

The Hills Luxury Commons: Block A

217 & 227 E. Reservoir Street

1844 & 1848 N. Palmer Street

1823 N. Hubbard Street

Milwaukee, WI 53202

Amendment to Detailed Plan Development known as
Brewer's Hill Commons Phase VII, File 160115



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Project Team

OWNER



ARCHITECT



CIVIL & LANDSCAPE



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Owner's Statement of Intent & Planned Development Project Description

Owner's Statement of Intent

Brewers Hill DPD Amendment, Phase VII, Block A - File # 160115

The Brewers Hill neighborhood is the benefactor of a strategic General Planned Development (GPD). Initiated in 1999, the GPD encompassed the revitalization and repurpose of former manufacturing sites in the near downtown area. The housing plan called for single family, town homes, and multifamily apartments/condos. The success of the GPD has created a vibrant neighborhood full of diversity, energy, and economic activity. In 2004 a Detailed Plan Development (DPD) was presented and approved by the appropriate municipal bodies, which included plans for parcels at the SW corner of Hubbard/Reservoir (Phase VII-Block A) and the SW corner of Hubbard/Brown (Phase VI-Block B). The current development team is proposing an amendment to the GPD and DPD for the parcels mentioned, to allow for the construction/completion of the neighborhood housing initiative.

The development team is proposing a change to the Detailed Development Plan (DDP) for the parcel(s) located at the SW Corner of Hubbard and Reservoir. The amended DDP will include (97) residential units with 1 and 2 bedroom unit types, and up to 100 structured parking stalls. Due to the sloping topography of the site, the development will range in height from two and a half stories at the corner of Reservoir and Palmer, stepping up to four stories at Reservoir and Hubbard. The Southeast corner of the building will be four stories plus an exposed basement. The development will include high end finishes including stainless steel appliances, luxury wood style plank floors, quartz/granite counter tops in addition to private balconies, a roof top terraces, a sky lounge, club/ party room, fitness center, potential dog run on the podium roof or south of the building along Palmer Street, underground heated parking, car washing station, bike rental program and on site property management. The development will also encompass a commercial space on the ground floor at the northeast corner with a cafe/coffee shop or small restaurant as the targeted end use.

Planned Development Project Description

Uses:

Multi-family dwelling, parking structure accessory use, and the following uses shall be permitted in the commercial portion of the building: general retail establishment, personal service, sit down restaurant, café/coffee shop, temporary real estate sales office, or other neighborhood-serving use. Additionally, uses accessory to the multi-family (i.e. community space, etc.) may occupy the space.

Setbacks:

The east walkup units are set back five feet from the Hubbard Street property line to allow for a landscape buffer. The west facade is on the Palmer Street property line, but there is room for a landscape buffer in the right of way - this landscaping will be included in the developer's special privilege application if necessary. The northeast corner of the site will be designed to accommodate a plaza area at the main entry/ retail entrance.

Screening:

All utility and HVAC equipment, with the possible exception of the electrical transformer, will not be visible from the street. They will be housed in the building or located on the roof. The transformer will be at grade as required by WE Energies and will be screened appropriately.

Open Spaces:

The primary open space for the project is a green space in the southwest corner of the site. Its primary function is stormwater management. The building will have an open roof deck on the 4th floor at the southern end, and possibly a second roof deck overlooking Reservoir Avenue. Additionally, there may be a third roof deck at the first floor facing west.

Circulation, Parking and Loading:

The building contains two enclosed, heated garages. The upper garage is partially buried along Reservoir Street with a midblock entrance, with up to 28 parking stalls. The basement garage is accessed from Hubbard Street and contains up to 72 stalls. The main pedestrian entrance of the building is located on the Reservoir street facade.

Bicycle parking will be located internal to the parking structures at the north end(s), with visitor racks outdoors..

Refuse for the structure is handled via an internal trash room in the parking area. Dumpsters will be rolled out for collection through the parking entrance. Move in and move out is anticipated to occur along Reservoir Avenue due to the steep slope on Hubbard Street.

Landscaping:

The landscape theme developed for The Hill- Block A is a rather simple approach. The clean linear lines of the architecture dictate the simple, block-massing of perennials, grasses and shrubs. New street trees are introduced on the public fronts of the project, fully integrating this new building to the block. The project features an assortment of raised planters along the three (3) public sides. These planters will aid in lessening and navigating the slope of the site (north to south). These planters will serve as step/retaining walls at the various unit entries. A plaza element will occur at the retail corner on Reservoir and Hubbard; it is the developer's intention to seek a special privilege to build in the right of way between the property line and the City sidewalk along Reservoir on order to create a larger, more active outdoor seating area.

The site is buffered from the adjoining south/southwest residence with an evergreen/shade tree screen/buffer. All required vegetation and plantings in the interior areas shall be of a quality consistent with the American Association of Nurserymen (ANSO 260.1). All required vegetation shall be maintained on an ongoing basis, including seasonal tree and plant replacement.

Lighting:

Adequate lighting shall be provided along the north elevation as well as along the east and west elevations. The lighting shall comply with requirements outlined in section 295-409.2 of the City of Milwaukee City Charter and Code of Ordinances.

Utilities:

All utility lines shall be installed underground if possible, otherwise existing poles will remain in place.. Transformers and substations will be installed within buildings or otherwise screened from view.

Signs:

Building signage for Phase VII will include a wall mounted address sign located at the northeast corner of the site, and an additional address sign at the shared lobby of the building. The address sign will be either surface mounted raised metal characters or frosted glass. Additionally, wall mounted signs will be located on the garden walls at the northeast corner of the site. The retail suite at the northeast corner of the building will have a separate, wall mounted sign. Signs will be Type A (only letters and logos illuminated) and constructed with high quality building materials that match the building. Signs will not exceed approximately 4 feet in height and 36 square feet overall. Temporary signage during construction and leasing will consist of up to two (2) 4 foot by 8 foot banners with a printed graphic of the project and contact information attached to the construction fence.

Block A (Phase VII) Overview:

Total lot square footage: 49,175 SF (1.13 Acres)

Maximum amount of land covered by principal structure: 37,836 SF - 77%

Maximum amount of land devoted to parking structure and drives: 25,780 SF (Basement) + 488 SF (Drives) - 52%

Maximum amount of land devoted to landscaped open space: 11,339 SF - 23%

Proposed number of buildings: One

Number of dwelling units: 97

Bedrooms per unit: One and Two - Total bedroom count: up to 111

Parking spaces provided: Up to 100: Approx. one per dwelling unit

Block A density: 507 SF/ Dwelling unit





Reservoir Street Rowhouses - across from Block A



Cobblers Lofts - across from Block A



Hubbard Street Lofts - across from Block A



View from Block A



Block A existing structure



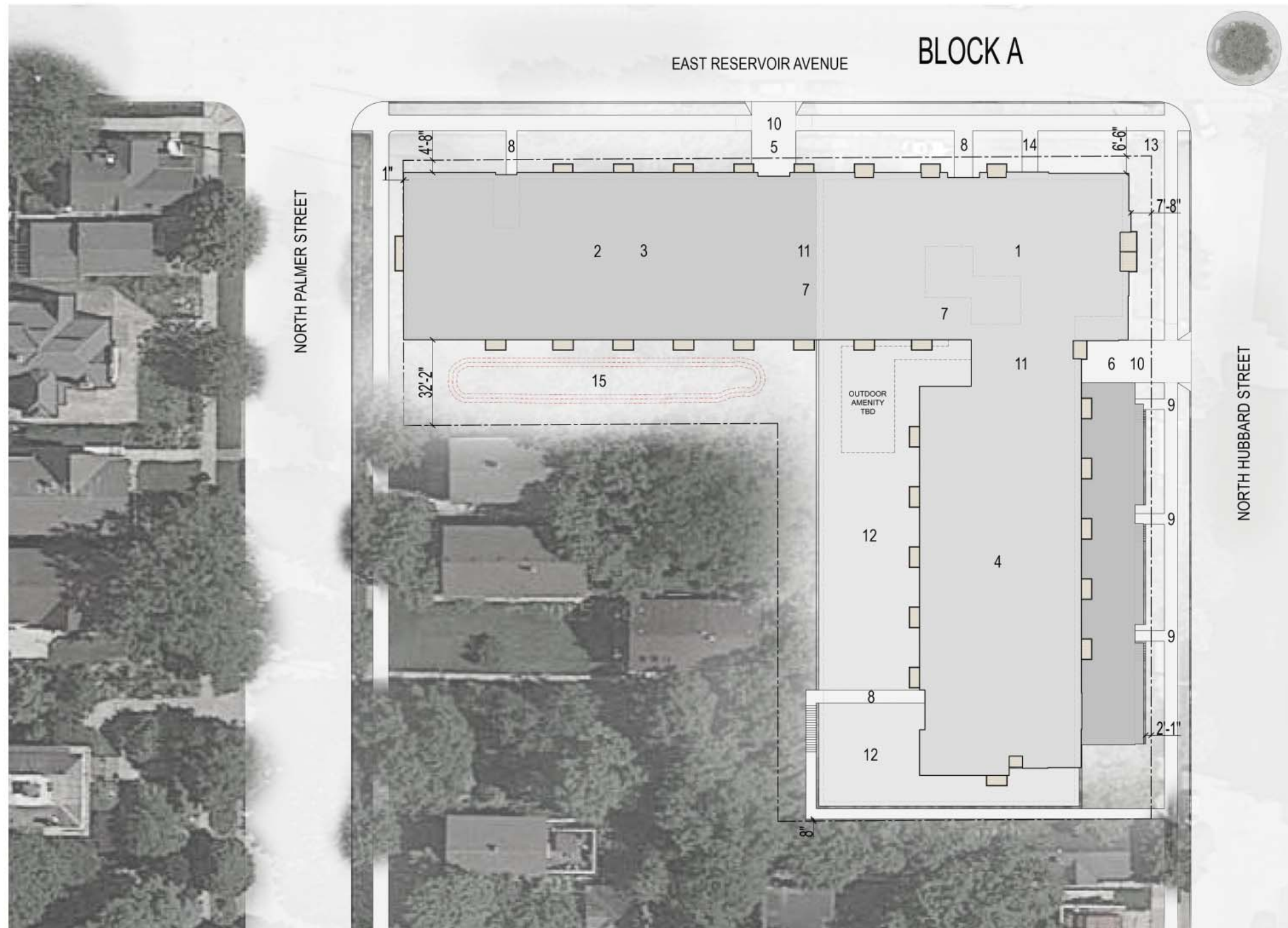
Single family homes - across from Block A

SITE PLAN KEY

1. BUILDING (FIVE FLOORS)
2. BUILDING (THREE FLOORS)
3. PARKING GARAGE 1
4. PARKING GARAGE 2
5. GARAGE 1 ENTRANCE
6. GARAGE 2 ENTRANCE
7. INTERIOR BICYCLE PARKING
8. MAIN PEDESTRIAN ENTRANCE
9. WALK UP UNITS
10. REFUSE COLLECTION
11. LOADING FACILITY
12. COMMUNITY DECK (ONE FLOOR)
13. OUTDOOR SPACE
14. RETAIL ENTRY
15. RETENTION POND

