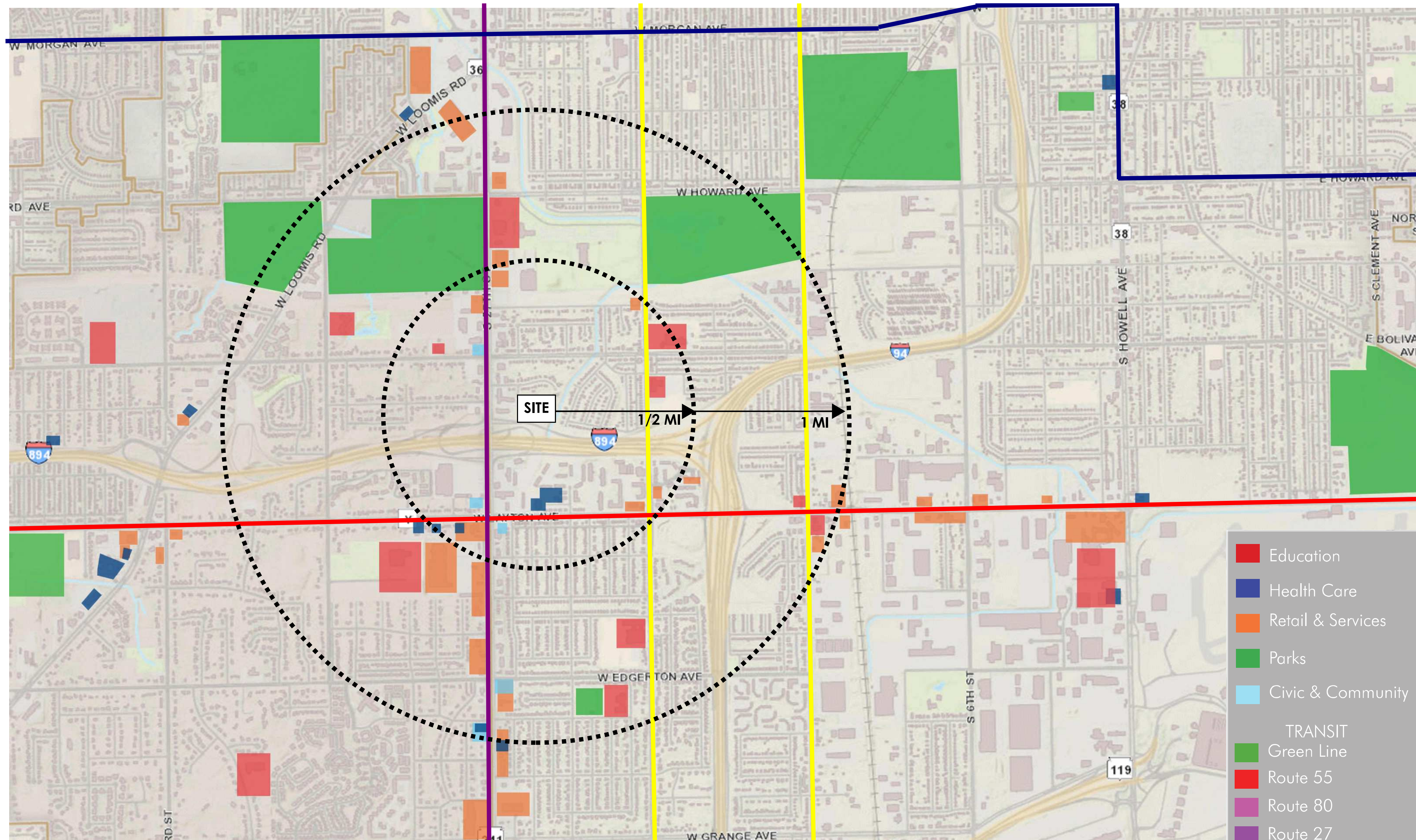


- Education**
  - Ronald Reagan High School
  - Cooper Elementary School
  - Greenfield Middle School
- Health Care**
  - Aurora Advanced Health Care
  - Wheaton Franciscan Medical Group
  - Metro Physicians
  - Med Pointe Family Care Center
- Retail & Services**
  - Target
  - Kohls
  - Walgreens
  - CVS Pharmacy
  - Carquest
  - Ashley Furniture HomeStore
  - Big City Pizza
  - Mario's Italian Grill
- Civic and Community**
  - US Post Office
  - US Bank
  - Garanty Bank
  - Adoration Evangelical Lutheran Church
  - St. Roman Parish
  - Islamic Society of Milwaukee
  - Masjid Al-Huda
- Parks**
  - Wilson Park
  - Arlington Cemetary
  - Morgandale Park
  - Cooper Park
  - Haker Park
  - Zablocki Park
  - Whittier Park
  - Mitchell Airport Park



VICINITY MAP



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
T 414.277.9700 | F 414.277.9705  
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJIN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

SHEET

VICINITY PLAN

A060



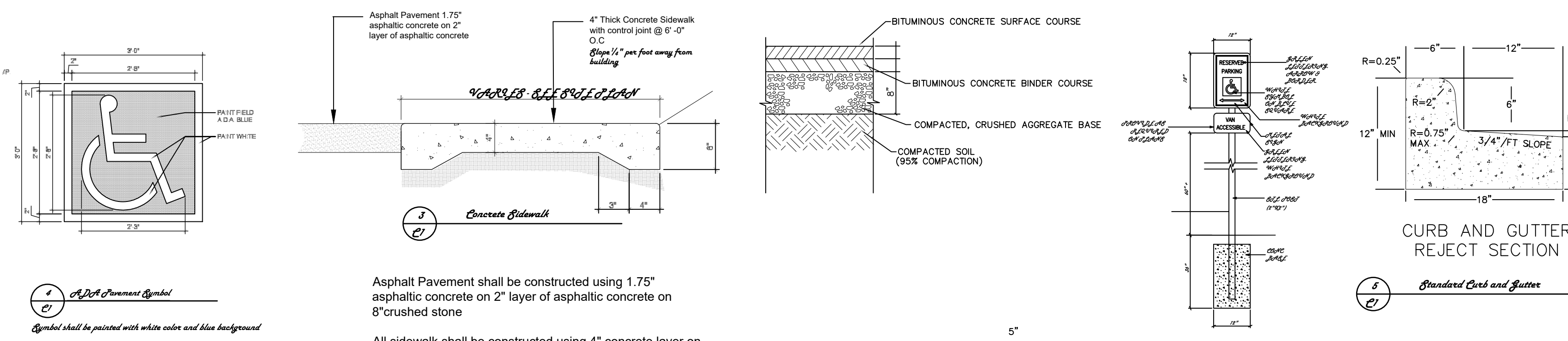
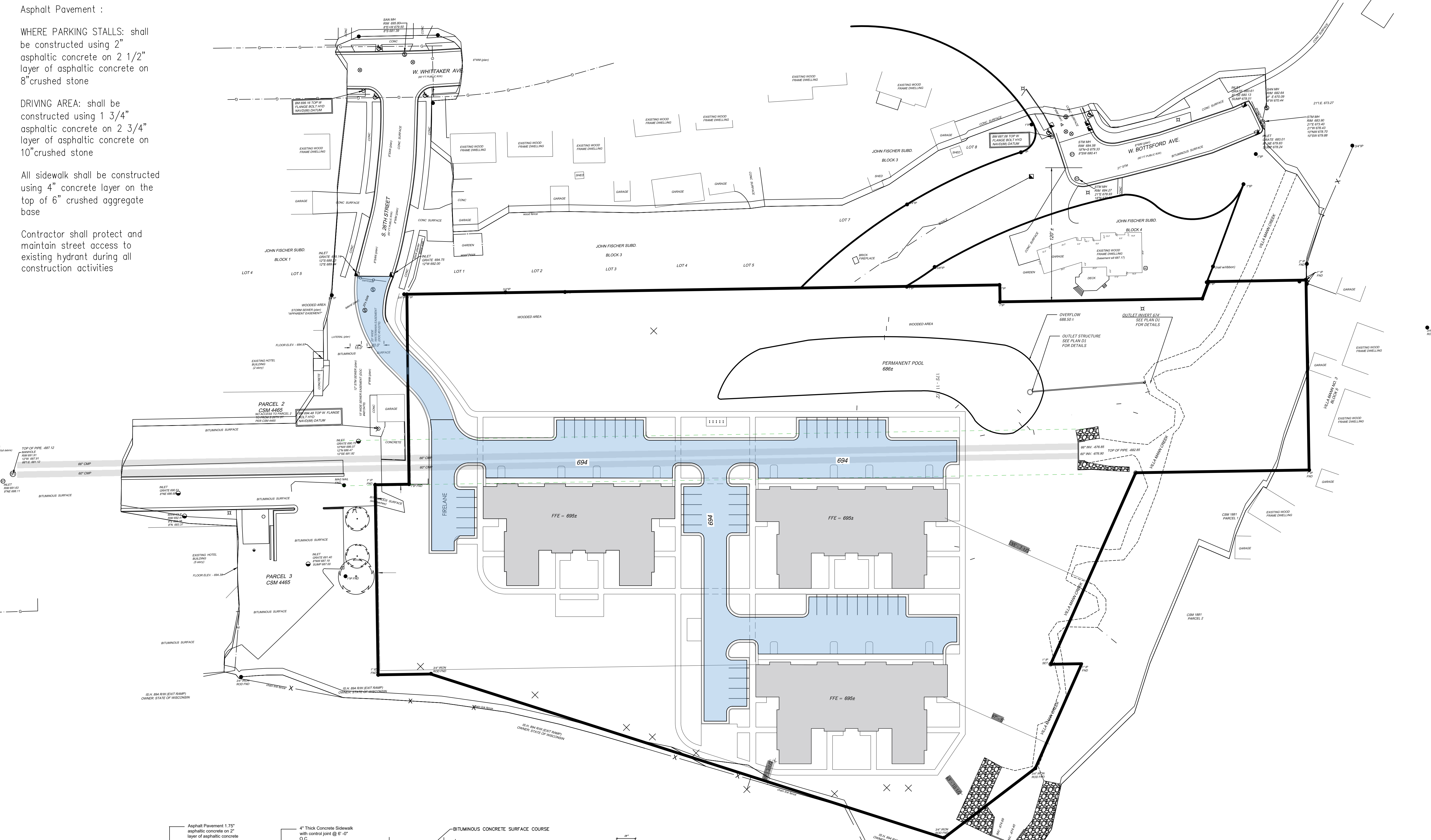
Asphalt Pavement :

WHERE PARKING STALLS: shall be constructed using 2" asphaltic concrete on 2 1/2" layer of asphaltic concrete on 8" crushed stone

DRIVING AREA: shall be constructed using 1 3/4" asphaltic concrete on 2 3/4" layer of asphaltic concrete on 10" crushed stone

All sidewalk shall be constructed using 4" concrete layer on the top of 6" crushed aggregate base

Contractor shall protect and maintain street access to existing hydrant during all construction activities



Asphalt Pavement shall be constructed using 1.75" asphaltic concrete on 2" layer of asphaltic concrete on 8" crushed stone

All sidewalk shall be constructed using 4" concrete layer on the top of 6" crushed aggregate base

Contractor shall protect and maintain street access to existing hydrant during all construction activities

ADA Permanent Symbol  
Symbol shall be painted with white color and blue background  
Note: See Site Plan for Locations  
Not to Scale

ADA Parking Sign  
Note: See Site Plan for Locations  
Scale: 1" = 20'

ETn Engineering  
2504 W Bridge Street  
Milwaukee  
Wisconsin 53221  
Phone: 414-324-4129  
EMADNAD@ETNENGINEERING.COM

DRAWN	ETN	DATE	09/30/19
CHECKED		DATE	
APPROVED		DATE	
PROJECT MANAGER		DATE	

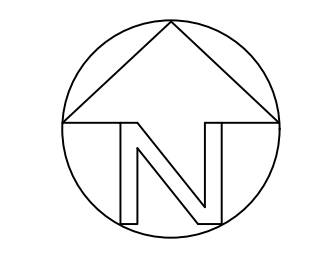
**NABIL SALOUS**  
**THE GARDENS APARTMENT BUILDING**  
4450 S 27TH ST  
MILWAUKEE, WI

SCALE  
1" = 40'



**SITE PLAN**

**C1**

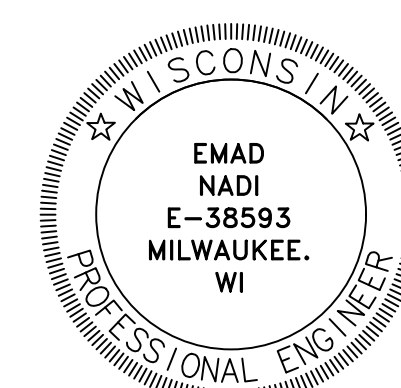




DRAWN	ETN	DATE	06/13/19
CHECKED		DATE	
APPROVED		DATE	
PROJECT MANAGER		DATE	

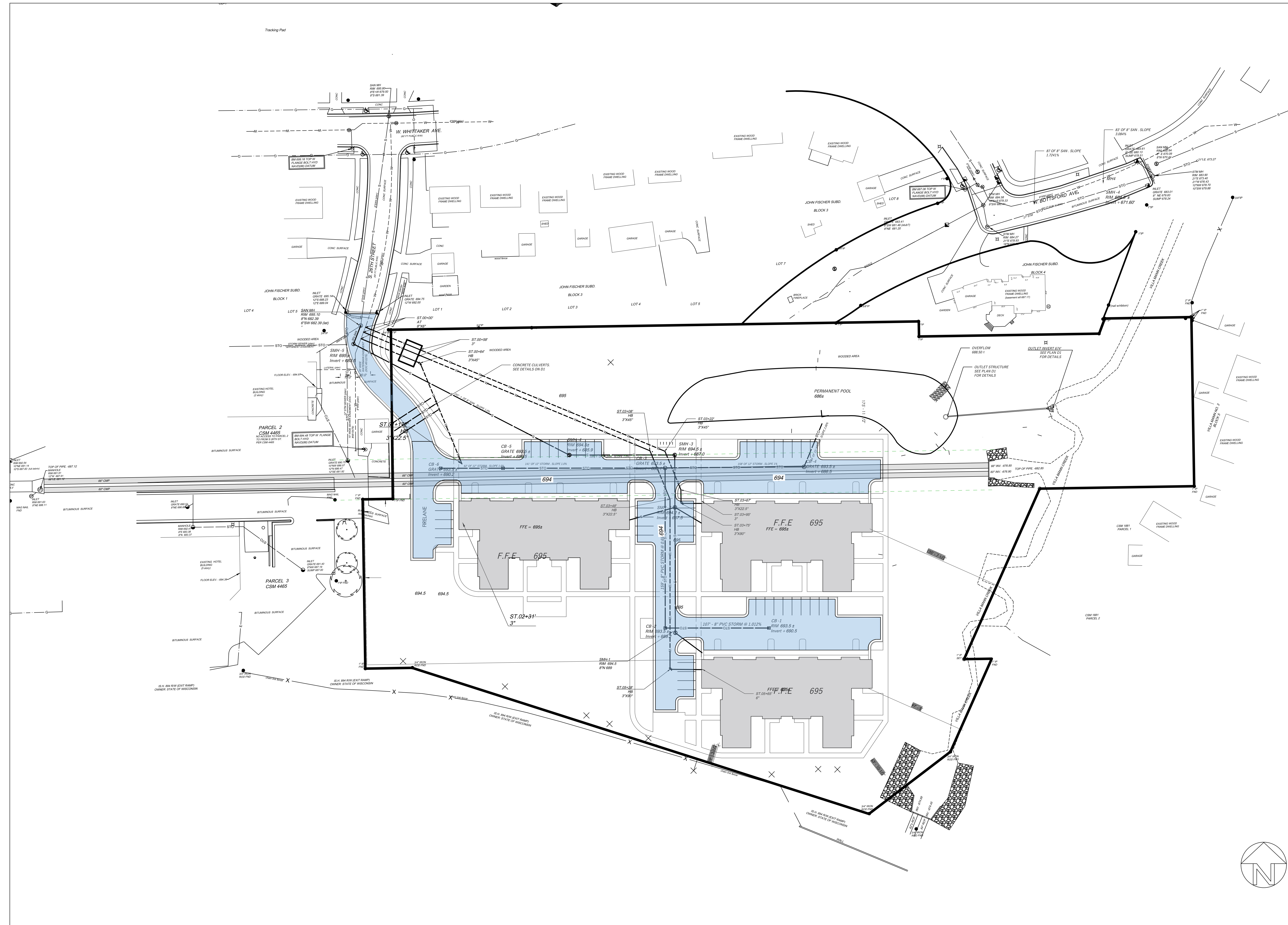
**NABIL SALOUS**  
**THE GARDENS APARTMENT BUILDING**  
**4450 S 27TH ST**  
**MILWAUKEE, WI**

