



COM-ALT-24-00633  
CCF 240870

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/841 N Broadway/Milwaukee, WI 53202/phone 414-286-5712

**Property**  
**Description of work**

**802 E. Historic Mitchell Street**

**Mitchell Street HD**

All work per attached plans, consisting primarily of the following 5 components

1. Replace existing storefront and single-pane glazing, with new aluminum storefront (midnight bronze) and insulated clear glazing.
2. Eliminate multiple entry access points on Historic Mitchell Street, relocate main entry access on west side of building, which accommodates an accessible entrance, reduces user confusion, and provides a clear point of access to the facility.
3. Provide new glazed storefront opening on south-east corner- facing South 8th Street- in a pattern of similar size and scale to storefront on Mitchell Street. This replicates other corner buildings in the district with fenestration "turning-the-corner".
4. Apply a monolithic coating to exterior surfaces, including fluted concrete masonry. Replace metal roof edge with similar color.
5. Introduce a concrete landscape curb element along sidewalk to replace "railroad-tie" planting bed. Infill beds with native & pollinator plantings.

**Date issued**

11/12/2024

Under the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has granted a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

**Paint must be certified by manufacturer for use on exterior masonry and have an appropriate vapor permeability rating. The specific paint product and its relevant manufacturer information must be provided to HPC staff for approval before beginning painting.**

All work must be done in a craftsman-like manner. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: [hpc@milwaukee.gov](mailto:hpc@milwaukee.gov).