108 PARKING SPACES

- 28 SPACES- GARAGE 1
- 80 SPACES- GARAGE 2



ALTA/NSPS LAND TITLE SURVEY

PARCEL 1: KNOWN AS 227 E. RESERVOIR AVENUE
LOTS 1, 4, 5 AND 8, IN BLOCK 34, IN SHERMAN'S ADDITION, IN THE NORTHEAST 1/4 OF SECTION 20, IN TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

PARCEL 2: KNOWN AS 1848-50 N. PALMER STREET
LOT 2, EXCEPT THE EAST 35 FEET THEREOF, IN BLOCK 34, IN SHERMAN'S ADDITION, IN THE NORTHEAST 1/4 OF SECTION 20, IN TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

PARCEL 3: KNOWN AS 217 E. RESERVOIR AVENUE
THE EAST 35 FEET OF LOT 2, IN BLOCK 34, IN SHERMAN'S ADDITION, IN THE NORTHEAST 1/4 OF SECTION 20, IN TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

PARCEL 4: KNOWN AS 1844 N. PALMER STREET
LOT 3, IN BLOCK 34, IN SHERMAN'S ADDITION, IN THE NORTHEAST 1/4 OF SECTION 20, IN TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

PARCEL 5: KNOWN AS 1823-25 N. HUBBARD STREET
LOT 9, IN BLOCK 34, IN SHERMAN'S ADDITION, IN THE NORTHEAST 1/4 OF SECTION 20, IN TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

MAY 3, 2016 ROYAL CAPITAL GROUP LLC SURVEY NO. 4992

NOTES:

- A. BEARINGS ARE BASED ON THE SOUTH LINE OF EAST RESERVOIR AVENUE, WHICH IS ASSUMED TO BEAR N 89° 39' 39" E.
- B. THIS SURVEY WAS PREPARED BASED ON FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. NCS-745287-MKE, EFFECTIVE DATE OF JULY 01, 2015, WHICH LIST THE FOLLOWING EASEMENTS AND/OR RESTRICTIONS:

- 1-3 AFFECTS SITE IF ANY, SHOWN.
- 4-11, 14-15 NOT SURVEY RELATED, NOT SHOWN.
- 12. TERMS, PROVISIONS AND CONDITIONS SET FORTH IN EASEMENT AGREEMENT DATED OCTOBER 1, 1999 AND RECORDED ON OCTOBER 9, 1999, IN REEL 4665, IMAGE 1927, AS DOCUMENT NO. 781K252 (AS TO PARCEL 6, DOES NOT AFFECTS SITE, NOT SHOWN).
- 13. RIGHTS OF ENTRANCE TO, MAINTENANCE, CONSTRUCTION, OR REPAIR OF ANY UTILITY STRUCTURES, IMPROVEMENTS OR SERVICES WHICH MAY BE UNDER THE SURFACE OF THE PORTION THE LAND LYING WITHIN VACATED NORTH PALMER STREET, PURSUANT TO SECTION 66.106(2)(A) WISCONSIN STATUTES AND CERTIFIED COPY OF RESOLUTION VACATION-FILE NO. 991923 RECORDED ON AUGUST 10, 2001, AS DOCUMENT NO. 8115163. (AS TO PARCEL 6, DOES NOT AFFECT SITE, NOT SHOWN).

C. ACCORDING TO FLOOD INSURANCE RATE MAP OF THE COUNTY OF MILWAUKEE, COMMUNITY PANEL NO. 5597C0901E, EFFECTIVE DATE OF SEPTEMBER 26, 2008, THIS SITE FALLS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

D. THE BASIC ZONING INFORMATION LISTED BELOW IS TAKEN FROM MUNICIPAL CODES AND DOES NOT REFLECT REGULATIONS THAT MAY APPLY-SITE IS ZONED PD PLANNED DEVELOPMENT DISTRICT.

SETBACKS: A PLANNED DEVELOPMENT EXCEEDING 5 ACRES IN SIZE SHALL PROVIDE A SETBACK OF AT LEAST 25 FEET AROUND THE PERIMETER OF THE SITE, UNLESS A SMALLER SETBACK IS APPROVED BY THE COMMON COUNCIL BECAUSE ADJACENT BUILDINGS HAVE SETBACKS THAT ARE LESS THAN 25 FEET.

E. THERE ARE NO REGULAR AND NO HANDICAPPED PARKING SPACES MARKED ON THIS SITE.

TO:
ROYAL CAPITAL GROUP, LLC
BREWERS HILL COMMONS II, LLC
FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, INCLUDES ITEMS 1, 2, 3, 4, 6, 7(a), 7(c), 8, 9, 10 AND 11 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 3, 2016.

DATE OF PLAT OR MAP: MAY 17, 2016

PAUL A. KUBICEK
WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-2232



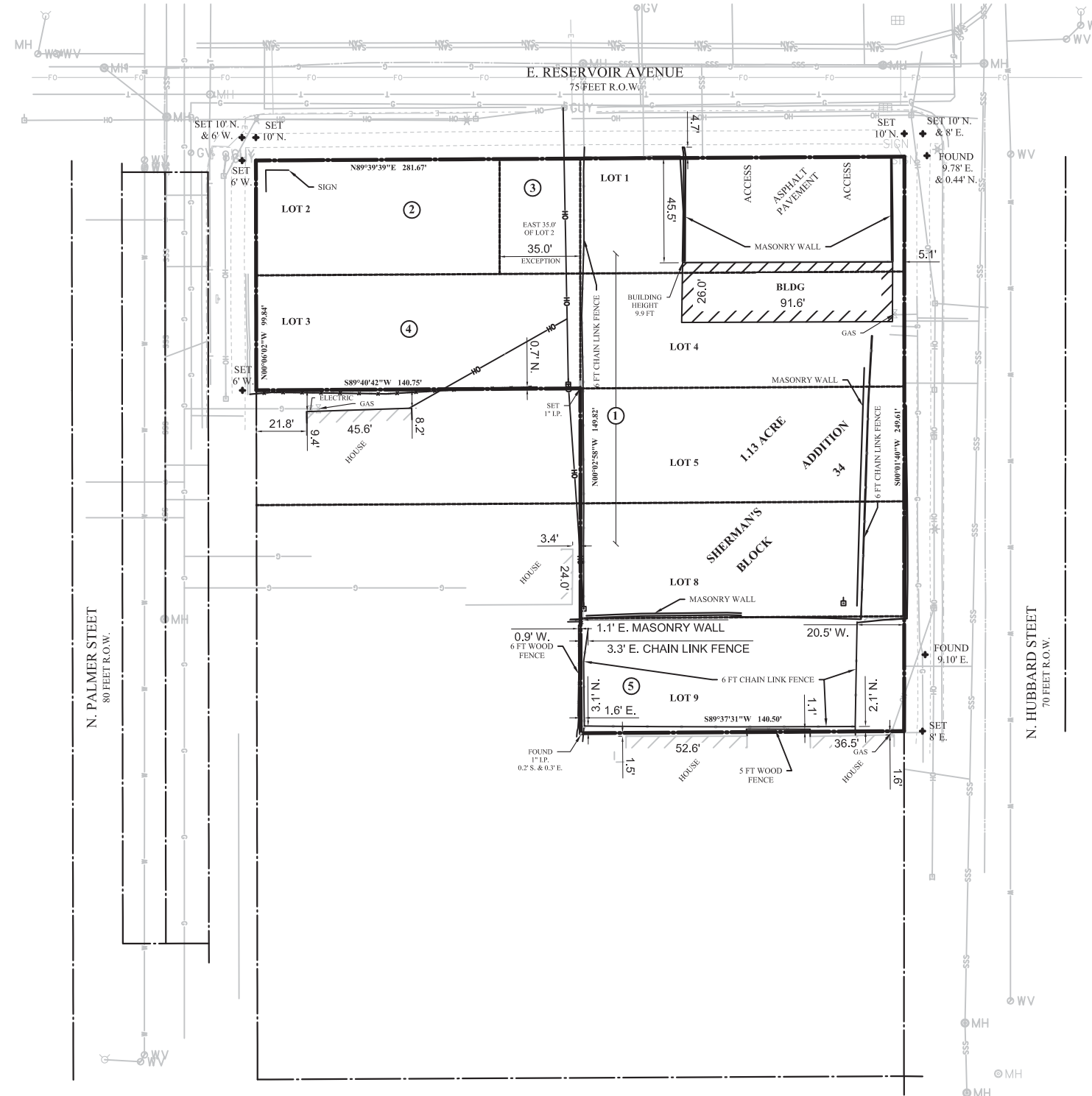
VICINITY MAP
NOT TO SCALE

- IRON PIPE
- SIGN
- MANHOLE
- ROUND INLET
- DAILEY
- METER
- GUY POLE
- GAS VALVE
- WATER VALVE
- POWER POLE
- LIGHT POLE
- CHISELED CROSS
- UG ELECTRIC
- UG WATER
- OVERHEAD
- UG TELEPHONE
- UG FIBER OPTIC
- UG GAS LINE
- UG SANITARY SEWER
- UG COMBINED SEWER
- CONCRETE
- BUILDING
- PARCEL NO.