SCALE  
1" = 40'



**UTILITY PLAN**

**C2**





ETn Engineering  
2504 W Bridge Street  
Milwaukee  
Wisconsin 53221

Phone: 414-324-4129  
EMADNADI@ETNENGINEERING.COM

DRAWN: ETN DATE: 09/30/19

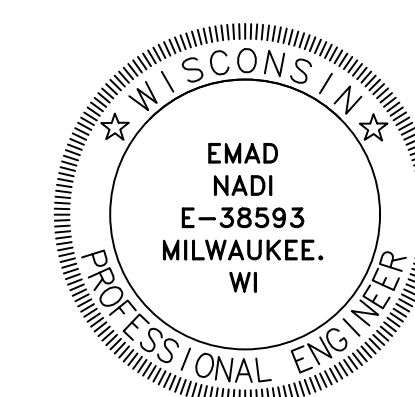
CHECKED: DATE:

APPROVED: DATE:

PROJECT MANAGER: DATE:

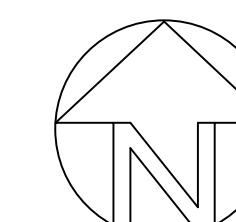
**NABIL SALOUS**  
**THE GARDENS APARTMENT BUILDING**  
**4450 S 27TH ST**  
**MILWAUKEE, WI**

SCALE  
1" = 40'



**GRADING PLAN**

**C3**

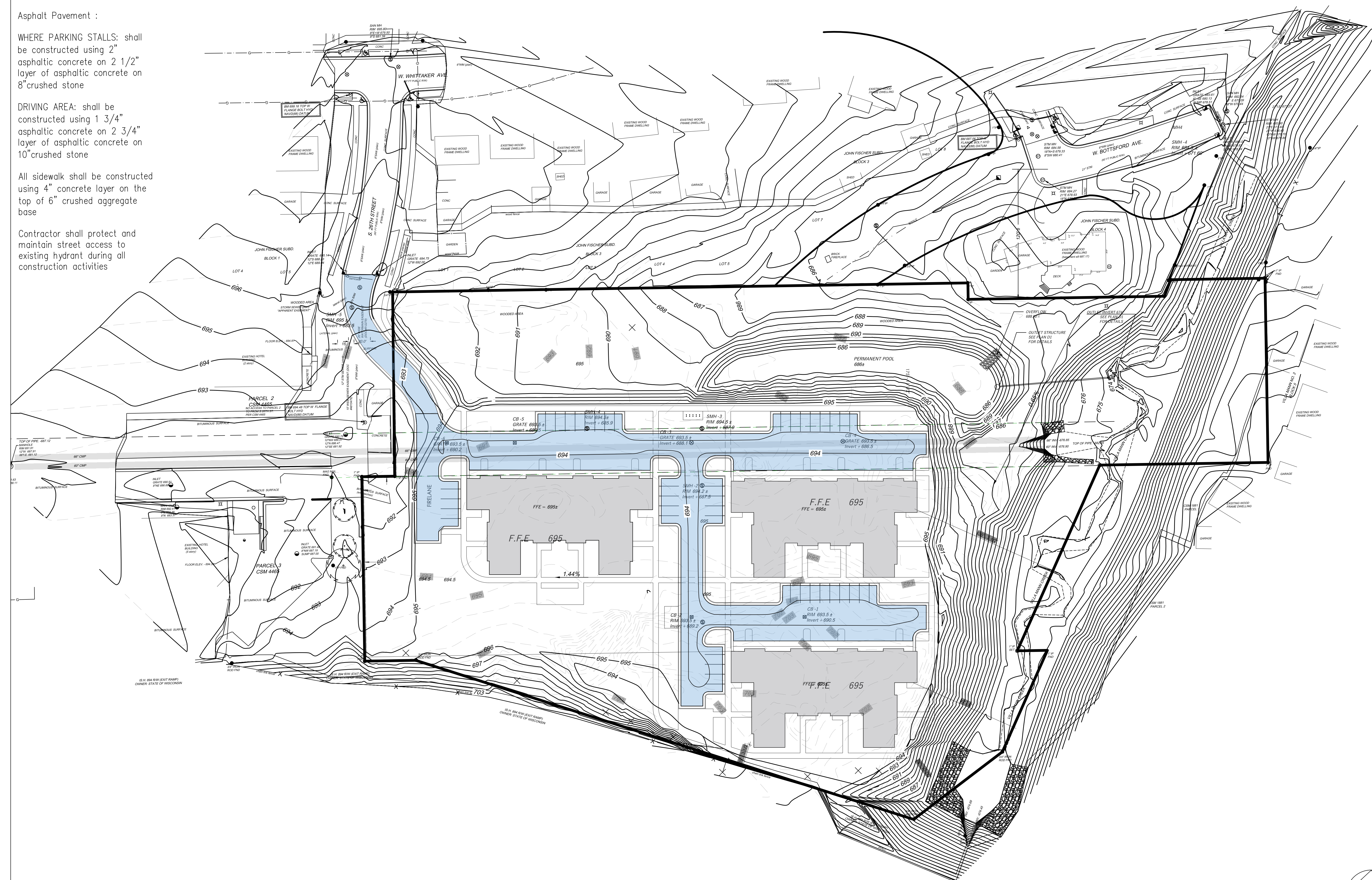


Asphalt Pavement :  
WHERE PARKING STALLS: shall be constructed using 2" asphaltic concrete on 2 1/2" layer of asphaltic concrete on 8" crushed stone

DRIVING AREA: shall be constructed using 1 3/4" asphaltic concrete on 2 3/4" layer of asphaltic concrete on 10" crushed stone

All sidewalk shall be constructed using 4" concrete layer on the top of 6" crushed aggregate base

Contractor shall protect and maintain street access to existing hydrant during all construction activities





DRAWN	ETN	DATE	08/23/19
CHECKED		DATE	
APPROVED		DATE	
PROJECT MANAGER		DATE	

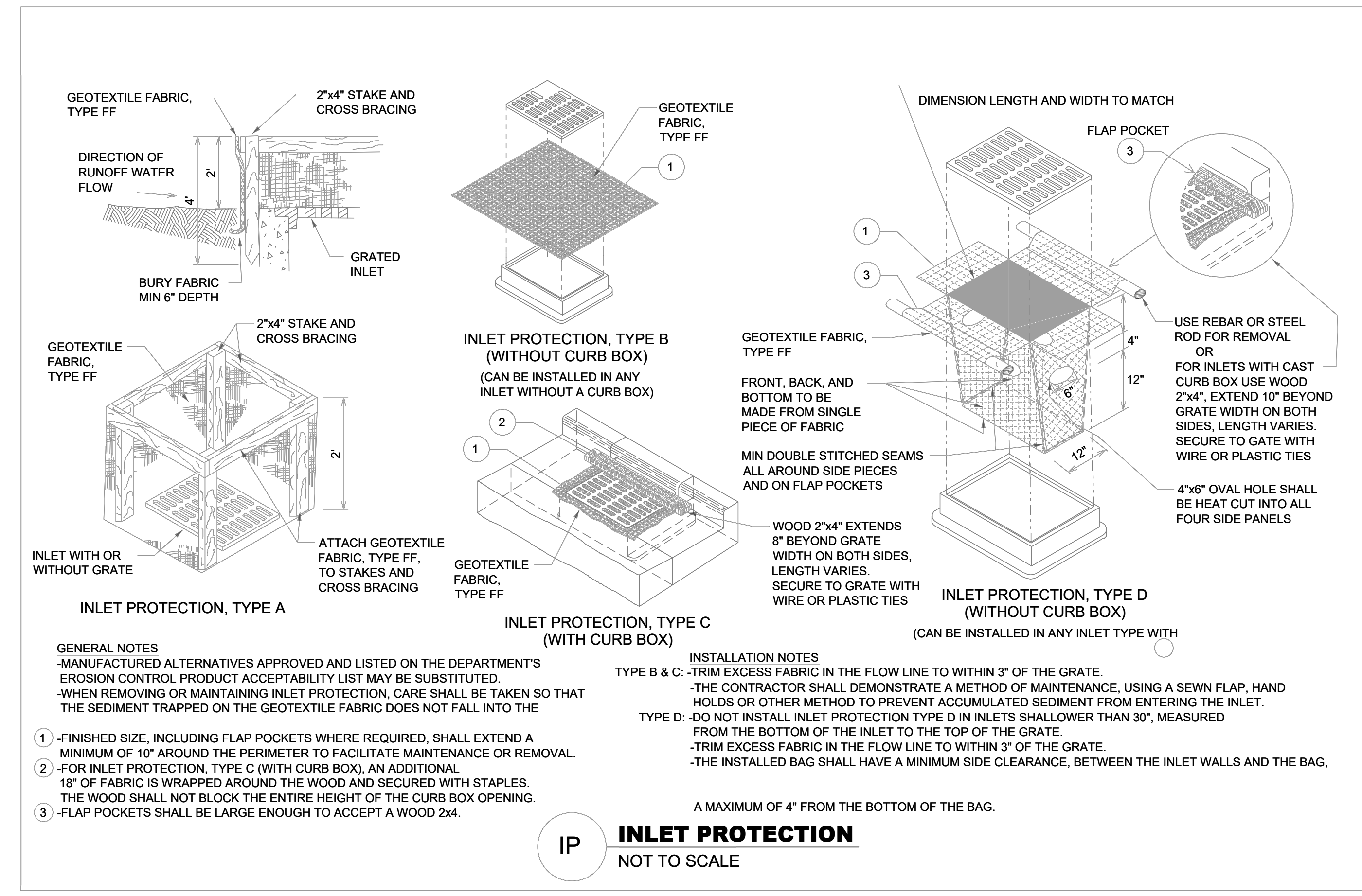
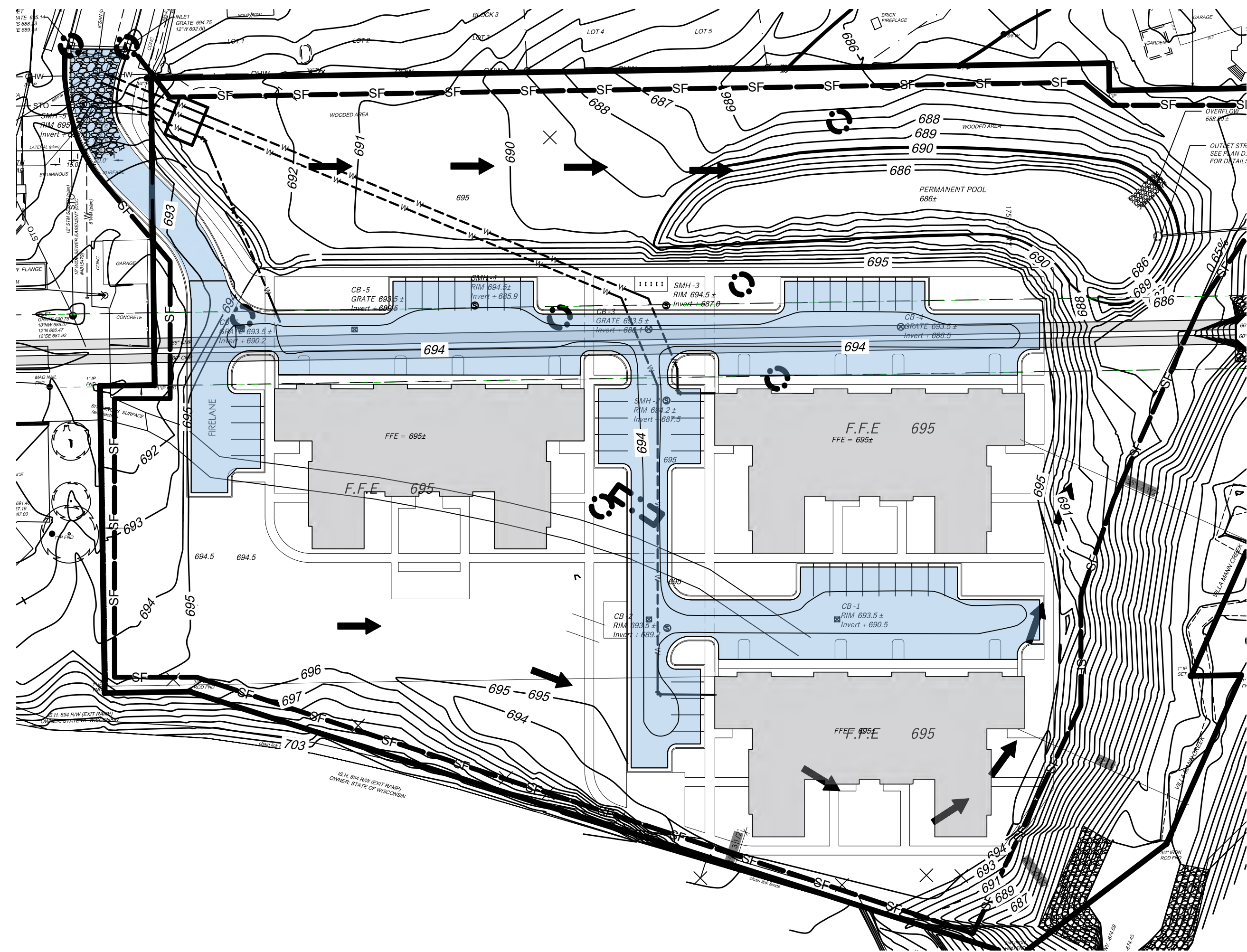
**NABIL SALOUS**  
**THE GARDENS APARTMENT BUILDING**  
**4450 S 27TH ST**  
**MILWAUKEE, WI**

SCALE  
1" = 40'

