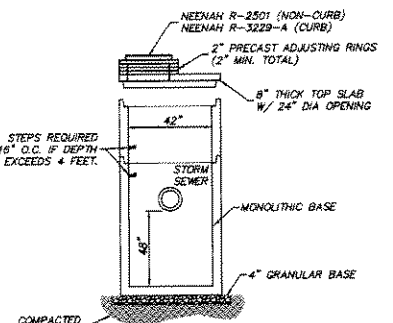
- NOTES:**
- CATCH BASIN SHALL BE CONSTRUCTED CONFORMING TO THE CITY OF MILWAUKEE STANDARDS.
 - PRECAST CATCH BASINS SHALL BE CONSTRUCTED CONFORMING TO THE REQUIREMENTS OF ASTM C-478.
 - JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING BUTYL RUBBER GASKETS.
 - A FLEXIBLE WATERTIGHT PIPE TO MANHOLE SEAL IS REQUIRED FOR ALL CONNECTIONS.
 - A CEMENT MORTAR DISC SHALL BE CEMENTED INTO THE OPENING AT THE INNER FACE OF THE TEE BRANCH.
 - STEPS SHALL BE PROVIDED EVERY 16" O.C.
 - WHEN CONG. BLOCK OR BRICK CONSTRUCTION IS USED, A 1/2" CEMENT MORTAR COAT SHALL BE PLACED ON THE ENTIRE EXTERIOR SURFACE BELOW THE CORBELLED SECTION.

TRAPPED CATCH BASIN DETAIL



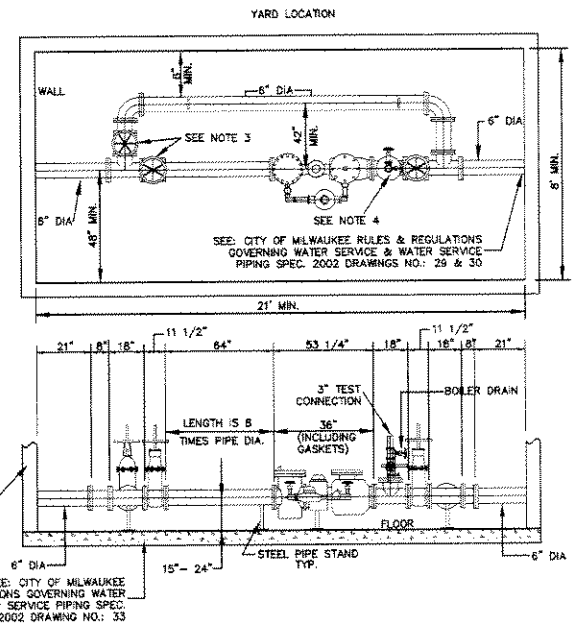
- NOTES:**
- MANHOLE SHALL BE CONSTRUCTED CONFORMING TO THE CITY OF MILWAUKEE STANDARDS.
 - STEPS SHALL BE PROVIDED EVERY 16" O.C.
 - FASTEN 10 GAUGE 3/4" X 3/4" WIRE MESH OVER ORIFICE (SUCH AS BY USING CONCRETE NAILS).

TRAPPED MANHOLE DETAIL



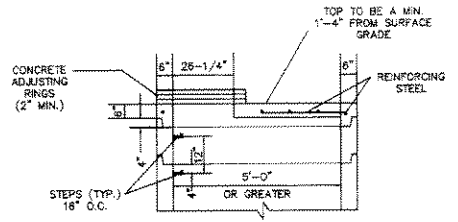
- NOTES:**
- CATCH BASIN SHALL BE CONSTRUCTED CONFORMING TO THE REQUIREMENTS OF ASTM C-478.
 - JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING BUTYL RUBBER GASKETS.
 - A FLEXIBLE WATERTIGHT PIPE TO MANHOLE SEAL IS REQUIRED FOR ALL CONNECTIONS.

PRECAST CATCH BASIN DETAIL

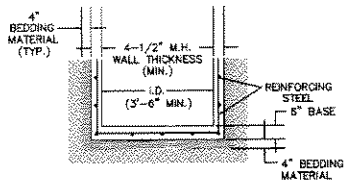


- NOTES:**
- MATERIALS: ALL PIPING SHALL BE DUCTILE IRON-SEE APPENDIX F "MILWAUKEE SPECIFICATIONS" TEST CONNECTION MAY BE COPPER TYPE - K OR L.
 - WATERTIGHT FITTINGS, GROOVED PIPE, AND MEGALUG TYPE FLANGES ARE NOT PERMITTED.
 - FOR O.S. & Y. SPECIFICATIONS: SEE APPENDIX C "MILWAUKEE SPECIFICATIONS".
 - FOR GATE/BALL VALVE SPECIFICATIONS: SEE APPENDIX D AND E "MILWAUKEE SPECIFICATIONS".
 - PROVIDE AMPLE RIGID SUPPORT UNDER METER AND PIPING.
 - BY-PASS MAY BE PLACED OVERHEAD, WITH 6"-0" C/L TO C/L OF METER MIN. CLEARANCE (N/A).
 - THE METER SHALL IMMEDIATELY FOLLOW THE STRAIGHT SPOOL PIECE AND THE TEST TEE SHALL IMMEDIATELY FOLLOW THE METER.
 - CASTINGS AND LIDS SHALL BE CONSTRUCTED CONFORMING TO THE CITY OF MILWAUKEE STANDARDS AND SPECIFICATIONS (SEE METER PIT SPECS., DRAWING NO. 33).
 - LOCATION OF ACCESS LIDS MUST BE CONFIRMED WITH JEFF NOVAK AT THE CITY OF MILWAUKEE PRIOR TO INSTALLATION.