LEGEND
NOT TO SCALE



GRAPHIC SCALE 1"=30'



TITLE: ALTA/NSPS LAND TITLE SURVEY
PROJECT TITLE: BREWER HILL DEVELOPMENT - BLOCK A
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: 227 EAST RESERVOIR AVENUE

REVISIONS	DATE	DESCRIPTION

DRAWN BY KMA	DATE 05/17/2016
CHECKED BY PAK	DATE 05/17/2016

SHEET TITLE
ALTA/NSPS LAND TITLE SURVEY

AS201D30

TITLE: BLOCK A EXISTING CONDITIONS

PROJECT TITLE: THE HILLS LUXURY COMMONS

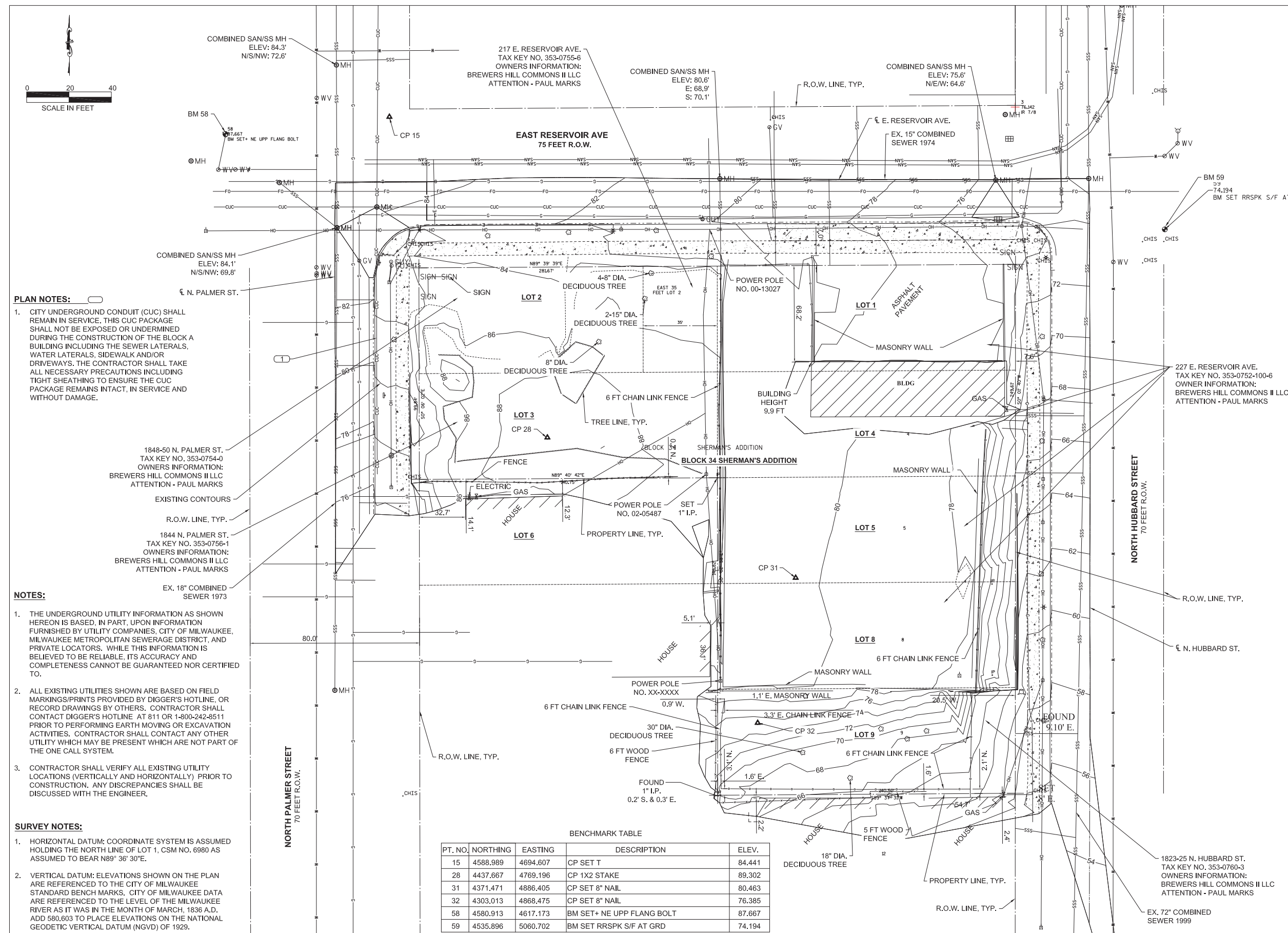
CLIENT: ROYAL CAPITAL GROUP, LLC

PROJECT LOCATION: EAST RESEVOIR AVE. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

EXISTING CONDITIONS
BLOCK A
(SOUTH BLOCK)

C002A



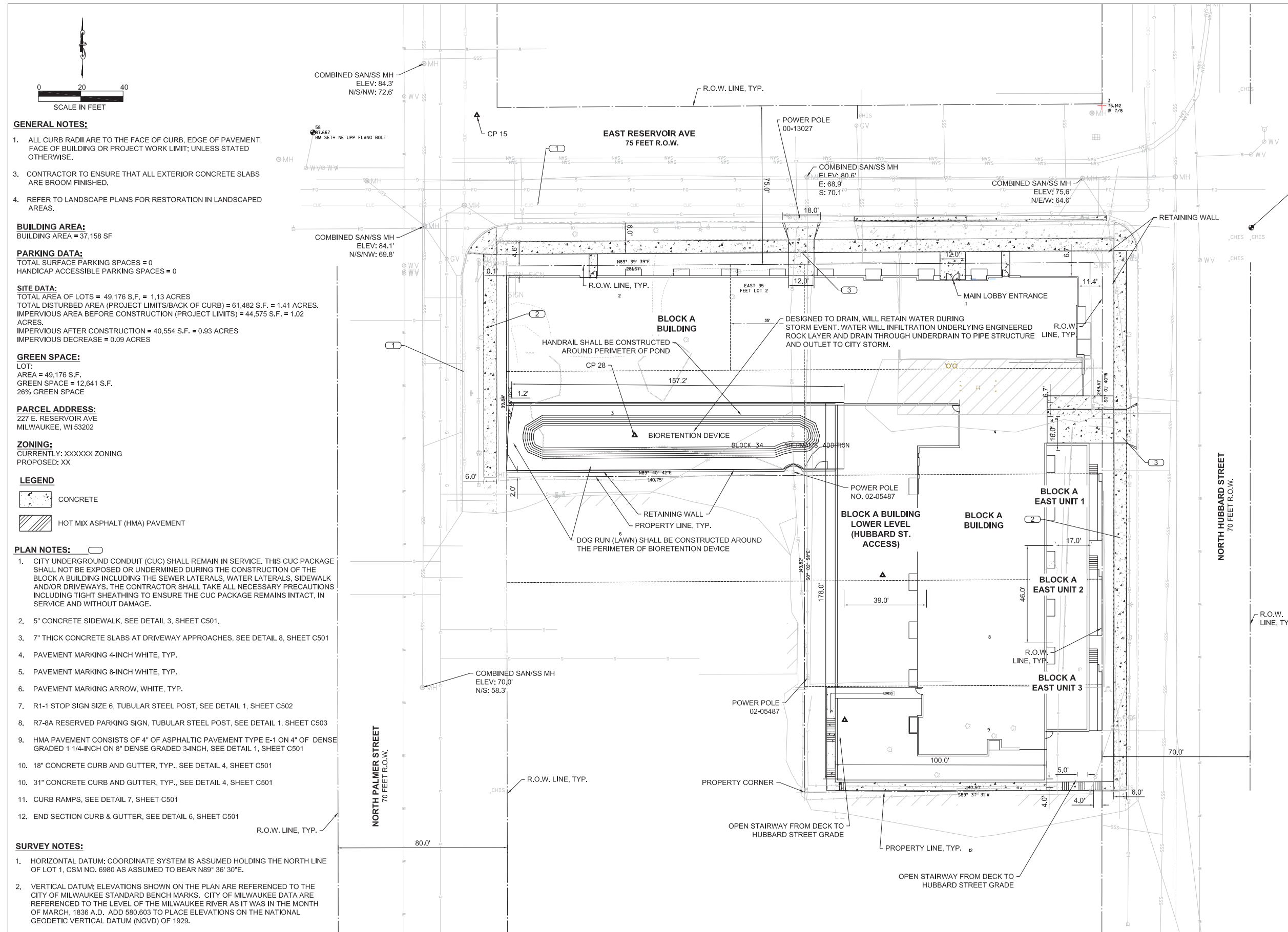
TITLE: BLOCK A SITE PLAN
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST RESEVOIR AVE. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY	DATE
JAF	06/20/2016
CHECKED BY	DATE
APS	06/20/2016

**SITE PLAN
BLOCK A
(SOUTH BLOCK)**

C200A



GENERAL NOTES:

1. ALL CURB RADII ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR PROJECT WORK LIMIT; UNLESS STATED OTHERWISE.
3. CONTRACTOR TO ENSURE THAT ALL EXTERIOR CONCRETE SLABS ARE BROOM FINISHED.
4. REFER TO LANDSCAPE PLANS FOR RESTORATION IN LANDSCAPED AREAS.

BUILDING AREA:
BUILDING AREA = 37,158 SF

PARKING DATA:
TOTAL SURFACE PARKING SPACES = 0
HANDICAP ACCESSIBLE PARKING SPACES = 0

SITE DATA:
TOTAL AREA OF LOTS = 49,176 S.F. = 1.13 ACRES
TOTAL DISTURBED AREA (PROJECT LIMITS/BACK OF CURB) = 61,482 S.F. = 1.41 ACRES.
IMPERVIOUS AREA BEFORE CONSTRUCTION (PROJECT LIMITS) = 44,575 S.F. = 1.02 ACRES.
IMPERVIOUS AFTER CONSTRUCTION = 40,554 S.F. = 0.93 ACRES
IMPERVIOUS DECREASE = 0.09 ACRES

GREEN SPACE:
LOT:
AREA = 49,176 S.F.
GREEN SPACE = 12,641 S.F.
26% GREEN SPACE

PARCEL ADDRESS:
227 E. RESEVOIR AVE
MILWAUKEE, WI 53202

ZONING:
CURRENTLY: XXXXXX ZONING
PROPOSED: XX

LEGEND

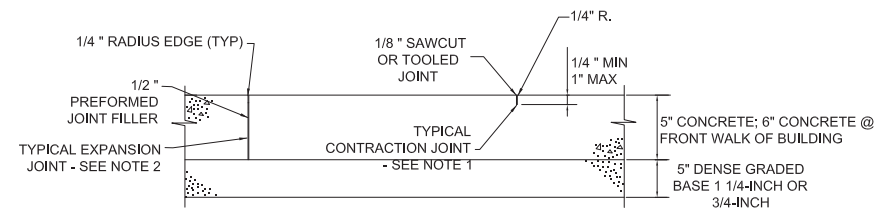
- CONCRETE
- HOT MIX ASPHALT (HMA) PAVEMENT

PLAN NOTES:

1. CITY UNDERGROUND CONDUIT (CUC) SHALL REMAIN IN SERVICE. THIS CUC PACKAGE SHALL NOT BE EXPOSED OR UNDERMINED DURING THE CONSTRUCTION OF THE BLOCK A BUILDING INCLUDING THE SEWER LATERALS, WATER LATERALS, SIDEWALK AND/OR DRIVEWAYS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING TIGHT SHEATHING TO ENSURE THE CUC PACKAGE REMAINS INTACT, IN SERVICE AND WITHOUT DAMAGE.
2. 5" CONCRETE SIDEWALK, SEE DETAIL 3, SHEET C501.
3. 7" THICK CONCRETE SLABS AT DRIVEWAY APPROACHES, SEE DETAIL 8, SHEET C501
4. PAVEMENT MARKING 4-INCH WHITE, TYP.
5. PAVEMENT MARKING 8-INCH WHITE, TYP.
6. PAVEMENT MARKING ARROW, WHITE, TYP.
7. R1-1 STOP SIGN SIZE 6, TUBULAR STEEL POST, SEE DETAIL 1, SHEET C502
8. R7-8A RESERVED PARKING SIGN, TUBULAR STEEL POST, SEE DETAIL 1, SHEET C503
9. HMA PAVEMENT CONSISTS OF 4" OF ASPHALTIC PAVEMENT TYPE E-1 ON 4" OF DENSE GRADED 1 1/4-INCH ON 8" DENSE GRADED 3-INCH, SEE DETAIL 1, SHEET C501
10. 18" CONCRETE CURB AND GUTTER, TYP., SEE DETAIL 4, SHEET C501
10. 31" CONCRETE CURB AND GUTTER, TYP., SEE DETAIL 4, SHEET C501
11. CURB RAMPS, SEE DETAIL 7, SHEET C501
12. END SECTION CURB & GUTTER, SEE DETAIL 6, SHEET C501

SURVEY NOTES:

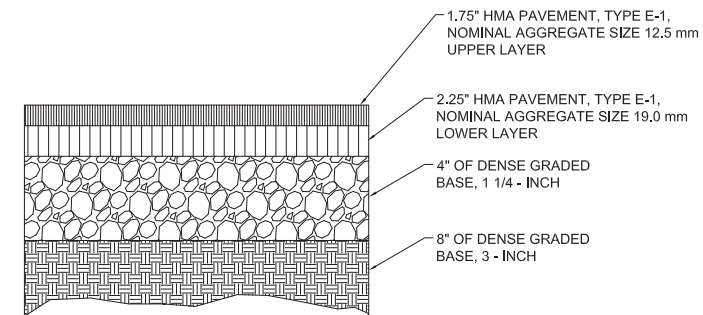
1. HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
2. VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580,603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.