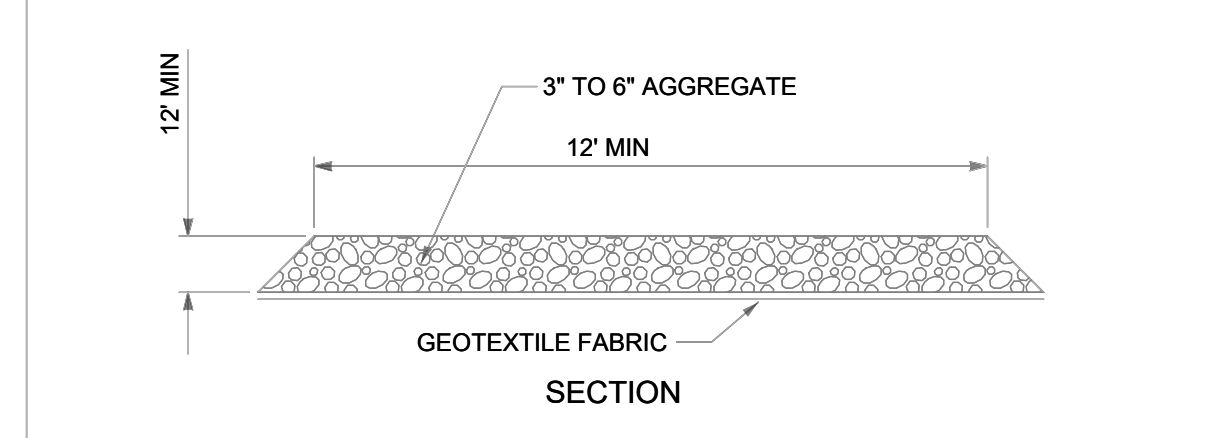
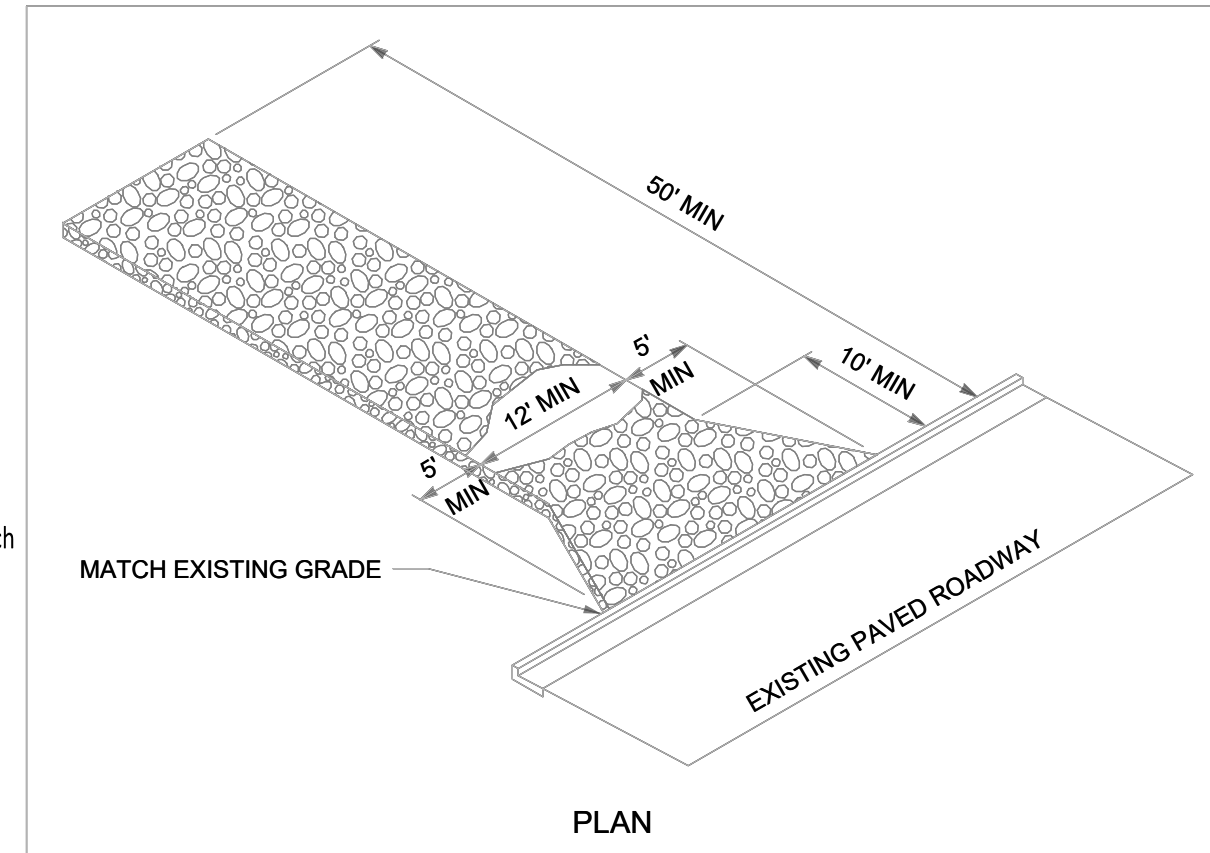
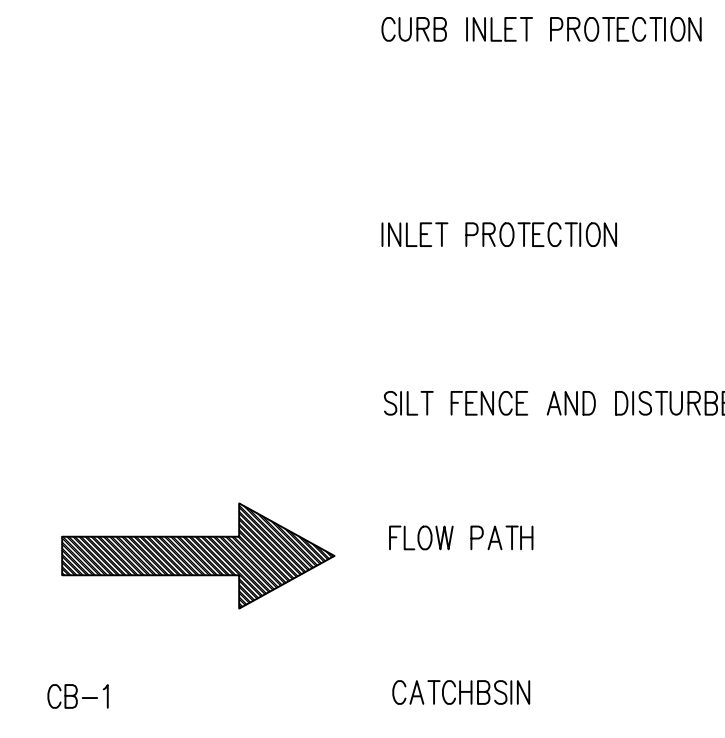


**EROSION CONTROL**

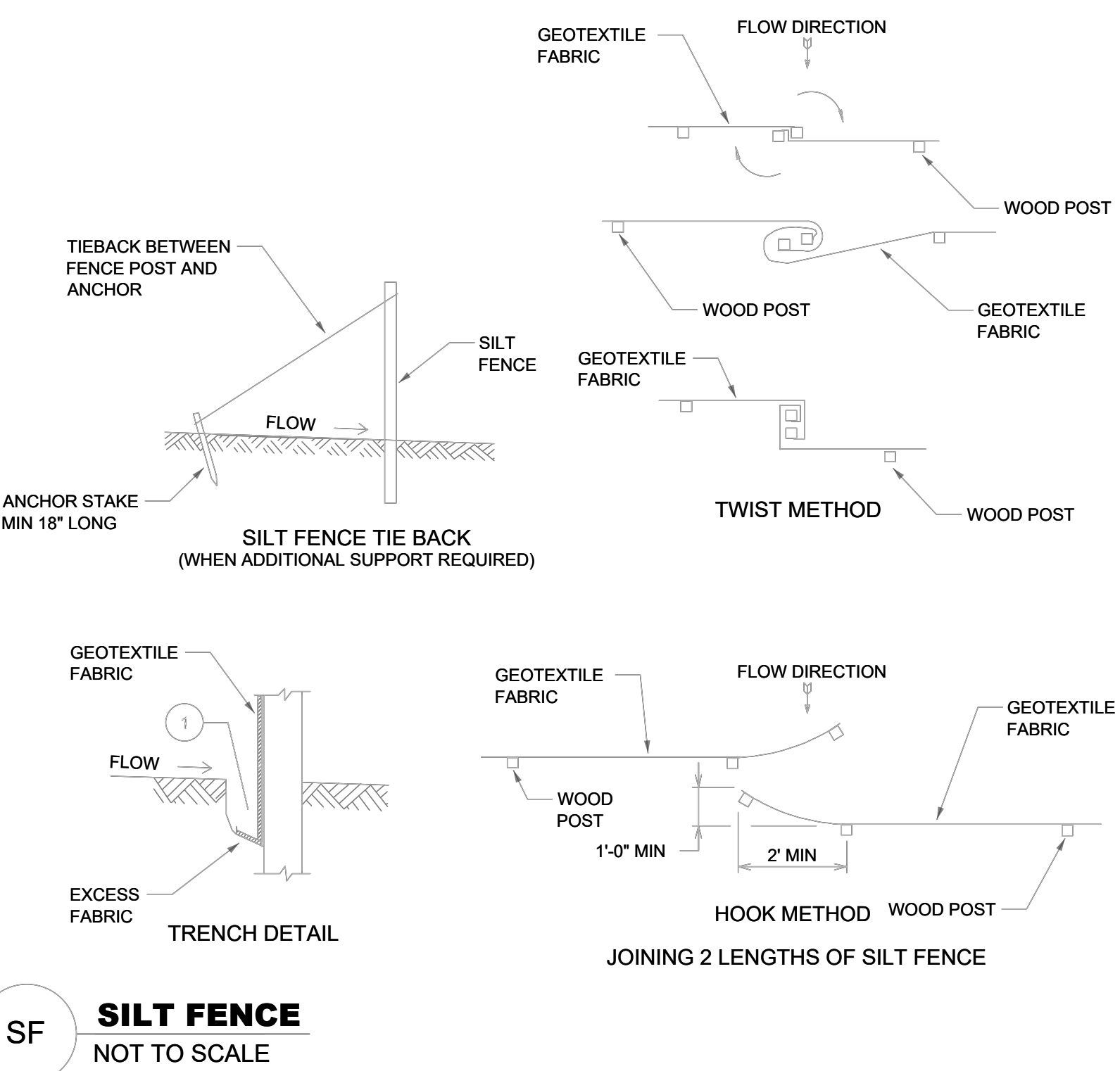
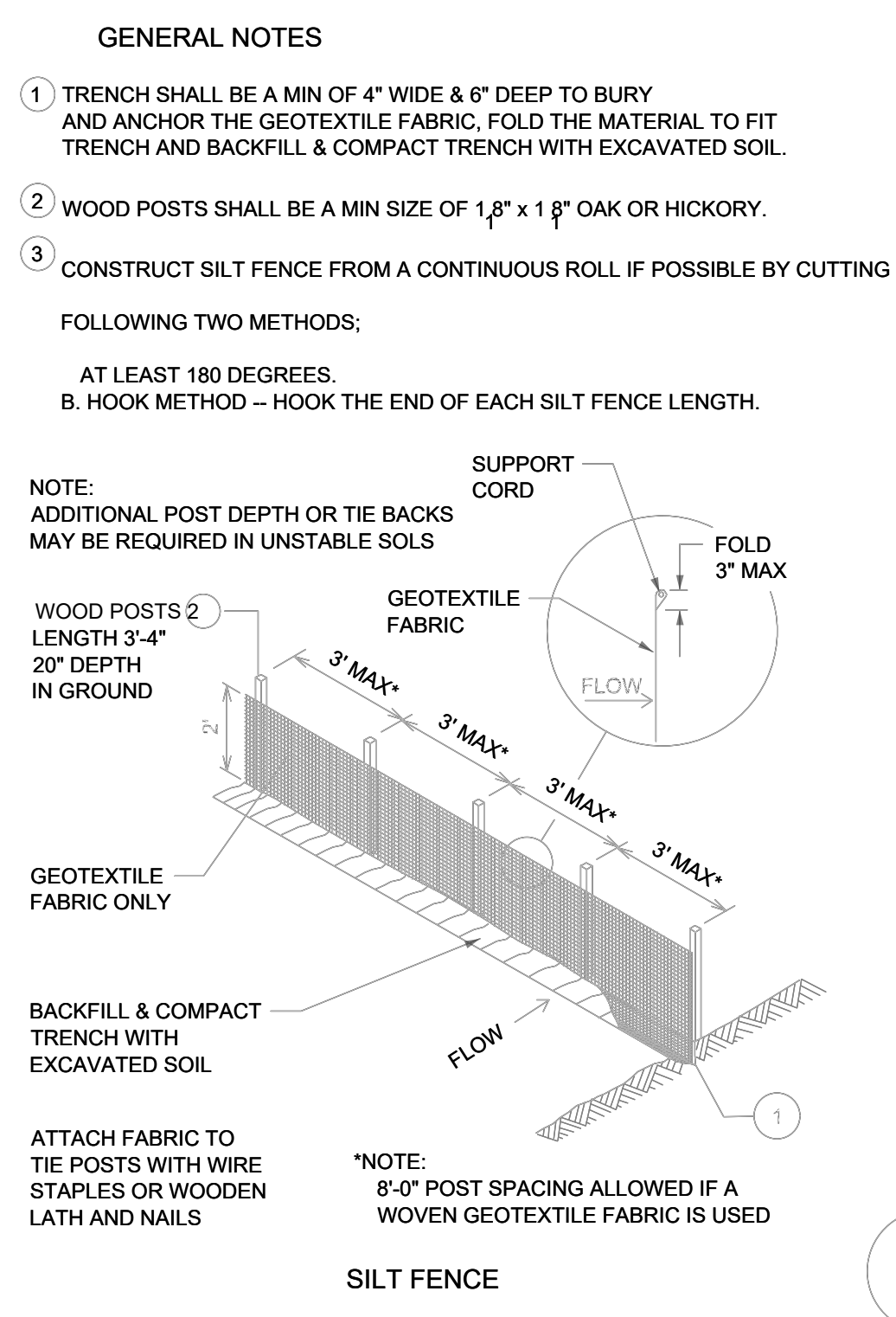
**C4**



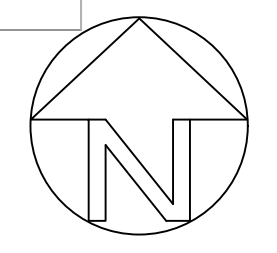
- Obtain plan approval and other applicable permits.
  - Where applicable, sawcut pavement line and remove enough pavement to install silt fence
  - Install construction exit
  - Strip asphalt surface
  - Install inlet protection around the existing storm inlet
  - Continue rough grading for proposed improvement including temporary sedimentation basin
  - Install site utilities ( If needed)
  - Install base course
  - Construct proposed building
  - Complete first lift of asphalt, sidewalk and all proposed curb and gutter
  - Final grade, topsoil, planting, sodding and seeding
  - Any exposed soil areas not disturbed for more than 7 days will be restored with seed and mulch
  - Estimated time to complete the project is 4 months
- All erosion control practices will be inspected for functionality following every 1/2" rain event and at least once a week.
  - All seeded areas will be watered, fertilized, mulched and re-seeded as needed
  - All sediments reached public roads will be cleaned and removed before the end of each day to prevent sediments entering city sewer system



**CE CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**SF SILT FENCE**  
NOT TO SCALE





Tracking Pad

ETn Engineering  
2504 W Bridge Street  
Milwaukee  
Wisconsin 53221

Phone: 414-324-4129  
EMADNAD@ETNENGINEERING.COM

DRAWN: ETN DATE: 09/30/19

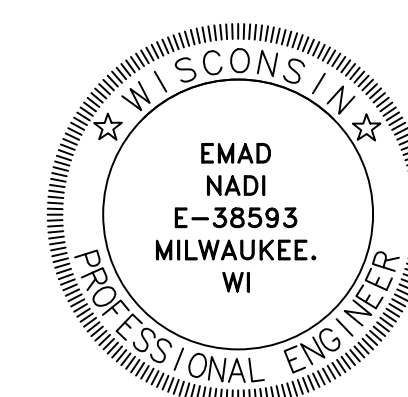
CHECKED: DATE:

APPROVED: DATE:

PROJECT MANAGER: DATE:

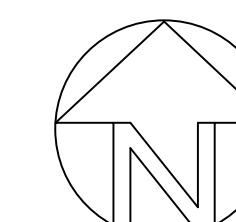
**NABIL SALOUS**  
**THE GARDENS APARTMENT BUILDING**  
4450 S 27TH ST  
MILWAUKEE, WI

SCALE  
1" = 40'



