

DETAILED PLAN DEVELOPMENT
PROPOSAL FOR PARK PLACE AREA A

Owner's Statement of Intent

Pursuant to Section 295-907-2-c of the Milwaukee Code of Ordinances, Ruby Tuesday, Inc. hereby submits a Detailed Plan Development proposal for a portion of Area A within the General Planned Development zoning district for Park Place, as more particularly shown in the accompanying materials (the "Site"). The proposed use for the Site is a Ruby Tuesday sit down restaurant. (Included with these materials is a Ruby Tuesday menu showing the dining selections available at the proposed restaurant.)

This proposal conforms in all respects to the General Planned Development standards applicable to the Site including use, design standards and setbacks. Available off-street parking exceeds the minimum required by the City's zoning code. Seating capacity for the proposed restaurant is a total of 244 (228 at tables, 16 at the bar).

The following items are included with this application, as required by Section 295-907-2-c:

1. Statistical sheet.
2. Vicinity map.
3. Plat of survey.
4. Site plan.
5. Site grading plan.
6. Utility plan.
7. Landscape plan.
8. Proposed building elevations.
9. Signage plans.
10. Pictures of the Site.
11. Thirteen sets of collated plans (11" x 17").
12. Two oversize sets of plans (24" x 36").

EXHIBIT A

File No. 050859

ZND/CC

STATISTICAL SHEET

Gross land area of Site: 1.5± acres
Land covered by principal building: 5,300 square feet
Land devoted to parking and driveways: 30,500 square feet
Land devoted to landscaped open space (green space): 20,500 square feet
Proposed dwelling units: none
Proposed number of buildings: one
Parking spaces provided: 86 (approximately 16 spaces per 1,000
feet of building area)



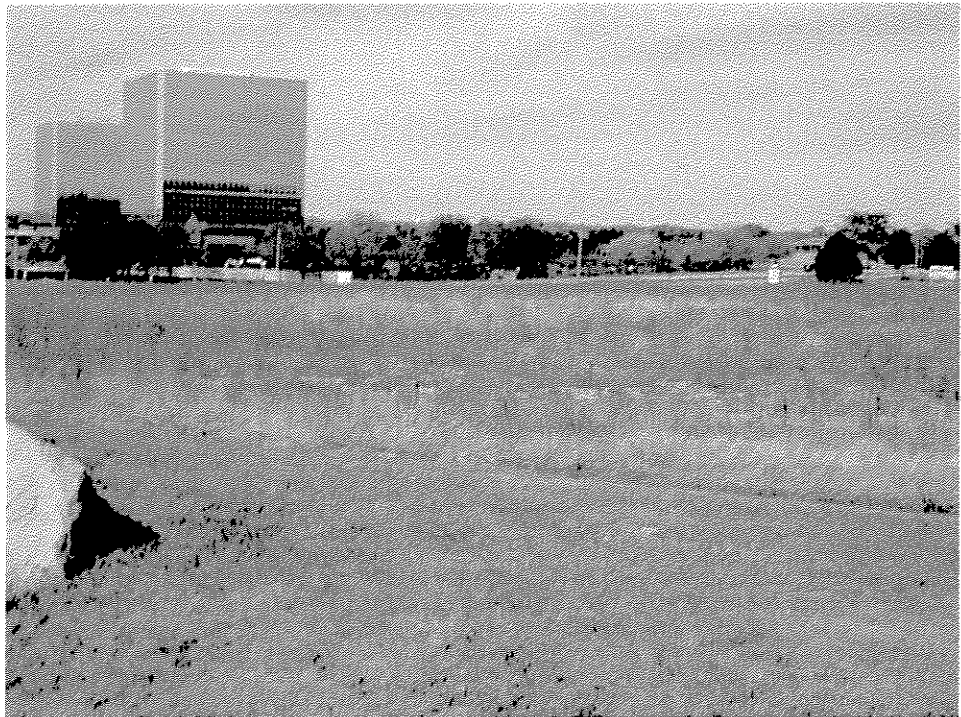
View looking across the site



View looking across the site



View looking across the site



View looking across the site

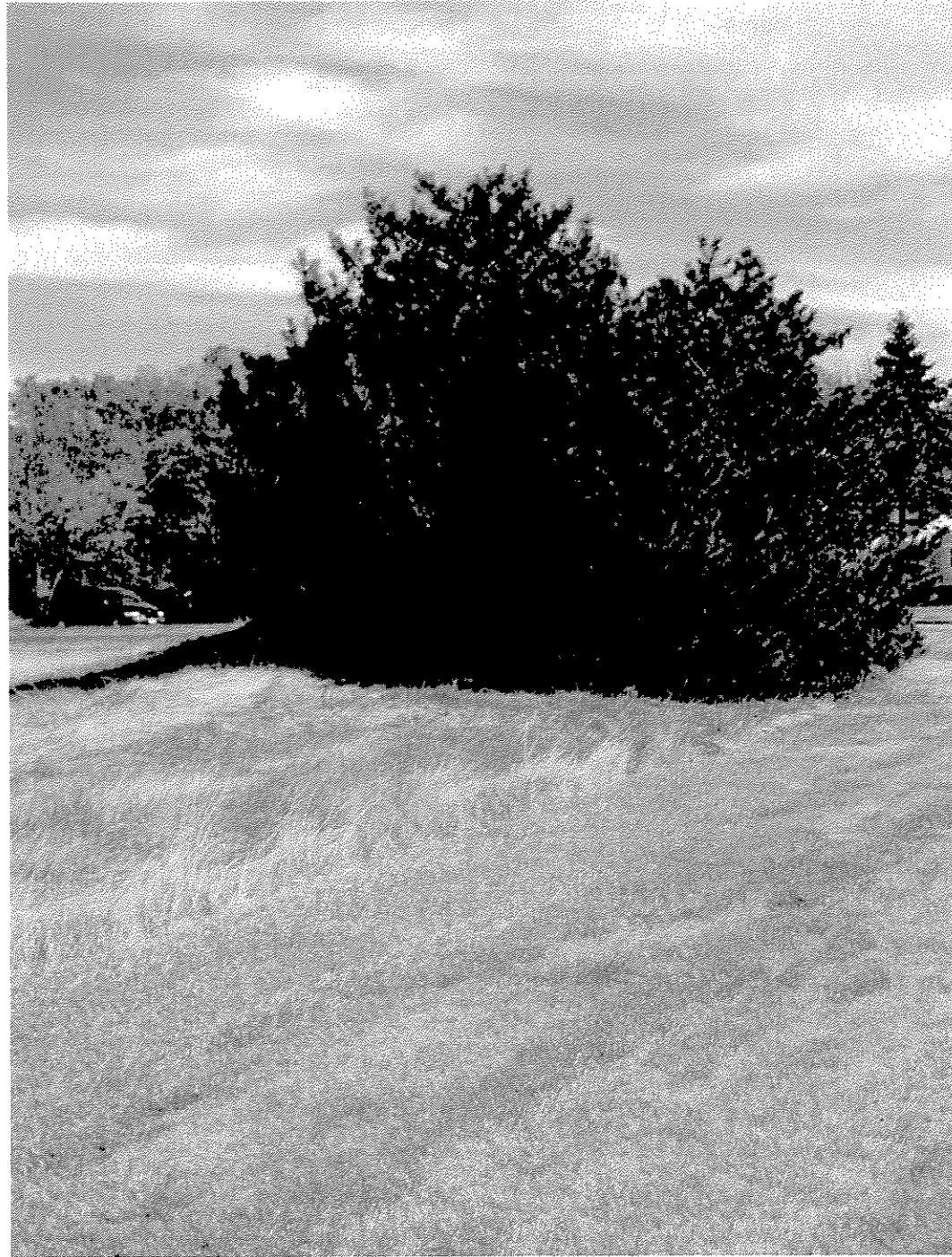
Ruby Tuesday – Milwaukee, WI



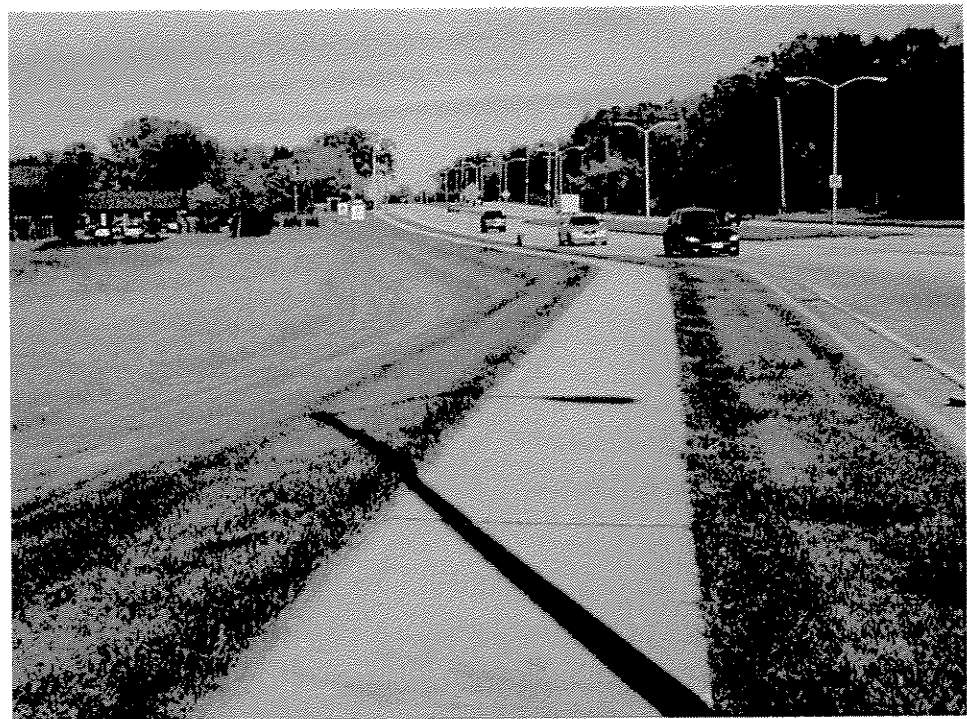
View from site to Liberty Plaza, notice the grade difference.



View of Liberty Plaza entrance and site access



View of trees at corner of site



View looking down N. 107th Street (Site is on the left)



View of N. 107th Street (Site is on the left)



View of W. Park Plaza



View of grade difference between sites.



View looking down W. Good Hope Road (Site is on the right)



View looking down W. Good Hope Rd. towards N. 107th Street
(Site is on the left)



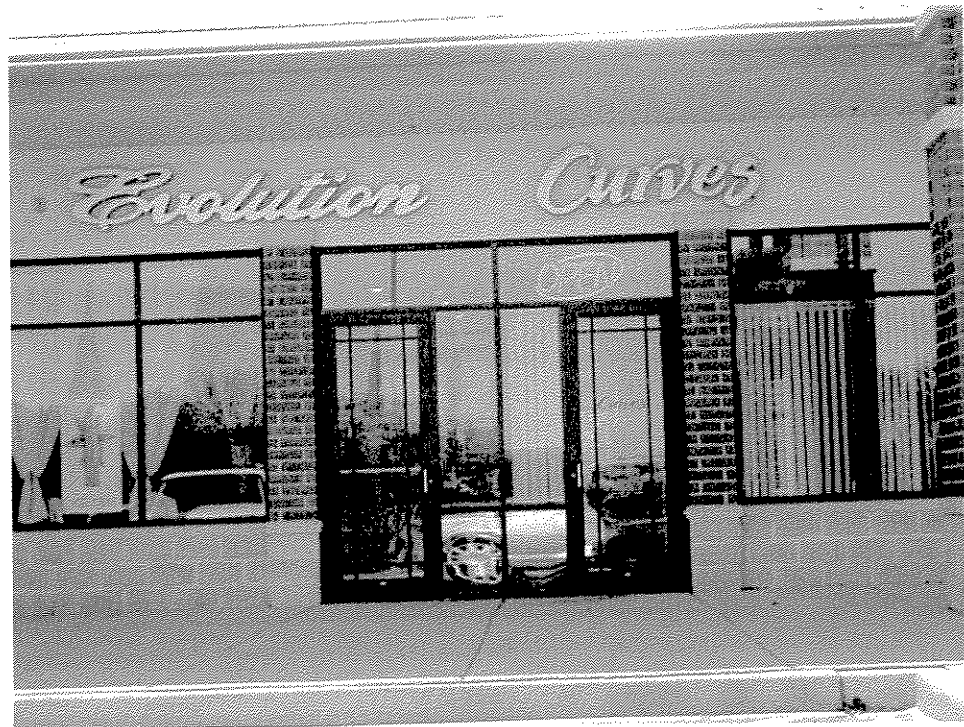
View of N. 107th Street and W. Good Hope Rd. intersection