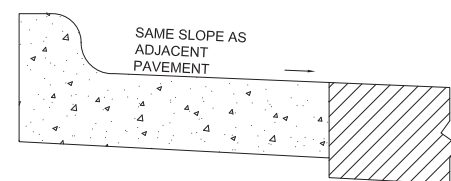
NOTE:

- CONTRACTION JOINTS TO BE SPACED 5'-0" O.C. MAXIMUM EACH DIRECTION.
- EXPANSION JOINTS TO BE SPACED AT 50' MAXIMUM EACH DIRECTION AND WHERE SIDEWALK MEETS BUILDINGS, CURBS, AND EXISTING SIDEWALKS WHICH REMAIN IN PLACE.
- LONGITUDINAL SLOPES TO MATCH PROPOSED GRADE, CROSS SLOPE OF NEW SIDEWALK SHALL BE 1.5%, MAX 2.0%.

3 UNREINFORCED CONCRETE SIDEWALK
C501 NTS

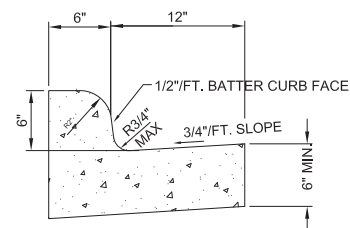


11 MEDIUM DUTY HOT MIX ASPHALT PAVEMENT
C8 NTS



NOTE: WHEN REVERSE SLOPE GUTTER IS REQUIRED, THE LOCATIONS WILL BE SHOWN ELSEWHERE IN THE PLAN.

19 REVERSE SLOPE GUTTER
C8 NTS



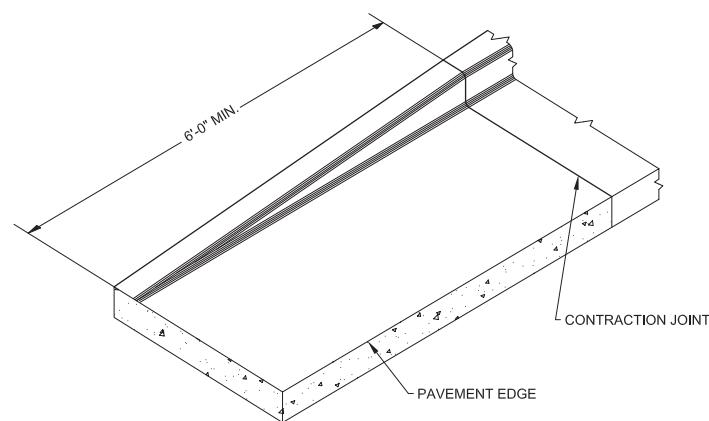
GENERAL NOTES:

LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

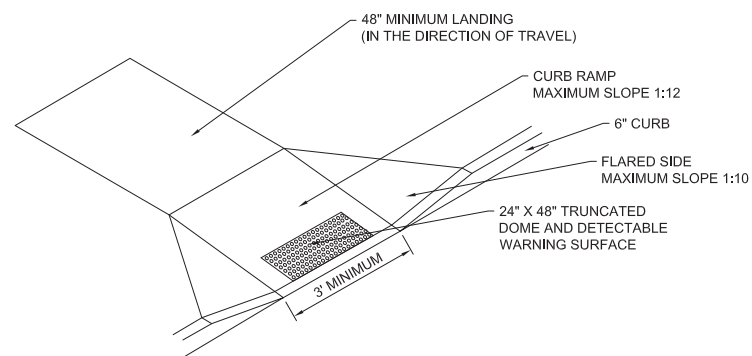
EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS OF 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED AGRREGATE BASE COURSE (MIN. 6"). AN EXPANSION JOINT ONE(1) INCH IN WIDTH SHALL BE CONSTRUCTED BETWEEN VERTICAL CURB AND STRUCTURES.

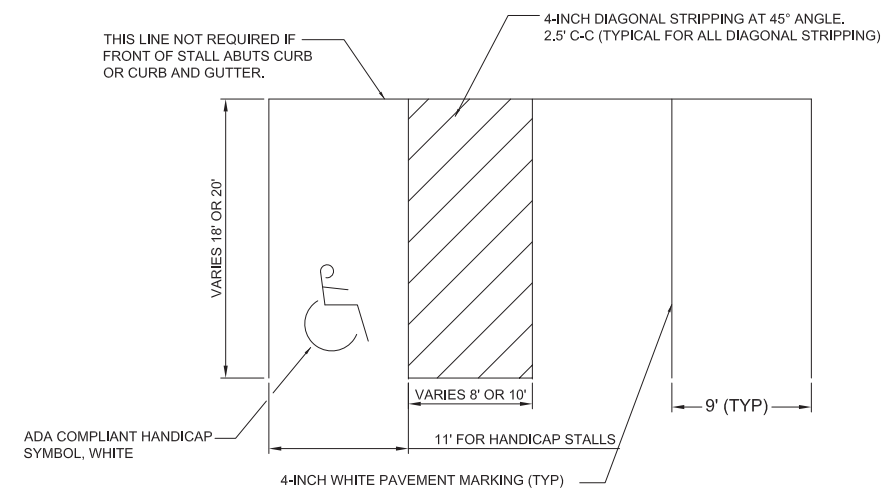
20 CONCRETE CURB & GUTTER 18"
C8 NTS



6 END SECTION CURB & GUTTER
C501 NTS



7 CURB RAMP DETAIL
C501 NTS



21 PAVEMENT MARKING
C8 NTS

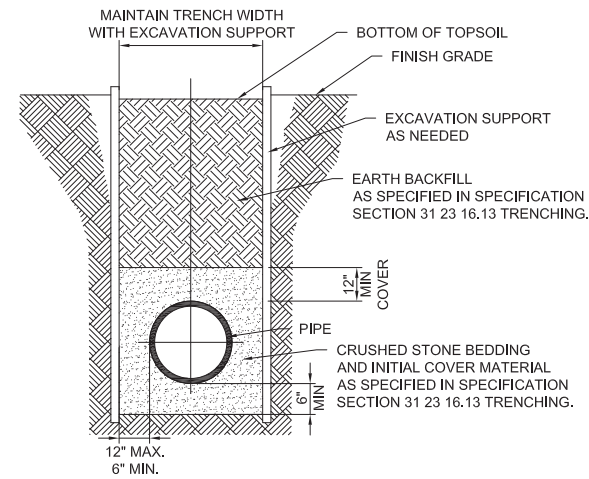
TITLE: BLOCK A EXISTING CONDITIONS
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST RESEVOIR AVE. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

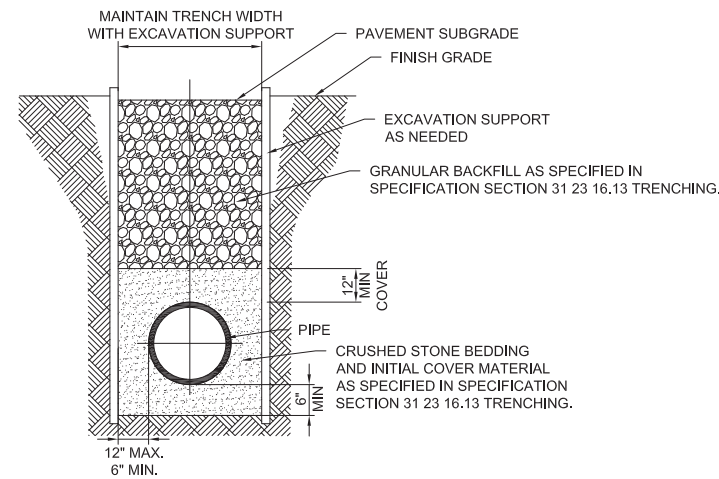
DRAWN BY JAF	DATE 05/24/2016
CHECKED BY APS	DATE 05/24/2016

