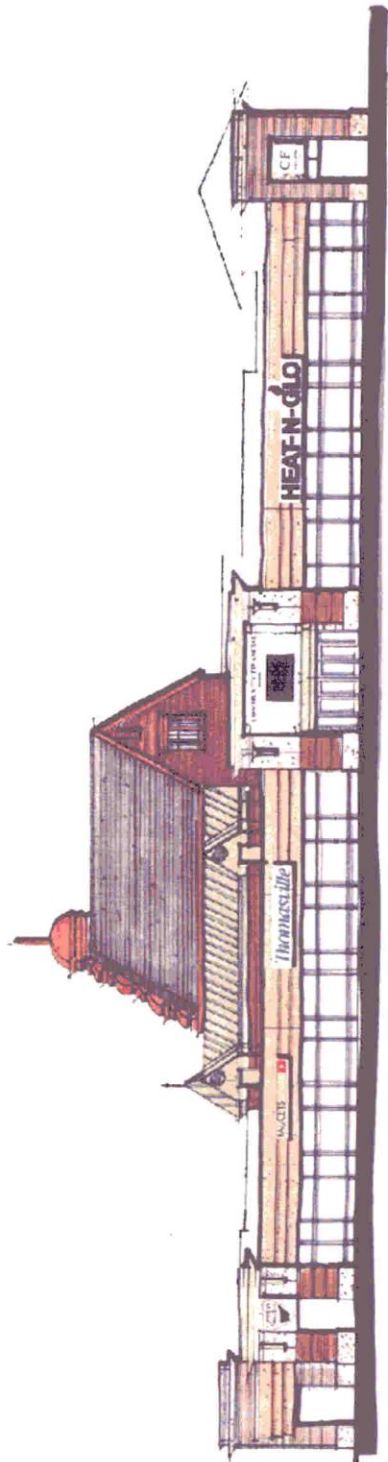
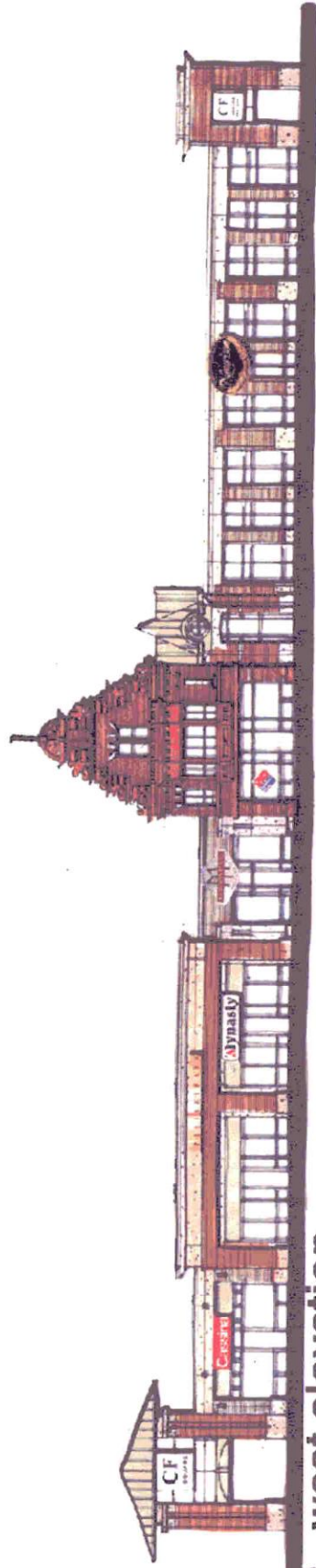


**Michael Peine Architects**  
 1000 North Park Drive  
 Suite 100  
 Milwaukee, WI 53233  
 Phone: 414.224.1100  
 Fax: 414.224.1101  
 www.michaelpeine.com

 **site plan**  **Community Financial Commercial Development**  
 27th and Center, Milwaukee WI  
 January, 2002



1 east elevation



2 west elevation



3 north elevation Community Financial Center Commercial Development

27th and Center, Milwaukee WI

January, 2002



Michael Peine  
Architects  
Commercial/Industrial  
Interior/Exterior  
Design/Interior Styling

- 1. Main To: Wisconsin Building Authority
- 2. Location: 12 Proposed Locations for 100,000 sq. ft. building
- 3. Location: 12 Proposed Sites, which include:
- 4. Location: 12 Proposed Sites, which include:
- 5. Location: 12 Proposed Sites, which include:
- 6. Proposed Site: 12 Proposed Sites, which include:
- 7. Proposed Site: 12 Proposed Sites, which include:
- 8. Proposed Site: 12 Proposed Sites, which include:
- 9. Proposed Site: 12 Proposed Sites, which include:
- 10. Proposed Site: 12 Proposed Sites, which include:
- 11. Proposed Site: 12 Proposed Sites, which include:
- 12. Proposed Site: 12 Proposed Sites, which include:
- 13. Proposed Site: 12 Proposed Sites, which include:
- 14. Proposed Site: 12 Proposed Sites, which include:
- 15. Proposed Site: 12 Proposed Sites, which include:
- 16. Proposed Site: 12 Proposed Sites, which include:
- 17. Proposed Site: 12 Proposed Sites, which include:
- 18. Proposed Site: 12 Proposed Sites, which include:

(414) 332-4241 Phone  
(414) 332-1788 Fax

**November 15th, 2002**

## **Scope Description**

**Community Financial**  
**Proposed Retail Development**  
**27th and Center streets**  
**Milwaukee WI.**

**Subject:** Scope description to the City of Milwaukee of the proposed Community Financial Retail Development of the site at 27th and Center Streets.

**Scope Description:** **HISTORIC ELEMENTS:**  
The architectural focus of the proposed retail development by Community Financial will be the architecturally significant, 19th Century, Dutch Renaissance, Van Ells building which will be repaired and maintained to near original condition for retail and office occupancies.



**PROPOSED NEW COMMERCIAL / RETAIL:**  
New single story, masonry commercial / retail spaces are proposed to flank the Van Ells building to the north and south hugging the sidewalks. The character of their street facades will be complimentary to the Van Ells building and the existing neighborhood structures in scale, materials color and be suggestive of buildings developed between the 1890's to the 1930's.

**PROPOSED NEW SITE:**  
The site is planned to respond to the "New Urbanism" approach to site design where the buildings are located tight to the fronting streets with parking located to the rear of the site and screened from the adjacent residential areas with fencing and landscape materials. Relocation of the driveway entrances closer to mid-block locations avoids conflict with cars stacked at the intersections for red lights. Trash will be contained within screened enclosures and existing storm sewer capacity is available on the side of the site where parking is proposed. Conventional retail store fronts will face this rear access to the development.

**CONCLUSION:**  
The proposed development is a good use for the property providing local shopping opportunities at a scale and context which compliments neighborhood fabric in addition to reintroducing a historic building back to an economically self sustaining status intact.