View of N. 107th Street and W. Good Hope Rd. intersection



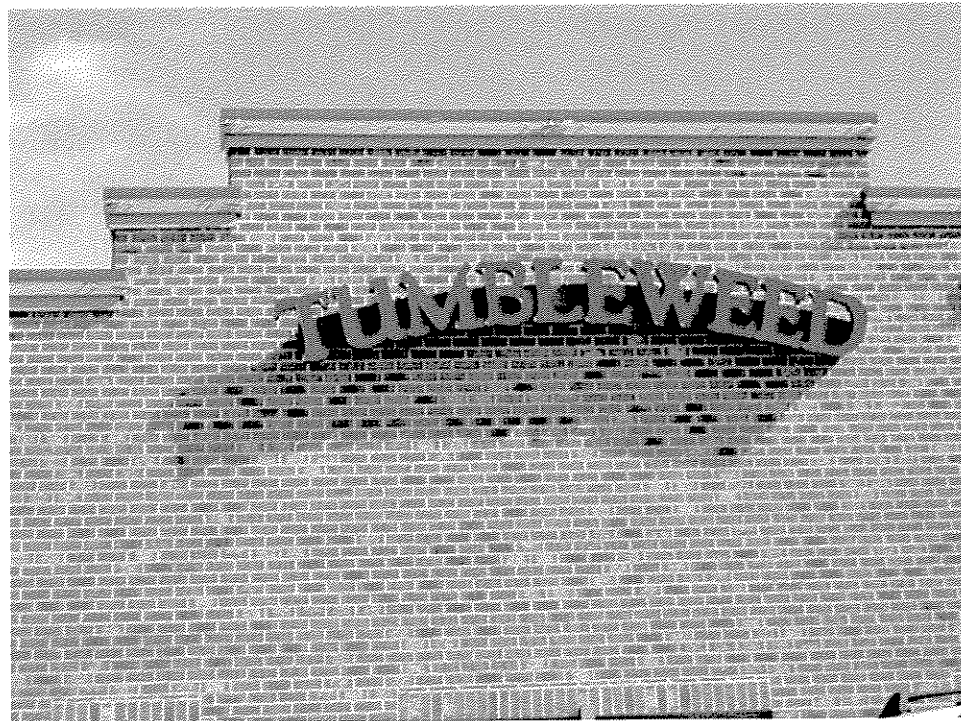
View of N. 107th Street and W. Park Place intersection



View of Liberty Plaza wall signs



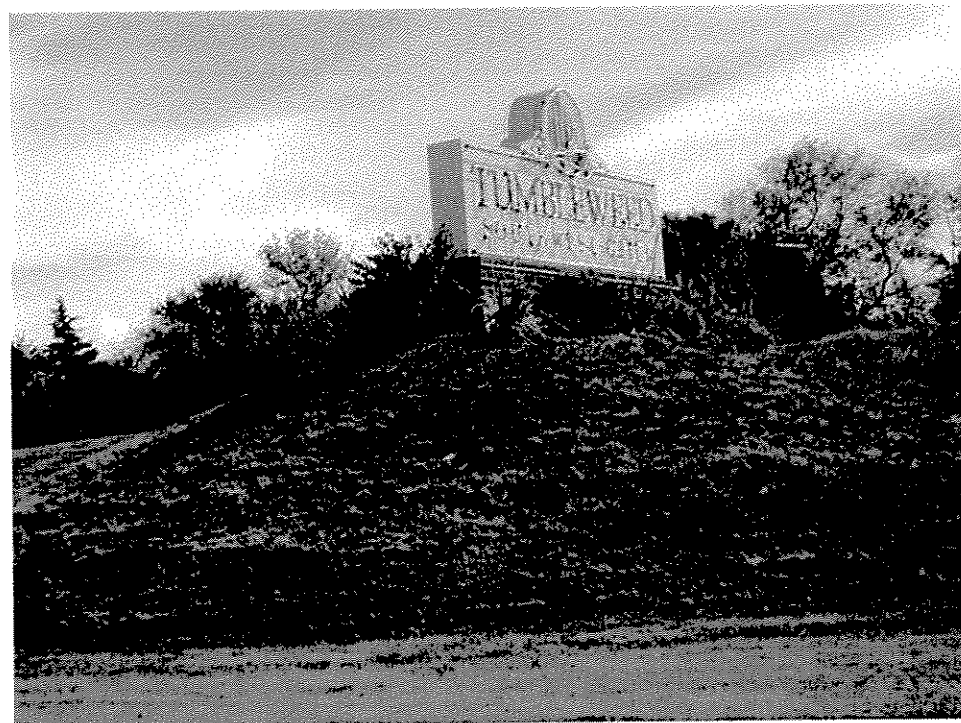
View of Tumbleweed wall sign



View of Tumbleweed wall sign



View of Liberty Plaza wall signs



View of Tumbleweed freestanding sign

GENERAL NOTES

1. TOPOGRAPHIC SURVEY WAS PROVIDED BY STG CONSULTANTS DATED JULY 1, 2005. THE BASE SURVEY IS GIVEN ON SHEET C-2 OF THIS DRAWING SET. ALL EXISTING SITE CONDITIONS SHALL BE DETERMINED BY EXAMINATION OF THE SURVEY SHEET.

2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS GIVEN ON THESE DRAWINGS AS WELL AS STANDARD STATE AND LOCAL SPECIFICATIONS WHEREVER IS MORE RESTRICTIVE.

3. DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.

4. THE RBA GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND STANDARD CONSTRUCTION PRACTICES.

5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN FREE FROM DAMAGE AND MAINTAIN UNINTERRUPTED SERVICE TO ALL USERS. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OR SUBCONTRACTOR'S ACTIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

6. FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH WORK.

7. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON THE PROJECT:

LOCAL UTILITY LOCATION COMPANY

WE ENERGIES GAS (262) 574-3051

WE ENERGIES ELECTRIC (262) 574-3051

SEC COMMUNICATIONS (262) 896-5699

CITY OF MILWAUKEE DEPT. OF DEVELOPMENT (414) 286-5816

8. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO BEGINNING WORK. HE SHALL VERIFY SIZE AND LOCATIONS OF ALL UNDERGROUND UTILITIES AND TEST PIT AT PROPOSED TIE IN LOCATIONS. DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER WELL IN ADVANCE OF CONSTRUCTION START. START OF CONSTRUCTION BY THE CONTRACTOR SHALL CONSTITUTE FULL ACCEPTANCE OF ALL SITE CONDITIONS BY THE CONTRACTOR.

9. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR CONSTRUCTION PRIOR TO BEGINNING WORK.

10. ALL UTILITIES ARE TO REMAIN UNLESS DESIGNATED TO BE REMOVED AND ALL APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE.

11. PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL STAKE OUT AND VERIFY LOCATIONS OF ALL IMPROVEMENTS AND UTILITY TIE IN LOCATIONS.

12. SCALING OF THESE PLANS IS DISCOURAGED UNLESS DIRECTED BY THE ENGINEER. IN THE EVENT OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY FOR PLAN VERIFICATION.

13. THE CONTRACTOR SHALL ENSURE THAT CURRENT AS-BUILT RECORDS ARE MAINTAINED DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION, CERTIFIED (i.e. P.E. STAMPED) AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE OWNER.

14. CONTRACTOR SHALL MAINTAIN ALL SEDIMENT CONTROL DEVICES WITHIN THE LIMITS OF THE SITE DURING CONSTRUCTION OF THE SITE IMPROVEMENTS. CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AS MAY BE NECESSARY DURING CONSTRUCTION AND/OR BY GOVERNING AGENCIES.

15. CONTRACTOR SHALL CONTACT THE RBA GROUP PRIOR TO CONSTRUCTION TO VERIFY THE LATEST SET OF APPROVED PLANS ARE AVAILABLE AT THE JOB SITE.

SITE ANALYSIS

- AREA OF LOT: #1,505 AC.
- ZONING: PUD
- EXISTING USE: VACANT LOT
- PROPOSED USE: RUBY TUESDAY RESTAURANT (V4800)

BUILDING DATA:

- GROSS SQUARE FOOTAGE: 5,300
- SEATS: 195
- EMPLOYEES DURING MAX. SHIFT: 25
- MAXIMUM HEIGHT PERMITTED: 55'

SETBACKS:

- BUILDING SETBACKS:
FRONT YARD - 50' FROM W. GOOD HOPE ROAD
SIDE YARD - 70' FROM N. 107th STREET
- PARKING:
25' FROM ANY PUBLIC RIGHT-OF-WAY,
5' FROM ALL OTHER PROPERTY LINES

PARKING DATA:

- REQUIREMENT FOR A RESTAURANT:
PARKING SPACES = 1 SPACE PER 125
SPACES REQUIRED=4600 G.F.S./125 G.F.S./PS)=37 SPACES.
- PROVIDED:

1. TO GO SPACES = 3
2. HANDICAP SPACES = 4
3. 9' x 18' SPACES = 82
4. TOTAL PARKING SPACES = 86

LOADING ZONE: NOT SPECIFIED

- MINIMUM 1 SPACE ON A SECURE RACK FOR BICYCLE PARKING REQUIRED.

- NEON REQUIRES PLANNING COMMISSION APPROVAL, BUT WILL PROBABLY NOT BE PERMITTED.

11. SIGNAGE SUMMARY:

A. PERMITTED:

ONE MONUMENT SIGN:

- MAX SIGN AREA/HEIGHT = 50 S.F./10'
- NOTE: GROUND MOUNTED PEDESTAL MAY BE NO MORE THAN 1' ABOVE THE GROUND. SIGN DESIGN, SCALE, MATERIAL, AND LOCATION SHALL BE COMPLEMENTARY TO THE BUILDING.

WALL SIGNS:

- 1 PER ROAD FRONTAGE; MAX. AREA = 20 S.F.

B. RECOMMENDED:

1. ONE WALL SIGN FACING W. GOOD HOPE ROAD
2. ONE WALL SIGN FACING N. 107th STREET
3. ONE FREESTANDING/MONUMENT SIGN:
 - a. ONE MONUMENT SIGN LOCATED ALONG THE SOUTH PROPERTY LINE PERPENDICULAR TO W. GOOD HOPE ROAD. MAXIMUM SIGN HEIGHT IS 10'.

4. ALL BUILDING ELEVATIONS MUST BE APPROVED BY THE PLANNING COMMISSION AS PART OF THE SITE PLAN PROCESS.

5. SCHOOLS & CHURCHES FOUND BETWEEN 1/2 MI. & 1 MILE FROM SITE: NONE FOUND.

6. STORMWATER MANAGEMENT WILL BE REQUIRED FOR THIS SITE. UNDERGROUND DETENTION ASSUMED, WITH STORMCEPTOR POSSIBLE FOR WATER QUALITY. DEVICES SHOWN TO BE SIZED DURING FINAL DESIGN.

7. LANDSCAPE PLAN MUST BE APPROVED BY THE PLANNING COMMISSION.

16. LANDSCAPE SUMMARY:

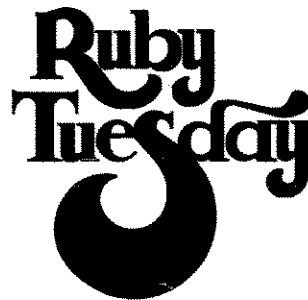
- REQUIRED INTERIOR LANDSCAPING:
NO LESS THAN 5 S.F. PER PARKING STALL; 1 TREE PER EVERY 9000 S.F. OF PARKING LOT AND DISTRIBUTED EVENLY. NO PARKING SPACE SHALL BE MORE THAN 54' FROM A REQUIRED TREE. 1 TREE SHALL BE PLANTED FOR EVERY 25 L.F. OF STREET STREET FRONTAGE. 2 STAGGERED ROWS OF SHRUBS MUST BE PLANTED CONTINUOUSLY AT A MAX OF 4' ON CENTER IN EACH ROW.

B. PROVIDED:

- ISLANDS SHALL CONSIST OF SHRUBS, TREES, FLOWERS, AND SIMILAR PLANTINGS; TO BE DETERMINED DURING FINAL DESIGN.

- LOW HEIGHT EVERGREEN SHRUBS PROVIDED TO MEET THE ALDERMAN'S REQUIREMENTS FOR LIQUOR LICENSING.

- THIS SITE WILL REQUIRE APPROXIMATELY 5400 CY OF CUT.
- NO ACCESS PERMITTED TO W. GOOD HOPE ROAD AND N. 107th STREET.