**CONSTRUCTION DETAILS
BLOCK A**

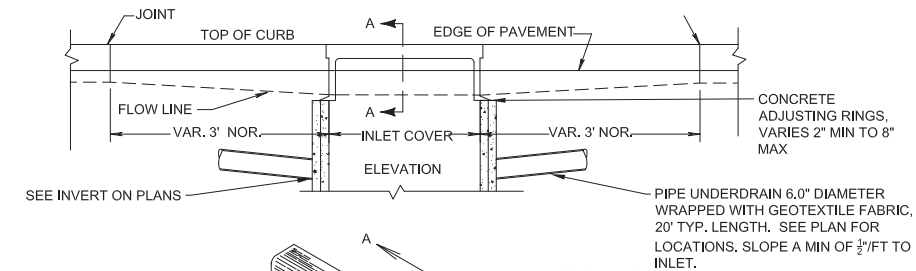
C501A



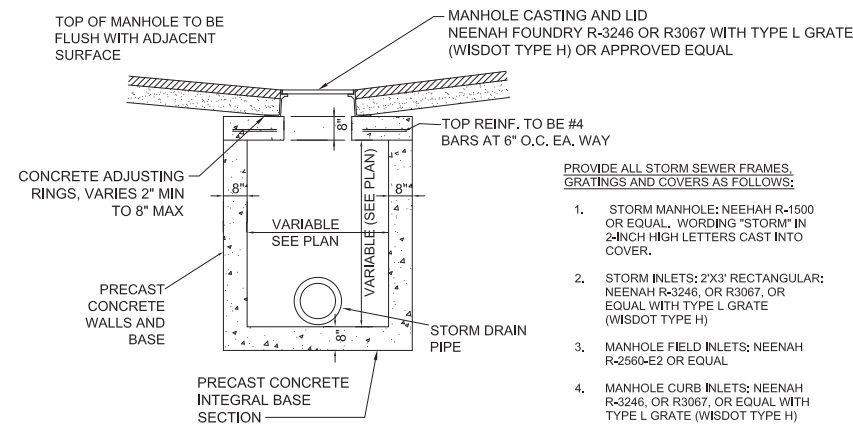
1
C504
NTS
TYPICAL PIPE/UTILITY TRENCH BELOW LANDSCAPING



2
C504
NTS
TYPICAL PIPE/UTILITY TRENCH UNDER PAVEMENT

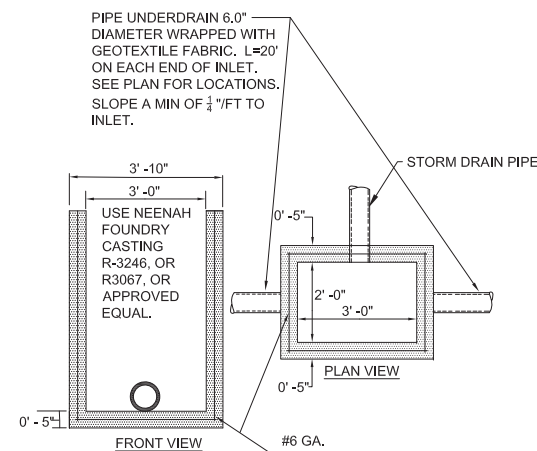


18
C201
NTS
CURB & GUTTER AT INLET

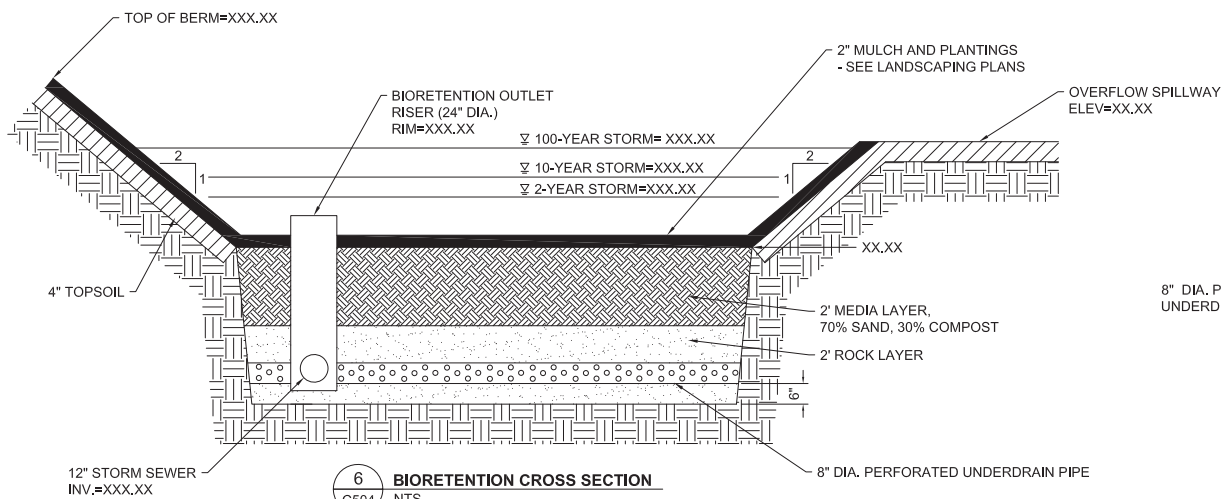
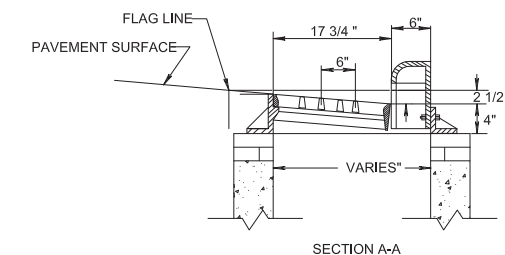


- NOTES:
1. ALL MANHOLES SHALL INCLUDE STEPS ON 16" CENTERS WHEN DEPTH (GRATE TO BOTTOM) IS 4.0' OR GREATER.

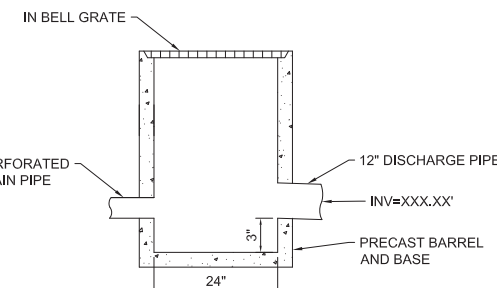
4
C504
NTS
STORM MANHOLE TYPICAL DETAIL



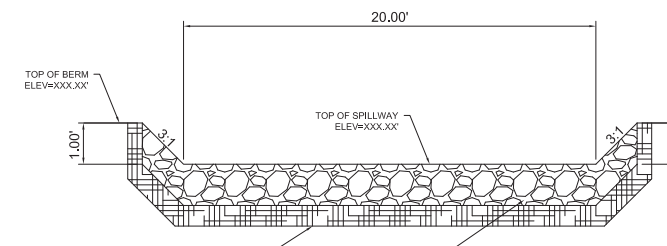
3
C504
NTS
INLET



6
C504
NTS
BIORETENTION CROSS SECTION



7
C504
NTS
BIORETENTION OUTLET RISER DETAIL



8
C504
NTS
OVERFLOW SPILLWAY

TITLE: BLOCK A EXISTING CONDITIONS

PROJECT TITLE: THE HILLS LUXURY COMMONS

CLIENT: ROYAL CAPITAL GROUP, LLC

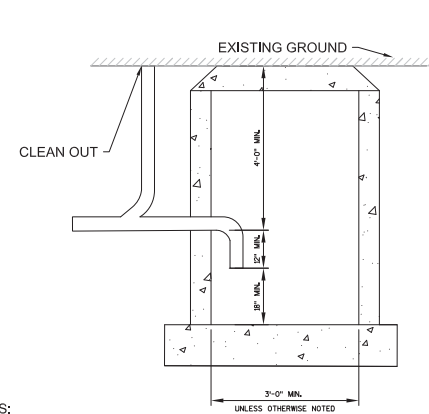
PROJECT LOCATION: EAST RESERVOIR AVE. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 05/24/2016
CHECKED BY APS	DATE 05/24/2016

**CONSTRUCTION DETAILS
BLOCK A**

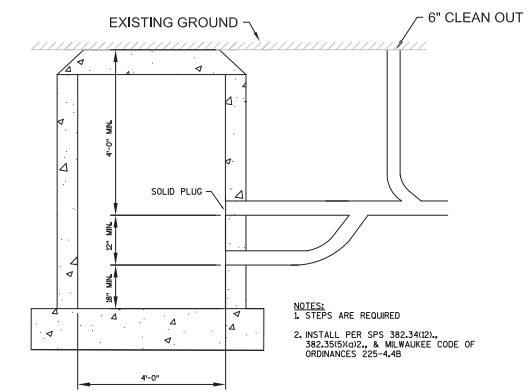
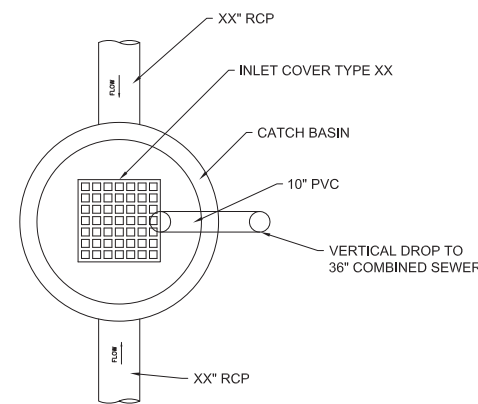
C502A



NOTES:

1. INSTALL PER SPS 382.34(12), 382.35(5)(a)2., & MILWAUKEE CODE OF ORDINANCES 225-4.4B

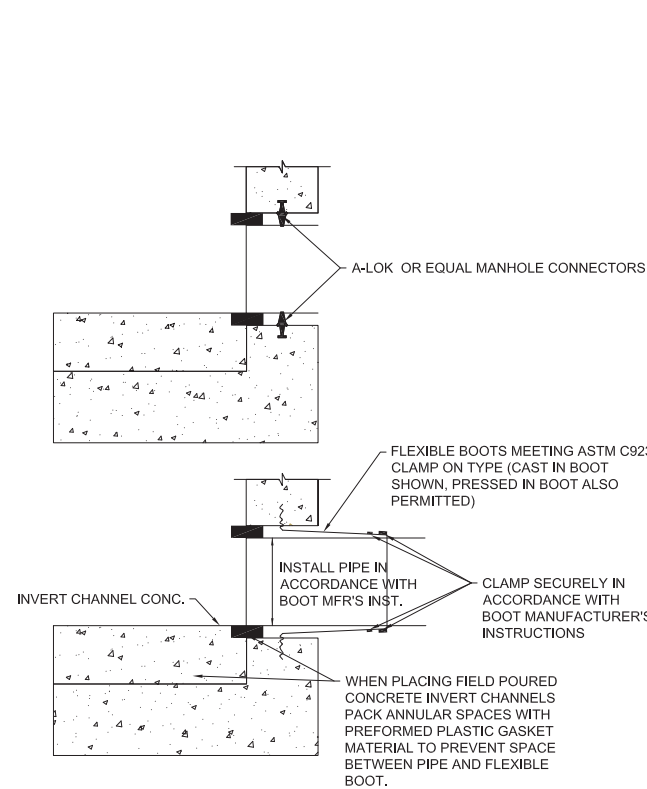
TRAPPED CATCH BASIN WITH EXTERIOR DROP CONNECTION (PLAN VIEW)



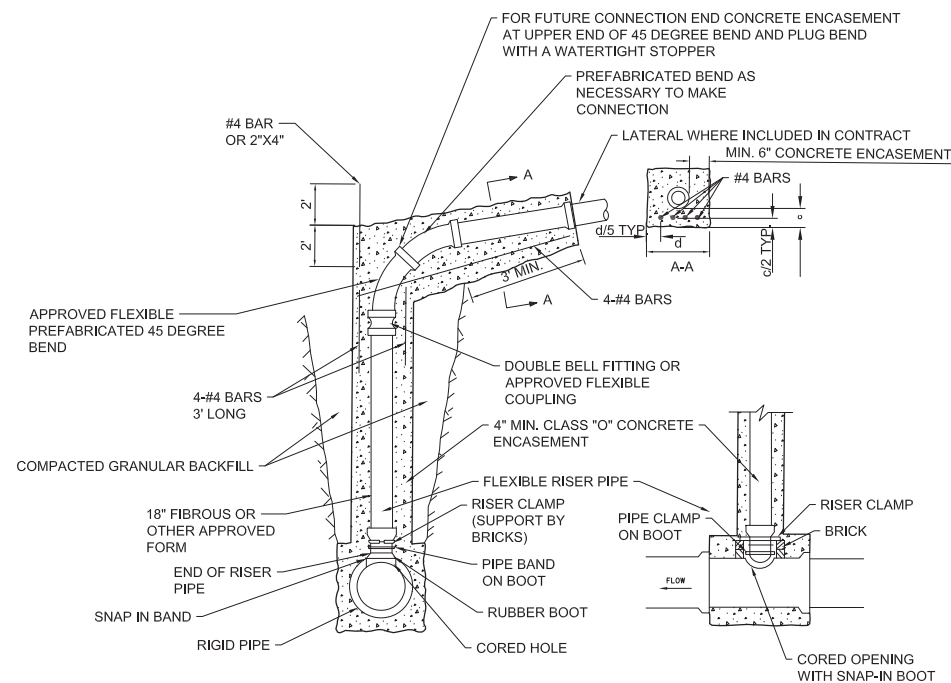
INSTALL PER SPS 382.34(12), 382.35(5)(a)2., & MILWAUKEE CODE OF ORDINANCES 225-4.4B

COMBINED CATCH BASIN OR EXTERIOR SAND INTERCEPTOR FOR 12" OR LARGER PIPING.