**PROPOSED  
CONDITIONS**

**C5**



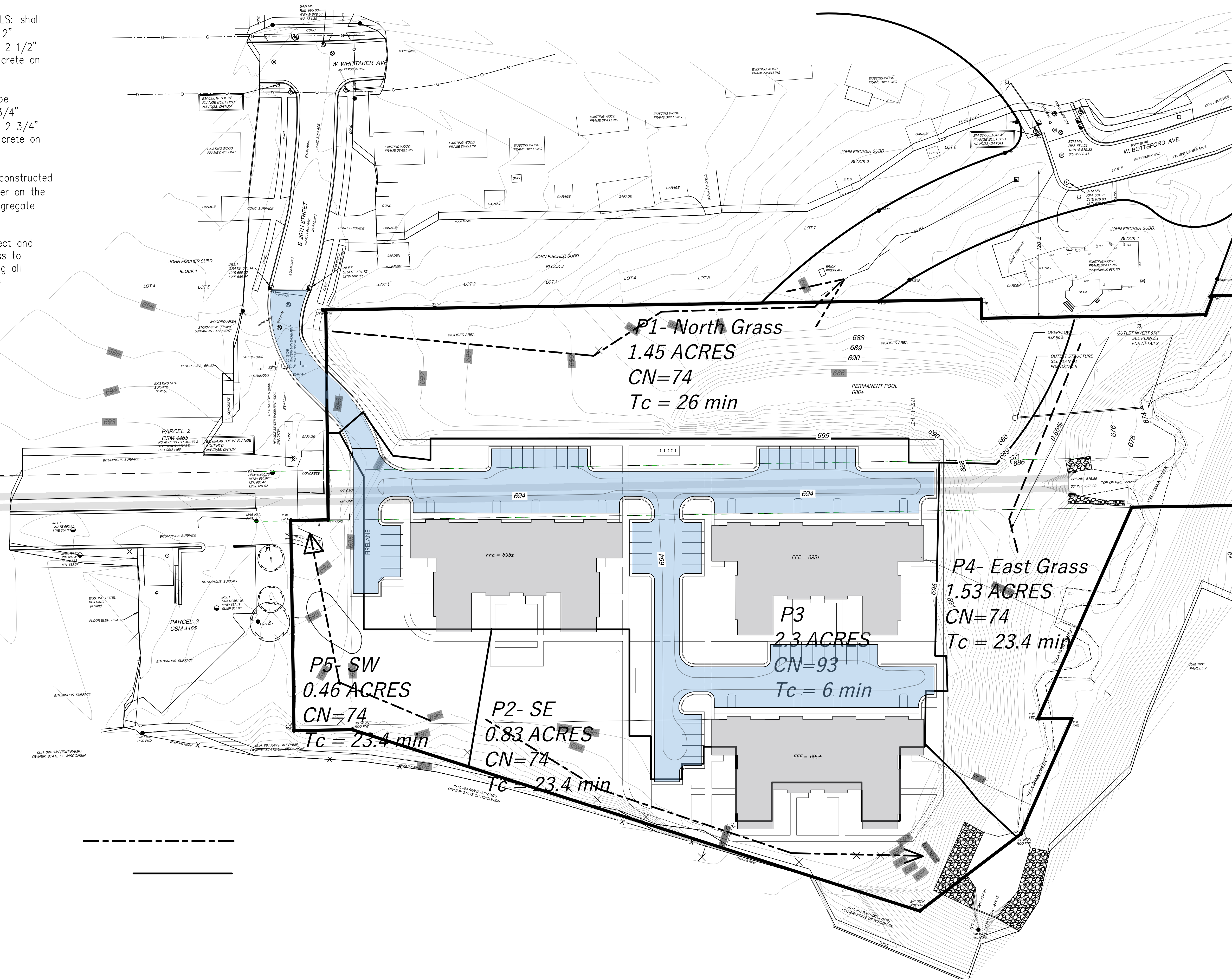
Asphalt Pavement :

WHERE PARKING STALLS: shall be constructed using 2" asphaltic concrete on 2 1/2" layer of asphaltic concrete on 8" crushed stone

DRIVING AREA: shall be constructed using 1 3/4" asphaltic concrete on 2 3/4" layer of asphaltic concrete on 10" crushed stone

All sidewalk shall be constructed using 4" concrete layer on the top of 6" crushed aggregate base

Contractor shall protect and maintain street access to existing hydrant during all construction activities



**P1- North Grass**  
**1.45 ACRES**  
**CN=74**  
**Tc = 26 min**

**P4- East Grass**  
**1.53 ACRES**  
**CN=74**  
**Tc = 23.4 min**

**P3**  
**2.3 ACRES**  
**CN=93**  
**Tc = 6 min**

**P5- SW**  
**0.46 ACRES**  
**CN=74**  
**Tc = 23.4 min**

**P2- SE**  
**0.83 ACRES**  
**CN=74**  
**Tc = 23.4 min**



ETn Engineering  
2504 W Bridge Street  
Milwaukee  
Wisconsin 53221

Phone: 414-324-4129  
EMADNADI@ETNENGINEERING.COM

DRAWN: ETN DATE: 09/30/19

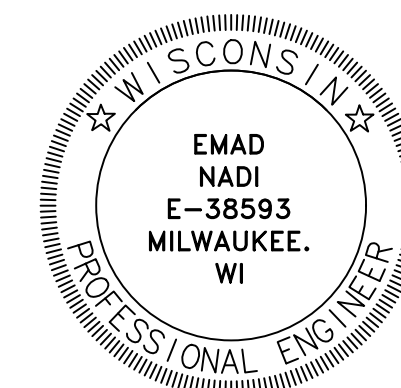
CHECKED: DATE:

APPROVED: DATE:

PROJECT MANAGER: DATE:

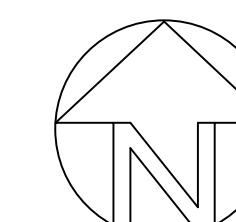
**NABIL SALOUS**  
**THE GARDENS APARTMENT BUILDING**  
4450 S 27TH ST  
MILWAUKEE, WI

SCALE  
1" = 40'



**EXISTING  
CONDITIONS**

**C6**



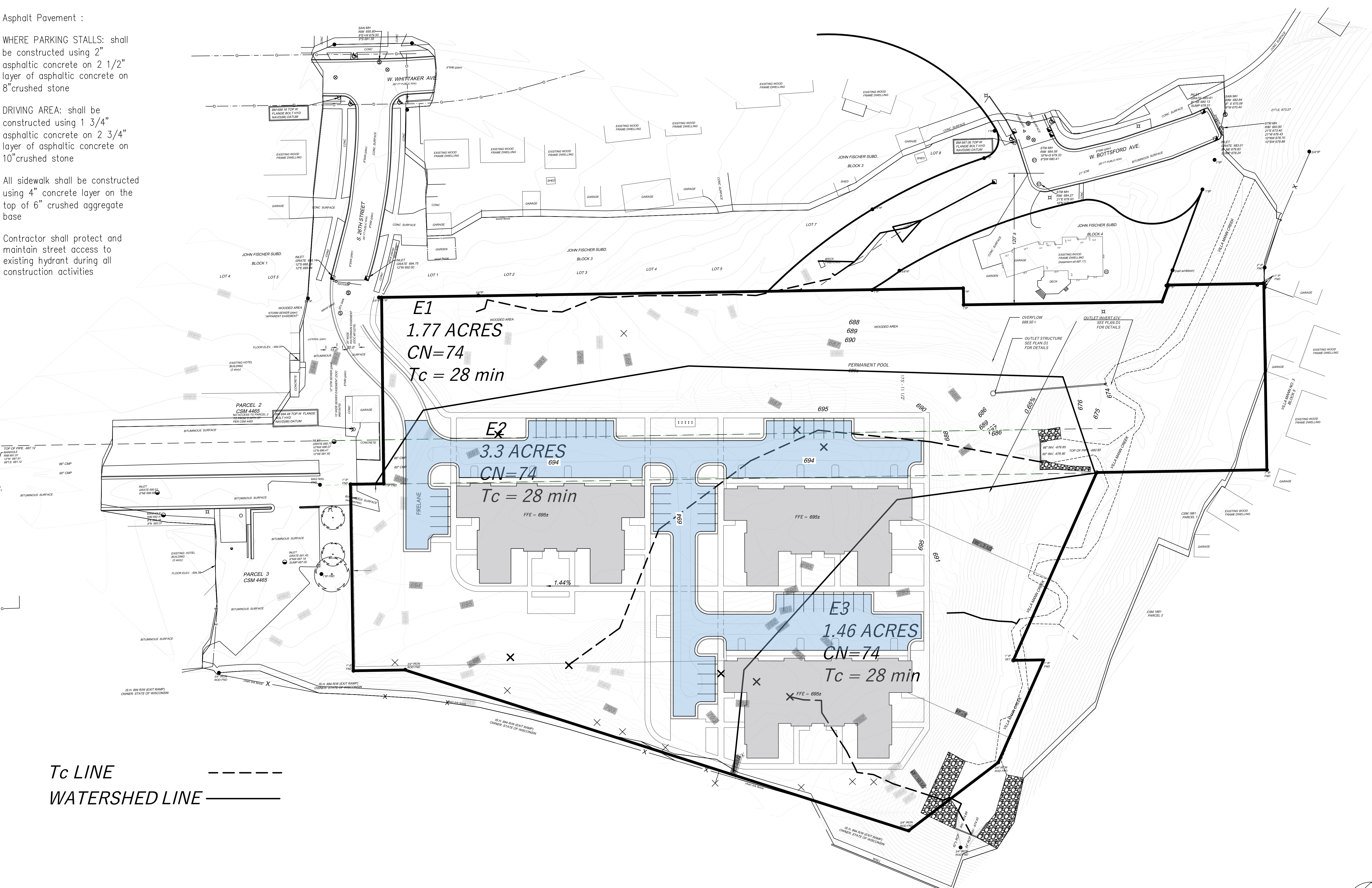
Asphalt Pavement :

WHERE PARKING STALLS: shall be constructed using 2" asphaltic concrete on 2 1/2" layer of asphaltic concrete on 8" crushed stone

DRIVING AREA: shall be constructed using 1 3/4" asphaltic concrete on 2 3/4" layer of asphaltic concrete on 10" crushed stone

All sidewalk shall be constructed using 4" concrete layer on the top of 6" crushed aggregate base

Contractor shall protect and maintain street access to existing hydrant during all construction activities



**Tc LINE** - - - - -  
**WATERSHED LINE** ———



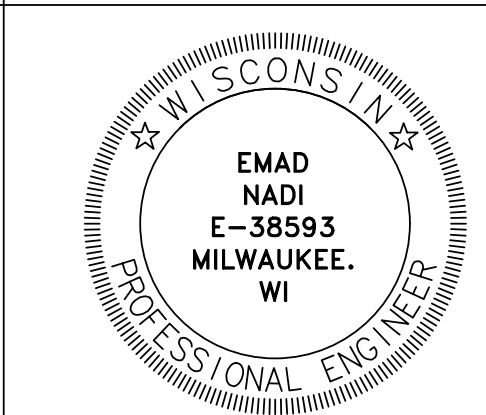
ETn Engineering  
2504 W Bridge Street  
Milwaukee  
Wisconsin 53221

Phone: 414-324-4129  
EMADNADI@ETENGINEERING.COM

DRAWN	ETN	DATE	09/23/19
CHECKED		DATE	
APPROVED		DATE	
PROJECT MANAGER		DATE	

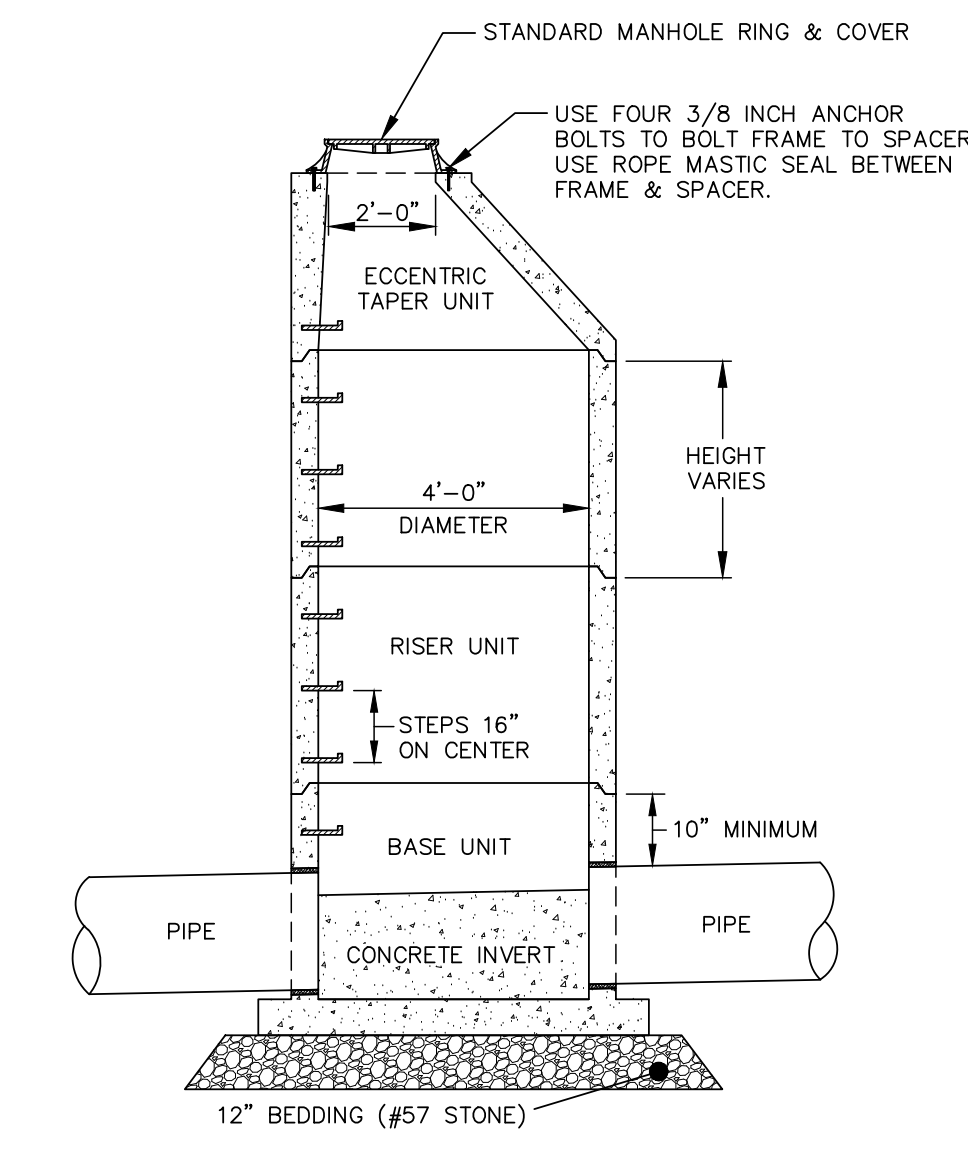
**NABIL SALOUS**  
**APARTMENT BUILDING**  
4450 S 27TH ST  
MILWAUKEE, WI

SCALE  
1" = 40'