SITE PLANS

10831 W. PARK PLACE

PARCEL 1

CITY OF MILWAUKEE

MILWAUKEE COUNTY, WISCONSIN

PREPARED BY :



7164 COLUMBIA GATEWAY DRIVE

SUITE 205

COLUMBIA, MARYLAND 21046

(410) 312-0966

OWNER:

LIBERTY PROPERTY LTD PARTNERSHIP

65 VALLEY STREAM PARKWAY

MALVERN, PA. 19355

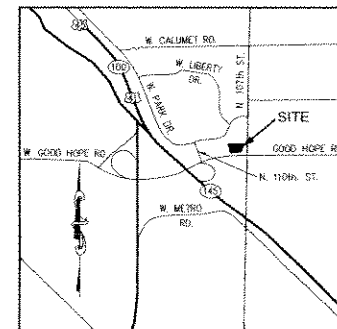
(414) 979-0222

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MILESTONES

DATE	DESCRIPTION
11/4/05	DETAILED PLAN DEVELOPMENT SUBMITTAL TO CITY



VICINITY MAP
SCALE: 1"=2000'

LEGEND

LEGEND	PROPOSED	ABBREVIATIONS
CENTERLINE (WITH ±25' SCS)		R/W = RIGHT-OF-WAY
PROPERTY LINE		PL = PROPERTY LINE
IRON PIPE FOUND		INTX = INTERSECTION
EDGE OF PAVING		ASD = AHEAD
CURB & GUTTER		BE = BACK
GRADE CONTROL		PC = POINT OF CURVATURE (HORIZONTAL)
GRADE BREAK		PVT = POINT OF TANGENCY (VERTICAL)
SPOT ELEVATION		PVC = POINT OF CURVE (VERTICAL)
RF RAP		PI = POINT OF INTERSECTION
CURVE NUMBER		PT = POINT OF TANGENCY (HORIZONTAL)
FLARED END SECTION		DELTA = INTERNAL ANGLE
HEADWALL		R = RADIUS OF CURVE
STORM DRAIN		ARC = LENGTH OF CURVE
TWO INLET		TAN = TANGENT OF CURVE LENGTH
STANDARD INLET		CHD LEN = LENGTH OF CHORD
CURB INLET		CHD BEG = CHORD BEARING
STORM DRAIN MANHOLE		E = CENTERLINE
GENERAL CLEAN OUT		S.S.E. = SANITARY SEWER EASEMENT
SANITARY SEWER LINE AND MANHOLE		F.F.E. = FINISH FLOOR ELEVATION
DOMESTIC WATER LINE		MH = MANHOLE (STORM)
LINE		SMH = MANHOLE (SEWER)
WATER METER		CI = COMBINATION INLET
TELEPHONE LINE		Y = YARD BELT
CABLE TV		HW = HEAD WALL
UG COMMUNICATION LINE		FES = FLARED END SECTION
OVER HEAD UTILITY LINE		ROP = REINFORCED CONCRETE PIPE
FIRE HYDRANT		CMP = CORRUGATED METAL PIPE
WATER LINE REC		PVC = POLYVINYL CHLORIDE PIPE
GATE VALVE		OF = POINT OF VERTICAL CURVE
PLUG (WITH 2" BLOW OFF VALVE)		DP = DUCTILE IRON PIPE
DOUBLE DETECTOR CHECK WITH BACKFLOW PREVENTOR		CAG = CURB AND GUTTER
IRIGATION CUT OFF VALVE		PROP = PROPOSED
POWER POLE		TC = TOP OF CURB
CUT WIRE		BC = BOTTOM OF CURB
ELECTRIC METER		TW = TOP OF WALL
SIGNAL BOX		BM = BOTTOM OF WALL
GAS METER		ST = SQUARE YARD
GAS LINE		SF = SQUARE FEET
CHAIN LINK FENCE		CF = CUBIC FEET
WOOD FENCE		CY = CUBIC YARD
SILT FENCE		CFS = CUBIC FEET PER SECOND
LIMITS OF DISTURBANCE		V = VELOCITY
TRANSFORMER		Slope = MAXIMUM FRICTION SLOPE
RETAINING WALLS		N = NORTH
STRUCTURE TYPE		GSP = GROSS SQUARE FEET
STRUCTURE NUMBER		ASPH = ASPHALT
TREE (TYPICAL)		D.O.T. = DEPARTMENT OF TRANSPORTATION
LIGHT POST		C.O. = GENERAL CLEAN OUT
TWO LIGHT		STD = STANDARD
SINGLE HEAD LIGHT		I.L.E. = INLET INVERT ELEVATION
DOUBLE HEAD LIGHT		G.L.E. = GUTLET INVERT ELEVATION
STREET SIGN		
FREESTANDING SIGN		
SOIL BORING LOCATION		
COORDINATE NUMBER		
NUMBER OF PARKING SPACES PROVIDED		
DETAIL CALL-OUT		
SHEET NUMBER		

NOT RELEASED FOR CONSTRUCTION

REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC

1050 MAIN STREET
SUITE 511

FAIRFAX, VIRGINIA 22030

(703) 365-5915



RUBY TUESDAY RESTAURANT
10831 W. PARK PLACE
PARCEL 1

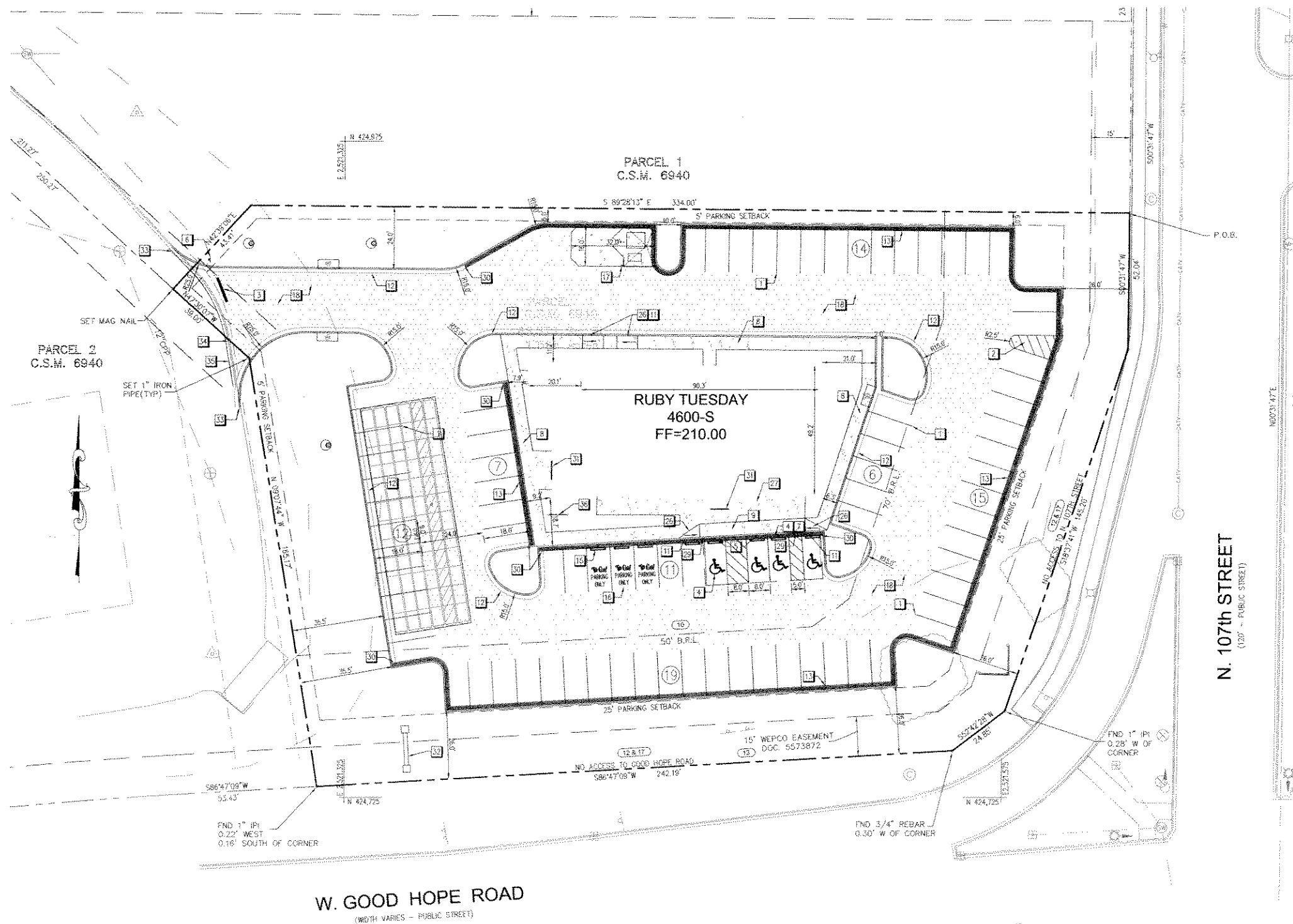
MILWAUKEE COUNTY

CITY OF MILWAUKEE, WISCONSIN

DATE: 11/03/05
JOB NUMBER: M3580.00
FILE NAME: C-01 (2) 11/03/05
PLOTTED: 11/03/05
DRAWN BY: WLB

TITLE SHEET

SHEET C-1
1 of 12



STAKING AND STRIPING KEYS

(CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO BID.)

- 1 STRIPING (TYP.)
- 2 NO PARKING STRIPING (TYP. OF 3)
- 3 STOP BAR (L=10') (TYP. OF 1)
- 4 INTERNATIONAL HANDICAP SYMBOL (TYP. OF 4)
- 5 VAN ACCESSIBLE SIGN (TYP. OF 2)
- 6 STOP SIGN
- 7 RESERVED PARKING SIGN (TYP. OF 4)
- 8 5' CONCRETE SIDEWALK (TYPE A)
- 9 5' CONCRETE SIDEWALK (TYPE B)
- 10 NOT USED
- 11 CURB TRANSITION (L=8')
- 12 CONCRETE CURB AND GUTTER (TYP.)
- 13 REVERSE CURB AND GUTTER (TYP.)
- 14 NOT USED
- 15 WHEEL STOP (TYP. OF 6)
- 16 TO GO PARKING (TYP. OF 3) (STRIPING AND SIGNAGE)
- 17 BOLLARD (TYP. OF 2)
- 18 BITUMINOUS PAVEMENT
 - 18.1 STANDARD PAVEMENT SECTION
 - 18.2 HEAVY DUTY PAVEMENT SECTION
- 19 SIDEWALK RAMP (TYP. OF 4)
- 20 BENCHES (TYP. OF 4) SEE LANDSCAPE DETAILS, SHEET L-3.
- 21 NOT USED
- 22 DEPRESSION CURB
- 23 CONTRACTOR SHALL PROVIDE TRANSITION FROM REVERSE GUTTER TO STANDARD GUTTER PANEL (TYP. ALL LOCATIONS)
- 24 WALL SIGNAGE REQUIREMENTS:
 - A. ALLOWED SIGNAGE:
 - a. 2 WALL SIGNS PERMITTED.
 - b. EACH SIGN SHALL NOT EXCEED 20 SQ. FT. AND SHALL BE OF A UNIFORM TYPE, SIZE AND COLOR OF EACH BUILDING.
 - B. SIGNAGE RECOMMENDED - 2 WALL SIGNS:
 - a. ONE FACING W. GOOD HOPE ROAD, AREA = 20 SF
 - b. ONE FACING N. 107TH ST., AREA = 20 SF
 - c. TOTAL SIGN AREA = 40 SF
 - C. SIGN CONTRACTOR SHALL OBTAIN ALL SIGN PERMITS PRIOR TO CONSTRUCTION.
 - D. ALL SIGNAGE MUST BE APPROVED BY THE ROUSE COMPANY.
 - E. ALL NEON TO BE REVIEWED BY THE ROUSE COMPANY.
- 25 FREESTANDING SIGN:
 - A. ALLOWED SIGNAGE:
 - a. MAXIMUM AREA = 50 SF
 - b. MAXIMUM HEIGHT = 10 FT
 - B. SIGNAGE RECOMMENDED:
 - 1 FREESTANDING SIGN TO BE LOCATED AT THE INTERSECTION OF W. GOOD HOPE ROAD AND N. 107TH ST.
- 26 THE PROPOSED CURB TO EXISTING CURB INLINE & AT GRADE
- 27 CONTRACTOR TO REMOVE APPROX. 60 L.F. OF EX. CURB & GUTTER
- 28 THE PROPOSED PAVEMENT INTO EXISTING PAVEMENT INLINE & AT GRADE
- 29 BICYCLE RACK

STAKING NOTES

1. ALL CURB RADII ARE 5 FEET UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB AND FACE OF FINISHED STRUCTURE UNLESS NOTED OTHERWISE.
3. ALL DRIVE AISLES ARE 24' UNLESS NOTED OTHERWISE.
4. PARKING SPACES ARE 9' x 18'. HANDICAP SPACES ARE 8' x 18'.
5. TOPOGRAPHIC SURVEY WAS PROVIDED BY THE STS GROUP, DATED JULY 1, 2005. THE BASE SURVEY IS GIVEN ON SHEET C-2 OF THIS DRAWING SET. ALL EXISTING SITE CONDITIONS SHALL BE DETERMINED BY EXAMINATION OF THE SURVEY SHEET.

REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
10950 MAIN STREET
SUITE 511
FAIRFAX, VIRGINIA 22030
(703) 383-5875

The RBA- Group
ENGINEERS • ARCHITECTS • PLANNERS
7154 Columbia Gateway Drive, Suite 205
Phone (410) 312-0846, Fax (410) 312-0847

Ruby Tuesday

SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
10831 W. PARK PLACE
PARCEL 1
MILWAUKEE COUNTY
CITY OF MILWAUKEE, WISCONSIN

GRAPHIC SCALE: 1" = 10'
DATE: 9/1/05
JOB NUMBER: W2000.00
FILE NAME: C-03 STAK 3596
PLOTTED: 11/03/05
DRAWN BY: WLB
STAKING AND STRIPING PLAN
SHEET C-3
3 of 17

C:\3590 Milwaukee WI - RT\3590 SHES\C-04 GRAD 3590.dwg, 11/3/2005 10:06:51 AM, akaufmann

GRADING PLAN NOTES

NOTE: CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID.