20 COMBINED CATCH BASIN OR EXTERIOR SAND INTERCEPTOR
C201 NTS



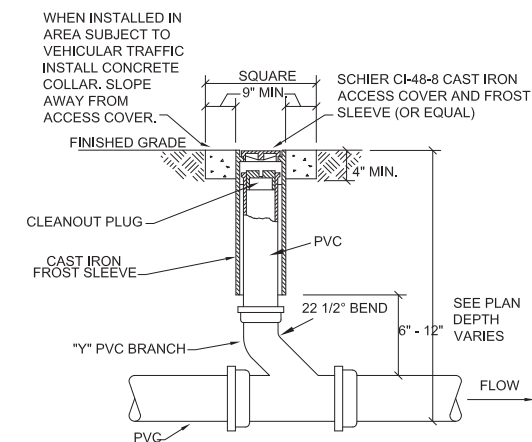
18 MANHOLE PIPE CONNECTION DETAIL
C201 NTS



NOTES:

1. RISER CLAMP SUPPORTED ON BRICKS TO PREVENT THE PUSH THRU OF RISER PIPE WHEN CONCRETE IS PLACED.
2. PLEASE SEE RISER DETAIL "TYPE C" FLEXIBLE RISER TO RIGID MAIN (ALTERNATIVE B) FOR MORE DETAILS.
3. CONCRETE ENCASEMENT OF SEWERS 24" OR LARGER NOT REQUIRED.

DROP CONNECTION
N.T.S.



NOTE:

CONCRETE COLLAR NOT REQUIRED IF CLEANOUT IS INSTALLED IN CONCRETE PAVEMENT, SIDEWALK OR LANDSCAPE AREA.

15 SANITARY CLEANOUT
C9 NTS

TITLE: BLOCK A EXISTING CONDITIONS
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST RESEVOIR AVE. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 05/24/2016
CHECKED BY APS	DATE 05/24/2016

**CONSTRUCTION DETAILS
BLOCK A**

C503A

CONSULTANT
CONSULTANT
CONSULTANT

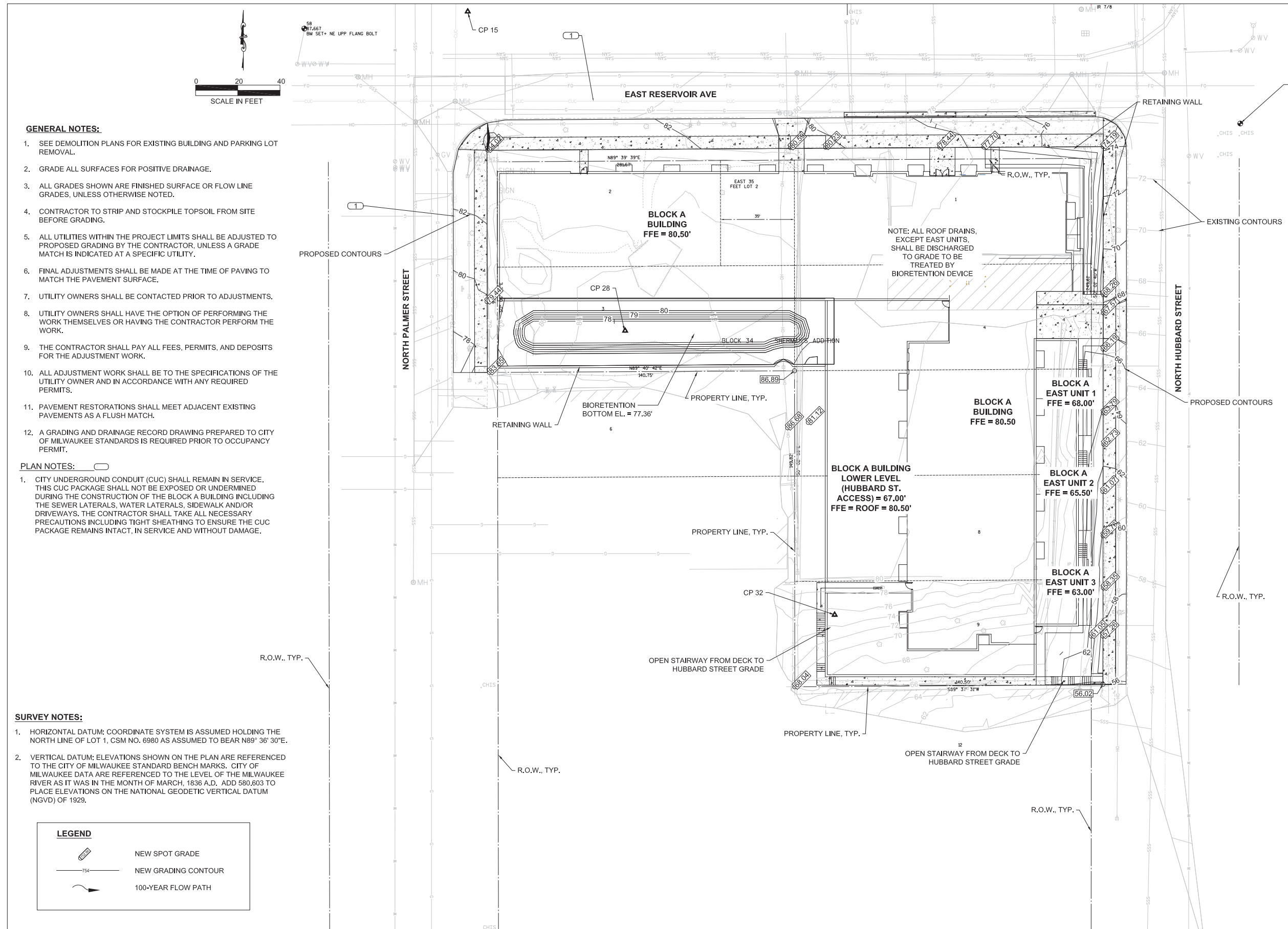
TITLE: BLOCK A GRADING PLAN
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST RESERVOIR AVE, MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 06/29/2016
CHECKED BY APS	DATE 06/29/2016

**GRADING PLAN
BLOCK A
(SOUTH BLOCK)**

C300A



GENERAL NOTES:

- SEE DEMOLITION PLANS FOR EXISTING BUILDING AND PARKING LOT REMOVAL.
- GRADE ALL SURFACES FOR POSITIVE DRAINAGE.
- ALL GRADES SHOWN ARE FINISHED SURFACE OR FLOW LINE GRADES, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM SITE BEFORE GRADING.
- ALL UTILITIES WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO PROPOSED GRADING BY THE CONTRACTOR, UNLESS A GRADE MATCH IS INDICATED AT A SPECIFIC UTILITY.
- FINAL ADJUSTMENTS SHALL BE MADE AT THE TIME OF PAVING TO MATCH THE PAVEMENT SURFACE.
- UTILITY OWNERS SHALL BE CONTACTED PRIOR TO ADJUSTMENTS.
- UTILITY OWNERS SHALL HAVE THE OPTION OF PERFORMING THE WORK THEMSELVES OR HAVING THE CONTRACTOR PERFORM THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES, PERMITS, AND DEPOSITS FOR THE ADJUSTMENT WORK.
- ALL ADJUSTMENT WORK SHALL BE TO THE SPECIFICATIONS OF THE UTILITY OWNER AND IN ACCORDANCE WITH ANY REQUIRED PERMITS.
- PAVEMENT RESTORATIONS SHALL MEET ADJACENT EXISTING PAVEMENTS AS A FLUSH MATCH.
- A GRADING AND DRAINAGE RECORD DRAWING PREPARED TO CITY OF MILWAUKEE STANDARDS IS REQUIRED PRIOR TO OCCUPANCY PERMIT.

PLAN NOTES:

- CITY UNDERGROUND CONDUIT (CUC) SHALL REMAIN IN SERVICE. THIS CUC PACKAGE SHALL NOT BE EXPOSED OR UNDERMINED DURING THE CONSTRUCTION OF THE BLOCK A BUILDING INCLUDING THE SEWER LATERALS, WATER LATERALS, SIDEWALK AND/OR DRIVEWAYS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING TIGHT SHEATHING TO ENSURE THE CUC PACKAGE REMAINS INTACT, IN SERVICE AND WITHOUT DAMAGE.

SURVEY NOTES:

- HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
- VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.