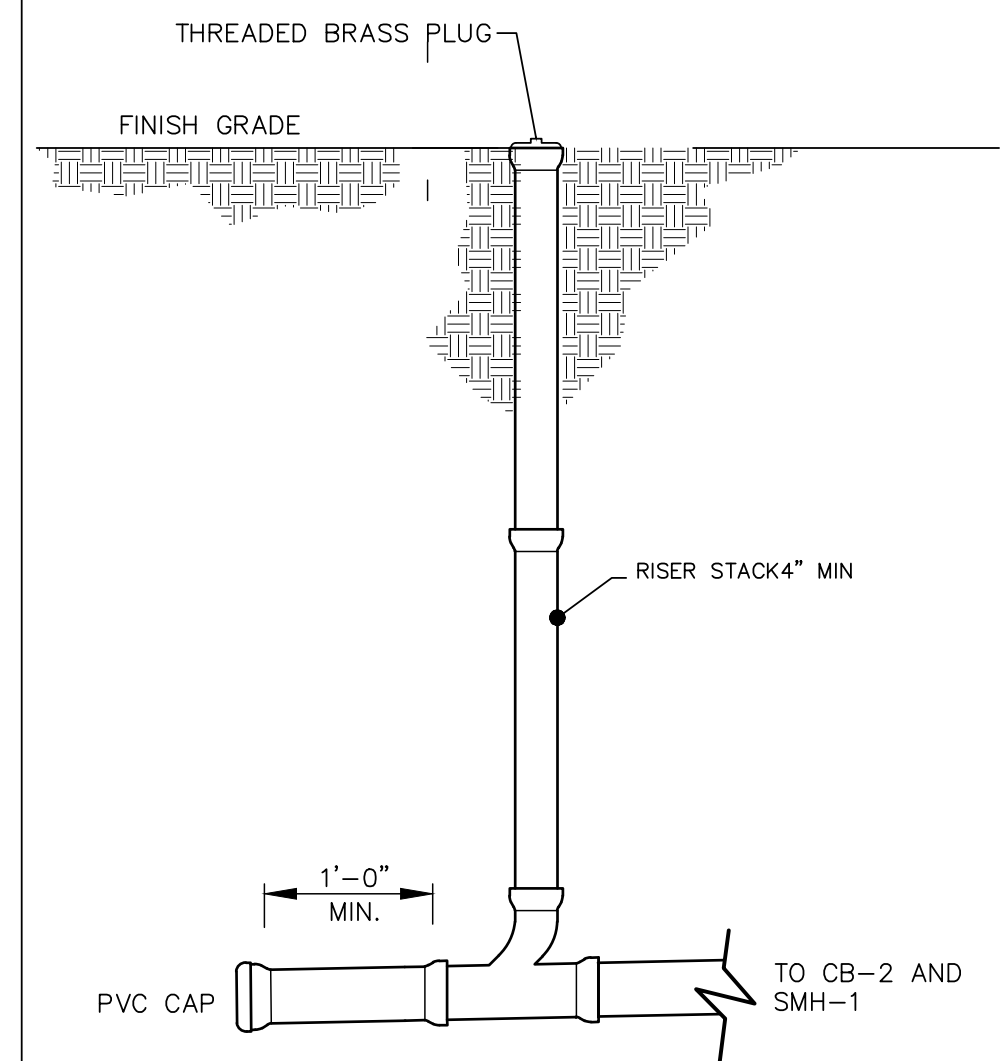


**UTILITY PLAN**

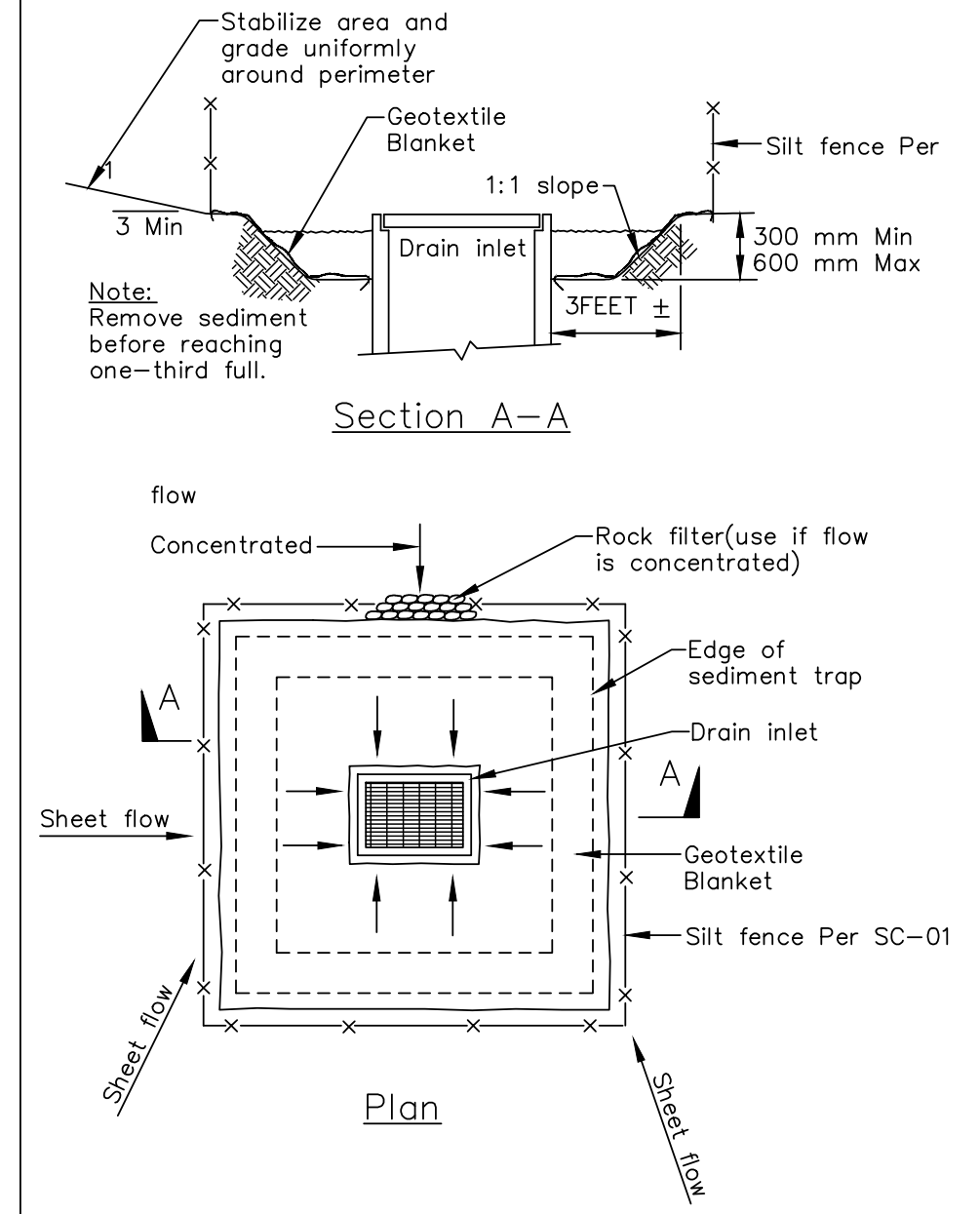
**C7**



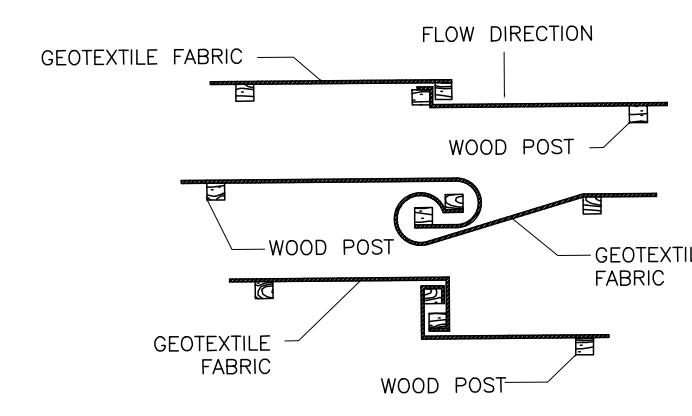
S1 SEWER MH DETAILS  
D1-E



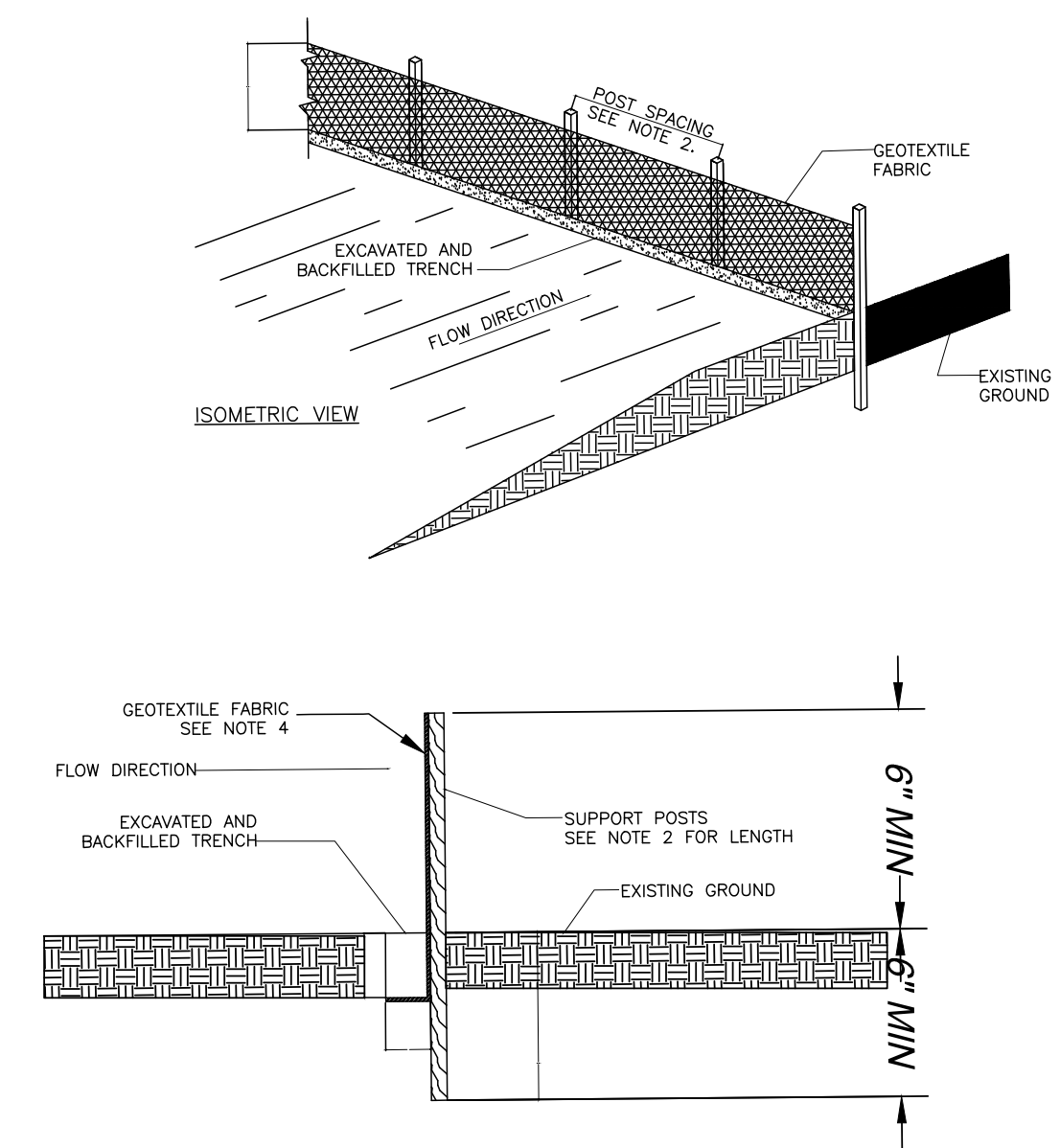
S1 SEWER CAP WITH CLEANOUT  
D1-C



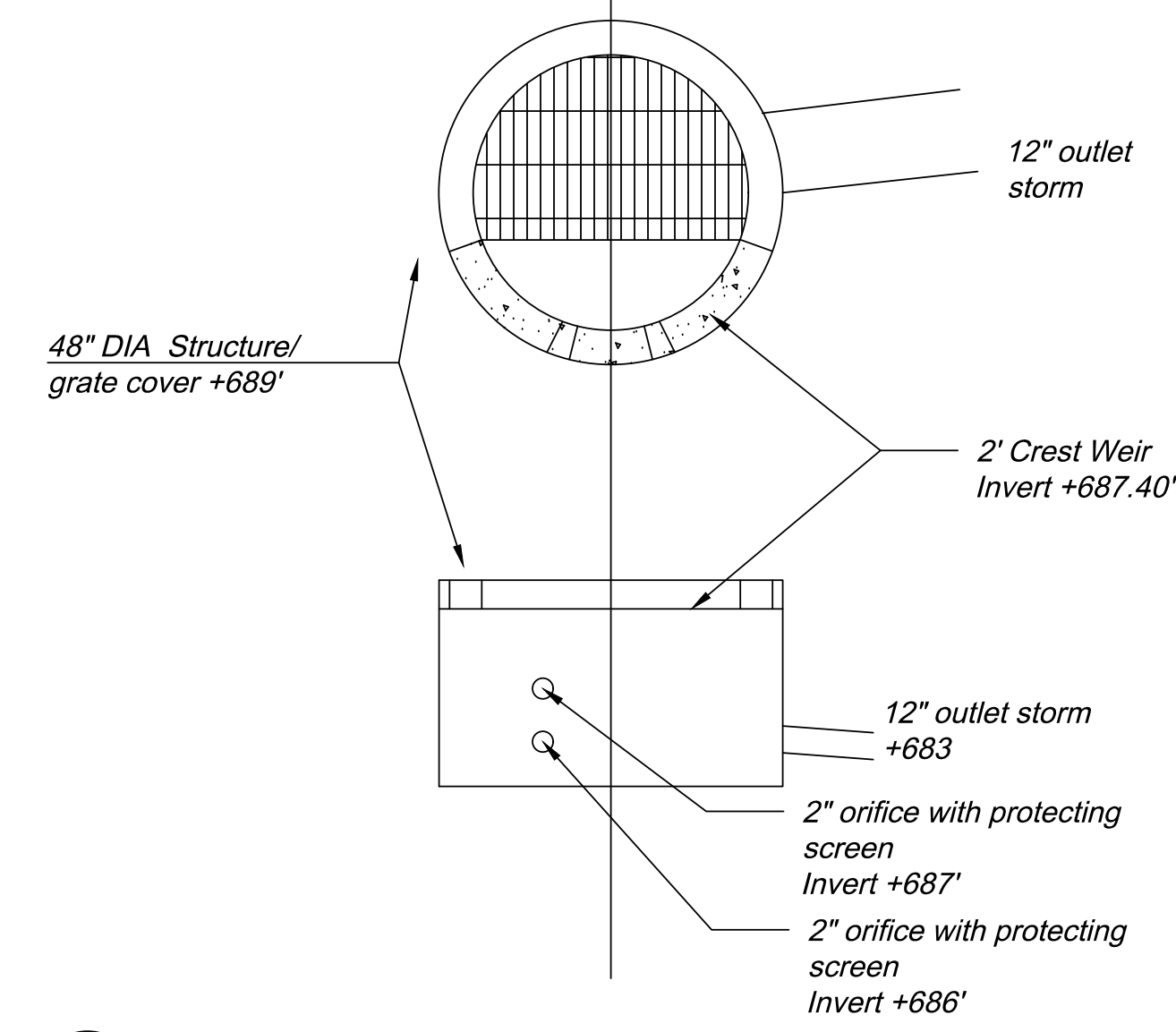
P2 SILT FENCE DETAILS  
D1-B



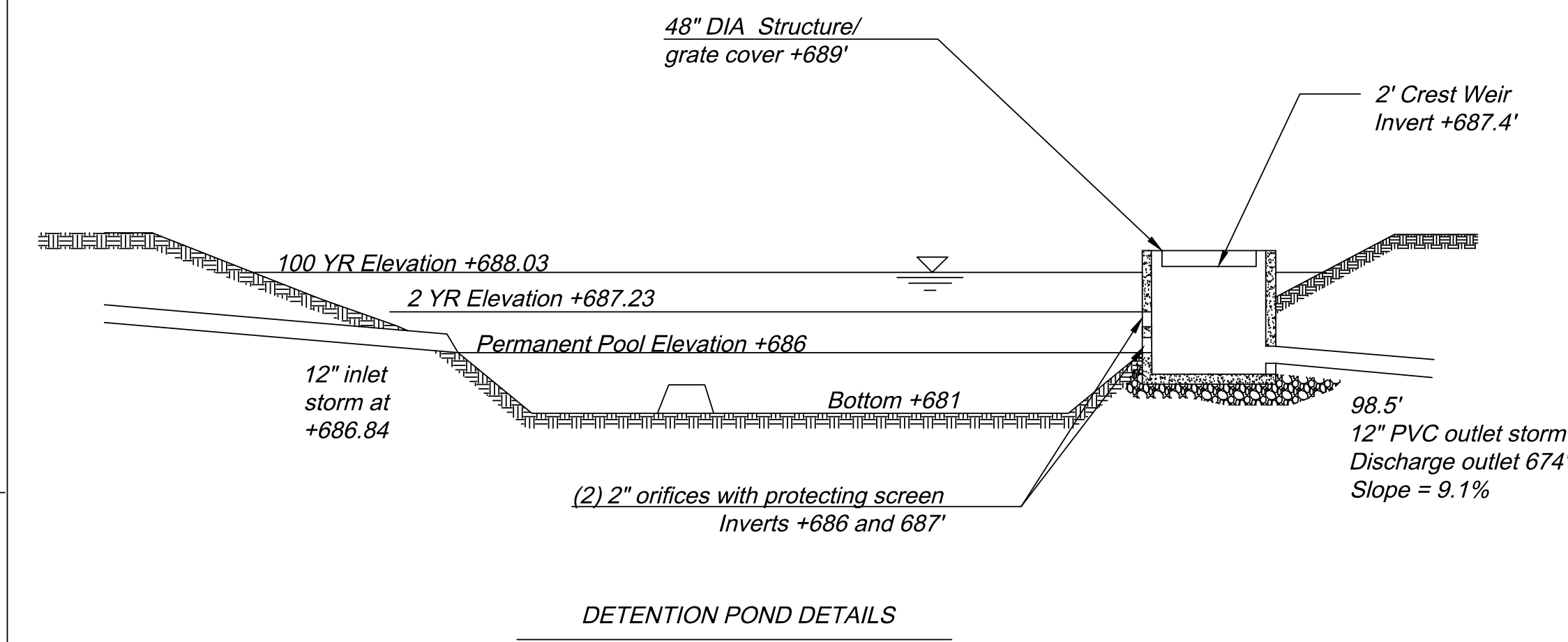
P2 SILT FENCE DETAILS  
D1-A



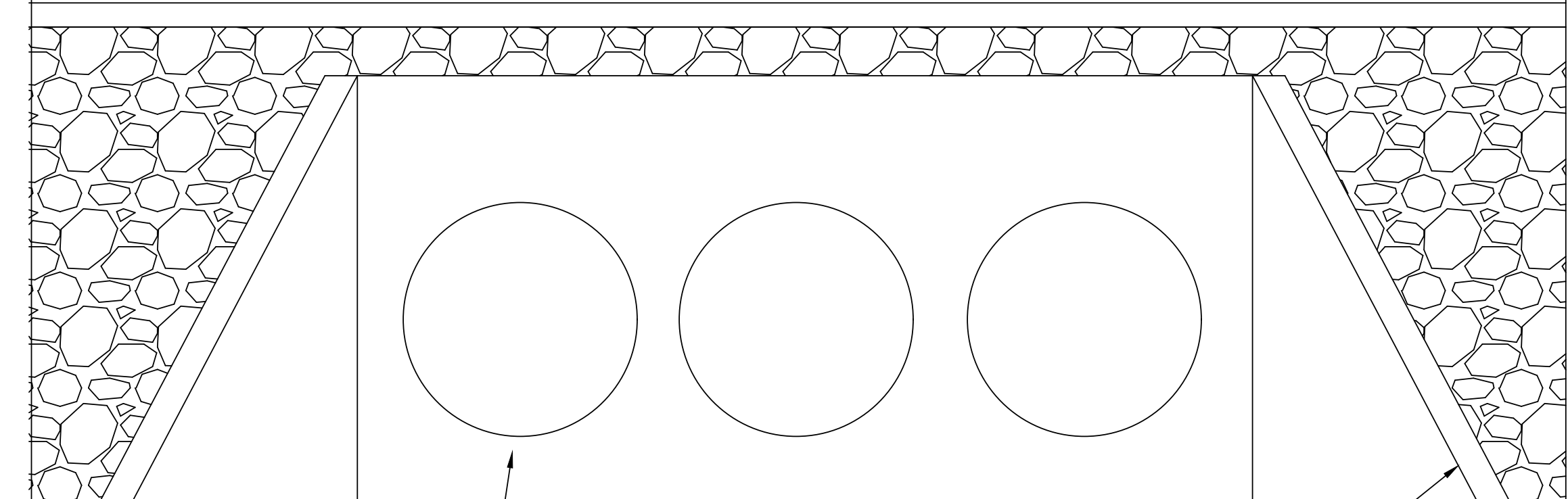
P2 SILT FENCE DETAILS  
D1-A



P1 & P2 DETENTION POND OUTLET STRUCTURE  
D1-H

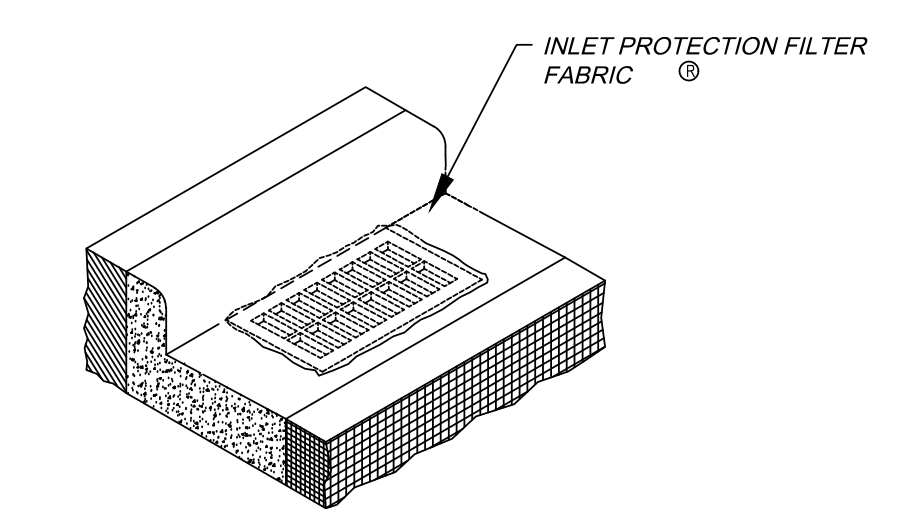


DETENTION POND DETAILS

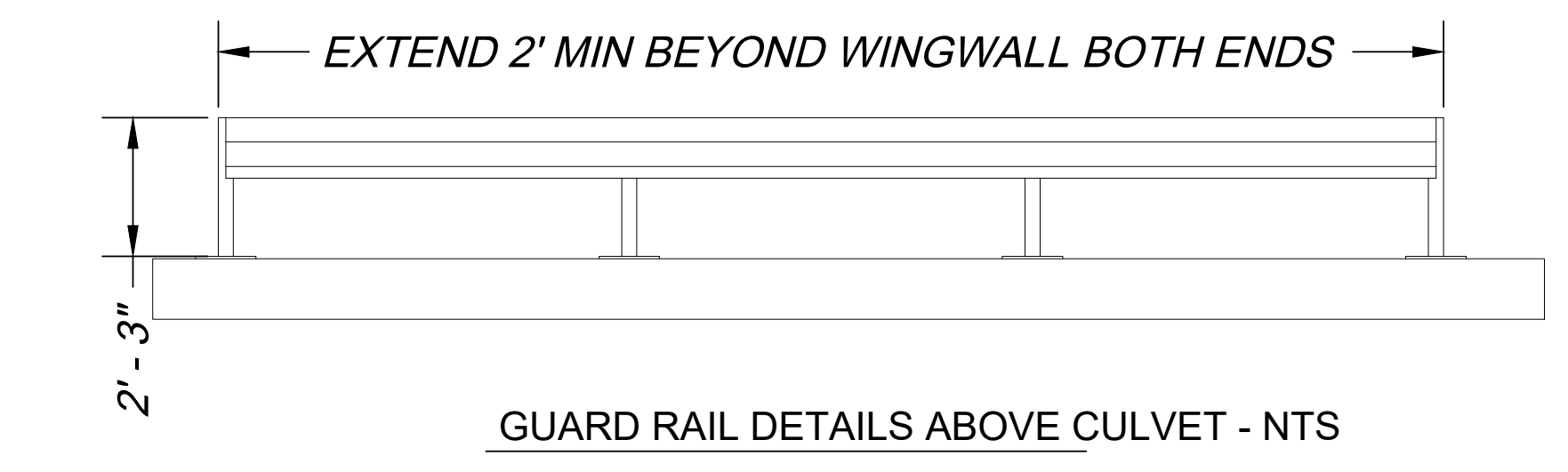