1. CONTRACTOR SHALL ENSURE MAXIMUM 2% SLOPE IN ANY DIRECTION WITHIN HANDICAP PARKING AREA.
2. SEE PROFILE SHEETS FOR PIPE INFORMATION.
3. UNDERGROUND STORMWATER DETENTION

PLAN LEGEND

TC = TOP OF CURB
BC = BOTTOM OF CURB
LP = LOW POINT
HP = HIGH POINT

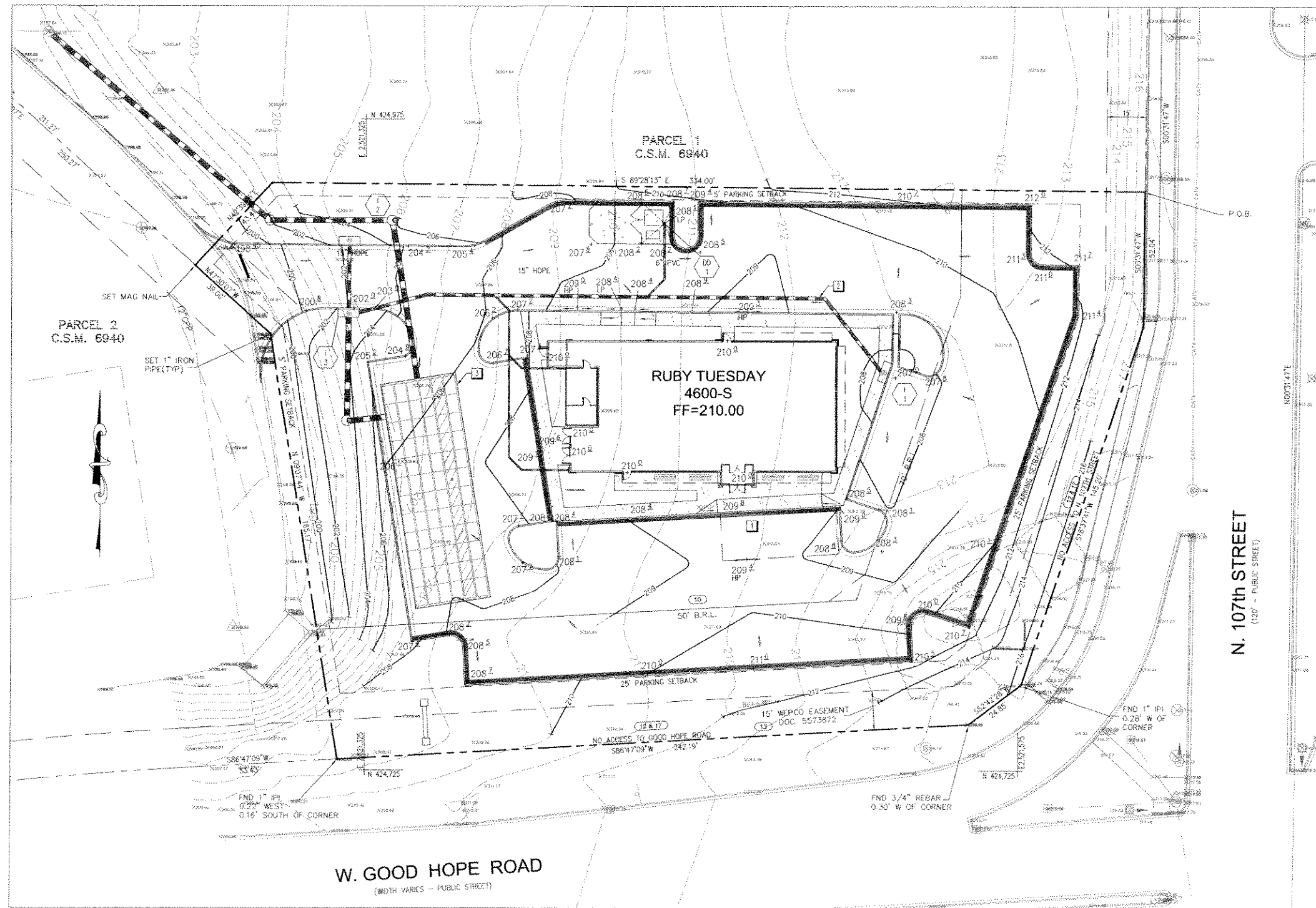
+456.00 = EXISTING SPOT ELEVATION

456.00 = PROPOSED SPOT ELEVATION

--- = REV. GUTTER

PLAN NOTES:

1. ALL SPOT ELEVATIONS ARE TO BOTTOM OF CURB UNLESS NOTED OTHERWISE.
2. REFER TO PLAN C-2 FOR EXISTING CONDITIONS AND EXISTING INVERTS.



STORM DRAIN STRUCTURE SCHEDULE						
NUMBER	TYPE	TOP OF MANHOLE ELEVATION	INVERTS		SIZE	REMARKS
			IN	OUT		
I-1	PRECAST STD. A-5 INLET	207.0	180	180	180	CITY OF MILWAUKEE STD.
I-2	PRECAST STD. A-5 INLET	202.3	180	180	180	CITY OF MILWAUKEE STD.
I-3	PRECAST STD. A-5 INLET	201.9	180	180	180	CITY OF MILWAUKEE STD.
DD1	DUMPSTER DRAIN	206.1	180	180	SEE ARCH. PLANS	SEE ARCH. PLANS FOR DRAIN DETAILS.

REVISIONS

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RUBY TUESDAY, INC
10555 MAIN STREET
SUITE 511
FAIRFAX, VIRGINIA 22030
(703) 385-5875

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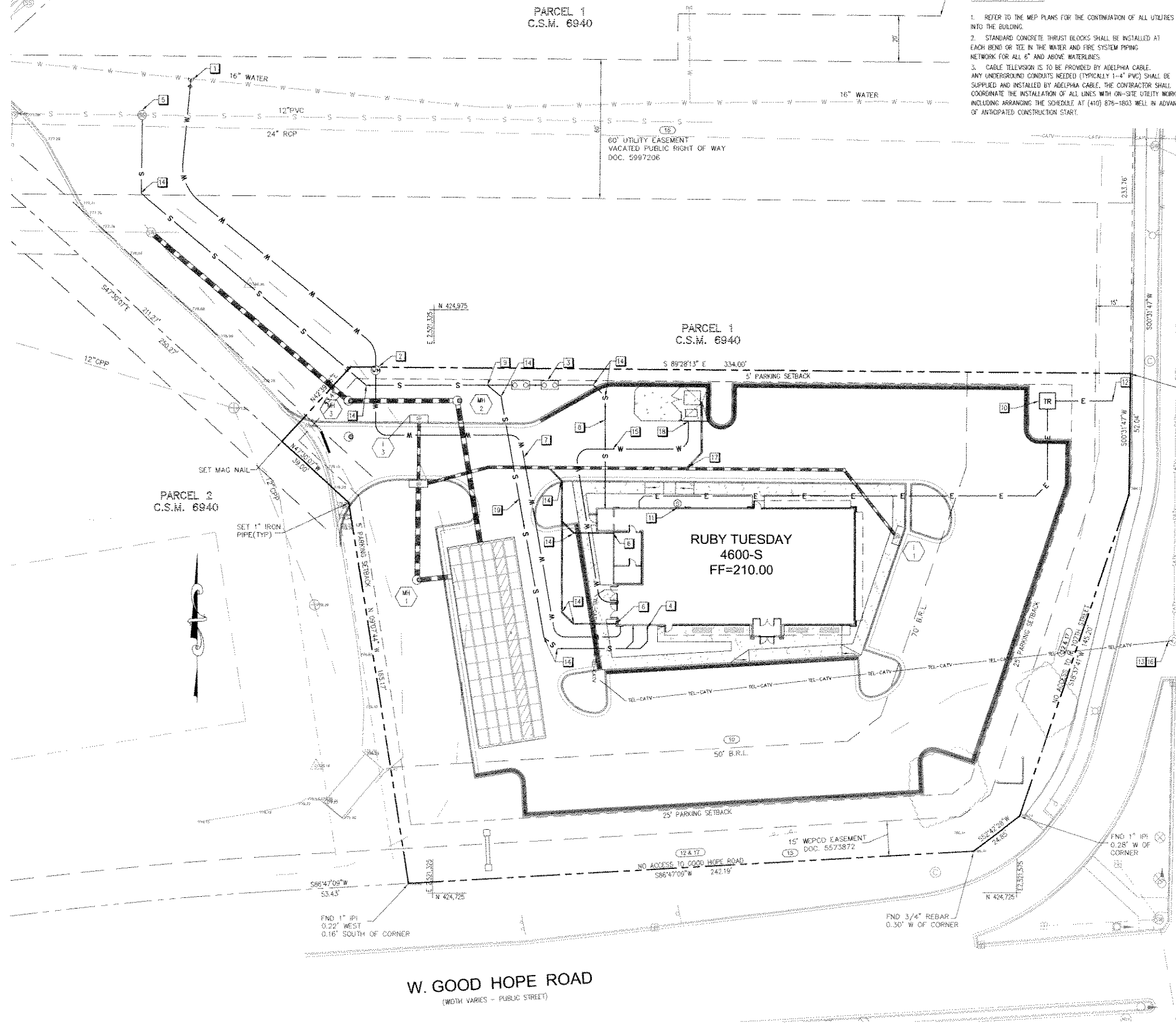
Ruby Tuesday

SITE DEVELOPMENT PLANS FOR
RUBY TUESDAY RESTAURANT
10831 W. PARK PLACE
PARCEL 1
MILWAUKEE COUNTY
CITY OF MILWAUKEE, WISCONSIN

GRAPHIC SCALE 1"=20'
DATE: 9/3/05
JOB NUMBER: M3590.00
FILE NAME: C-04 GRAD 3590
PLOTTED: 11/03/05
DRAWN BY: RLB

GRADING AND DRAINAGE PLAN
SHEET C-4
4 of 17

NOT RELEASED FOR CONSTRUCTION



GENERAL NOTES

1. REFER TO THE MEP PLANS FOR THE CONTINUATION OF ALL UTILITIES INTO THE BUILDING.
2. STANDARD CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT EACH BEND OR TEE IN THE WATER AND FIRE SYSTEM PIPING NETWORK FOR ALL 6\"/>
3. CABLE TELEVISION IS TO BE PROVIDED BY ADELPHA CABLE. ANY UNDERGROUND CONDUITS NEEDED (TYPICALLY 1-4\"/>

4. ELECTRIC WILL BE INSTALLED BY THE CITY OF WESTMINSTER, WHICH INCLUDES THE PRIMARY CABLEING AND SUPPLYING AND SETTING OF THE TRANSFORMER AND TRANSFORMER PAD. THE CONTRACTOR MUST INSTALL THE CONDUITS WITH PULL WIRES FOR ALL SECONDARY CABLEING. CONTRACTOR SHALL COORDINATE WORK WITH ALL ON-SITE CONSTRUCTION INCLUDING SCHEDULING OF THE INSTALLATION. CALL THE DEPARTMENT OF PUBLIC WORKS AT (410) 848-9001 WELL IN ADVANCE OF ANTICIPATED CONSTRUCTION.
5. TELEPHONE SERVICE WILL BE PROVIDED BY VERIZON. THE CONTRACTOR SHALL COORDINATE WITH LOCAL VERIZON PROVIDER AT (800) 356-2355 AND ALL SUBCONTRACTORS FOR INSTALLATION OF TELEPHONE SERVICE. CONTRACTOR SHALL PROVIDE ADEQUATE CONDUITS (2-4\"/>
6. ALL SANITARY SEWER PIPE SHALL BE PVC SDP-35.
7. ALL WATER HOSE CONNECTIONS SHALL BE COPPER, TYPE \"K\".
8. ALL ROOF LEADER DRAIN PIPES (UNDERGROUND) SHALL BE PVC SCH 40 OR HOPE, PER PLAN.
9. THIS BUILDING IS TO BE SPRINKLERED.
10. SANITARY LATERALS TO HAVE A MINIMUM FALL OF 2.0% OR PER PLAN.
11. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES AND THEIR ELEVATIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT ARISES.
12. ALL WATER LINES TO BE A MINIMUM OF 3' DEEP.
13. CONTRACTOR TO REFER TO LANDSCAPE PLAN FOR PLACEMENT OF ANY REQUIRED IRRIGATION SLEEVES.

UTILITY PLAN KEY

(NOTE: CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO BID.)