LEGEND

- NEW SPOT GRADE
- NEW GRADING CONTOUR
- 100-YEAR FLOW PATH

TITLE: BLOCK A UTILITY PLAN
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST RESEVOIR AVE, MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY: JAF DATE: 06/20/2016
CHECKED BY: APS DATE: 06/20/2016

UTILITY PLAN
BLOCK A
(SOUTH BLOCK)

C400A

GENERAL NOTES:

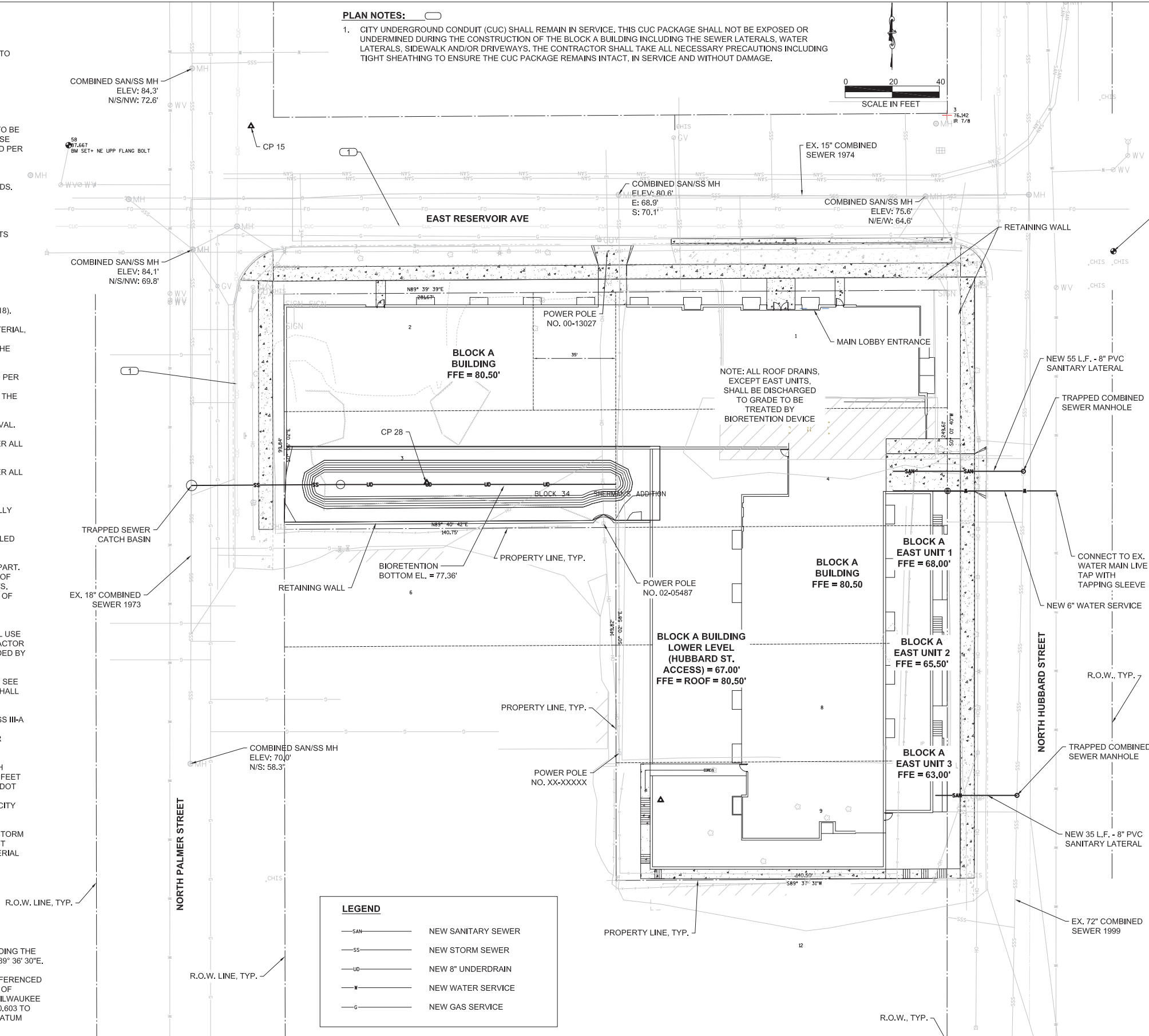
- PIPE LENGTHS ARE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- SEWER INSTALLATION SHALL PROCEED FROM DOWNSTREAM TO UPSTREAM.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND NEW UTILITY CASTINGS, MANHOLES, CLEANOUTS, AND ACCESS BOXES TO PROPOSED GRADING.
- CONNECT SANITARY SERVICE IN ACCORDANCE WITH THE REQUIREMENTS OF CITY OF MILWAUKEE. EXISTING LATERAL TO BE REUSED SHALL BE INSPECTED AND TELEVIEWED PRIOR TO REUSE AND CONNECTION TO BUILDING. DEFECTS SHALL BE REPAIRED PER CITY OF MILWAUKEE STANDARDS.
- ALL EXISTING LATERALS NOT SHOWN AS REUSED SHALL BE ABANDONED AT THE MAIN PER CITY OF MILWAUKEE STANDARDS.
- MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
- SEE SHEET C500 FOR STORM SEWER PLAN. SEE DETAIL SHEETS FOR SITE AND UTILITY DETAILS.
- SANITARY LATERALS SHALL BE PVC, ASTM D-3034, SDR 35 IN CONFORMANCE WITH SECTION 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION.
- WATER SERVICE SHALL BE PVC, AWWA C-900, CLASS 235 (DR-18).
- CONTRACTOR SHALL VERIFY EXISTING PIPE INVERT, PIPE MATERIAL, PIPE SIZE AND LOCATION PRIOR TO CONSTRUCTION OF THE UTILITIES. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE OWNER.
- SANITARY SEWER AND WATER MAIN SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND THE CITY OF MILWAUKEE.
- SEE DEMOLITION PLANS FOR PIPE ABANDONMENT AND REMOVAL.
- A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATER MAIN.
- A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER.
- PER DSPS 382.40 (8) (b) PRIVATE WATER MAINS AND WATER SERVICES SHALL BE INSTALLED AT LEAST 5 FEET HORIZONTALLY FROM ANY SANITARY SEWER.
- NO PRIVATE WATER MAIN OR WATER SERVICE MAY BE INSTALLED WITHIN 6 INCHES OF A STORM SEWER.
- CLEANOUTS SHALL BE LOCATED NOT MORE THAN 100 FEET APART. THE CLEANOUT NEAR THE BUILDING SHALL BE WITHIN 5 FEET OF WHERE THE BUILDING DRAIN AND BUILDING SEWER CONNECTS. THE CLEANOUT MAY BE LOCATED EITHER INSIDE OR OUTSIDE OF BUILDING.
- GENERALLY, FOR WATER SERVICE 4-INCHES OR LARGER, DEFLECTION WILL NOT BE ALLOWED AND CONTRACTOR SHALL USE 11.25, 22.5, 45 AND 90 DEGREE BENDS WHEN NEEDED. CONTRACTOR SHALL NOT EXCEED 5 DEGREES PER PIPE OR AS RECOMMENDED BY MANUFACTURER.
- PROVIDE TRACER WIRE FOR NON-METALLIC WATER SERVICE. SEE SPECIFICATIONS. TRACER WIRE FOR POTABLE WATER PIPE SHALL BE BLUE.
- ALL STORM SEWER PIPE MATERIAL SHALL MEET WISDOT CLASS III-A UNLESS SPECIFIED HEREIN. REFER TO WISDOT STANDARD SPECIFICATIONS, 2016 EDITION, SECTION 608.2. CONTRACTOR SHALL FURNISH CORRUGATED POLYETHYLENE (CPE) PIPE, CORRUGATED POLYPROPYLENE (CPP) PIPE OR REINFORCED CONCRETE PIPE (RCP) UNDER LANDSCAPED AREAS. FURNISH CLASS III-A UNDER PAVEMENT WITH A MINIMUM COVER OF 1.5 FEET FROM TOP OF PIPE TO TOP OF SUBGRADE. FURNISH RCP WISDOT CLASS IV WITH LESS THAN 1.5 FEET UNLESS CONTRACTOR PROVIDES WRITTEN APPROVAL FROM PIPE MANUFACTURER, CITY OF MILWAUKEE, AND OWNER.
- CONTRACTOR SHALL PROVIDE OWNER SHOP DRAWINGS ON STORM SEWER STRUCTURES, STORM SEWER PIPE AND FURNISH COST BREAKDOWN COMPARISON ON THE STORM SEWER PIPE MATERIAL PRIOR TO ORDERING MATERIAL.

SURVEY NOTES:

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LEGEND

- SAN— NEW SANITARY SEWER
- SS— NEW STORM SEWER
- UD— NEW 8" UNDERDRAIN
- W— NEW WATER SERVICE
- G— NEW GAS SERVICE

TITLE: BLOCK A SITE PLAN
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST RESERVOIR AVE. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