METER DETAIL

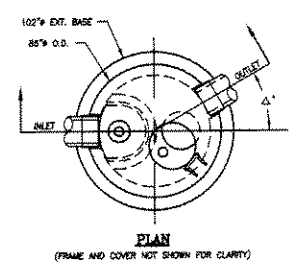


TYPICAL FLAT TOP SLAB

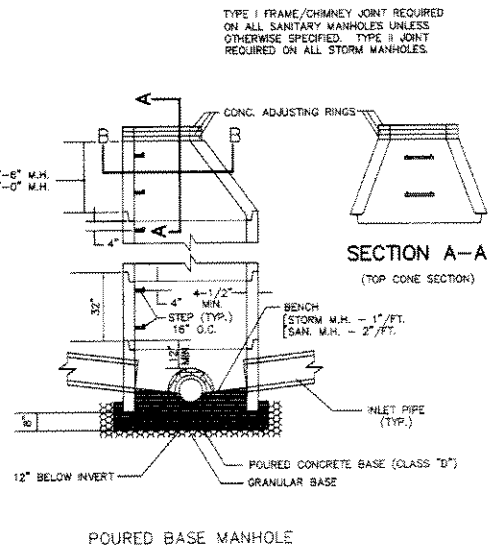


INTEGRAL BASE

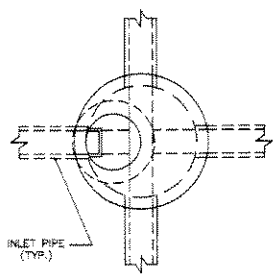
- NOTES:**
- FLAT SLAB TOP MAY BE USED FOR 5'-0" AND 6'-0" DIA. MANHOLES.
 - ADJUST FRAME TO GRADE WITH BRICK OR CONCRETE RINGS OF VARIABLE THICKNESS, MAXIMUM RING HEIGHT = 6" MINIMUM RING HEIGHT = 2". RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL, CENTERED WITHIN THE RING. WHERE NECESSARY, RINGS SHALL BE GROOVED TO RECEIVE STEP.
 - CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS.
 - JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING MORTAR OR BUTYL RUBBER GASKETS FOR STORM AND BUTYL RUBBER GASKETS FOR SANITARY MANHOLES.
 - AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT.
 - SPACE BETWEEN PIPE AND PRECAST MANHOLE WALL TO BE FILLED WITH BRICK MORTARED IN PLACE EXCEPT THAT AN APPROVED FLEXIBLE WATERTIGHT PIPE TO MANHOLE SEAL IS REQUIRED FOR ALL FLEXIBLE SANITARY SEWER CONNECTIONS. THE ANNULAR SPACE BETWEEN THE PIPE AND MANHOLE WALL SHALL BE FILLED WITH FLEXIBLE BUTYL RUBBER GASKET MATERIAL BELOW THE SURFACE OF THE BENCH OR SPRINGLINE.
 - MINIMUM 4" STONE CUSHION UNDER BASE IS REQUIRED.
 - PROVIDE A MINIMUM 1/2" DIA. HOLE FOR LEAKAGE TEST, NOT GREATER THAN 2" ABOVE LOWEST PIPE.



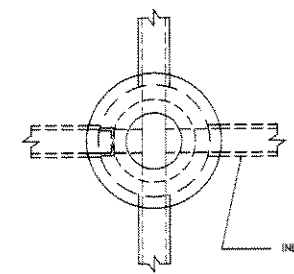
- NOTES:**
- THE USE OF FLEXIBLE PIPE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 - THE COVER SHOULD BE POSITIONED OVER THE DROP OUTLET PIPE AND THE OIL CLEANOUT PIPE.
 - ALL JOINTS SHALL HAVE NEOPRENE GASKETS CONFORMING TO ASTM D-3212.
 - DESIGNED FOR AASHTO HS-20 LOADING.
 - THE MANHOLE SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4908148, #5498331, #5725760, #5753115, #5849181.
 - PRODUCT WEIGHT: 72" BARREL = 1840 lbs/ft. INTEGRAL BASE SLAB = 6670 lbs. COVER SLAB = 3940 lbs.



POURED BASE MANHOLE



TYPICAL PRECAST MANHOLE SECTION



FOR REVIEW ONLY

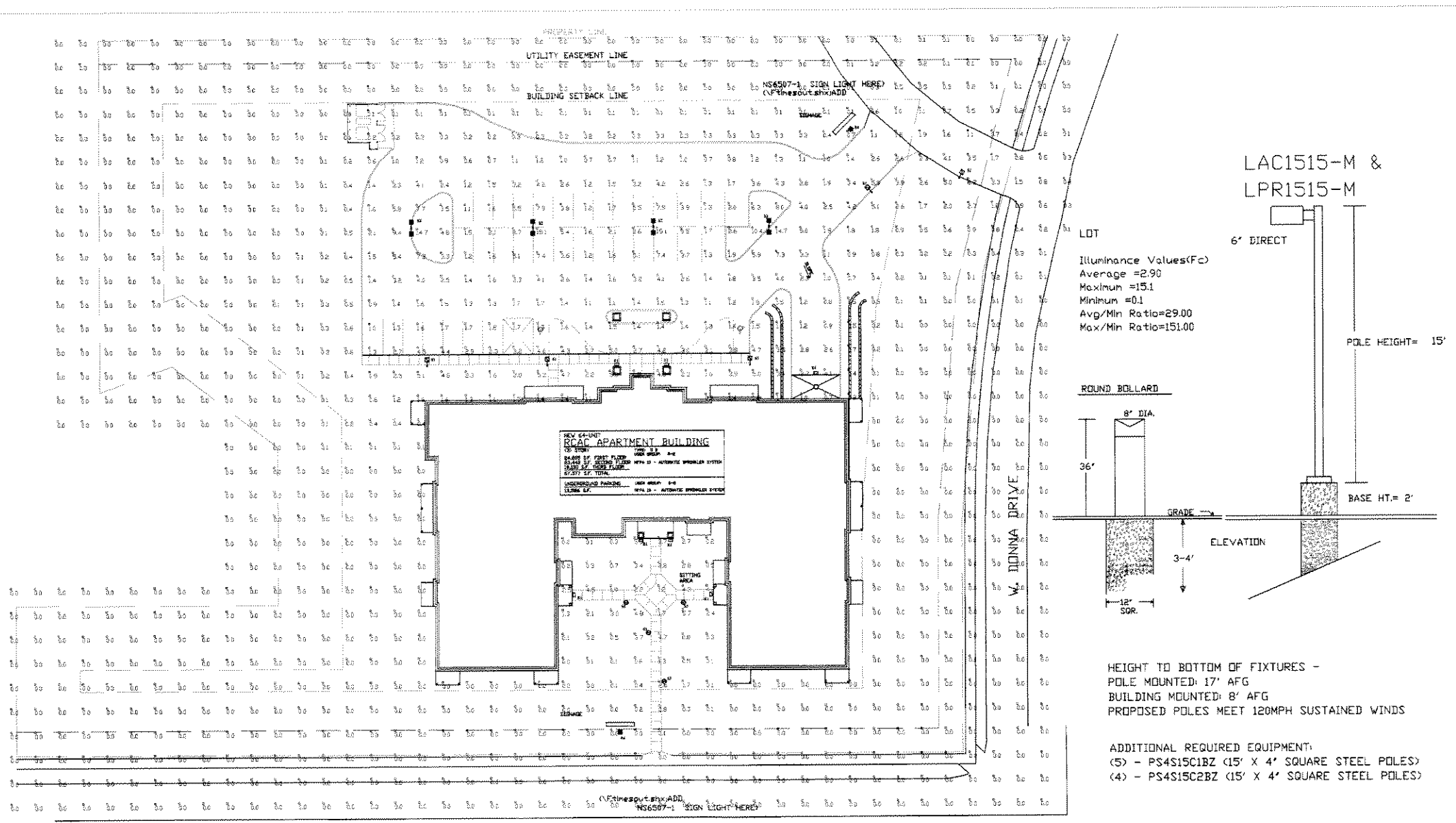
PROJECT MANAGER: John Fleth, P.E.
GARDEN PLACE MILWAUKEE, WISCONSIN

DETAILS

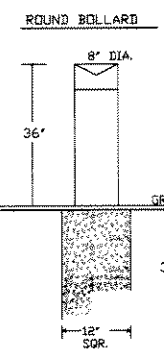
National Survey & Engineering
Telephone: 262-781-8000
Facsimile: 262-781-8408
8740 W. Bluemound Road
Suite 200
Brookfield, WI 53005-0668
www.nse.com

NSE PROJECT NO.: 3040235
DATE: SCALE: N.T.S. SHEET NO. 9 OF 9

REVISIONS	
DATE	BY



ILLUMINANCE VALUES (Fc)
 Average = 2.90
 Maximum = 15.1
 Minimum = 0.1
 Avg/Min Ratio = 29.00
 Max/Min Ratio = 151.00



HEIGHT TO BOTTOM OF FIXTURES -
 POLE MOUNTED: 17' AFG
 BUILDING MOUNTED: 8' AFG
 PROPOSED POLES MEET 120MPH SUSTAINED WINDS

ADDITIONAL REQUIRED EQUIPMENT:
 (5) - PS4S15C1BZ (15' X 4' SQUARE STEEL POLES)
 (4) - PS4S15C2BZ (15' X 4' SQUARE STEEL POLES)