- 1 CITY TO MAKE 2\"/>
- 2 CITY TO TEST PIT FOR LOCATION, SIZE, AND INVERT PRIOR TO CONSTRUCTION.
- 3 1 1/2\"/>
- 4 750 GALLON GREASE TRAP (TYP. OF 2)
- 5 GENERAL CLEANOUT (TYP. OF 10)
- 6 TIE 6\"/>
- 7 CONTRACTOR TO TEST FIT EXISTING WYE LOCATION, SIZE AND INVERT PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER FOR ANY NECESSARY REDESIGN.
- 8 ROOF DRAIN CONNECTION (TYP. OF 2)
- 9 PROPOSED 2\"/>
- 10 PROPOSED 6\"/>
- 11 4\" X 6\" WYE
- 12 TRANSFORMER PAD (SEE GENERAL NOTE #4 ON THIS SHEET)
- 13 GAS METER
- 14 CONTRACTOR SHALL COORDINATE ELECTRIC SERVICE WITH UTILITY COMPANY. SEE UTILITY NOTE #4.
- 15 CONTRACTOR SHALL COORDINATE TELEPHONE SERVICE WITH UTILITY COMPANY. SEE UTILITY NOTE #5. TELEPHONE CAN RUN IN SAME CONDUIT AS CABLE SERVICE.
- 16 1/8\"/>
- 17 PROPOSED 1/2\"/>
- 18 CONTRACTOR SHALL COORDINATE CABLE SERVICE WITH UTILITY COMPANY. SEE UTILITY NOTE #3. CABLE CAN RUN IN SAME CONDUIT AS TELEPHONE SERVICE.
- 19 DUMPSTER DRAIN TIES INTO STORM DRAIN LINE (SEE ARCHITECTURAL PLANS)
- 20 HOSE BIB (SEE ARCHITECTURAL PLANS)
- 21 PROPOSED 4\"/>

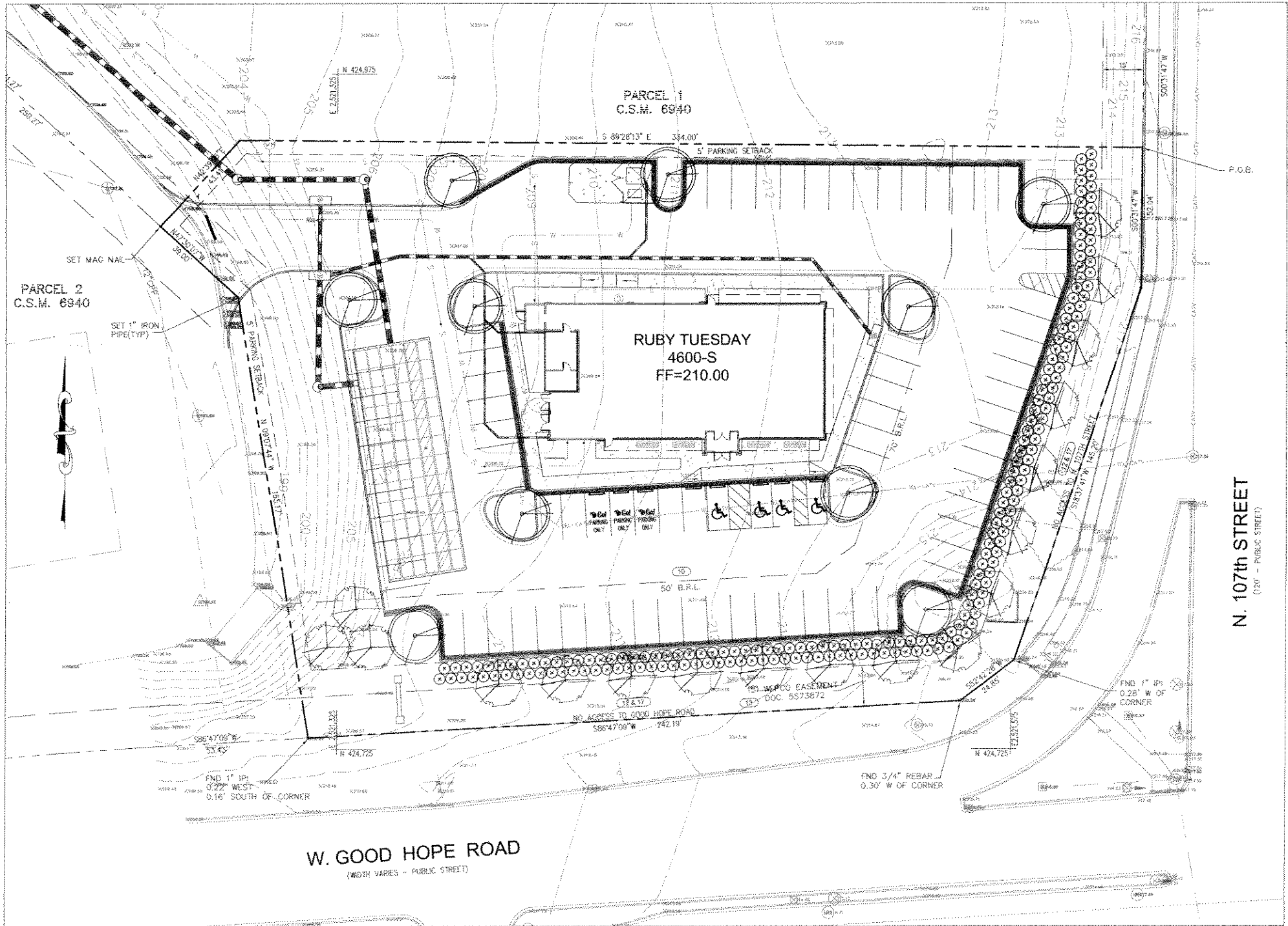
REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
1566 MAIN STREET
SUITE 311
FARFAX, VIRGINIA 22030
(703) 365-5915

RBA
ENGINEERS • ARCHITECTS • PLANNERS
1714 Columbia, Maryland 21046
Phone (410) 312-0066, Fax (410) 312-0897

Ruby Tuesday
SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
10831 W. PARK PLACE
PARCEL 1
MILWAUKEE COUNTY
CITY OF MILWAUKEE, WISCONSIN

GRAPHIC SCALE 1"=20'
DATE: 9/1/05
JOB NUMBER: M3590.00
FILE NAME: C-05 UTIL 3590
PLOTTED: 11/03/05
DRAWN BY: M.B.
UTILITY PLAN
SHEET C-5
5 of 17



PLANT SCHEDULE

KEY	QTY.	BOTANICAL / COMMON NAME	SIZE	ROOT	REMARKS
	8	EUROPEAN HORNBEAM / CORNUS BETULUS	3-3 1/2" CAL.	B + B	SPACING BY PLAN
	60	SUGAR MAPLE 'GREEN MOUNTAIN' / ACER SACCHARUM	3-3 1/2" CAL.	B + B	25' SPACING
	60	DENSE YEW/ TAXUS X MEDIA 'DENSIFORMIS'	24"-30" HGT.	80 CONT.	4' SPACING

LANDSCAPE LEGEND

-  PROPOSED SHADE TREE
-  PROPOSED SHADE TREE
-  PROPOSED SHRUB

NOTES:
1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF MILWAUKEE LANDSCAPE CODE AND THE LANDSCAPE MANUAL.

NOT RELEASED FOR CONSTRUCTION

REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
10831 W. PARK STREET
SUITE 511
FAIRFAX, VIRGINIA 22030
(703) 953-5875

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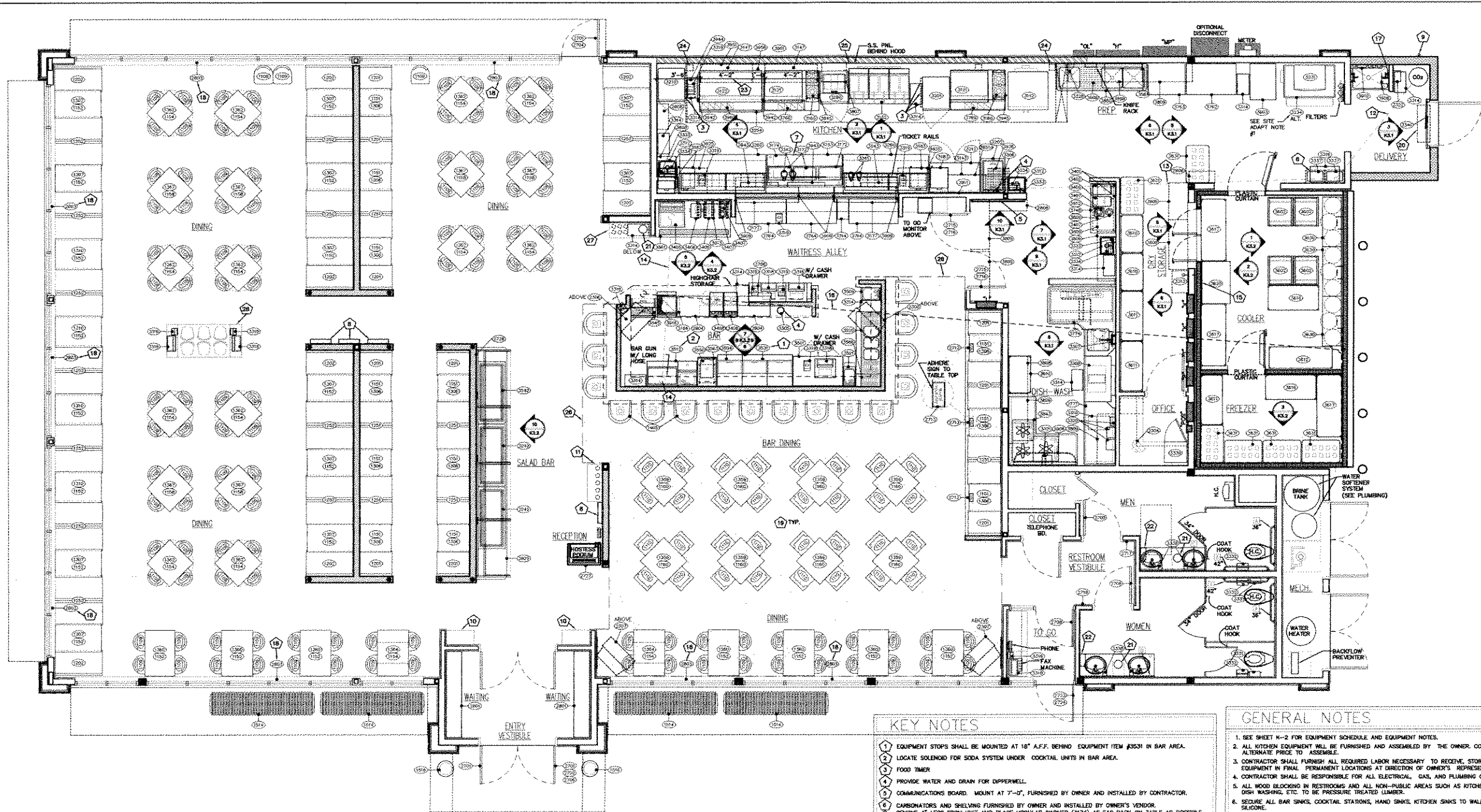
SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
10831 W. PARK PLACE
PARCEL 1
MILWAUKEE COUNTY
CITY OF MILWAUKEE, WISCONSIN

GRAPHIC SCALE 1"=20'
0' 10' 20'

DATE: 9/1/05
JOB NUMBER: W3590.00
FILE NAME: L-01 LSCF 3590
PLOTTED: 11/03/05
DRAWN BY: W.B.

LANDSCAPE PLAN

SHEET L-01
15 of 17



EQUIPMENT AND FURNISHINGS PLAN

SCALE: 1/4"=1'-0"

!! NOTE !!

IT IS THE RESPONSIBILITY OF THE SITE ADAPTING ARCHITECT AND ENGINEER TO COMPLETELY AND THOROUGHLY ADAPT THIS (THESE) DRAWING(S) TO REFLECT THE REQUIREMENTS OF ALL PERMITTING JURISDICTIONS AND/OR LOCAL, STATE OR FEDERAL JURISDICTIONS HAVING AUTHORITY OVER THIS PROJECT. ANY MODIFICATIONS TO THESE DRAWINGS SHOULD BE THOROUGHLY COORDINATED THROUGHOUT THE ENTIRE SET, FAILING TO COMPLETELY COORDINATE THE ENTIRE SET SHALL BE THE RESPONSIBILITY OF THE PROFESSIONAL.

EXAMPLE: MAKING A CHANGE IN THE EQUIPMENT PLAN AND FOLLOWING THROUGH THE OTHER EQUIPMENT DRAWINGS AND MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.

SITE ADAPT NOTES SITE ADAPTING ARCHITECT TO VERIFY W/ CONSTRUCTION DIRECTOR WHICH OF THE FOLLOWING ITEMS BELOW ARE TO BE INSTALLED.

1. SITE ADAPTING ARCHITECT TO VERIFY IF THE ALTERNATE ICE MACHINE IS TO BE INSTALLED. SEE SHEET K2 FOR SPECIFICATIONS.

RESTROOM & MISC. ACCESSORIES

MARK	STANDARD ITEM	MANUFACTURER	MODEL NUMBER	SUPPLIER	INSTALLED BY	QUANTITY
10	GRAB BARS	BOBBICK	B-8800	G.C.	G.C.	4
11	33" x 22" MIRROR	GENERIC	N/A	G.C.	G.C.	1
12	33" x 62" MIRROR	GENERIC	N/A	G.C.	G.C.	1

1. CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN. ALL DISCREPANCIES FOUND SHALL BE FORWARDED TO THE ATTENTION OF THE RUBY TUESDAY CONSTRUCTION DIRECTOR.
2. MIRRORS ARE TO BE POLISHED PLATE MIRRORS.