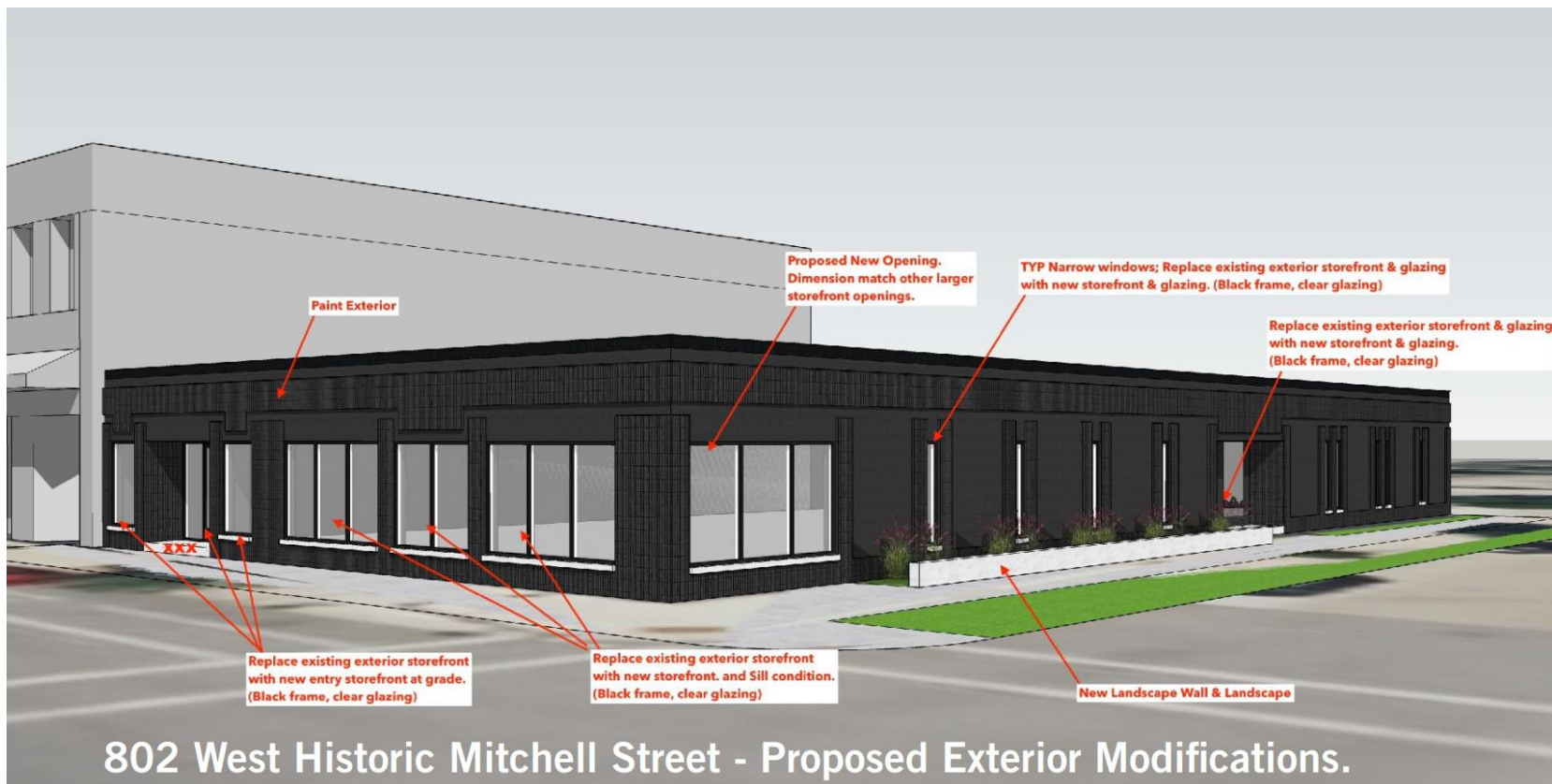
### ***Permits and timeline***

You are responsible for determining if permits are required and obtaining them prior to commencing work. Consult the Development Center on the web or by telephone for details [www.milwaukee.gov/lms](http://www.milwaukee.gov/lms) (414) 286-8210. If permits are not required, work must be completed within one year of the date this certificate was issued. If permits are required, permits must be obtained within one year of the date this certificate was issued.