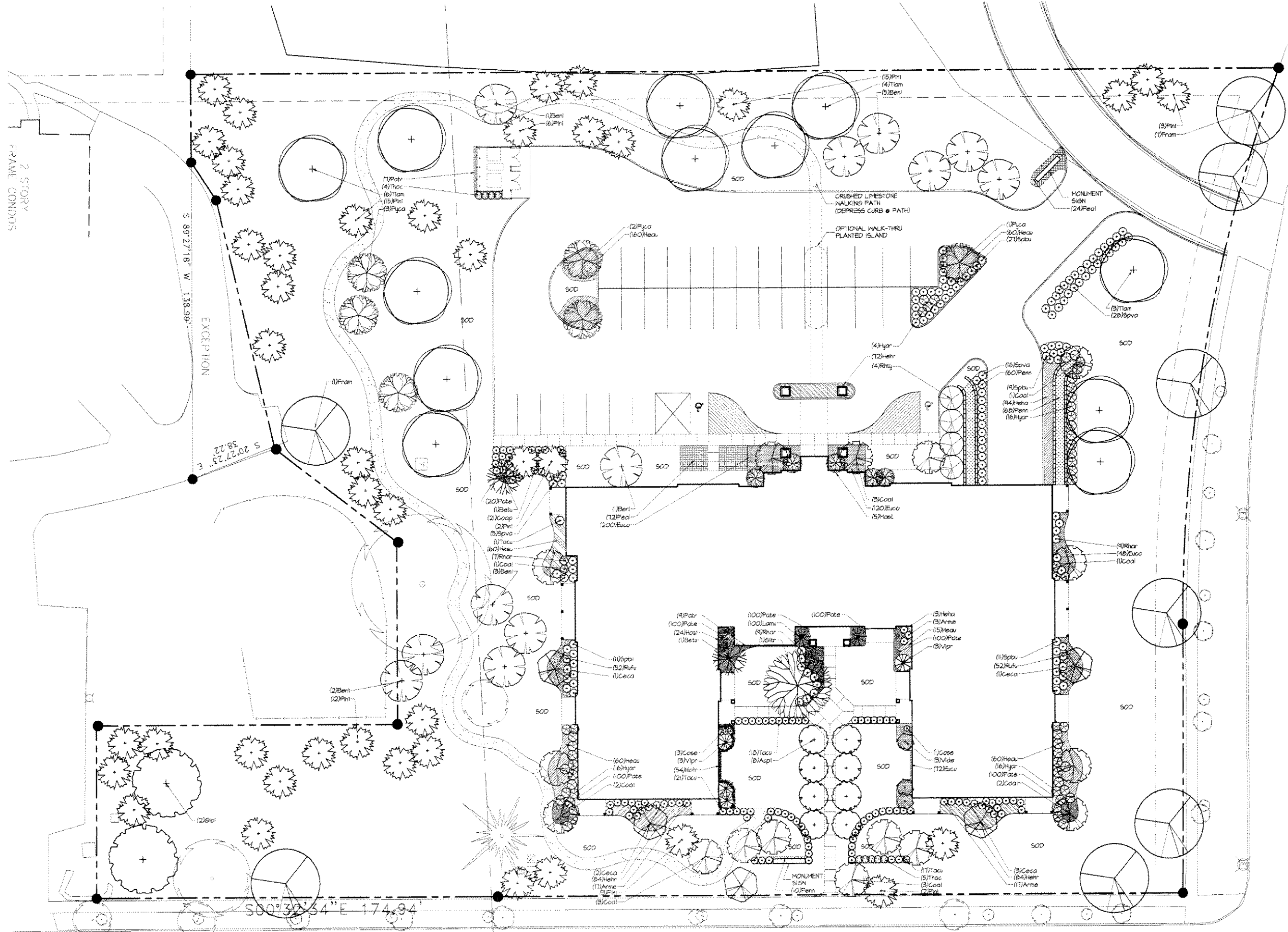
Luminaire Schedule					
Project: All Projects					
Symbol	Qty	Label	Arrangement	Lumens	Description
■	2	NS507	SINGLE	6400	NS6507-1 (70W HPS, 120V)
■	4	LAC1515-2	BACK-BACK	16000	LAC1515-M (150W HPS)
■	5	LPR1515	SINGLE	16000	LPR1515-M (150W HPS)
○	4	HC505	SINGLE	5600	HC505-D (50W HPS)
⊕	7	E4505	SINGLE	4000	E4505-1 (50W HPS)

RUUD LIGHTING

800.236.7000 USA <www.ruudlighting.com> 905.671.1991 CAN

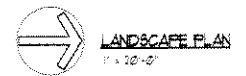
illumination results shown on this lighting design are based on project parameters provided to Ruud Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project results, conditions differing from these design parameters may affect field results. The customer is responsible for verifying compliance with any applicable electrical, lighting, or energy code.

Date: 8/20/2004	Scale: 1"=30'	Engineer: Mark D. Janaky			
Project Name: GARDEN PLACE - R3					
Filename: V:\Common\appEng\OUT\40817HW\HDJR3A32					
MAINTAINED FOOTCANDLES SHOWN AT GRADE					
Numeric Summary					
Project: All Projects					
Label:	Avg	Max	Min	Avg/Min	Max/Min
SITE	0.69	15.1	0.0	0.00	0.00



NORTH 107TH STREET

WEST DONNA DRIVE



Garden Place Apartment Homes

N 107th & Donna Drive
Milwaukee, Wisconsin



Urban Design Master Planning Landscape Architecture
Landscape Architects, Inc.

THE DESIGN CENTER 1125 N. WATER STREET MILWAUKEE, WISCONSIN 53224
 (PH) 414-254-1030 (FAX) 414-254-8076



GENERAL NOTES

1. Backfill and grade all planting areas with 4" screen blended topsoil.
2. All finish grades to be one inch below top of curbs and pavement.
3. All plant material shall conform to American Standard for Nursery Stock as prepared by the American Association of Nurserymen, Inc.
4. All plants to be located according to the plan and planted in holes at least twice the size of the plant root ball for shrubs and three times the root ball for trees.
5. All plantings to be topdressed with a minimum of four inches of shredded hardwood mulch for trees and shrubs and two inches for perennials.
6. Staking of trees is optional by contractor but, it is the contractor's responsibility to maintain vertical position of all trees and shrubs.
7. All areas disturbed during construction and indicated as turf shall be seeded or sodded as specified. All plants to receive 3 year slow release fertilizer packets (or equal) at a rate of 2 per caliber inch of tree and 3 per shrub.
8. Guarantee all plant material including perennials and seed / sod for a period of one year.
9. Water all plantings immediately after installation.
10. All planting bed shall have 6 inch shovel cut edges or Landscape edging as specified.
11. NO IRRIGATION SYSTEM REQUIRED FOR PLANTS PER PLANT SCHEDULE. 12. SEE LANDSCAPE SPECIFICATIONS FOR WATERING DURING PLANT ESTABLISHMENT PERIOD.

NOTIFY DIGGERS HOTLINE PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATION.