SEATING SUMMARY

TABLES/SEATS PER TABLE	SEAT NO.	TABLE TYPE	NO. OF SEATS
12/ 2 TOP	12	TABLE TOP 27" x 30" W/ LAMINATE FINISH	24
12/ 4 TOP	12	TABLE TOP 27" x 44" W/ LAMINATE FINISH	48
4/ 4 TOP	4	TABLE TOP 30" x 44" W/ LAMINATE FINISH	16
6/ 4 TOP	6	TABLE TOP 30" x 30" W/ PLAIN FLAKE BOARD TOP UNFINISHED W/ TABLE CLOTH	32
7/ 4 TOP	7	TABLE TOP 30" x 44" W/ PLAIN FLAKE BOARD TOP UNFINISHED W/ TABLE CLOTH	28
12/ 4 TOP	12	TABLE TOP 32" x 32" FLIP TOP W/ PLAIN FLAKE BOARD TOP UNFINISHED W/ TABLE CLOTH	48
2/ 4 TOP	2	TABLE TOP 30" x 44" FLIP TOP REG. TABLE W/ PLAIN FLAKE BOARD TOP UNFINISHED W/ TABLE CLOTH	8
6/ 4 TOP	6	TABLE TOP 32" x 32" W/ PLAIN FLAKE BOARD TOP UNFINISHED W/ TABLE CLOTH	24
83		TOTAL SEATING FOR DINING & BAR AREA	228
		BAR STOOLS	16
		EMPLOYEES	20
		TOTAL SEATING & EMPLOYEES	268
SQUARE FOOTAGE CALCULATIONS			
70X	FRONT OF HOUSE	3,081 S.F.	
22X	BACK OF HOUSE	1,114 S.F.	
	TOTAL	4,195 S.F.	
	COOLER/FREEZER	287 S.F.	
	S.F. PER DINING SEAT (TOTAL S.F./TOTAL TABLE SEATING)	22.3	

KEY NOTES

1. EQUIPMENT STOPS SHALL BE MOUNTED AT 18" A.F.F. BEHIND EQUIPMENT ITEM #3531 IN BAR AREA.
2. LOCATE SOLENOID FOR SODA SYSTEM UNDER COCKTAIL UNITS IN BAR AREA.
3. FOOD TIMER
4. PROVIDE WATER AND DRAIN FOR DISHWASHER.
5. COMMUNICATIONS BOARD. MOUNT AT 7'-0", FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.
6. CARBONATORS AND SHELVING FURNISHED BY OWNER AND INSTALLED BY OWNER'S VENDOR.
7. REMOVE 4" LEADS FROM UNIT AND PLACE MODULAR WARMER (3174) AS FAR BACK ON TABLE AS POSSIBLE. INSTALL STRAP OVER 3174 AND DO NOT ALLOW SCREWS TO BE PLACED IN EQUIPMENT. SCREW STRAP TO TABLE SHELF ONLY.
8. CONTRACTOR TO PROVIDE AND INSTALL (4) MENU BODIES PER DETAIL 8/A10.1. LOCATIONS SHOWN ARE FOR REFERENCE PURPOSES ONLY AND FINAL LOCATIONS SHOULD BE SELECTED BY STORE MANAGER PRIOR TO OPENING.
9. PROPOSED LOCATION OF REMOTE FILL STATION FOR CO2 TANK. FINAL LOCATION TO BE VERIFIED, SUPPLIED, AND INSTALLED BY THE LOCAL CO2 SUPPLIER AS SELECTED BY THE RUBY TUESDAY FIELD REPRESENTATIVE.
10. SERVICE CABINET- SEE DETAIL 5/A10.5
11. SERVICE CABINET- SEE DETAIL 5/A10.5
12. 4" PVC ROUTED UNDERGROUND FROM CO2 TANK TO TO SODA RACK #3318. USE LARGE RADIUS (24")
13. 4" PVC ROUTED UNDERGROUND FROM CO2 TANK TO SODA DISP. #3405. THE LINES WILL COME DOWN IN WALL TO SODA DISPENSERS.
14. 6" PVC ROUTED UNDERGROUND FROM SODA DISPENSER #3405 TO COCKTAIL STATION #3512. USE LARGE RADIUS (24") ELEC. SHEET(S) INSTALLED BY ELECTRICAL CONTRACTOR. NO PLUMBING FITTINGS.
15. ROUTE BEER SYSTEM LINES FROM WOOD STORAGE AREA STRAPPED TO WOOD COOLER WALL OVER TO BEER SYS. POWER PACK #3513. ROUTE LINES THRU WALL AT SIDE OF POWER PACK FOR CONNECTION. SEAL ALL PENETRATIONS AS REQ'D.
16. 6" PVC ROUTED UNDERGROUND FROM BEER DISPENSER #3513 TO REMOTE BEER DISPENSER #3545 AT BAR. USE LARGE RADIUS (24") ELEC. SHEET(S) INSTALLED BY ELECTRICAL CONTRACTOR. NO PLUMBING FITTINGS.
17. S.S. WALL GUARD TO 8'-0" A.F.F. ALL SIDES OF WOP SHAK AREA.
18. 7" SHADES FURNISHED BY OWNER & INSTALLED BY CONTRACTOR IN ALL WINDOWS. MANUFACTURER WILL SUPPLY ALL PROPER MOUNTING HARDWARE WITH EACH UNIT. DO NOT ATTACH CLEAR CHAIN GUIDE.
19. INSTALL ALL SHROUDS PER THE DIRECTION OF THE RUBY TUESDAY CONSTRUCTION DIRECTOR.
20. FLY FAN - OPTIONAL - INSTALL ONLY WHEN LOCALLY REQUIRED. SEE MECH. DWGS. FOR SPECIFICATIONS. FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.
21. CONTRACTOR TO PROVIDE 6" DIA. HOLE IN COUNTERTOP FOR TRASH RECEPTACLE.
22. PAPER TOWEL HOLDER- SEE DETAIL 11/A10.1
23. THE DIMENSIONS ARE PROVIDED TO LOCATE THE WALL MOUNTED CHEESEWITERS.
24. GREASE COLLECTION CONTAINER
25. SITE ADAPT ARCHT. TO VERIFY IF CALV. HOOD ASSEMBLIES ARE ALLOWED BY LOCAL MUNICIPALITY.
26. SHADY AREA INDICATES DEDICATED SMOKING AREA.
27. SERVICE CABINET - SEE DETAIL 8/A10.5
28. SERVICE CABINET - SEE DETAIL 8/A10.5

GENERAL NOTES

1. SEE SHEET K-2 FOR EQUIPMENT SCHEDULE AND EQUIPMENT NOTES.
2. ALL KITCHEN EQUIPMENT WILL BE FURNISHED AND ASSEMBLED BY THE OWNER. CONTRACTOR TO PROVIDE ALTERNATE PRICE TO LOCATE EQUIPMENT.
3. CONTRACTOR SHALL FURNISH ALL REQUIRED LABOR NECESSARY TO RECEIVE, STORE, AND TO PLACE EQUIPMENT IN FINAL PERMANENT LOCATIONS AT DIRECTION OF OWNER'S REPRESENTATIVE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL, GAS, AND PLUMBING CONNECTIONS.
5. ALL WOOD BLOCKING IN RESTROOMS AND ALL NON-PUBLIC AREAS SUCH AS KITCHEN, PREPARATION AREA, DISH WASHING, ETC. TO BE PRESSURE TREATED LUMBER.
6. SECURE ALL BAR SINKS, COCKTAIL STATIONS, HAND SINKS, KITCHEN SINKS TO WALL AND SEAL WITH CLEAR SILICONE.
7. NOTE: RESPONSIBILITIES OF CONSTRUCTION FOR MISC. KITCHEN EQ.
8. GENERAL CONTRACTOR:
 - ALL WIRING FOR POWER AND CONTROLS TO BE PROVIDED, INSTALLED AND CONNECTED FOR ALL KITCHEN EQUIPMENT.
 - VENDOR AND/OR VENDOR'S SERVICE AGENT:
 - INSTALL ALL ICE MACHINES, WALK-IN'S, AND REMOTE REFRIGERATION KITCHEN EQUIPMENT.
 - INSTALL ALL REFRIGERATION LINES IN COORDINATION WITH THE CONTRACTOR. -START UP AND CALIBRATION OF THIS EQUIPMENT.
9. SPECIAL CARE SHALL BE GIVEN TO PROVIDE SUFFICIENT BLOCKING FOR ALL ITEMS FASTENED TO STUD WALLS AND ALSO FOR FASTENING WOOD TBM. THE CONTRACTOR SHALL ALSO REVIEW KITCHEN ELEVATIONS (OCS SHEETS), AND ALL DETAILS SHOWN FOR BLOCKING REQUIREMENTS AND ADD ANY BLOCKING REQUIRED FOR PROPER ANCHORAGE EVEN THOUGH NOT SPECIFICALLY SHOWN.
10. CONTRACTOR IS TO PROVIDE WALL CONSTRUCTION IN KITCHEN AS FOLLOWS. (UNLESS NOTED OTHERWISE)
 - 1/2" COURSEWORK TO 1'-0" A.F.F.
 - 1/2" OSB FROM 1'-0" TO 6'-0" ABOVE FINISH FLOOR.
11. NOTE TO GENERAL CONTRACTOR: INSTALLATION OF KITCHEN EQUIPMENT IS BASED ON THE FOLLOWING JOB SITE CONDITIONS:
 - CLEAR ACCESS TO THE BUILDING FOR DELIVERY AND INSTALLATION.
 - WORK AREA IS CLEAN AND FREE OF TRASH.
 - ALL ROUGH-INS ARE TO BE COMPLETE AND READY FOR FINAL CONNECTION AT THE TIME OF INSTALLATION.
 - FLOOR IS FINISHED, CLEANED AND READY FOR EQUIPMENT. WALLS ARE FINISHED AS SPECIFIED.
 - EQUIPMENT WILL BE SET IN PLACE. ONCE ITEM IS READY FOR FINAL CONNECTION BY FOOD SERVICE CONTRACTOR, ANY LABOR TO MOVE EQUIPMENT OR RESET EQUIPMENT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR & IS TO BE COORDINATED W/OWNER'S REPRESENTATIVE.
12. SEE SHEET M1 FOR HOOD LOCATION DIMENSIONS.
13. INSTALLATION GUIDELINES FOR WALK-IN COOLERS/FREEZER:
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING ITEMS:
 - PROVIDE AN ON-SITE SECURE RECEIVING AREA FOR ASSOCIATED EQUIPMENT AND MATERIALS
 - PROVIDE ALL ELECTRICAL WIRING AND CIRCUITS TO ALL EQUIPMENT
 - START UP AND CALIBRATION OF EQUIPMENT
 - PROVIDE ALL ASSOCIATED EQUIPMENT CURBS
 - PLACEMENT OF ALL ASSOCIATED ROOF TOP EQUIPMENT
 - PROVIDE AND INSTALL ALL REFRIGERANT AND CONDENSATE PIPING AND ASSOCIATED PIPE INSULATION AS SPECIFIED
 - CHARGE AND PUT INTO OPERATION ALL REFRIGERANT PIPING BETWEEN REMOTE CONDENSING UNITS AND COOLERS/FREEZER
 - PROVIDE AND INSTALL SLOPED QUARRY TILE AND WALL BASE IN COOLER FLOORS
 - INSTALL ALL WORK IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - WALK-IN COOLERS AND FREEZER VENDOR SHALL BE RESPONSIBLE FOR THE FOLLOWING ITEMS:
 - COORDINATE WITH GENERAL CONTRACTOR FOR DELIVERY, STORE AND INSTALLATION PROCEDURES.
 - PROVIDE ALL REMOTE CONDENSING UNITS AND ALL COOLER/FREEZER WALLS AND ASSOCIATED MATERIALS.
 - PROVIDE ALL INTERIOR COOLER/FREEZER LIGHTING AND SWITCHES
 - PROVIDE ALL COOLER/FREEZER DOORS AND HARDWARE



FILE NO: 05-0005

PLOT SCALE:

DWG BY:

REVISIONS:

ISSUE DATE: 06-17-05

SHEET NO:

K1

Ruby Tuesday

4600CS.06.05

Prototype

"Master Set"

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED ARE THE PROPERTY OF RUBY TUESDAY INCORPORATED. NO REPRODUCTION OR USE OF THESE PROTOTYPE DRAWINGS OTHER THAN FOR GUIDE PURPOSES ONLY WITHOUT WRITTEN CONSENT IS PROHIBITED.

MATERIALS

1. ALL EXTERIOR TRIM TO BE LIMITED TO SMOOTH "HARDTROM" PLANKS AS MANUFACTURED BY JAMES HARGO OR APPROVED EQUAL.
2. ALL SHOWS AND LED LIGHTING ARE FURNISHED AND INSTALLED BY CUSTOMER. OWNER'S REPRESENTATIVE CONTRACTOR SHALL ASSIST AS NECESSARY INSTALLATION.
3. EXTERIOR WINDOW GLASS TO BE INSULATED CLEAR OVER CLEAR GLASS.
4. EXTERIOR APPLIED STONE BY ELBORADO STONE. COLOR/STYLE TO BE "WARM SPRING MOUNTAIN LEDGE. CONTACT EITHER CHUCK BAER OR KEVIN REEDY AT (760) 908-7428

APPROVED GLAZES ARE:

ARROWHEAD STONE AT (805) 971-6986. COLOR/STYLE IS TO BE RUBY TREASURY CUSTOM BLEND.