P2 42" CORRUGATED METAL OR CONCRETE CULVERT PIPE 691±  
45" CONCRETE WINGWALL

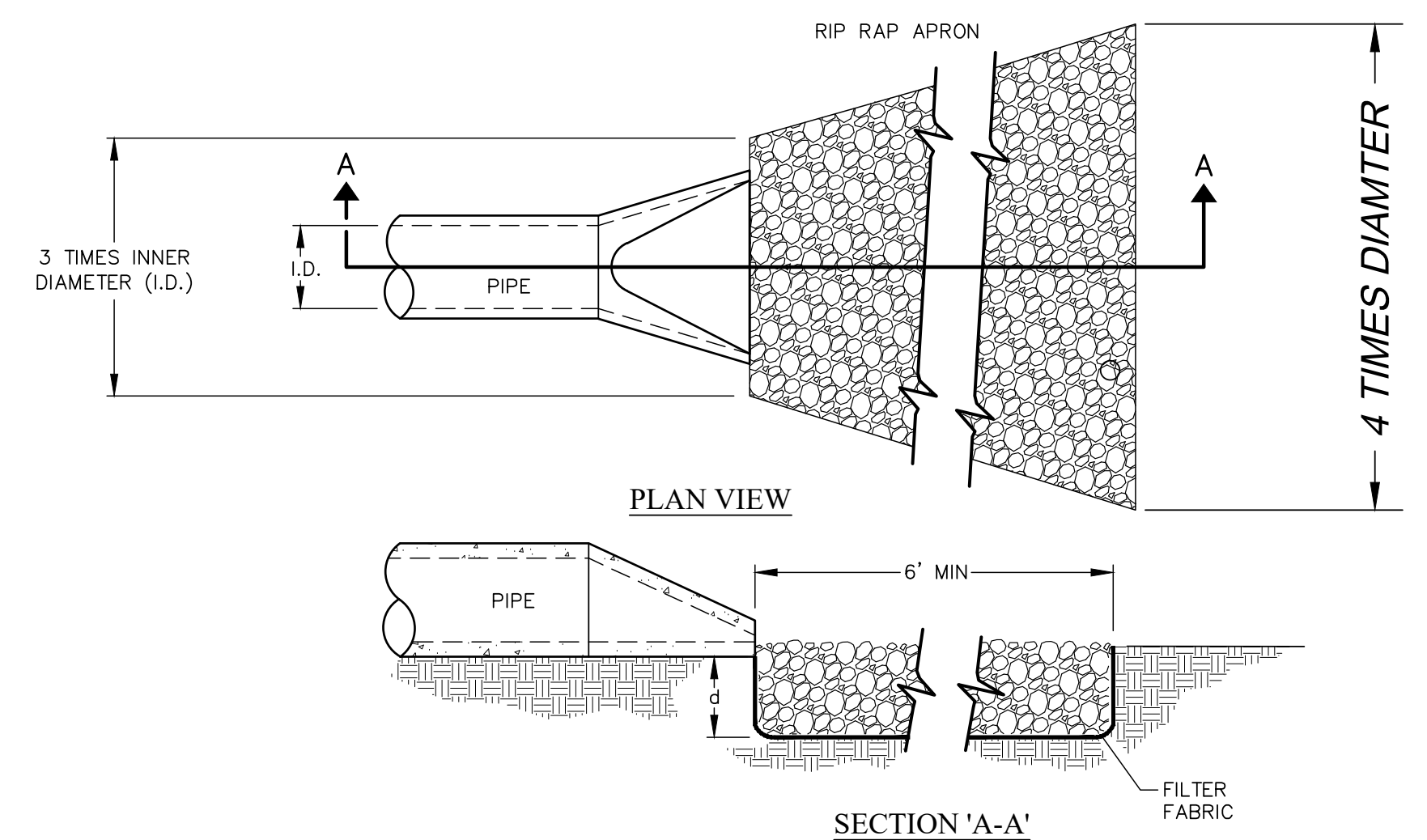
D1-G CULVERT PIPE DETAILS



P2 CURB INLET PROTECTION  
D1-J



GUARD RAIL DETAILS ABOVE CULVERT - NTS



- NOTES:
- 1) L = THE LENGTH OF THE RIPRAP APRON.
  - 2) d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6" (inches).
  - 3) D50 OF RIPRAP SHALL BE 4" .

D1-F DETENTION POND INLET DETAILS



**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN  
APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

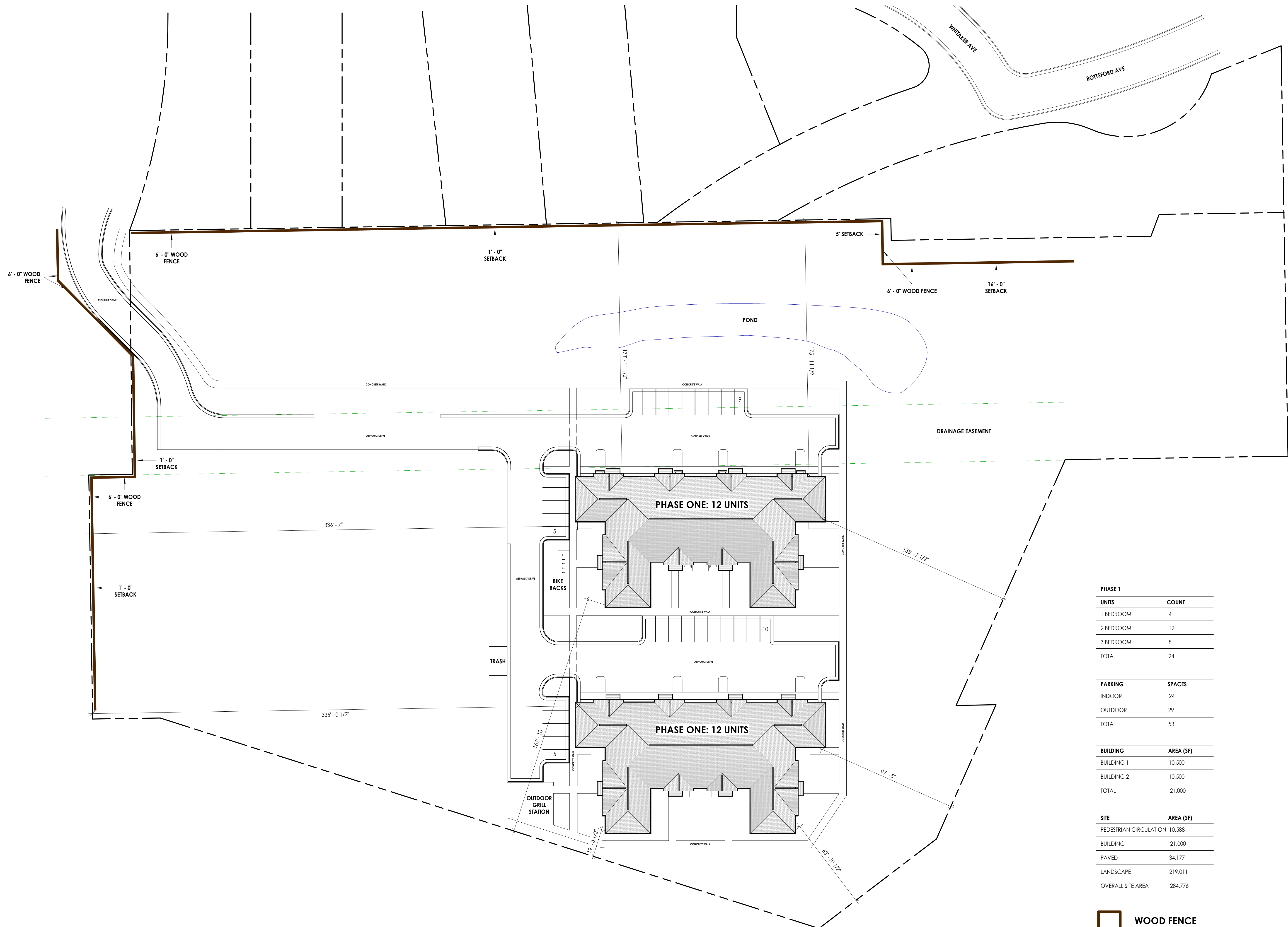
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