ADDITIONAL NOTES

1. MOUND SOIL IN PLANTING BEDS TO ENHANCE DRAINAGE. MAXIMUM SLOPE SHOULD NOT EXCEED ONE INCH IN TWO FEET. INSTALL MULCH ONE INCH BELOW TOP OF CURB.
2. A SOIL EXCHANGE IS REQUIRED IN ALL PLANTING BEDS ADJACENT TO CONSTRUCTION AREAS SUCH AS BUILDINGS, WALKS, DRIVES, ETC., I.E. ANY PLACE PLANTINGS WILL COME IN CONTACT WITH CONSTRUCTION DEBRIS OR AS DIRECTED BY LANDSCAPE ARCHITECT. REMOVE AND BACKFILL ENTIRELY WITH 3/4 INCHES OF BLENDED TOPSOIL.
3. NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED OBSTRUCTIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED. IN CASES OF HARDPAN LAYER, 3/4 INCHES BELOW TOPSOIL, DRILL 6 INCH DIAMETER HOLES AT 24 INCHES ON CENTER, DOWN INTO FREE-DRAINING STRATA OR TO A DEPTH OF TEN FEET, WHICHEVER IS LESS. BACKFILL WITH FREE-DRAINING MATERIAL SUCH AS #1 OR #2 **ROUND** STONE WITH LANDSCAPE FABRIC SUCH AS DEWITT OR APPROVED EQUAL. IN NO CASE SHOULD ANGULAR GRAVEL BE USED. THIS WORK SHALL BE DONE AS PER SPECIFICATIONS, "EXCAVATION FOR TREES AND SHRUBS".

PLANT SCHEDULE

Shade Trees

Code	Scientific Name	Common Name	Qty.	Planting Size
Acpi	Acer platanoides 'Columnar'	Columnar Norway Maple	8	2.5' Cal. B4B
Beni	Betula nigra	River Birch	12	2.0' Cal. B4B- multi stem
Betu	Betulus platyphyllo 'Whitespire'	Whitespire Birch	2	2.5' Cal. B4B
Fram	Fraxinus triacanthos 'Shademaster'	Shademaster Locust	8	2.5' Cal. B4B
Gink	Ginkgo biloba	Ginkgo	2	2.5' Cal. B4B
Gitr	Fraxinus americana 'Autumn Blaze'	Autumn Blaze Ash	1	2.5' Cal. B4B
Liam	Tilia americana	Redmond Linden	7	4.0' Cal. B4B

Evergreen Trees

Code	Scientific Name	Common Name	Qty.	Planting Size
Prni	Pinus nigra	Austrian Pine	44	6' B4B

Ornamental Trees

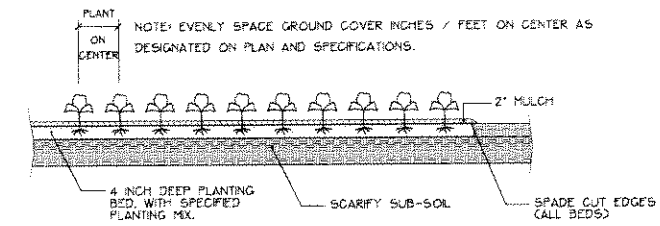
Code	Scientific Name	Common Name	Qty.	Planting Size
Ceca	Cercis canadensis	Redbud	5	6' B4B
Coal	Cornus alternifolia	Pagoda Dogwood	15	2' Cal. B4B
Moat	Magnolia stellata	Star Magnolia	5	6' B4B
Pyla	Pyrus calleryana 'Autumn Blaze'	Autumn Blaze Pear	8	2' Cal. B4B

Shrubs

Code	Scientific Name	Common Name	Qty.	Planting Size
Arme	Aronia melanocarpa	Black Chokeberry	34	24-30" Pot
Coap	Cotoneaster apiculata	Cranberry Cotoneaster	21	24" Pot
Coas	Cornus sericea 'Isartii'	Isartii Red Twig Dogwood	4	36" Pot
Huar	Hydangea arborescens 'Annabelle'	Annabelle hydrangea	52	36" Pot
Rhar	Rhus aromatica 'Smo-Lor'	Smo-Lor Sumac	25	24" Pot
Rhty	Rhus typhina 'Laciniata'	Cut Leaf Sumac	4	24" Pot
Spbu	Spiraea bumalda x Froebelii	Froebel Spiraea	56	24" Pot
Spva	Spiraea x vanhouttei	Bridal Wreath Spiraea	48	24" Pot
Tacu	Taxus cuspidata	Pyramidal Yew	53	3' B4B
Thoc	Thuja occidentalis 'Techny'	Techny arborvitae	4	3' B4B
Vide	Viburnum dentatum	Arrowwood Viburnum	3	36" Pot
Vipr	Viburnum prunifolium	Blackhawk Viburnum	6	36" Pot

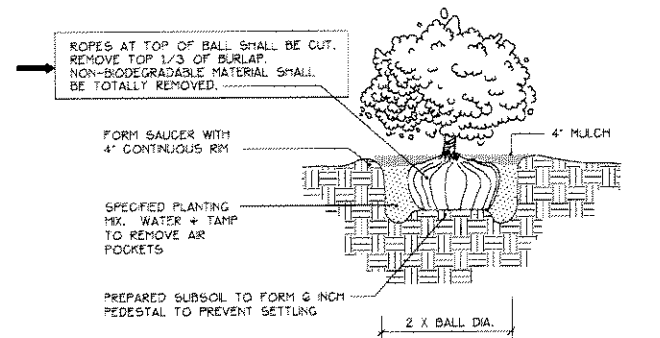
Perennials/Grasses

Code	Scientific Name	Common Name	Qty.	Planting Size
Eica	Elymus fortunet 'Colortus'	Nitenscreeper	440	4.5" Pot
Hear	Hemerocallis 'Autumn Red'	Daylily	185	4.5" Pot
Heha	Hemerocallis 'Halls Pink'	Daylily	94	4.5" Pot
Herr	Hemerocallis 'Happy Returns'	Daylily	240	4.5" Pot
Hesu	Hemerocallis 'Summer Wine'	Daylily	60	4.5" Pot
Hofr	Hosta 'Frances Williams'	Francis Williams Hosta	54	4.5" Pot
Hosi	Hosta 'Sieboldiana Elegans'	Elegans (Blue Giant) Hosta	24	4.5" Pot
Lamu	Lavandula angustifolia 'Munstead'	Lavender	100	4.5" Pot
Pate	Pachyranthus terminalis	Japanese Pachyranthus	420	2.5" Pot
Potr	Parthenocissus tricuspidata	Boston Ivy	16	4.5" Pot
Real	Phalaris arundinacea 'plata'	Ribbon Grass	96	1 Gallon Pot
Pent	Pennisetum alopecuroides 'Hameln'	Fountain Grass	138	1 Gallon Pot
Rulu	Rudbeckia fulgida	Black-eyed Susan	104	4.5" Pot



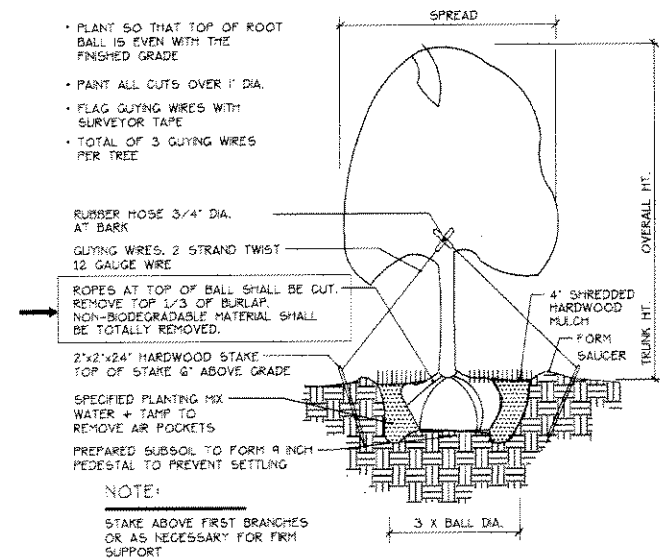
PERENNIALS / GC PLANTING 1

NO SCALE TYP.