3 pages of drawings follow



City of Milwaukee Preservation Staff

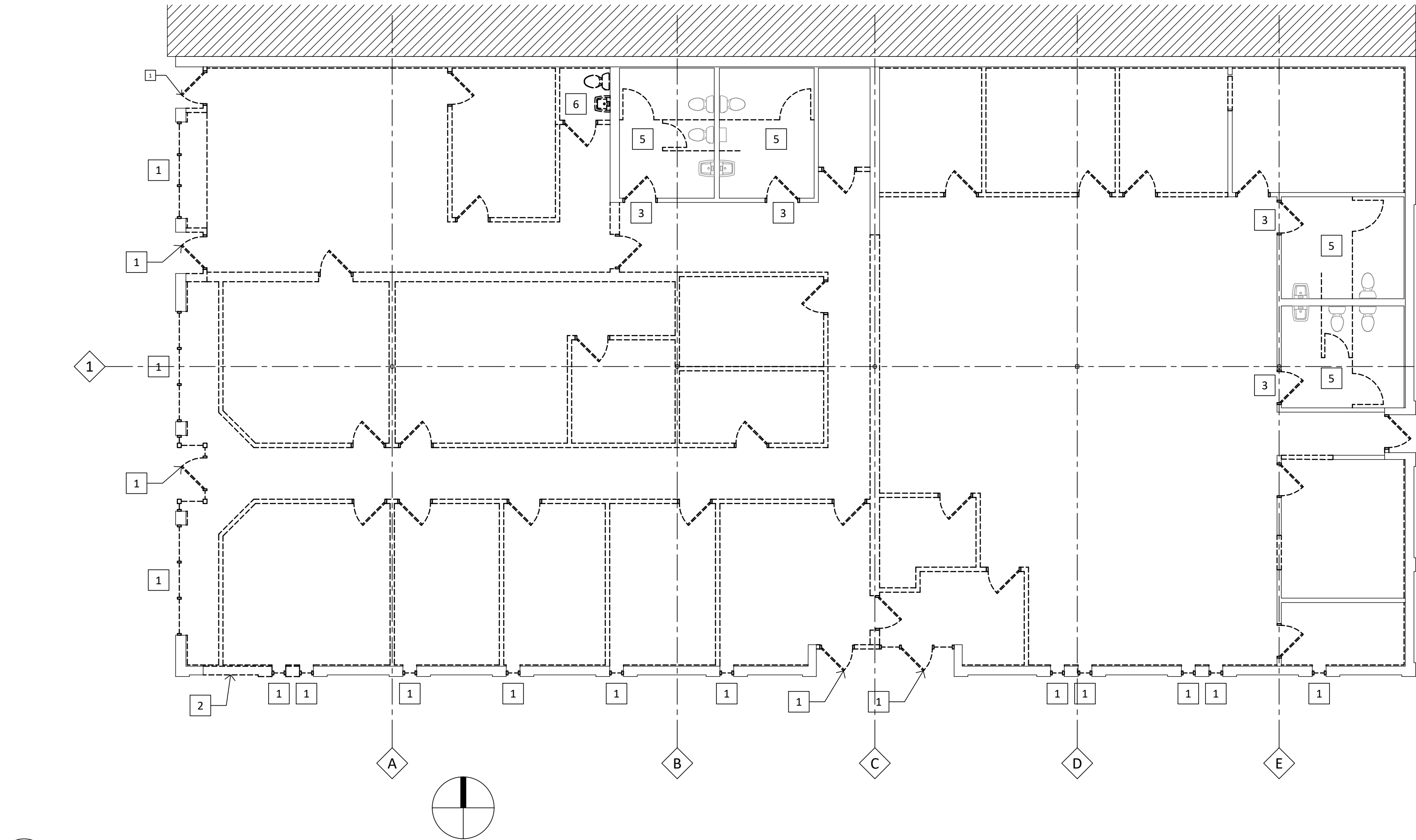


DEMOLITION PLAN GENERAL NOTES

- A. REMOVE ALL EXISTING FLOORING MATERIALS.  
B. REMOVE ALL EXISTING CEILINGS.  
C. REMOVE ALL EXISTING.  
D. REMOVE ALL EXISTING DOORS AND FRAMES SHOWN DASHED WITH EXCEPTION OF EXISTING FRAMES INDICATED TO REMAIN.  
E. REMOVE ALL EXISTING WALLS AND FURRING SHOWN DASHED.

DEMOLITION PLAN GENERAL NOTES

1	REMOVE EXISTING STOREFRONT WINDOW OR STOREFRONT ENTRY DOOR.
2	REMOVE EXTERIOR WALL.
3	REMOVE EXISTING DOOR - EXISTING FRAME TO REMAIN.
4	REMOVE EXISTING PARTITION / FURRING.
5	REMOVE EXISTING TOILET PARTITION.
6	REMOVE EXISTING PLUMBING FIXTURES.



02 DEMOLITION PLAN  
SCALE - 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- A. FLOOR PLAN DIMENSIONS ARE NOMINAL TAKEN FROM FACE OF WALLS.  
B. FINISHED FLOOR ELEVATION 100'-0" (ARCHITECTURAL).  
C. FURNITURE (SHOWN DASHED) BY OWNER - COORDINATE POWER REQUIREMENTS WITH OWNER.