**SHEET**

ARCHITECTURAL SITE PLAN PHASE 1

**A050**



**PHASE 1**

UNITS	COUNT
1 BEDROOM	4
2 BEDROOM	12
3 BEDROOM	8
TOTAL	24

PARKING	SPACES
INDOOR	24
OUTDOOR	29
TOTAL	53

BUILDING	AREA (SF)
BUILDING 1	10,500
BUILDING 2	10,500
TOTAL	21,000

SITE	AREA (SF)
PEDESTRIAN CIRCULATION	10,588
BUILDING	21,000
PAVED	34,177
LANDSCAPE	219,011
OVERALL SITE AREA	284,776

 **WOOD FENCE**





**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN  
APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

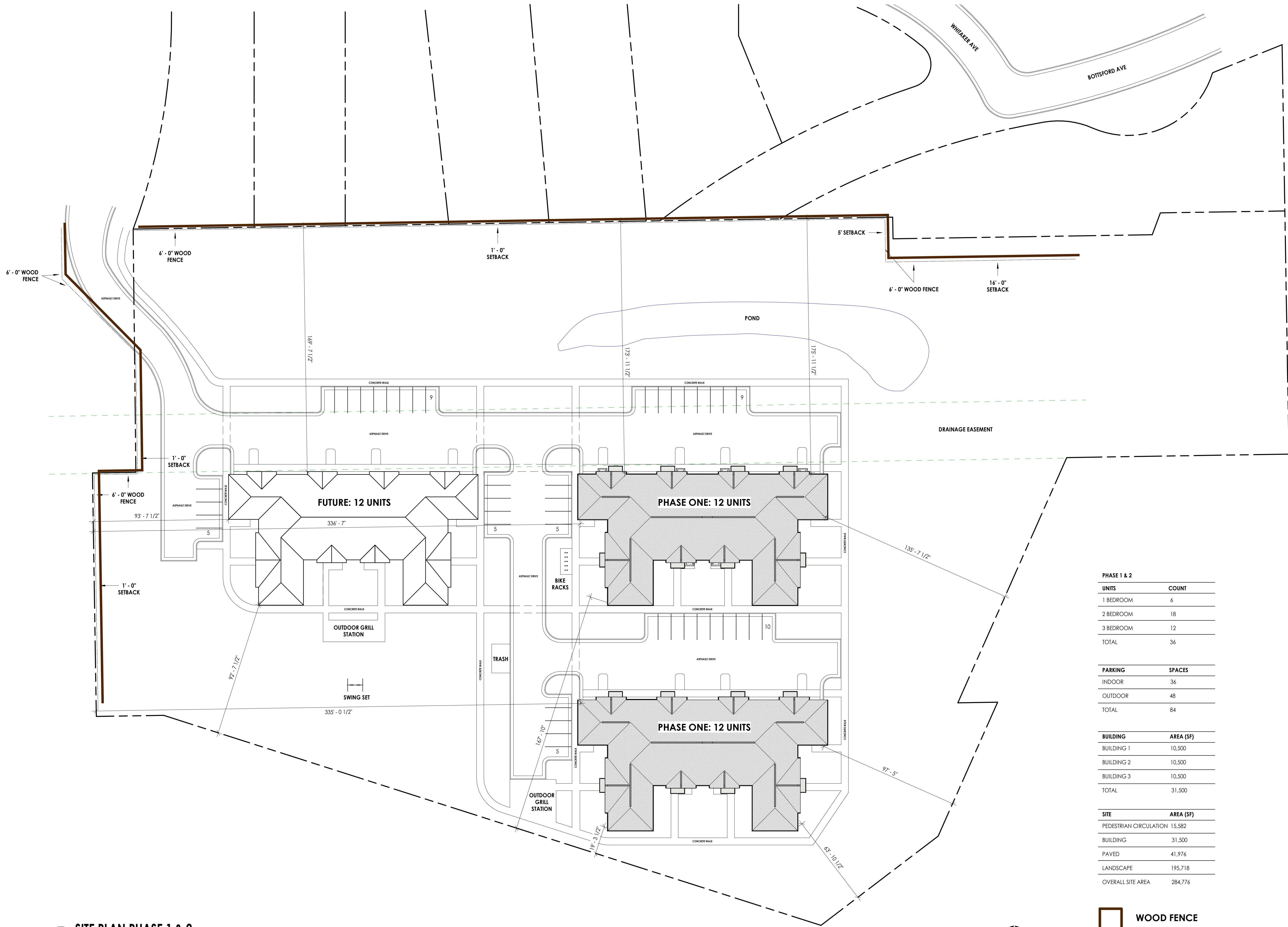
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

**SHEET**

ARCHITECTURAL SITE PLAN PHASE 1 & 2

**A051**



PHASE 1 & 2	
UNITS	COUNT
1 BEDROOM	6
2 BEDROOM	18
3 BEDROOM	12
TOTAL	36

PARKING	SPACES
INDOOR	36
OUTDOOR	48
TOTAL	84

BUILDING	AREA (SF)
BUILDING 1	10,500
BUILDING 2	10,500
BUILDING 3	10,500
TOTAL	31,500

SITE	AREA (SF)
PEDESTRIAN CIRCULATION	15,582
BUILDING	31,500
PAVED	41,976
LANDSCAPE	195,718
OVERALL SITE AREA	284,776

 WOOD FENCE





**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN  
APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

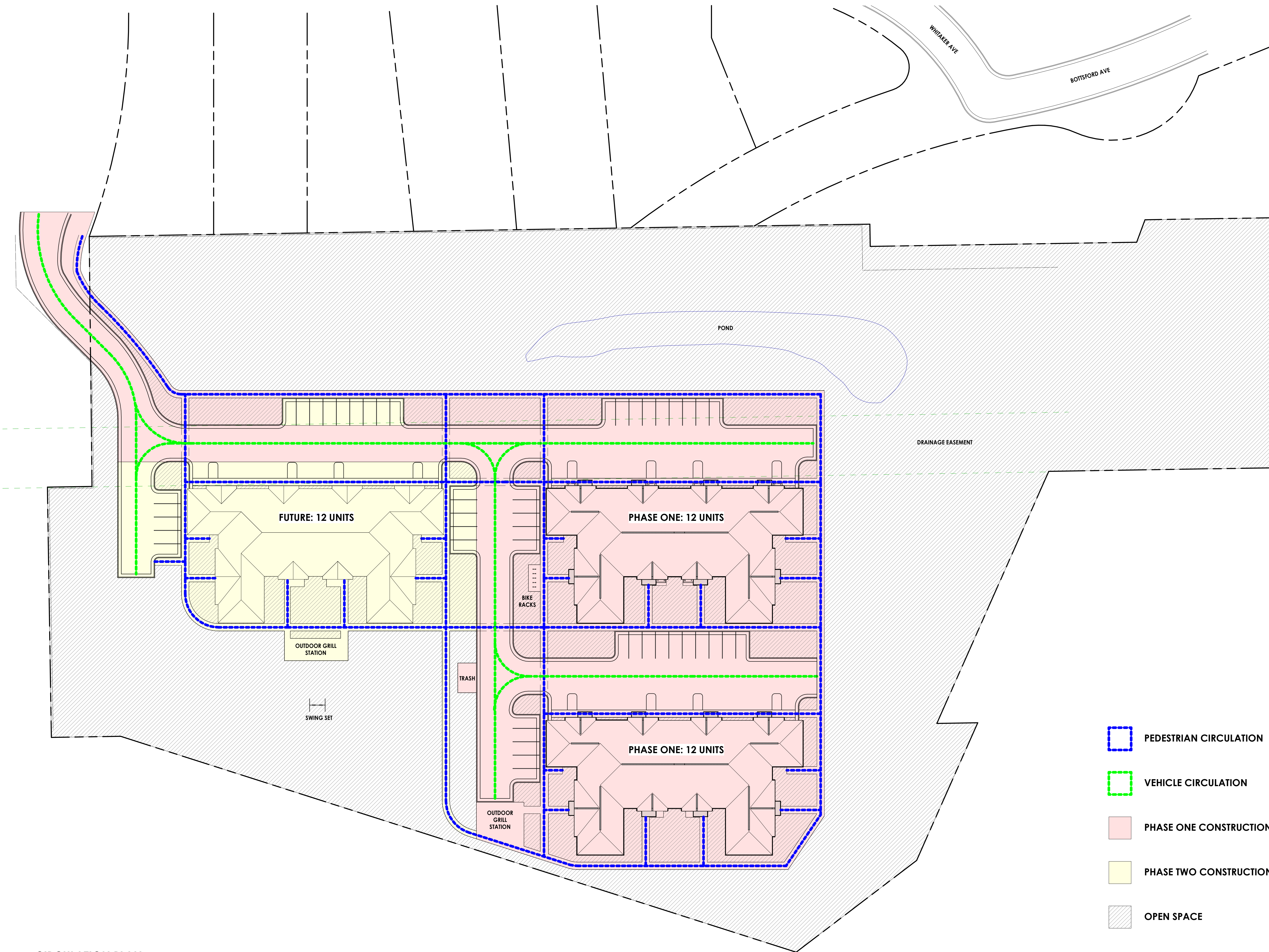
**INFORMATION**






PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

**SHEET**

ARCHITECTURAL SITE CIRCULATION PLAN

**A052**



-  PEDESTRIAN CIRCULATION
-  VEHICLE CIRCULATION
-  PHASE ONE CONSTRUCTION
-  PHASE TWO CONSTRUCTION
-  OPEN SPACE





## SHEET KEYNOTES

- 01-04 ALIGN FACE OF CYP BD
- 21-01 FIRE DEPARTMENT KNOX BOX (VERIFY LOCATION WITH FIRE MARSHALL)
- 21-02 DESIGN/BUILD FIRE PROTECTION CONTRACTOR TO PROVIDE DRY SYSTEM OR HEAT TAPE WRAP ON (UNHEATED GARAGE) SPRINKLER LINE AS REQUIRED



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202

T 414.277.9700 | F 414.277.9705  
spsrchitects.com

## GENERAL PLAN NOTES

- A. COMPLY WITH CODES, LAWS, ORDINANCES, RULES OF AUTHORITIES HAVING JURISDICTION.
- B. GENERAL CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- C. ALL SHADED AREAS ARE NOT INCLUDED IN THE TENANT BUILD-OUT.
- D. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS OR NOTES SHALL GOVERN, AND IF THERE ARE ANY MISSING DIMENSIONS OR DISCREPANCIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE ARCHITECT BEFORE PERFORMING ANY WORK IN QUESTION.
- E. THE NOTE 'ALIGN' WILL SUPERSEDE ANY DIMENSIONAL NOTE AND IF THERE IS A DISCREPANCY, THE CONTRACTOR SHOULD CONSULT THE ARCHITECT.
- F. IF THERE ARE ANY CONFLICTS BETWEEN FLOOR PLAN AND INTERIOR DETAILS AND ELEVATIONS, GENERAL CONTRACTOR TO CONSULT THE ARCHITECT.
- G. CONTRACTOR TO PROVIDE A COMPLETE AND THOROUGH CLEANING FOR THE ENTIRE BUILD-OUT.
- H. ALL INTERIOR GYPSUM BOARD PARTITIONS SHOULD BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. ANY PATCH WORK THAT IS REQUIRED ON EXISTING WALLS THAT ARE ADJACENT TO NEW WALLS SHALL BE FLUSH.
- I. OWNER/TENANT WILL PROVIDE WORK NOTED "BY OTHER" OR "NIC" UNDER SEPARATE CONTRACT. GENERAL CONTRACTOR TO COORDINATE THIS WORK IN ORDER TO ASSURE APPROPRIATE INSTALLATION AND PROPER SEQUENCE OF INSTALLATION.
- J. BUILDING OWNER AND TENANT TO APPROVE KEYING ALL NEW AND RE-KEYING OF EXISTING HARDWARE.
- K. CONTRACTOR TO PROVIDE ALL WALL REINFORCING OR BLOCKING REQUIRED FOR ALL HARDWARE AND FIXTURES.
- L. ALL DIMENSIONS ARE TO FACE OF MASONRY, CENTERLINES OF COLUMN LINES, OR NOMINAL DIMENSION OF PARTITION WALLS. NON-MODULAR WALLS ARE DIMENSIONED TO CRITICAL FACES.
- M. GENERAL CONTRACTOR TO REPAIR BUILDING STANDARD FRAMES AND DOORS AND INSTALL AS INDICATED IN THE PROPOSED BUILD-OUT.
- N. GENERAL CONTRACTOR TO INSTALL BUILDING STANDARD HARDWARE THAT IS IN PROPER WORKING ORDER.
- O. ALL EXISTING WALLS TO BE REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW WALL FINISHES.
- P. REPAIR ALL FRAMES, DOORS, HARDWARE, ETC. THAT ARE SALVAGED PRIOR TO INSTALLATION IN TENANT SPACE.
- Q. THE IMPRINTING OR ADHERING OF COMPANY CONTACT INFORMATION IS PROHIBITED ON ANY FINISHED SURFACE.
- R. COORDINATE THE SCHEDULE AND ANY REQUIRED PROTECTIVE MEASURES WITH THE OWNER PRIOR TO USING THE BUILDING LOBBY.

## PROJECT

PROPOSED BUILDING FOR:

## THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

## OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

## REVISIONS

NO.	DESCRIPTION	DATE

## INFORMATION

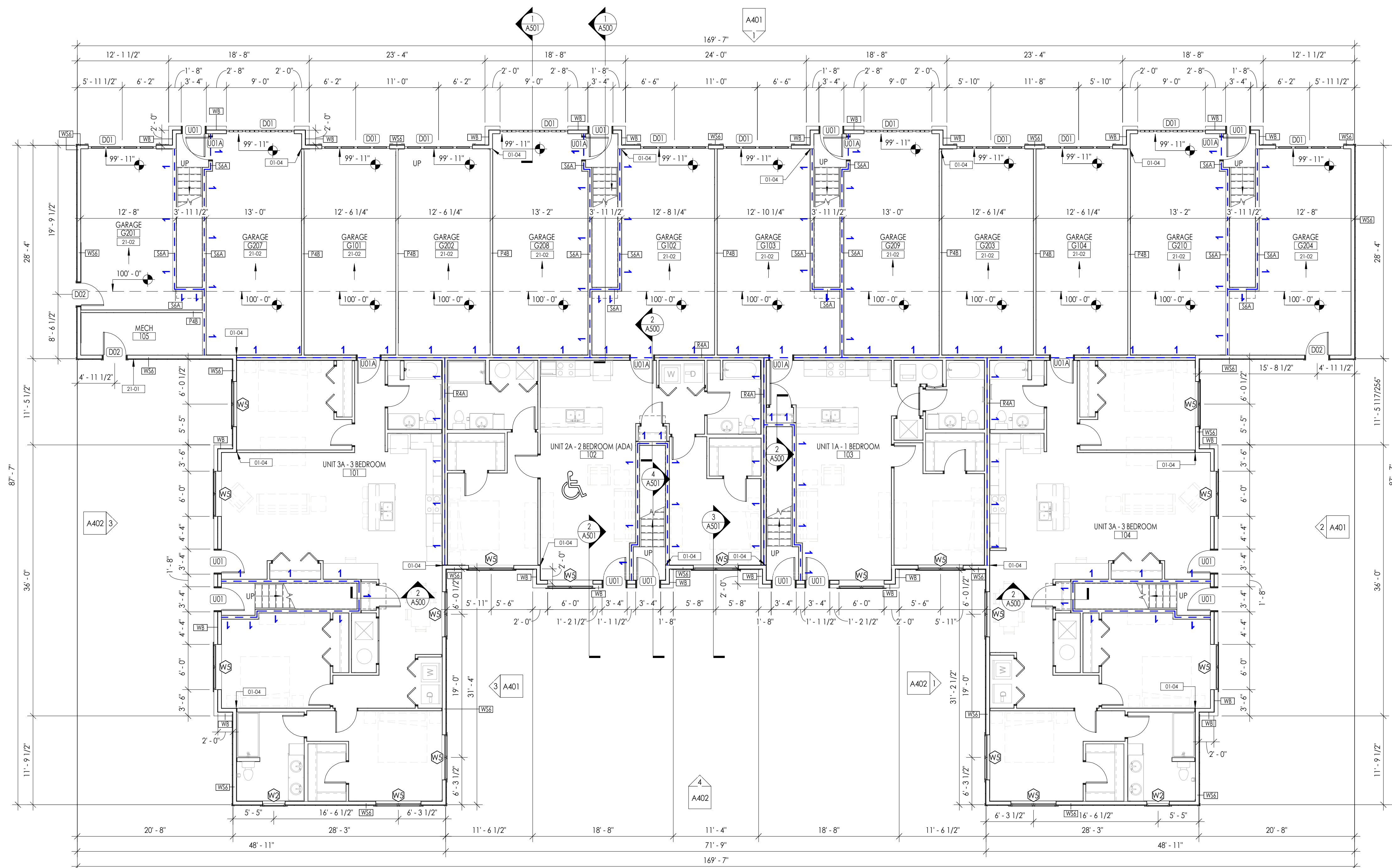
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

## SHEET

CONSTRUCTION PLAN - 1ST FLOOR

# A101

© STEPHEN PERRY SMITH ARCHITECTS, INC.