SHRUB PLANTING 1

NO SCALE TYP.



TREE PLANTING - GUYING WIRES 1

NO SCALE TYP.

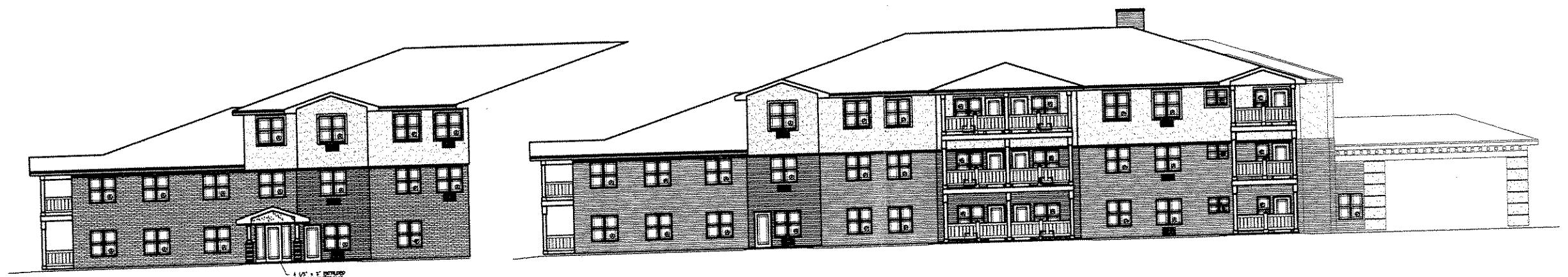
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SUNSTARR
 Construction Group, L.L.C.
 400 South Main Street, Suite 200
 Fond du Lac, WI 54601
 920.922.8800

Proposed Apartment Development for
Garden Place
 N 107th and Doran Drive
 City of Milwaukee, Wisconsin

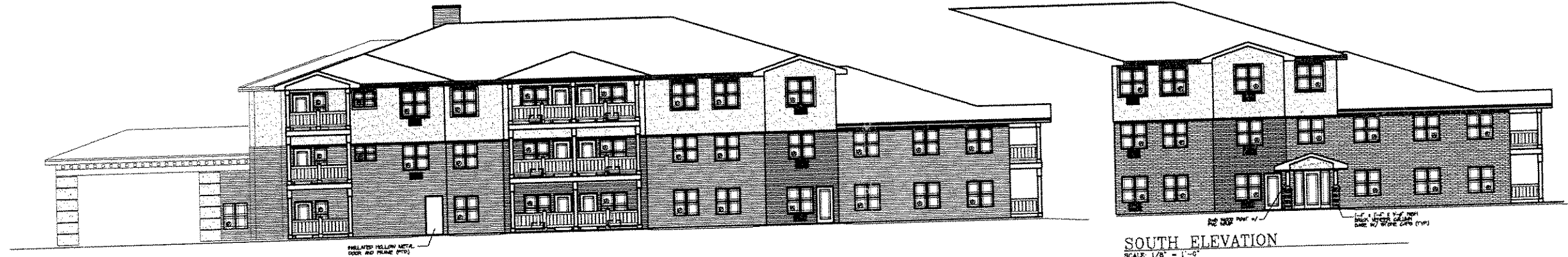
design III
 ARCHITECTS
 1000 W. WISCONSIN ST.
 MILWAUKEE, WI 53233
 PHONE: 414.224.1100
 FAX: 414.224.1101

PROJECT NO. **03838**
 DATE **8-10-2004**
 SHEET NO. **A1**



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

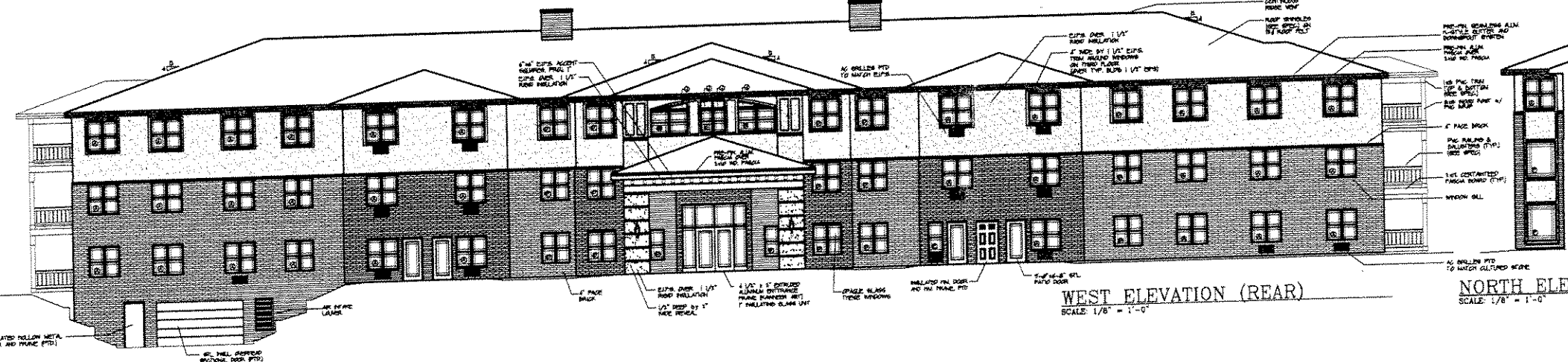
SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



EAST ELEVATION (FRONT)
 SCALE: 1/8" = 1'-0"

SOUTH ELEV.
 SCALE: 1/8" = 1'-0"

EXTERIOR COLORS		
ARCHITECTURAL SYMBOL	DESCRIPTION	SWATCH
1" FACE BRICK	1" FACE BRICK	
SPRINKLER	SPRINKLER	
2" FACE BRICK	2" FACE BRICK	
3" FACE BRICK	3" FACE BRICK	
4" FACE BRICK	4" FACE BRICK	
5" FACE BRICK	5" FACE BRICK	
6" FACE BRICK	6" FACE BRICK	
7" FACE BRICK	7" FACE BRICK	
8" FACE BRICK	8" FACE BRICK	
9" FACE BRICK	9" FACE BRICK	
10" FACE BRICK	10" FACE BRICK	



WEST ELEVATION (REAR)
 SCALE: 1/8" = 1'-0"

NORTH ELEV.
 SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE		
SYMBOL	DESCRIPTION	MIN. UNIT SIZE (H x W)
1	W/LS, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS	4'-0" x 4'-0"
2	W/LS, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS	4'-0" x 4'-0"
3	W/LS, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS	4'-0" x 4'-0"
4	W/LS, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS	4'-0" x 4'-0"
5	W/LS, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS	4'-0" x 4'-0"
6	W/LS, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS	4'-0" x 4'-0"
7	W/LS, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS	4'-0" x 4'-0"
8	W/LS, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS	4'-0" x 4'-0"
9	W/LS, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS	4'-0" x 4'-0"
10	W/LS, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS, 1/2" INSULATION, 1/2" AIR SPACE, 1/2" GLASS	4'-0" x 4'-0"