FLOOR PLAN KEYED NOTES

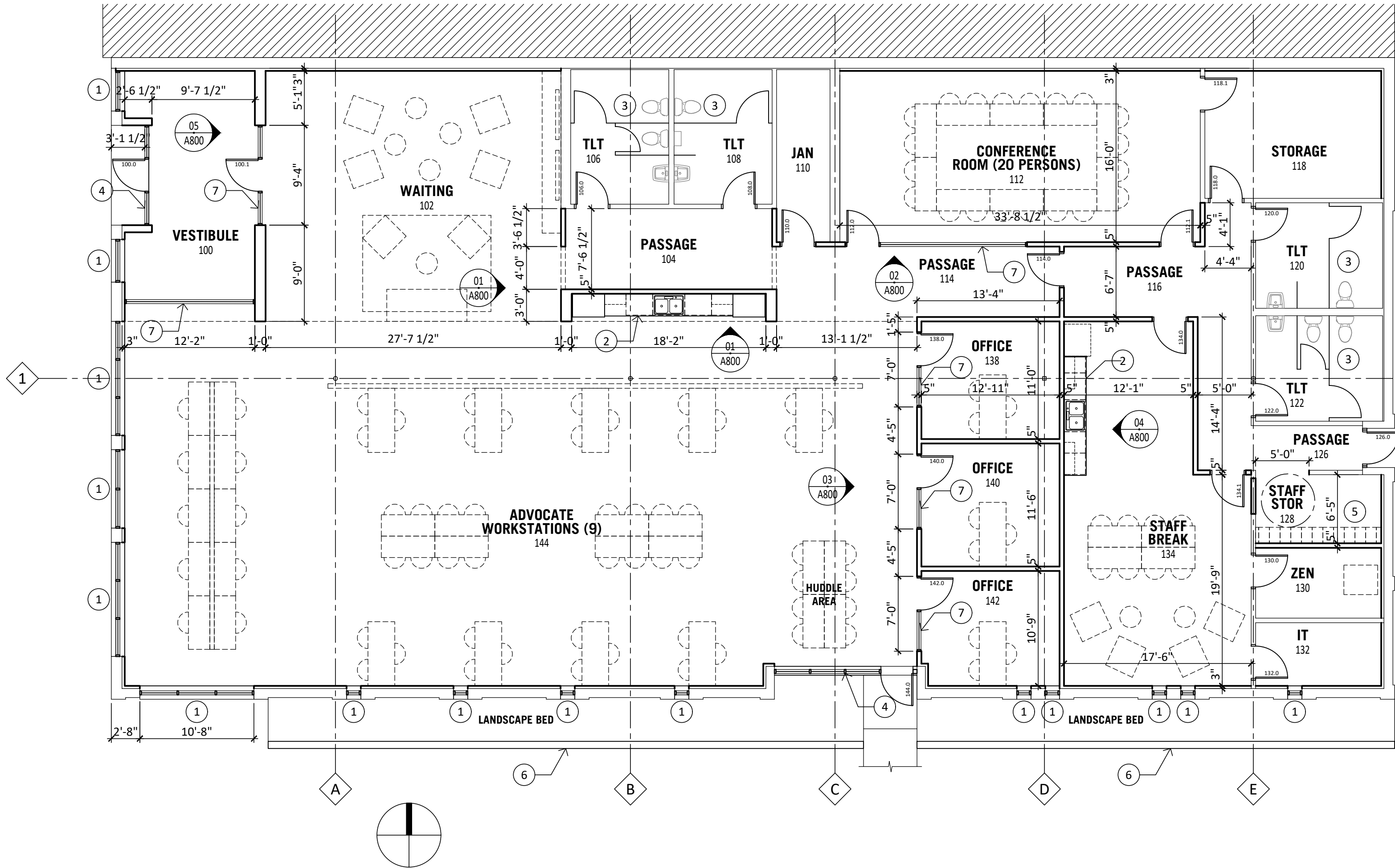
1	NEW STOREFRONT WINDOW AND PRECAST SILL
2	PLASTIC LAMINATE CASEWORK.
3	METAL TOILET PARTITIONS AND ACCESSORIES.
4	NEW STOREFRONT ENTRANCE SYSTEM.
5	STAFF LOCKERS - VERIFY COUNT WITH OWNER.
6	NEW 18" ABOVE GRADE CONCRETE LANDSCAPE WALL WITH BOARD FORMED TEXTURE.
7	INTERIOR ALUMINUM STOREFRONT FRAMING.