6. ALL METAL COMPONENTS THAT MAKE UP THE CANOPY DIAGONAL SUPPORTS ARE TO BE GALVANIZED. THE CAST METAL STAR IS NOT REQUIRED TO BE GALVANIZED.

1. USE ONLY 25 YEAR SILICONIZED PAINTABLE GULK ON THE EXTERIOR OF THE BUILDING TYPICAL.
2. SHEATHING SHALL BE NAILED PER THE "ROOF AND WALL SHEATHING SCHEDULE" ON SHEETS SS2.1 & SS2.2 OF THE STRUCTURAL DRAWINGS.
3. STONE APPLICATION PER DETAILS ON AS SHEETS & MANUFACTURERS INSTALLATION INSTRUCTIONS.
4. DRYVET EXTERIOR WALL FRESH TO BE INSTALLED IN STRICT ADHERENCE TO MANUFACTURERS INSTRUCTIONS (DRYVET & US GYPSUM)
5. ALL METAL COMPONENTS ON THE EXTERIOR ARE TO BE PAINTED WITH AN APPROPRIATE METAL PRIMER AND THEN AN APPROPRIATE METAL PAINT.
6. THE STONE VENEER TO BE INSTALLED TRUE, SQUARE, PLUMB, AND PARALLEL TO THE STRUCTURE. STONE INSTALLATION SHALL RESEMBLE A DRY STACKED LOOK MINIMIZING THE APPEARANCE OF GROUT.

- ALL UTILITY BORES (ELECTRICAL PANELS, GAS METER, ETC.) ARE TO BE PAINTED "A" TO MATCH (SSD) IF PERMISSIBLE BY THE LOCAL UTILITY COMPANIES.
- ALL SURFACE UPON, UTILITY BORES, METERS, ETC. SHALL BE MOUNTED NO MORE THAN 27" (TO BOTTOM) ABOVE FINISHED FLOOR (TYP.).
- DOWNSPOUTS & GUTTERS ARE TO BE PAINTED TO MATCH ADJACENT BUILDING COLORS.
- IF NECESSARY SET BASE TRIM TO FOLLOW SLOPING GRADE AROUND THE PERIMETER OF THE BUILDING. BREAK TRIM AT DOOR OPENINGS OR ALONG EXPANSION JOINTS.
- SITE SIGN DETAILS, COORDINATE USE AND INSTALLATION OF ALL BUILDING SIGNS WITH RUBY TUESDAY CONSTRUCTION DIRECTOR.
- SEE SHEET A&L2 FOR AWNING NOTES.
- STONE VENERY TO BE INSTALLED TRUE, SQUARE, PLUMB, AND PARALLEL TO THE STRUCTURE.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE PAINTED "B" BY MANUFACTURER. ALL MISLEAD ROOF TOP EQUIPMENT SHALL BE FIELD PAINTED "B".
- ALL CMU WALLS TO RECEIVE BLOCK FILLER PRIOR TO PAINTING. TYPICAL OF BLOCK FILLER PATTERN SHOWN ON ATTACHED MATERIAL SPECIFICATIONS.

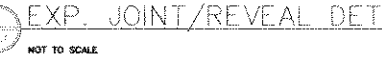
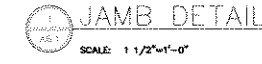
A	RUBY TUESDAY "MUSTARD"
B	SHERWIN WILLIAMS #522508 "ROCKWOOD SHUTTER GREEN"
C	RUBY TUESDAY "CANOPY RED"
D	SHERWIN WILLIAMS #5104 "BASIL"
E	DRYVAT CUSTOM COLOR NAT-22-08-24-03 (MUSTARD)
F	"WARM SPRING MOUNTAIN LEDGE" STONE VENEER BY ELDORADO STONE
G	SHERWIN-WILLIAMS MACROPOXY 846 (PRIMER) TO BE PAINTED AT ALL DISSIMILAR METAL SURFACES AS A BASE FOR COLOR PAINT.

NOTES:

RUBY TUESDAY MUSTARD	SUPERPAINT EXTERIOR GLOSS, A84754 = ULTRADEEP BASE, FORMULA FOR 1 GALLON: Y3 (DEEP GOLD) - 65/50/R2 R2 (MAROON) - 24/32 G2 (NEW GREEN) - 22/32 W1 (WHITE) - 2144/32
RUBY TUESDAY CANOPY RED	EXTERIOR ACCENTS HIGH GLOSS, Y2R55 = PRIMARY RED, FORMULA FOR 1 GALLON: G2 (NEW GREEN) - 1/128, W1 (WHITE) - 5/32 + 1/4, Y3 (DEEP GOLD) - 8/32, R3 (MAGENTA) - 12/32, N1 (RAW UMBER) - 17/32

1. "SUPERPAINT" EXTERIOR LATEX HIGH GLOSS FINISH, BASE "B" AB45702, ALL COLORS USE ON METAL SURFACES SHALL BE "DIM" ACRYLIC EXTERIOR GLOSS FINISH. ALL CONTAINERS OF THE SAME COLOR SHALL HAVE IDENTICAL SHAKE TIMES. NO EXCEPTIONS WILL BE PERMITTED.
2. SHERWIN-WILLIAMS MACROPOXY 640 TO BE PAINTED AT ALL DISSIMILAR METAL SURFACES AS A BASE FOR COLOR PAINT.
3. ALL EXTERIOR PAINT IS TO BE INSTALLED WITH A BRUSH OR ROLLER. SPRAYING IS NOT ALLOWED.

1. ALL PAINT TO BE FORMULATED BY SHERWIN WILLIAMS.
2. SHERWIN WILLIAMS PRODUCT INFORMATION NUMBER, 800-321-8194
3. BECAUSE THE DRYWIT MATERIALS ARE MIXED AND THE COLORS ARE PRE-DETERMINED CAREFUL MATCHING IS REQUIRED FOR ALL SHERWIN WILLIAMS PAINT COLORS.



LEFT SIDE ELEVATION

SECRET NO:

A6.1

MATERIAL AND EXECUTION NOTES

MATERIALS

1. ALL EXTERIOR TRIM TO BE LIMITED TO SMOOTH "HIDDEN" PLANKS AS MANUFACTURED BY JAMES HARDIE OR APPROVED EQUAL.
2. ALL SIGNS AND LED LIGHTING ARE FURNISHED AND INSTALLED BY OWNER/OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ASSIST AS NECESSARY IN INSTALLATION.
3. EXTERIOR WINDOW GLASS TO BE INSULATED CLEAR OVER CLEAR GLASS.
4. EXTERIOR APPLIED STONE BY ELIZABETH STONE, COLOR/STYLE TO BE "WARM SPRING MOUNTAIN LEDGE". CONTACT EITHER CHUCK SHEN OR KEVIN REEDY AT (760) 908-7428. APPROVED EQUALS ARE: ARROWHEAD STONE AT (865) 971-6886. COLOR/STYLE IS TO BE RUBY TUESDAY CUSTOM BLEND. ENVIRONMENTAL STONE AT (800) 982-7448. COLOR/STYLE 50/50 CHAMPAGNE LEDGESTONE & WARM SPRING LEDGESTONE. CONTACT EITHER BECKY AT EXT. 204 OR ROH AT EXT. 7.
5. MORTAR TO BE "DC BEGE" BY BLUE GRIOLE. STONE VENEER IS TO BE INSTALLED IN A "DRY STACKED" PATTERN WHICH WILL VISUALLY MINIMIZE THE MORTAR JOINTS.
6. SSS, "SYNTHETIC STUCCO SYSTEM", FINISH COAT TO BE DRYVIT "WEATHERLAST" ELASTOMERIC COATING. CONTACT JIMMY THOMPSON AT (801) 927-9848.
7. ALL METAL COMPONENTS THAT MAKE UP THE CANOPY DIAGONAL SUPPORTS ARE TO BE GALVANIZED. THE CAST METAL STAR IS NOT REQUIRED TO BE GALVANIZED.

EXECUTION

1. USE ONLY 25 YEAR SILICONIZED PAINTABLE CAULK ON THE EXTERIOR OF THE BUILDING TYPICAL.
2. SHEATHING SHALL BE NAILED PER THE "ROOF" AND WALL SHEATHING SCHEDULE" ON SHEETS S2.1 & S2.2 OF THE STRUCTURAL DRAWINGS.
3. STONE APPLICATION FOR DETAILS ON AS SHEETS & MANUFACTURERS INSTALLATION INSTRUCTIONS.
4. DRYVIT EXTERIOR WALL FINISH TO BE INSTALLED IN STRICT ADHERENCE TO MANUFACTURERS INSTRUCTIONS (DRYVIT & US GYPSUM).
5. ALL METAL COMPONENTS ON THE EXTERIOR ARE TO BE PAINTED WITH AN APPROPRIATE METAL PRIMER AND THEN AN APPROPRIATE METAL PAINT.
6. THE STONE VENEER TO BE INSTALLED TRUE, SQUARE, PLUMB, AND PARALLEL TO THE STRUCTURE. STONE INSTALLATION SHALL RESEMBLE A DRY STACKED LOOK MINIMIZING THE APPEARANCE OF GROUT.

GENERAL NOTES

1. ALL UTILITY BOXES (ELECTRICAL PANELS, GAS METER, ETC.) ARE TO BE PAINTED "A" TO MATCH (SSS) IF PERMISSIBLE BY THE LOCAL UTILITY COMPANIES.
2. ALL SURFACE MTD. UTILITY BOXES, METERS, ETC. SHALL BE MOUNTED NO MORE THAN 27" (TO BOTTOM) ABOVE FINISHED FLOOR. (TYP.)
3. DOWNSPOUTS & GUTTERS ARE TO BE PAINTED TO MATCH ADJACENT BUILDING COLORS.
4. IF NECESSARY STEP BASE TRIM TO FOLLOW SLOPING GRADE AROUND THE PERIMETER OF THE BUILDING. BREAK TRIM AT DOOR OPENINGS OR ALONG EXPANSION JOINTS.
5. SEE A13.2 FOR ALL SIGN DETAILS. COORDINATE USE AND INSTALLATION OF ALL BUILDING SIGNS WITH RUBY TUESDAY CONSTRUCTION DIRECTOR.
6. SEE SHEET A6.2 FOR AWWING NOTES.
7. STONE VENEER TO BE INSTALLED TRUE, SQUARE, PLUMB, AND PARALLEL TO THE STRUCTURE.
8. ALL EXTERIOR LIGHT FIXTURES SHALL BE PAINTED "B" BY MANUFACTURER.
9. ALL CAU WALLS TO RECEIVE BLOCK FILLER PRIOR TO PAINTING. TYPICAL OF BOTH INTERIOR & EXTERIOR SIDES. PAINT TO MATCH FIELD BUILDING COLOR.

FINISH LEGEND

(A)	RUBY TUESDAY "MUSTARD"
(B)	SHERWIN WILLIAMS #SW2809 "ROCKWOOD SHUTTER GREEN"
(C)	RUBY TUESDAY "CANOPY RED"
(D)	SHERWIN WILLIAMS #SW194 "BASE"
(E)	DRYVIT CUSTOM COLOR NAI-22-08-24-03 (MUSTARD)
(F)	"WARM SPRING MOUNTAIN LEDGE" STONE VENEER BY ELIZABETH STONE
(G)	SHERWIN WILLIAMS MACROPOXY 646 (PRIMER) TO BE PAINTED AT ALL DISSIMILAR METAL SURFACES AS A BASE FOR COLOR PAINT.

NOTES:

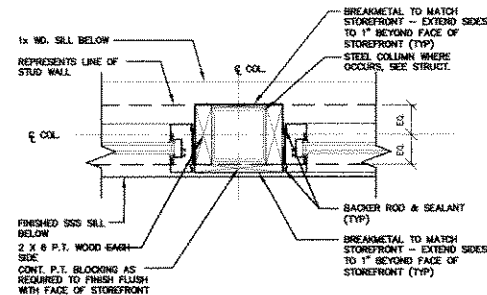
1. ALL COLORS EXCEPT THOSE USED FOR METAL SURFACES SHALL BE SHERWIN WILLIAMS "SUPERPAINT" EXTERIOR LATEX HIGH GLOSS FINISH, BASE "B" 4847502. ALL COLORS FOR USE ON METAL SURFACES SHALL BE "DUFF" ACRYLIC EXTERIOR GLOSS FINISH. ALL CONTAINERS OF THE SAME COLOR SHALL HAVE IDENTICAL SPRAY TIMES. NO EXCEPTIONS WILL BE PERMITTED.
2. SHERWIN WILLIAMS MACROPOXY 646 TO BE PAINTED AT ALL DISSIMILAR METAL SURFACES AS A BASE FOR COLOR PAINT.
3. ALL EXTERIOR PAINT IS TO BE INSTALLED WITH A BRUSH OR ROLLER. SPRAYING IS NOT ALLOWED.