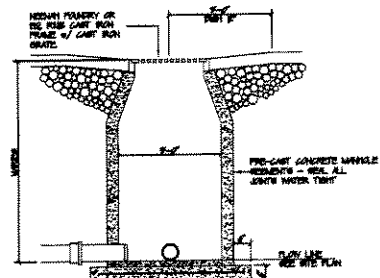
- DENOTE STAIR WINDOWS
 - WINDOWS TO THE OUTSIDE BETWEEN BUILDINGS

KEY:

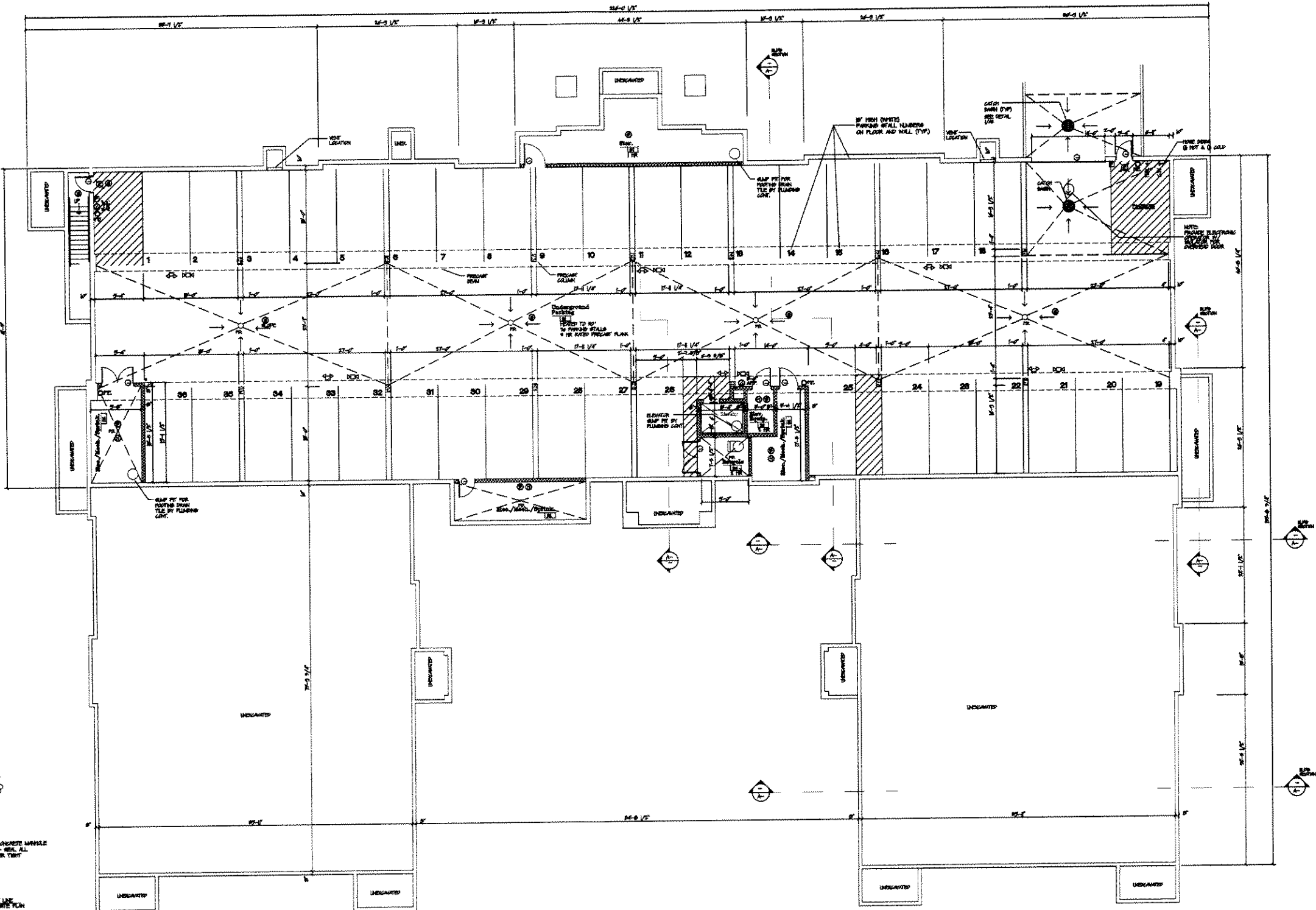
	FIRE ALARM PULL STATION
	EXIT LIGHT
	CARBON MONOXIDE ALARM DETECTOR (HARD-WIRED)
	FIREFIGHTER'S FIRE DETECTOR
	FIRE ALARM HORN
	FIRE ALARM HORN AND STROBE
	EMERGENCY LIGHTING
	REPRESENTS 2 HR RATED WALL U.L. JOINTS NO. U208
	REPRESENTS 1 HR RATED WALL U.L. JOINTS NO. U208
	REPRESENTS 1/2 HR RATED WALL U.L. JOINTS NO. U208
	INDICATES ACCESSIBLE ROUTE FOR PERSONS W/ WHEELCHAIR

NOTE: RAISE DETECTORS IN CORRIDOR TO BE 8'-0" O.C. MIN.

- NOTES:**
- 1) FLOOR FINISHES MUST BE DESIGNED WITH CONTIGUOUS JOINTS TO BE LOCATED IN CORRIDORS TO BE 8'-0" O.C. MIN. TO BE 8'-0" O.C. MIN. TO BE 8'-0" O.C. MIN.
 - 2) FLOOR FINISHES MUST BE DESIGNED WITH CONTIGUOUS JOINTS TO BE LOCATED IN CORRIDORS TO BE 8'-0" O.C. MIN. TO BE 8'-0" O.C. MIN. TO BE 8'-0" O.C. MIN.
 - 3) CORRIDOR TO BE 8'-0" O.C. MIN. TO BE 8'-0" O.C. MIN. TO BE 8'-0" O.C. MIN.
 - 4) CORRIDOR TO BE 8'-0" O.C. MIN. TO BE 8'-0" O.C. MIN. TO BE 8'-0" O.C. MIN.
 - 5) CORRIDOR TO BE 8'-0" O.C. MIN. TO BE 8'-0" O.C. MIN. TO BE 8'-0" O.C. MIN.
 - 6) CORRIDOR TO BE 8'-0" O.C. MIN. TO BE 8'-0" O.C. MIN. TO BE 8'-0" O.C. MIN.



CATCH BASIN DETAIL
SCALE: 1/2" = 1'-0"



BASEMENT PLAN
SCALE: 1/8" = 1'-0" 15,982 S.F.