INTERIOR PARTITION DESCRIPTIONS

P1	INTERIOR FURRING - STEEL STUDS: 2" RIGID INSULATION WITH 3-5/8" STEEL STUDS AT 16" OC, (1) LAYER 5/8" GYPSUM BOARD. EXTEND FURRING FULL HEIGHT TO DECK ABOVE. EXTEND GYPSUM BOARD FULL HEIGHT TO DECK ABOVE EXCEPT AT CLG-2 EXTEND MIN 4" ABOVE CEILING.
P2	INTERIOR PARTITION - STEEL STUDS: 3-5/8" STEEL STUDS AT 16" OC, (1) LAYER 5/8" GYPSUM BOARD AT EACH EXPOSED SIDE. PROVIDE SOUND ATTENUATING BLANKET INSULATION. EXTEND PARTITIONS FULL HEIGHT TO DECK ABOVE. EXTEND GYPSUM BOARD FULL HEIGHT TO DECK ABOVE EXCEPT AT CLG-2 EXTEND MIN 4" ABOVE CEILING.
	INTERIOR PARTITION NOTES: 1. ALL INTERIOR WALLS TO BE (P2) UNLESS OTHERWISE NOTED. 2. ALL INTERIOR FURRING TO BE (P1) UNLESS OTHERWISE NOTED. 3. PROVIDE BLOCKING/BACKING FOR INSTALLATION OF ACCESSIBILITY ACCESSORIES AND WALL MOUNTED ITEMS INDICATED ON THE DRAWINGS INCLUDING AGENCY PROVIDED ITEMS. 4. PROVIDE ACOUSTICAL SEALANT AROUND ALL PENETRATIONS.

BUILDING CODE SUMMARY

BUILDING CODES	WISCONSIN BUILDING CODE WISCONSIN ACCESSIBILITY CODE	IBC 2015 - AMENDED ANSI A117.1; 2009
CONSTRUCTION TYPES	TYPE VB	
BUILDING AREA:	7,200 SF ALLOWABLE AREA At = 9,000 SF PER FLOOR.	
BUILDING HEIGHT:	ALLOWABLE HEIGHT: 40-FEET.	
OCCUPANCY CLASSIFICATION	BUSINESS GROUP B; NON-SEPARATED USES.	
DESIGN OCCUPANT LOAD	BUSINESS GROUP: 7,200 SF/ 100 = 72 OCCUPANTS	
COMMON PATH OF EGRESS	200-FEET ALLOWED	
ACCESSIBILITY	BUILDING IS FULLY ACCESSIBLE.	
FIRE PROTECTION SYSTEMS	NON-SPRINKLED. FIRE ALARM NOT REQUIRED. FIRE EXTINGUISHERS; TWO PROVIDED; NFPA 10 CLASS A; LIGHT HAZARD; 75-FEET MAX TRAVEL DISTANCE.	
EXIT TRAVEL DISTANCE (NS)	200-FEET.	
MIN PLUMBING FIXTURES	WC: THREE REQUIRED; TSIX PROVIDED. LAV: TWO REQUIRED; FOUR PROVIDED DF: POTABLE WATER PROVIDED AT REFRESHMENT STATION AND STAFF BREAK ROOM.	