CUSTOM PAINT FORMULA KEY

RUBY TUESDAY MUSTARD	SUPERPAINT EXTERIOR GLOSS, 4847502 - ULTRADEEP BASE. FORMULA FOR 1 GALLON: Y0 (DEEP GOLD) - 6Y06/32 R2 (MAROON) - 24/32 G2 (NEW GREEN) - 22/32 W1 (WHITE) - 2144/32
RUBY TUESDAY CANOPY RED	EXTERIOR ACCENTS HIGH GLOSS, 100858 - PRIMARY RED. FORMULA FOR 1 GALLON: G2 (NEW GREEN) - 1/128 W1 (WHITE) - 5/32 + 1/84 Y0 (DEEP GOLD) - 8/32 R3 (MAGENTA) - 12/32 N1 (RAW UMBER) - 17/32

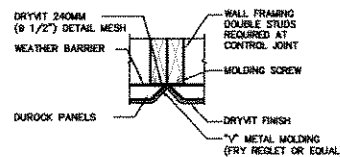
NOTES:

1. ALL PAINT TO BE FORMULATED BY SHERWIN WILLIAMS.
2. SHERWIN WILLIAMS PRODUCT INFORMATION NUMBER, 800-321-8194.
3. BECAUSE THE DRYVIT MATERIALS ARE MIXED AND THE COLORS ARE PRE-DETERMINED CAREFUL MATCHING IS REQUIRED FOR ALL SHERWIN WILLIAMS PAINT COLORS.



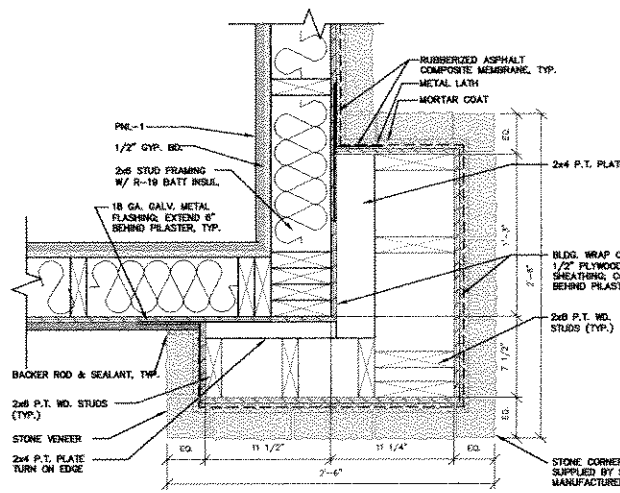
JAMB DETAIL

SCALE: 1 1/2"=1'-0"



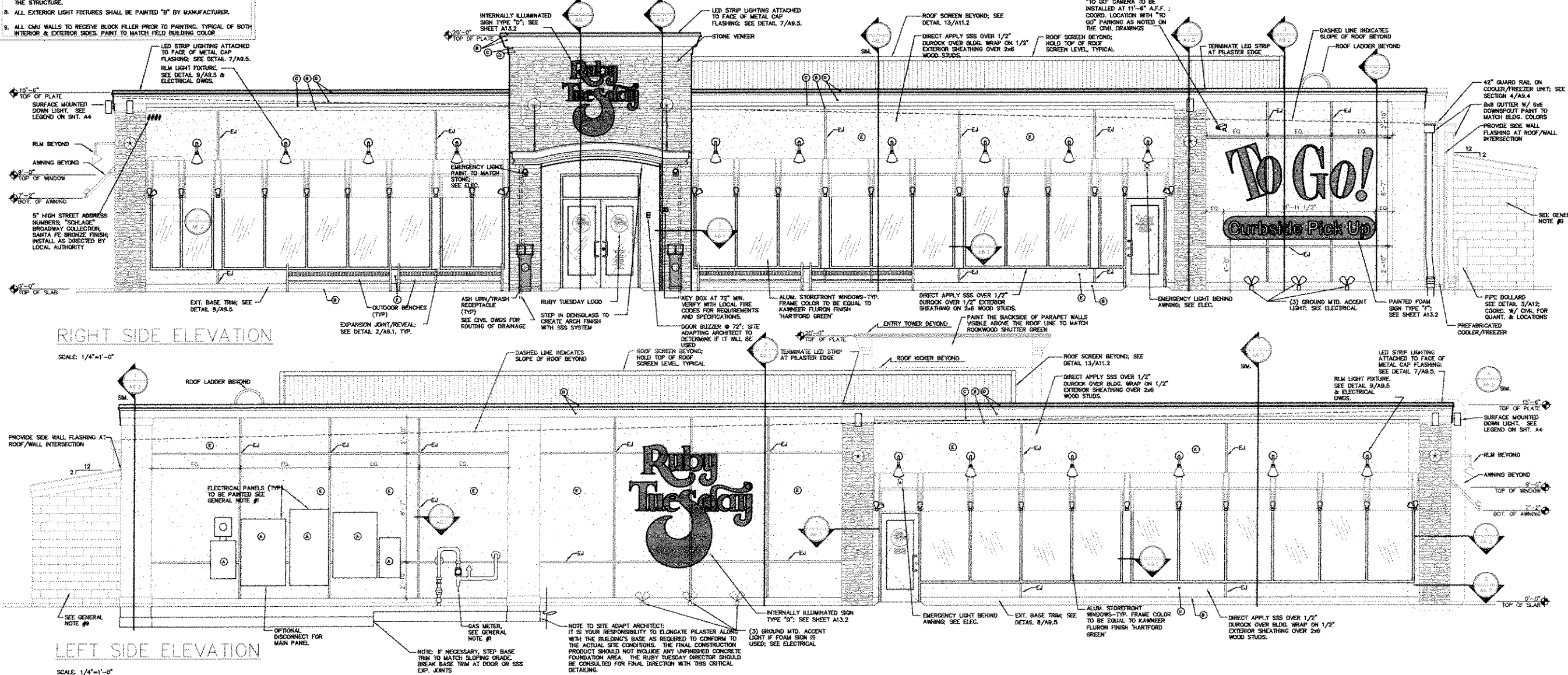
EXP. JOINT/REVEAL DET.

NOT TO SCALE



CORNER PILASTER @ TOWER DETAIL

SCALE: 1 1/2"=1'-0"



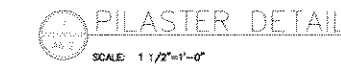
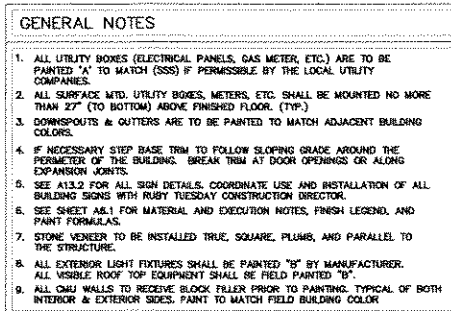
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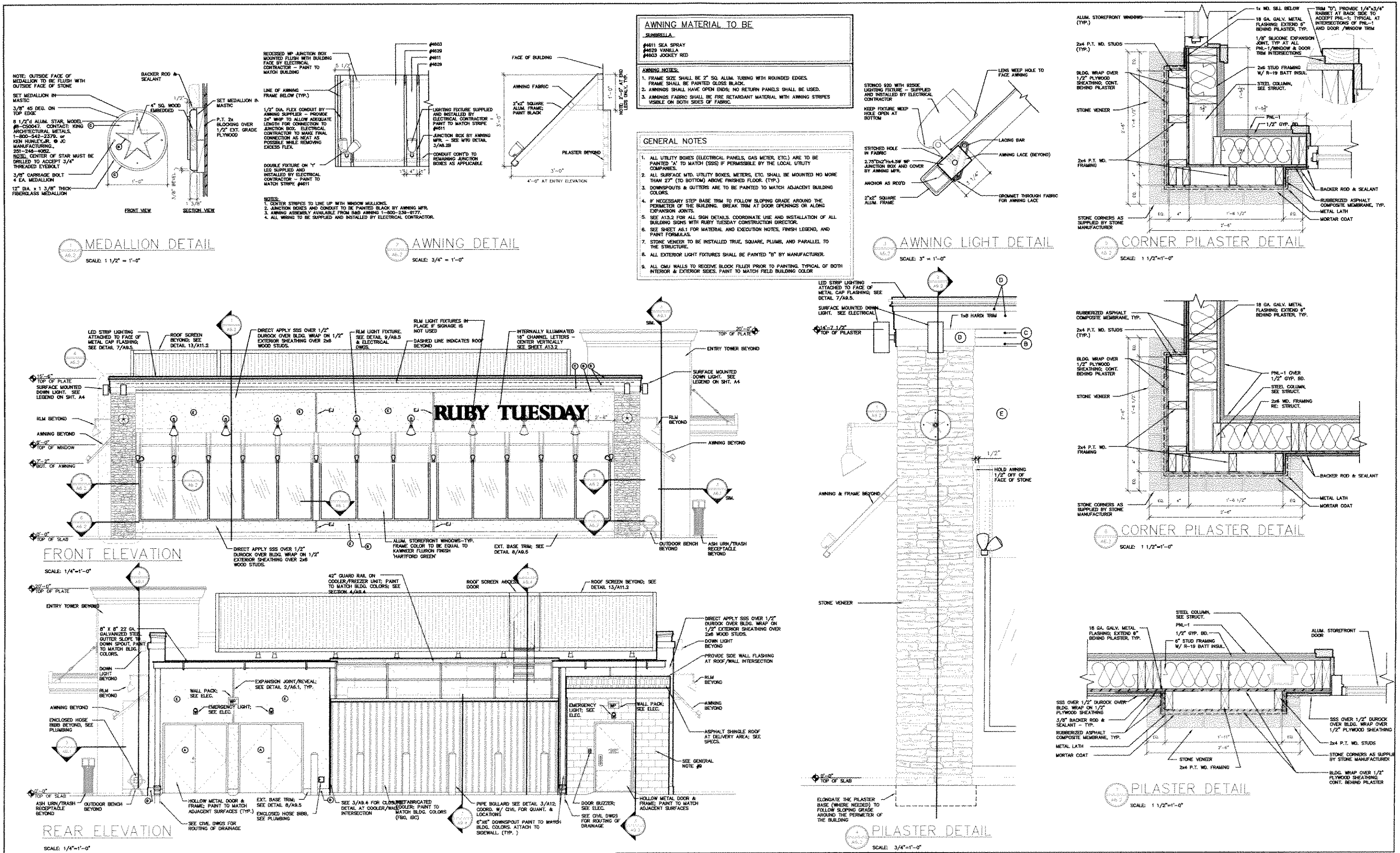
Ruby Tuesday
4600CS.06.05
Prototype
"Master Set"



FILE NO: 06-0025
PLAT SCALE:
DWG BY:
REVISIONS:
ISSUE DATE: 06-17-05

SHEET NO:
A6.1
ALT.1





AWNING MATERIAL TO BE

SUBMITTALS

#4603 SEA SPRAY
#4603 VINYL
#4603 JOCKEY RED

AWNING NOTES

1. FRAME SHALL BE 2" SQ. ALUM. TUBING WITH ROUNDED EDGES. FRAME SHALL BE PAINTED GLOSS BLACK.

2. AWNINGS SHALL HAVE OPEN ENDS; NO RETURN PANELS SHALL BE USED.

3. AWNING FABRIC SHALL BE FIRE RETARDANT MATERIAL WITH AWNING STRIPES VISIBLE ON BOTH SIDES OF FABRIC.

GENERAL NOTES

1. ALL UTILITY BOXES (ELECTRICAL PANELS, GAS METER, ETC.) ARE TO BE PAINTED 'A' TO MATCH (SSS) IF PERMISSIBLE BY THE LOCAL UTILITY COMPANIES.

2. ALL SURFACE MTD. UTILITY BOXES, METERS, ETC. SHALL BE MOUNTED NO MORE THAN 27" (TO BOTTOM) ABOVE FINISHED FLOOR. (TYP.)

3. DOWNSPOUTS & GUTTERS ARE TO BE PAINTED TO MATCH ADJACENT BUILDING COLORS.

4. IF NECESSARY STEP BASE TRIM TO FOLLOW SLOPING GRADE AROUND THE PERIMETER OF THE BUILDING. BREAK TRIM AT DOOR OPENINGS OR ALONG EXPANSION JOINTS.

5. SEE A13.2 FOR ALL SIGN DETAILS. COORDINATE USE AND INSTALLATION OF ALL BUILDING SIGNS WITH RUBY TUESDAY CONSTRUCTION DIRECTOR.

6. SEE SHEET A6.1 FOR MATERIAL AND EXECUTION NOTES, FINISH LEGEND, AND PAINT FORMULAS.

7. STONE VENEER TO BE INSTALLED TRUE, SQUARE, PLUMB, AND PARALLEL TO THE STRUCTURE.

8. ALL EXTERIOR LIGHT FIXTURES SHALL BE PAINTED 'B' BY MANUFACTURER.

9. ALL CMU WALLS TO RECEIVE BLOCK FILLER PRIOR TO PAINTING. TYPICAL OF BOTH INTERIOR & EXTERIOR SIDES. PAINT TO MATCH FIELD BUILDING COLOR.

Ruby Tuesday
4600CS.06.05
Prototype

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FILE NO: 06-0085	A6.2 ALT.1
PLAT SCALE:	
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REVISIONS:	
ISSUE DATE: 06-17-06	

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