NOT TO SCALE

SUNSTARR
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646 South Main Street, Suite 100
Fond du Lac, WI 54603
(920) 922-4000 (920) 922-4001

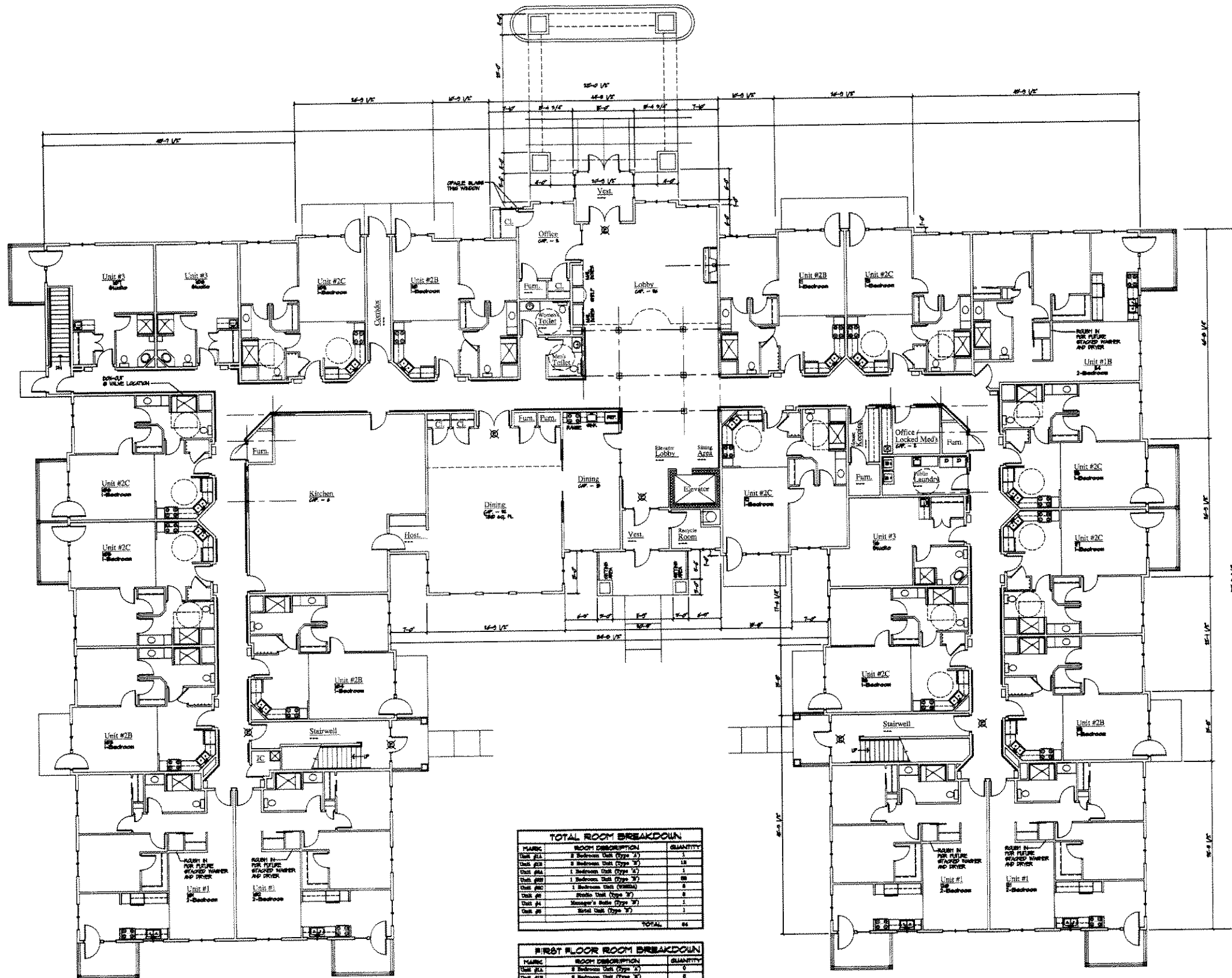
Proposed Apartment Development for:
Garden Place
N 107th and Donna Drive
City of Milwaukee, Wisconsin

design III
ARCHITECTS
2000 W. WISCONSIN AVE.
MILWAUKEE, WI 53233
(414) 962-2200 FAX: (414) 962-4800

Project No. **0383B**
Date: **8-19-2004**
Sheet No. **A2**

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40235\dwg\civil\ARCH\1st Floor.dwg, Model, 8/19/2004 6:38:55 PM, 1st



TOTAL ROOM BREAKDOWN		
MARK	ROOM DESCRIPTION	QUANTITY
Unit #1A	2 Bedroom Unit (Type 2)	1
Unit #1B	2 Bedroom Unit (Type 2)	12
Unit #1C	1 Bedroom Unit (Type 3)	1
Unit #1D	1 Bedroom Unit (Type 3)	88
Unit #1E	1 Bedroom Unit (Type 3)	8
Unit #1F	Studio Unit (Type 3)	8
Unit #1G	Manager's Suite (Type 3)	1
Unit #1H	Hotel Unit (Type 3)	1
TOTAL		118

FIRST FLOOR ROOM BREAKDOWN		
MARK	ROOM DESCRIPTION	QUANTITY
Unit #1A	2 Bedroom Unit (Type 2)	0
Unit #1B	2 Bedroom Unit (Type 2)	0
Unit #1C	1 Bedroom Unit (Type 3)	0
Unit #1D	1 Bedroom Unit (Type 3)	0
Unit #1E	1 Bedroom Unit (Type 3)	0
Unit #1F	Studio Unit (Type 3)	0
Unit #1G	Manager's Suite (Type 3)	0
Unit #1H	Hotel Unit (Type 3)	0
TOTAL		0

FIRST FLOOR PLAN 24,865 S.F. SCALE: 1/8" = 1'-0"

NOT TO SCALE

BUILDING S.F.
 24,865 S.F. FIRST FLOOR
 23,442 S.F. SECOND FLOOR
 10,130 S.F. THIRD FLOOR
 67,377 S.F. TOTAL

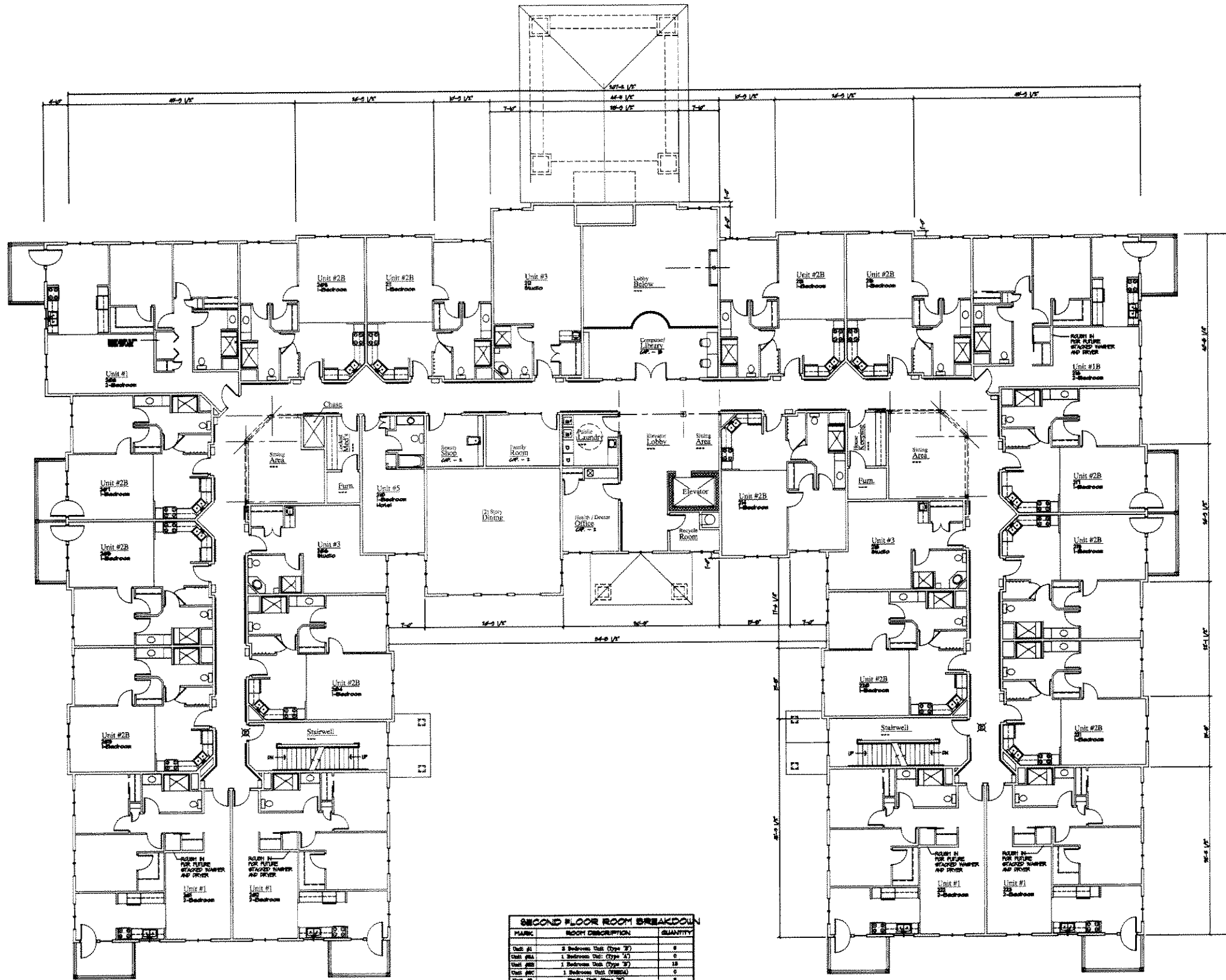
Project no. 0383B
 date 8-19-2004
 sheet no. A3