01 FLOOR PLAN  
SCALE - 1/8" = 1'-0"

Project Name  
Hunger Task Force  
Mitchell Street Offices

Set Type  
Construction Documents

Date  
09-19-2024

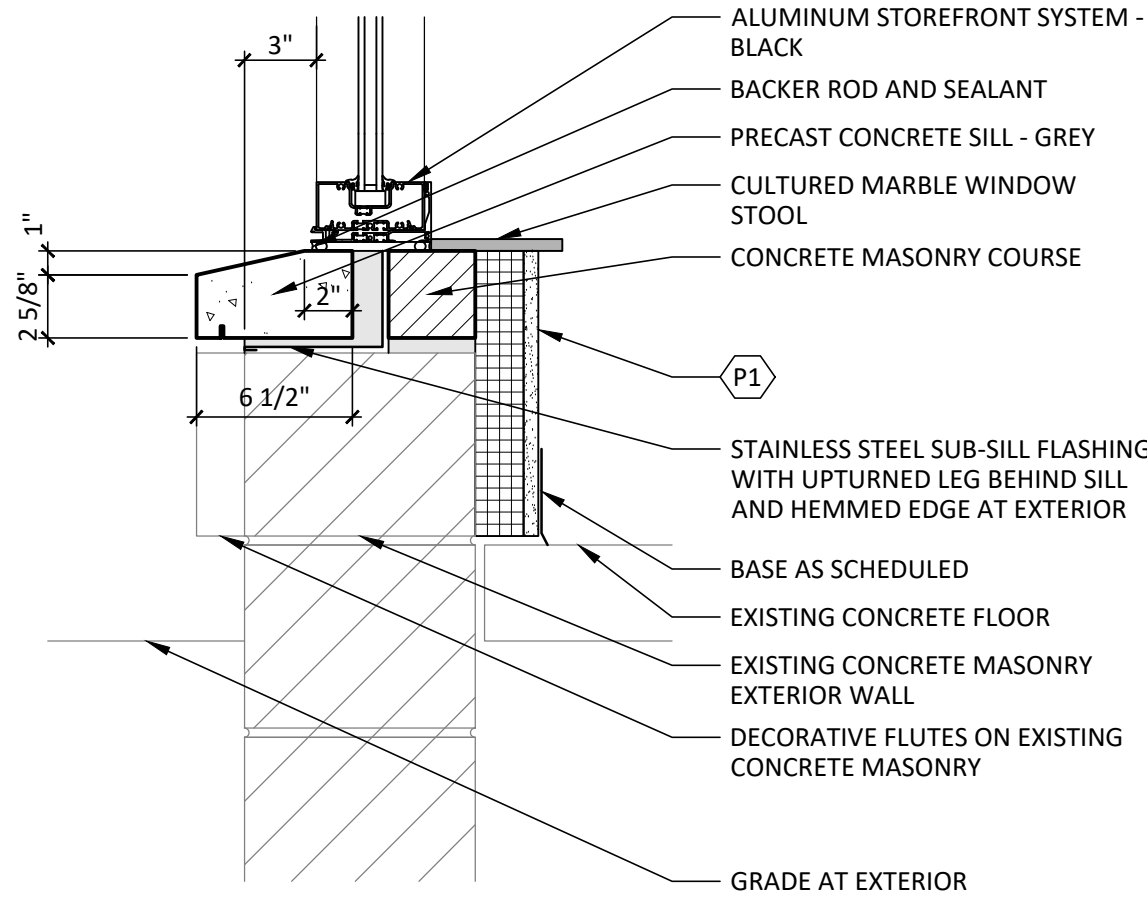
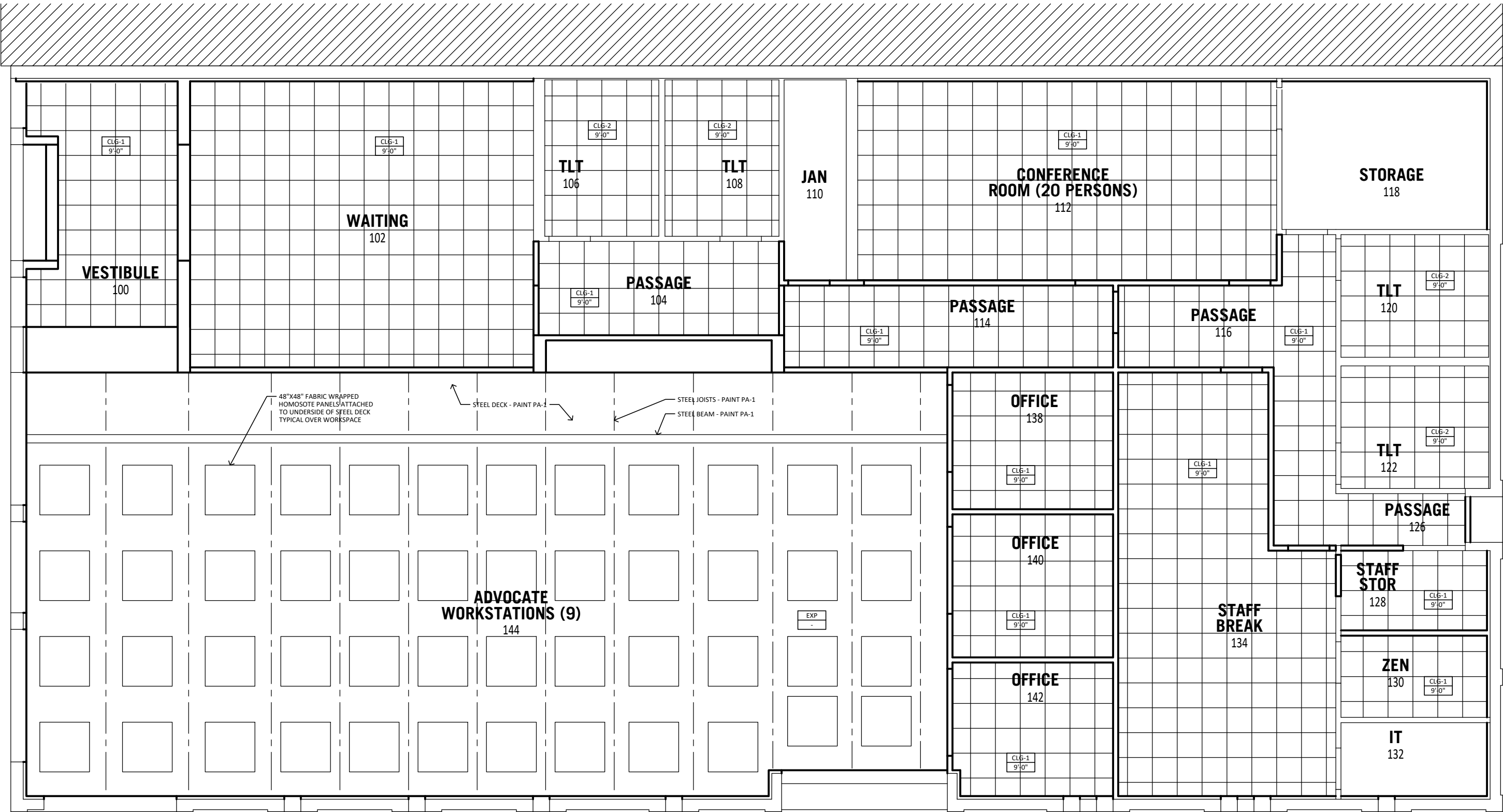
Project Number  
24004