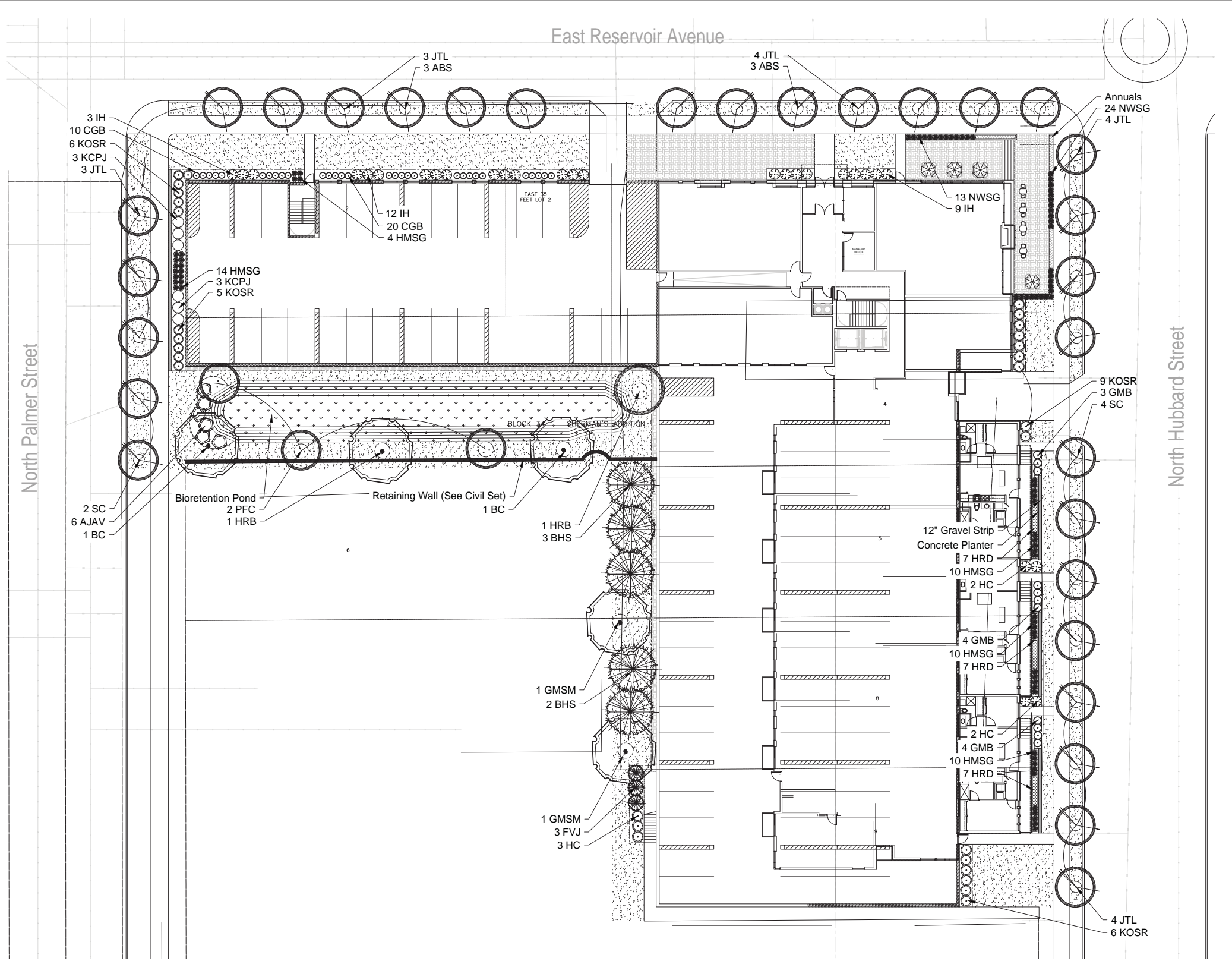
BLOCK "A" LANDSCAPE PLAN

L100

SHEET 1 of SHEET 2



- SHADE TREES (DECIDUOUS)**
GMSM Green Mountain Sugar Maple
HRB Heritage Riverbirch
BC Bald Cypress
- ORNAMENTAL TREES (DECIDUOUS)**
ABS Autumn Brilliance Serviceberry
PFC Prairie Fire Flowering Crabapple
SC Sentinel Crabapple
JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES**
FVJ Fairview Upright Juniper (upright)
BHS Black Hills Spruce
- EVERGREEN SHRUBS**
CGB Chicagoland Green Boxwood
GMB Green Mountain Boxwood
KCPJ Kallay Compact Pfitzer Juniper
- DECIDUOUS SHRUBS**
HC Peking (Hedge) Cotoneaster
IH Incredible Hydrangea
KOSR Knock Out Shrub Rose
AJAV Autumn Jazz Arrowwood Viburnum
- ORNAMENTAL GRASSES**
HMSG Heavy Metal Switchgrass
NWSG Northwind Switchgrass
- HERBACEOUS PERENNIALS**
HRD Happy Returns Daylily
- PLANT ABBREVIATION KEY**



LANDSCAPE CONCEPT PLAN
Scale: 1"=16'0"
NORTH
SCALE IS IN FEET

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOTLINE

CALL DIGGERS HOTLINE 811 or 1-800-242-8511 MILWAUKEE AREA 508-1181 WIS STATUTE 102.07(1)(10) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER SIZE	ROOT	SPECIFICATION / NOTES
Proposed Landscape Materials						
SHADE TREES (DECIDUOUS)						
GMSM	2	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
HRB	2	Betula nigra 'Heritage'	Heritage Riverbirch	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
BC	2	Taxodium distichum	Bald Cypress	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
ORNAMENTAL TREES (DECIDUOUS)						
ABS	6	Amelanchier xgrandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5 - 2"	B&B	Straight central leader, full and even crown. Prune only after planting
PFC	2	Malus x 'Prairifire'	Prairie Fire Flowering Crabapple	7-8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
SC	6	Malus x 'Sentinel'	Sentinel Crabapple	1.5 - 2"	B&B	Straight central leader, full and even crown. Prune only after planting
JTL	18	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5 - 2"	B&B	Straight central leader, full and even crown. Prune only after planting
EVERGREEN TREES						
FVJ	3	Juniperus scopulorum 'Fairview'	Fairview Upright Juniper (upright)	5-6'	B&B	Evenly shaped tree with branching to the ground
BHS	5	Picea densata 'Iglauca'	Black Hills Spruce	7-8"	B&B	Evenly shaped tree with branching to the ground
EVERGREEN SHRUBS						
CGB	30	Buxus 'Chicagoland Green'	Chicagoland Green Boxwood	18"	B&B	Full rounded well branched shrub
GMB	11	Buxus 'Green Mountain'	Green Mountain Boxwood	30"	B&B	Full rounded well branched shrub
KCPJ	6	Juniperus chinensis 'Kallay'	Kallay Compact Pfitzer Juniper	#5	Cont.	Full rounded well branched shrub
DECIDUOUS SHRUBS						
HCC	7	Cotoneaster acutifolia	Peking (Hedge) Cotoneaster	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance
IH	24	Hydrangea arborescens 'Abetwo'	Incrediball Hydrangea	#5	Cont.	Full, well rooted plant, evenly shaped
KOSR	27	Rosa 'Knock Out'	Knock Out Shrub Rose	18"	Cont.	Full, well rooted plant, evenly shaped
AJAV	6	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowwood Viburnum	42"	Cont.	Full, well rooted plant, evenly shaped
ORNAMENTAL GRASSES						
HMSG	30	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	#1	Cont.	Full, well rooted plant
NWGS	55	Panicum virgatum 'Northwind'	Northwind Switchgrass	#1	Cont.	Full, well rooted plant
HERBACEOUS PERENNIALS						
HRD	21	Heemerocallis 'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped
ANNUAL	45	Annuals (Typ.)	Approx. 45 SF		SF	
SOD	1185	Sod (Fresh Cut, Bluegrass Blend)	Approx. 10,645 SF		SY	Install ONLY in May or Sept. See ALT if sod will not be installed in May or Sept.
ALT 1	1185	Seed Mix (Reinder's 50/50) w/ haymatt	Approx. 10,645 SF		SY	ALTERNATE TO SOD (if project is installed other than May or Sept.)
BIO	300	Detention Pond	Approx. 2,685 SF		SY	Stormwater Seed Mix from CARDNO / JF New
2685		Erosion Matting for sloped seeded areas	Approx. 3,005 SF		SF	EroTex DS75 Erosion Control Blanket (or approved equal)
Hardscape Materials						
2		Heritage River Gravel Mulch (1.0-1.5" pieces)	Approx. 130 SF		TN	2" depth
160		Aluminum Edge Restraint (gravel areas)	Permaloc ProSlide 3/16"x5.5" Black DuraFlex Fl		LF	
130		Landscape Fabric	Approx. 130 SF		SF	
45		Shredded Hardwood Mulch (3" depth)	Approx. 4,600 SF		CY	Bark Mulch; apply Preemergent after installation of mulch
28		Soil Amendments (2" depth)	Approx. 4,600 SF		CY	
42		Pulverized Topsoil (Lawn Area)	Approx. 13,530 SF		CY	
28		Pulverized Topsoil (2" over bed areas)	Approx. 4,600 SF		CY	

*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan, including the graphics and notations depicted therein, shall govern.

Seed Compositions:

Reinder's Deluxe 50 Seed Mix (262-786-3300):	Seed at rate of 150-200# per acre
20% Kentucky Bluegrass (Sod Quality)	15% Quebec Perennial Ryegrass
15% Newport Kentucky Bluegrass	10% Fiesta III Perennial Ryegrass
15% Ken Blue Kentucky Bluegrass	
25% Creeping Red Fescue	

LANDSCAPE & HARDSCAPE SCHEDULE

1 DETAIL SHADE TREE PLANTING SECTION

2 DETAIL POTTED SHRUB PLANTING SECTION

3 DETAIL EVERGREEN SHRUB PLANTING SECTION

4 DETAIL SPADE EDGE PLANT BED EDGE DETAIL SECTION

5 DETAIL EVERGREEN TREE PLANTING SECTION

6 DETAIL DECIDUOUS SHRUB PLANTING SECTION

7 DETAIL GROUNDCOVER / PERENNIAL PLANTING SECTION

8 DETAIL GRAVEL MAINTENANCE DRIP EDGE DETAIL SECTION

LANDSCAPE & HARDSCAPE DETAILS

- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 2/3 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50/50 mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 2/3 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition):
 3/4 CY Peat Moss or Mushroom Compost
 3/4 CY blended/pulverized Topsoil
 1/4 CY composted manure

In roto-tilled beds only, also include in above mixture:
 2 lbs Starter Fertilizer
- Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1/2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. The Landscape Contractor is responsible for the watering and maintenance of sod while onsite performing work. After substantial completion is determined by Landscaper Contractor and Owner /Owner's Representative, the Landscape Contractor shall water and maintain sodded areas for a period of 30 days. Landscape Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 30 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES

KSingh Engineers Scientists Consultants

3636 North 124th Street
Wauwatosa, WI 53222
262-821-1171

CONSULTANT

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

One Redwood Court
Racine, Wisconsin 53402
ph 262.639.9733
fx 262.639.9737
david@hellerandassociates.com

CONSULTANT

CONSULTANT

CONSULTANT

TITLE: BLOCK A SITE PLAN

PROJECT TITLE: THE HILLS LUXURY COMMONS

CLIENT: ROYAL CAPITAL GROUP, LLC

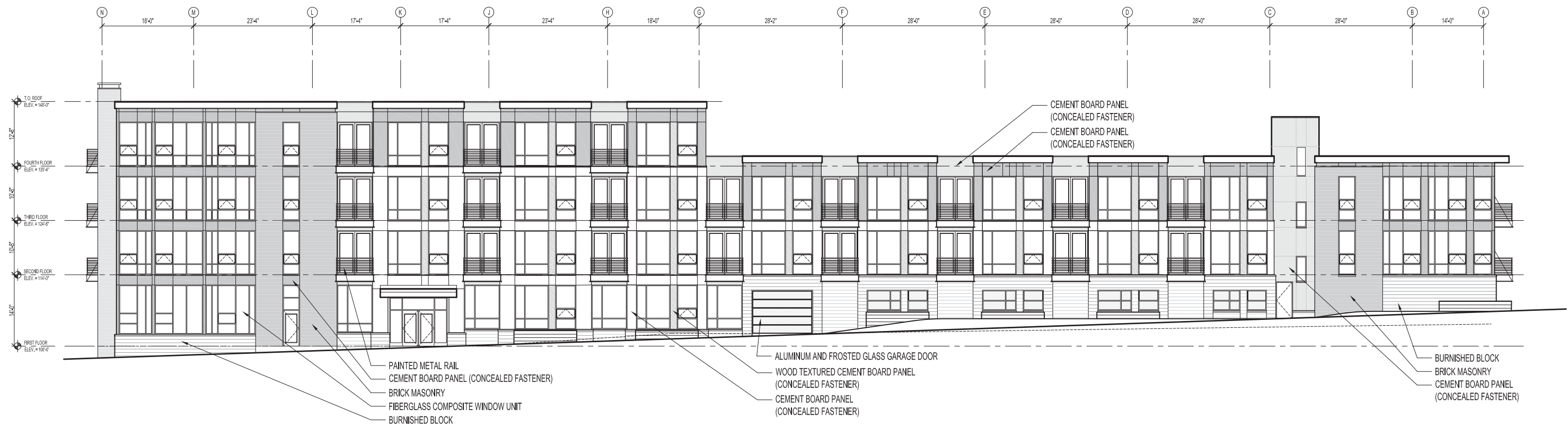
PROJECT LOCATION: EAST RESERVOIR AVE. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

BLOCK "A" LANDSCAPE NOTES

BLOCK A

Building North Elevation:: Reservoir Avenue





BLOCK A

Building South Elevation



BLOCK A

Building South Elevation