design II
 885 WISCONSIN AVE.
 SUITE 100, 200 W. 44TH ST.
 (920) 562-2285 FAX (920) 562-8909

Proposed Apartment Development for
Garden Place
 N 107th and Donna Drive
 City of Milwaukee, Wisconsin

SUNSTARR
 Construction Group, L.L.C.
 845 South Main Street, Suite 100
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SECOND FLOOR ROOM BREAKDOWN		
MARK	ROOM DESCRIPTION	QUANTITY
Unit #1	3 Bedrooms Unit (Type '1')	8
Unit #2B	1 Bedroom Unit (Type '2')	8
Unit #2B	1 Bedroom Unit (Type '2')	12
Unit #2B	1 Bedroom Unit (Type '2')	0
Unit #3	Studio Unit (Type '3')	8
Unit #4	Manager's Suite (Type '4')	0
Unit #5	Retail Unit (Type '5')	1
TOTAL		28

SECOND FLOOR PLAN 28,442 S.F.
SCALE: 1/8" = 1'-0"

NOT TO SCALE

project no.
0383B
date
8-19-2004
sheet no.
A4

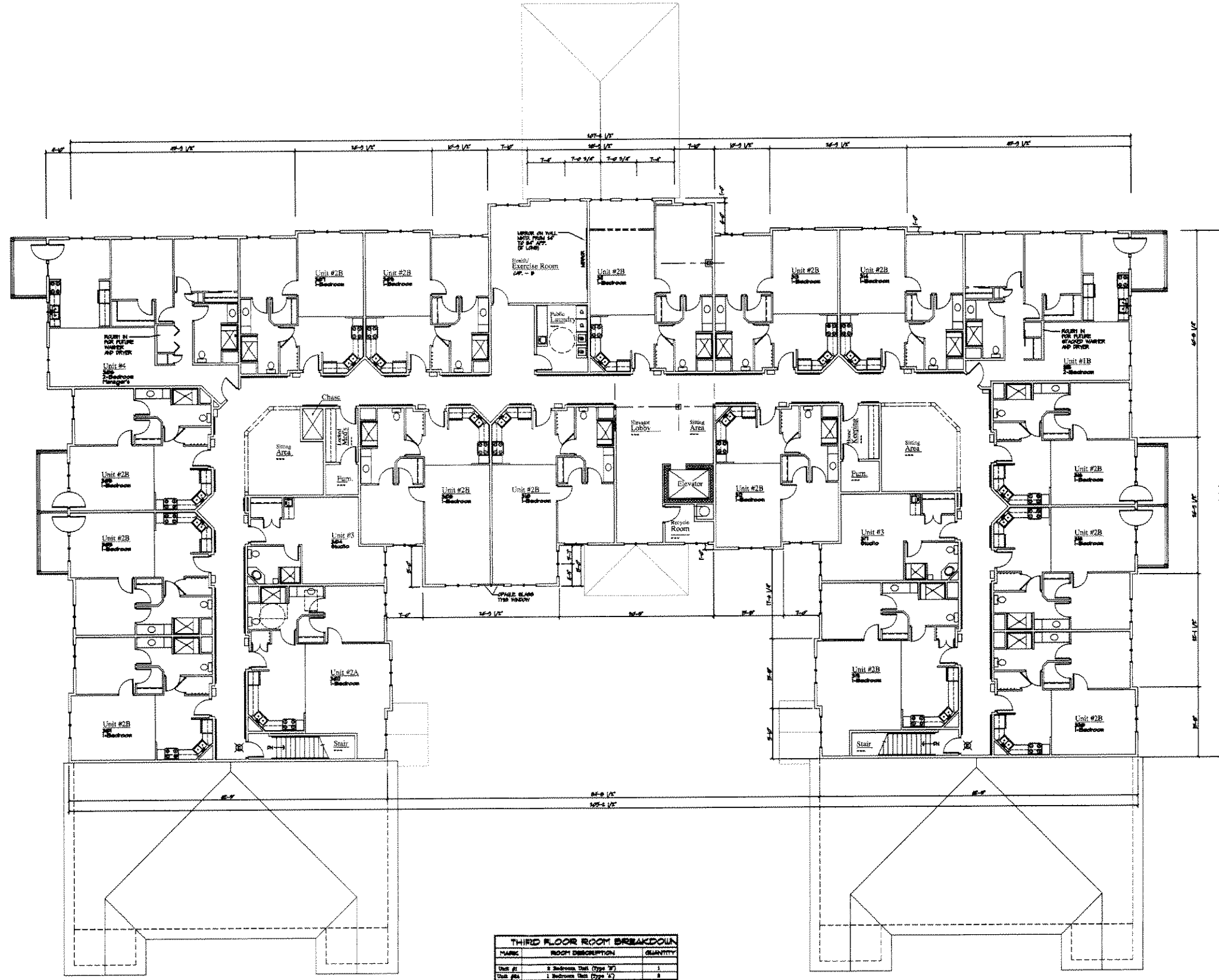
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200 westpark ave.
ford ct lac, wi 54605
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Garden Place
N 107th and Donna Drive
City of Milwaukee, Wisconsin

SUNSTAIR
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THIRD FLOOR ROOM BREAKDOWN		
MARK	ROOM DESCRIPTION	QUANTITY
Unit #1	3 Bedroom Unit (Type 3)	1
Unit #2	1 Bedroom Unit (Type 1)	1
Unit #2B	1 Bedroom Unit (Type 2)	16
Unit #2C	1 Bedroom Unit (Type 2)	0
Unit #2A	2 Bedroom Unit (Type 2)	0
Unit #3	Manager's Suite (Type 3)	1
Unit #5	2 Bedroom Unit (Type 5)	1
Unit #1B	1 Bedroom Unit (Type 1)	1
TOTAL		21

THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0" 19,190 S.F.

NOT TO SCALE

Project no.
0383B
date
8-19-2004
sheet no.
A5

arch
design II llc
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Proposed Apartment Development for:
Garden Place
N 107th and Donna Drive
City of Milwaukee, Wisconsin

SUNSTARR
Construction Group, L.L.C.
648 South Main Street, Suite 100
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