Sheet Name  
Demolition Plan and  
Floor Plan

Sheet Number

REFLECTED CEILING PLAN GENERAL NOTES

- A. CENTER CEILING TILES IN ROOM.  
B. MINIMUM CEILING TILE DIMENSION AT WALLS AND PERIMETER = 4".



01 DEMOLITION PLAN

SCALE - 1/4" = 1'-0"

02 WINDOW SILL AT EXISTING EXTERIOR WALL

AT VESTIBULE GLAZING

SCALE - 1 1/2" = 1'-0"

03 SOUTH EXTERIOR ELEVATION

SCALE - 3/16" = 1'-0"

04 NORTH EXTERIOR ELEVATION

SCALE - 3/16" = 1'-0"

05 EAST EXTERIOR ELEVATION

SCALE - 3/16" = 1'-0"

FLOOR PLAN KEYED NOTES

- 1 NEW MASONRY INFILL - FINISH AND PAINT TO MATCH EXISTING.  
2 NEW PRECAST CONCRETE SILL.  
3 NEW MASONRY OPENING BY MASONRY CONTRACTOR.  
4 NEW STOREFRONT WINDOW.  
5 NEW STOREFRONT ENTRANCE.  
6 NEW HOLLOW METAL DOOR AND FRAME.

Project Name  
Hunger Task Force  
Mitchell Street Offices

Set Type  
Construction Documents

Date  
09-19-2024

Project Number  
24004

Sheet Name  
Demolition Plan and  
Floor Plan

Sheet Number

131 W. Seeboth St., Suite 230  
Milwaukee, WI 53204

ROOM NUMBER	ROOM NAME	FLOORS		NORTH WALL		SOUTH WALL		EAST WALL		WEST WALL		CEILING		WINDOW TREATMENTS	REMARKS
		TYPE	BASE	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH		
100	VESTIBULE	CPT-1	RB-1	GYP	PA	GLAZING	-	GLAZING	-	GLAZING	---	CLG-2	---	---	---
102	WAITING	CPT-2	RB-1	GYP	PA	---	---	GYP	PA	GLAZING	---	CLG-2	---	---	---
104	PASSAGE	CPT-2	RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	CLG-1	---	---	---
106	TLT	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	CLG-1	---	---	---
108	TLT	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	CLG-1	---	---	---
110	JAN	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	---	---	---
112	CONFERENCE ROOM	CPT-3	RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	CLG-1	---	---	---
114	PASSAGE	CPT-2	RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	CLG-1	---	---	---
116	PASSAGE	CPT-2	RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	CLG-1	---	---	---
118	STORAGE		RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	EXST	---	---	---
120	TLT	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	CLG-1	---	---	---
122	TLT	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	CLG-1	---	---	---
126	PASSAGE	CPT-2	RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	CLG-1	---	---	---
128	STAFF STORAGE	CPT-2	RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	CLG-1	---	---	---
130	ZEN	CPT-2	RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	CLG-1	---	---	---
132	IT	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	---	---	---
134	STAFF BREAK	LVP-1	RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	CLG-1	---	WT-1	---
138	OFFICE	CPT-3	RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	CLG-1	---	---	---
140	OFFICE	CPT-3	RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	CLG-1	---	---	---
142	OFFICE	CPT-3	RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	CLG-1	---	WT-1	---
144	ADVOCATE WORK	SV-1	RB-1	GYP	PA	GYP	PA	GYP	PA	GYP	PA	EXPOSED	PA	WT-1	---

## A

## 1

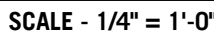
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A	IG = INSULATING GLASS
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B MG = MONOLITHIC FLOAT GLASS TEMPERED

## 1

KEYNOTE	DESCRIPTION	BASIS OF DESIGN PRODUCT
PLAM-1	PLASTIC LAMINATE CASEWORK	FORMICA, 1547-PG NOIR CEDAR, PURE GRAIN TEXTURE.
PLAM-2	PLASTIC LAMINATE CASEWORK	FORMICA, 1545-PG RAW CEDAR, PURE GRAIN TEXTURE.
SS-1	SOLID SURFACE COUNTERTOP	CORIAN, COLOR = ARROWROOT.
RB-1	RESILIENT BASE	TARKETT, COVED BASE, 4" PROFILE, 63 BURNT UMBER B.
CLG-1	ACOUSTICAL CEILING TILES (2X2)	ARMSTRONG, CIRRUS, 24 X 24 BEVELED TEGULAR LAY-IN CEILING PANELS.
CLG-2	ACOUSTICAL CEILING TILES (2X2 MOISTURE RESISTANT)	PAINTED GYPSUM BOARD PANELS
CPT-1	CARPET TILE	TBD
CPT-2	CARPET TILE	TBD
CPT-3	CARPET TILE	TBD
PA-1	PAINT (CEILINGS)	SHERWIN WILLIAMS - SW7069 IRON ORE, FLAT SHEEN.
PA-2	PAINT (PRIMARY INTERIOR)	SHERWIN WILLIAMS - SW 9166 DRIFT OF MIST, EG-SHEL SHEEN.
PA-3	PAINT (ACCENT INTERIOR)	SHERWIN WILLIAMS - SW 7051 ANALYTICAL GRAY, EG-SHEL SHEEN.
PA-4	PAINT (ACCENT INTERIOR)	SHERWIN WILLIAMS - SW 6207 RETREAT, EG-SHEL SHEEN.
PA-5	PAINT (ACCENT INTERIOR)	SHERWIN WILLIAMS - SW7069 IRON ORE, SEMI-GLOSS SHEEN.
WT-1	MESH ROLLER SHADES	VERIFY MANUFACTURER



SCALE - 1/4" = 1'-0"



**SCALE - 1/4" = 1'-0"**



**SCALE - 1/2" = 1'-0"**

**Set Type**

Construction Documents

Sheet Name  
Interior Elevations and Schedules

Sheet Number

# A800