## 1 CONSTRUCTION PLAN-1ST FLOOR

SCALE 1/8" = 1'-0"



SHEET KEYNOTES

01-04 ALIGN FACE OF GYP BD



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
T 414.277.9700 | F 414.277.9705  
spsrchitects.com

GENERAL PLAN NOTES

- A. COMPLY WITH CODES, LAWS, ORDINANCES, RULES OF AUTHORITIES HAVING JURISDICTION.
- B. GENERAL CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- C. ALL SHADED AREAS ARE NOT INCLUDED IN THE TENANT BUILD-OUT
- D. DO NOT SCALE THE DRAWINGS, WRITTEN DIMENSIONS OR NOTES SHALL GOVERN, AND IF THERE ARE ANY MISSING DIMENSIONS OR DISCREPANCIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE ARCHITECT BEFORE PERFORMING ANY WORK IN QUESTION.
- E. THE NOTE 'ALIGN' WILL SUPERSEDE ANY DIMENSIONAL NOTE AND IF THERE IS A DISCREPANCY, THE CONTRACTOR SHOULD CONSULT THE ARCHITECT.
- F. IF THERE ARE ANY CONFLICTS BETWEEN FLOOR PLAN AND INTERIOR DETAILS AND ELEVATIONS, GENERAL CONTRACTOR TO CONSULT THE ARCHITECT.
- G. CONTRACTOR TO PROVIDE A COMPLETE AND THOROUGH CLEANING FOR THE ENTIRE BUILD-OUT.
- H. ALL INTERIOR GYPSUM BOARD PARTITIONS SHOULD BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. ANY PATCH WORK THAT IS REQUIRED ON EXISTING WALLS THAT ARE ADJACENT TO NEW WALLS SHALL BE FLUSH.
- I. OWNER/TENANT WILL PROVIDE WORK NOTED "BY OTHER" OR "NIC" UNDER SEPARATE CONTRACT. GENERAL CONTRACTOR TO COORDINATE THIS WORK IN ORDER TO ASSURE APPROPRIATE INSTALLATION AND PROPER SEQUENCE OF INSTALLATION.
- J. BUILDING OWNER AND TENANT TO APPROVE KEYING ALL NEW AND RE-KEYING OF EXISTING HARDWARE.
- K. CONTRACTOR TO PROVIDE ALL WALL REINFORCING OR BLOCKING REQUIRED FOR ALL HARDWARE AND FIXTURES.
- L. ALL DIMENSIONS ARE TO FACE OF MASONRY, CENTERLINES OF COLUMN LINES, OR NOMINAL DIMENSION OF PARTITION WALLS. NON-MODULAR WALLS ARE DIMENSIONED TO CRITICAL FACES.
- M. GENERAL CONTRACTOR TO REPAIR BUILDING STANDARD FRAMES AND DOORS AND INSTALL AS INDICATED IN THE PROPOSED BUILD-OUT.
- N. GENERAL CONTRACTOR TO INSTALL BUILDING STANDARD HARDWARE THAT IS IN PROPER WORKING ORDER.
- O. ALL EXISTING WALLS TO BE REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW WALL FINISHES.
- P. REPAIR ALL FRAMES, DOORS, HARDWARE, ETC. THAT ARE SALVAGED PRIOR TO INSTALLATION IN TENANT SPACE.
- Q. THE IMPRINTING OR ADHERING OF COMPANY CONTACT INFORMATION IS PROHIBITED ON ANY FINISHED SURFACE.
- R. COORDINATE THE SCHEDULE AND ANY REQUIRED PROTECTIVE MEASURES WITH THE OWNER PRIOR TO USING THE BUILDING LOBBY.

PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

INFORMATION

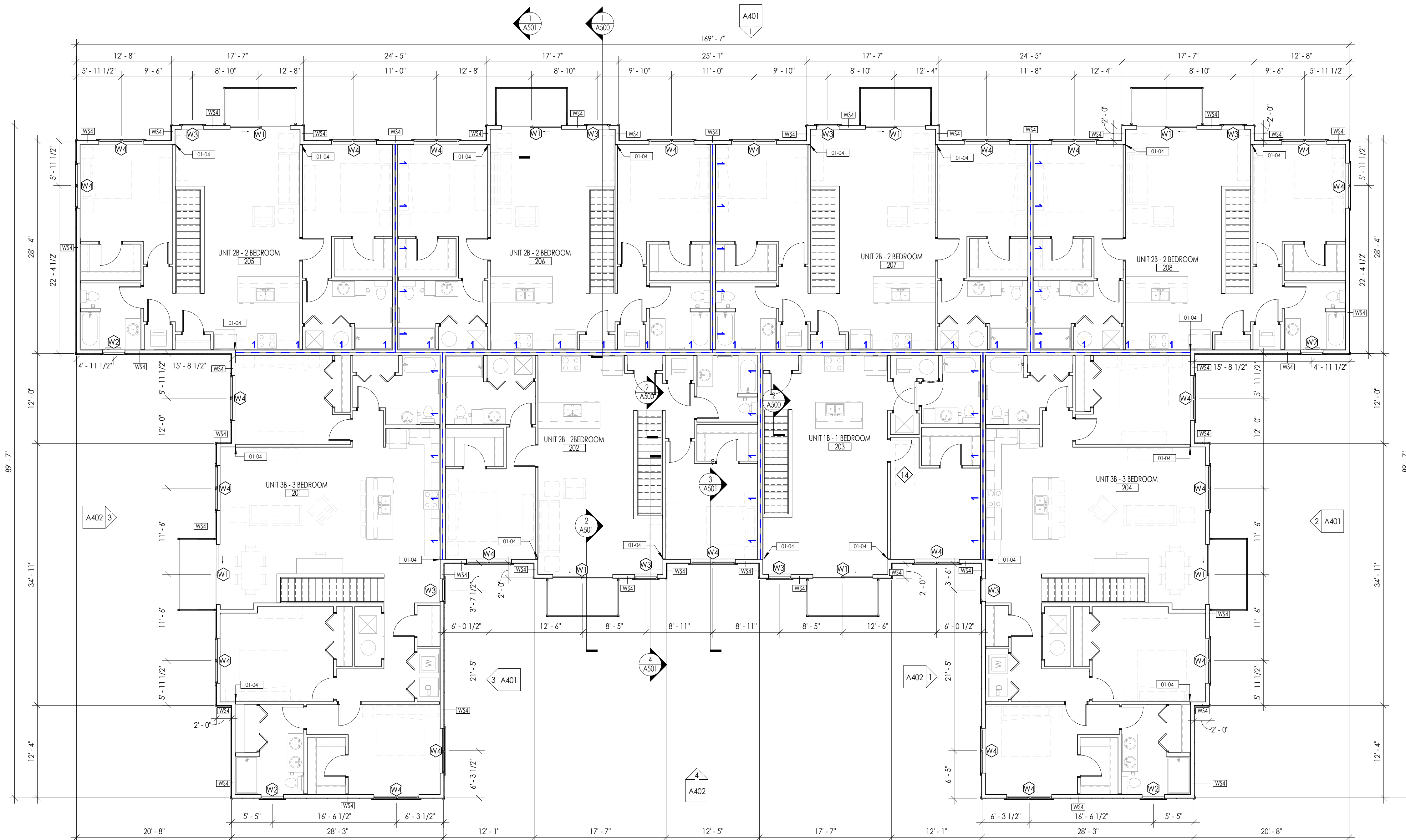
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

SHEET

CONSTRUCTION PLAN - 2ND FLOOR

A102

© STEPHEN PERRY SMITH ARCHITECTS, INC.



1 CONSTRUCTION PLAN-2ND FLOOR

SCALE 1/8" = 1'-0"



**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN  
APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

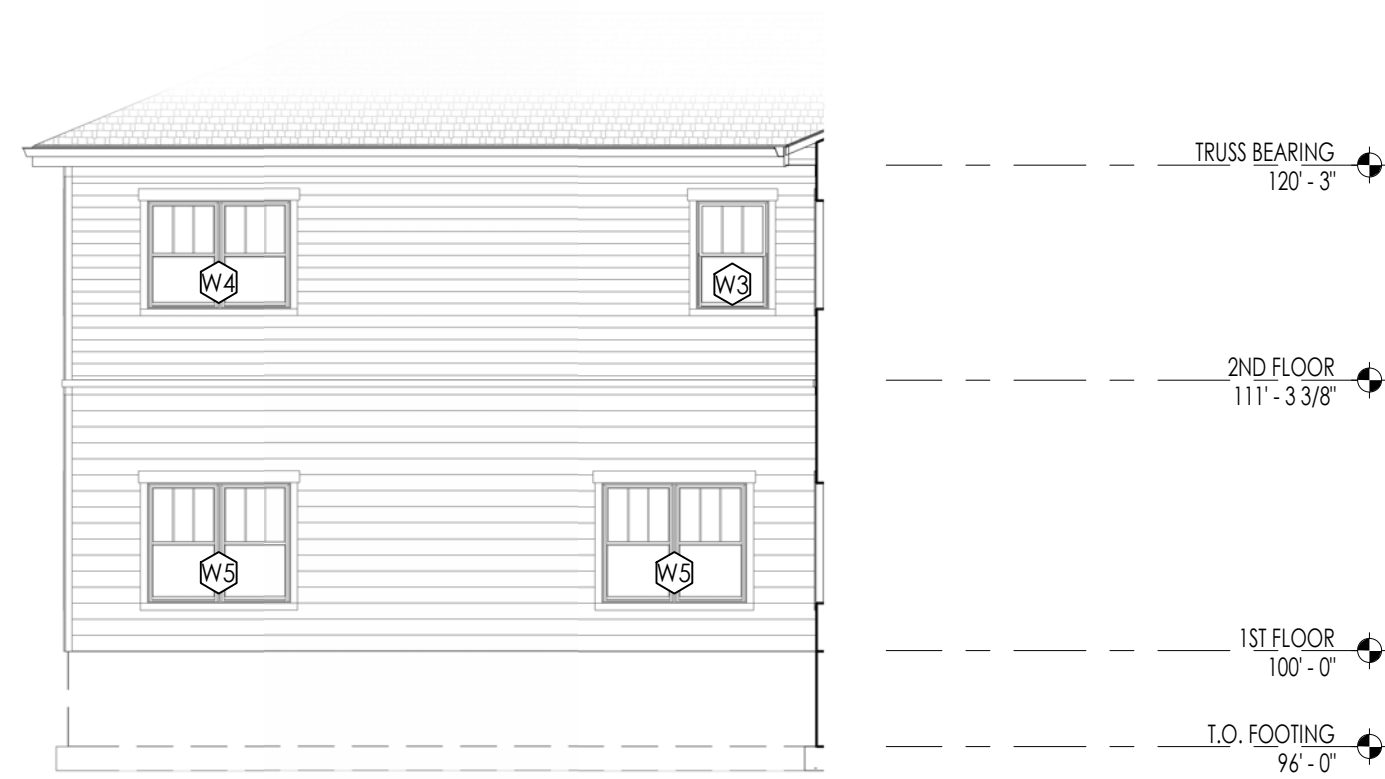
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

**SHEET**

BUILDING ELEVATIONS

**A401**



**3 EAST INLET ELEVATION**  
SCALE 1/8" = 1'-0"



**2 EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**1 NORTH ELEVATION**  
SCALE 1/8" = 1'-0"



**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN  
APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

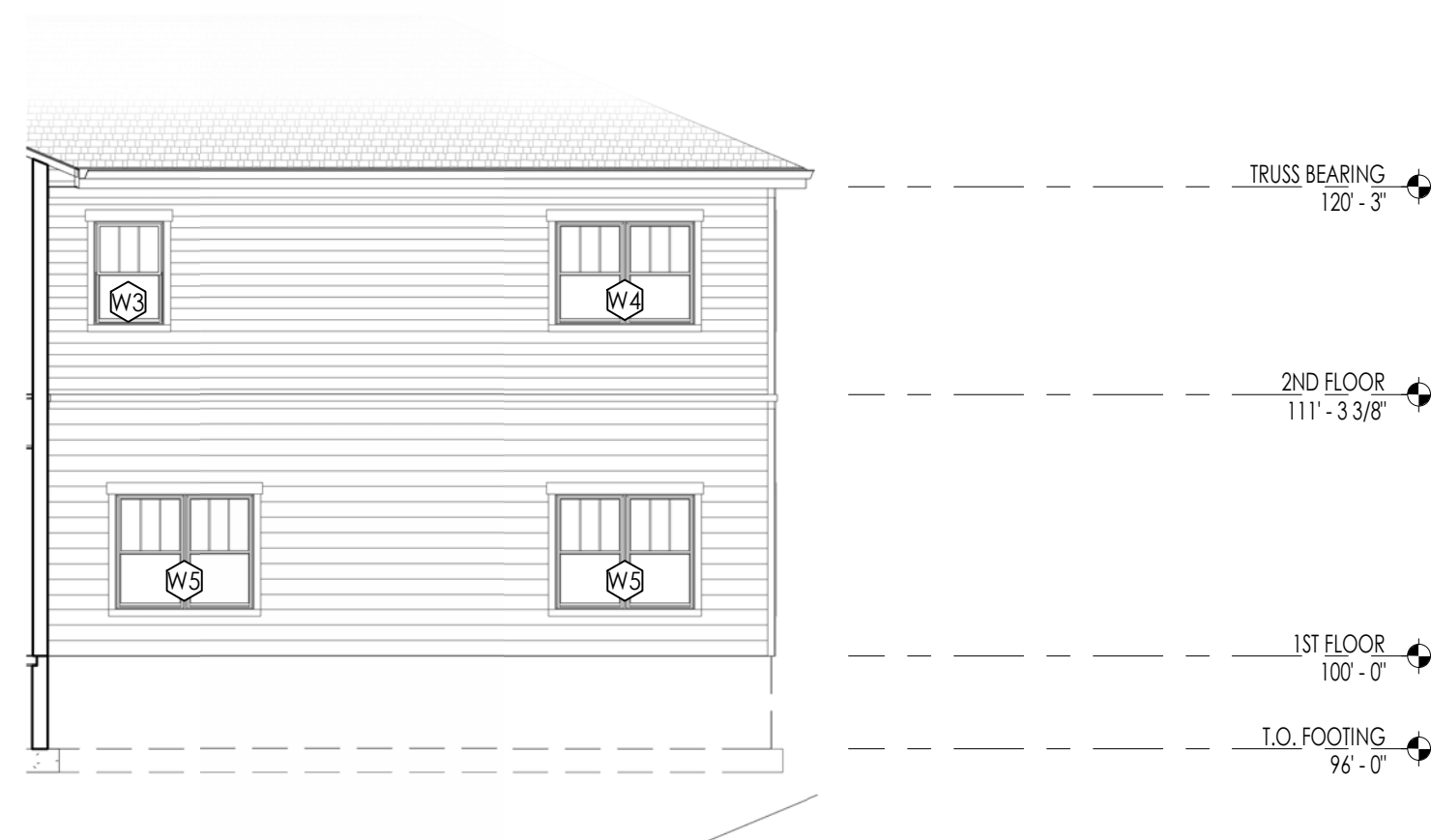
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

**SHEET**

BUILDING ELEVATIONS

**A402**



**1 WEST INLET ELEVATION**  
SCALE 1/8" = 1'-0"



**3 WEST ELEVATION**  
SCALE 1/8" = 1'-0"



**4 SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"





**4 WEST ELEVATION**  
SCALE 1/8" = 1'-0"



SIDING COLORS - JAMES HARDIE



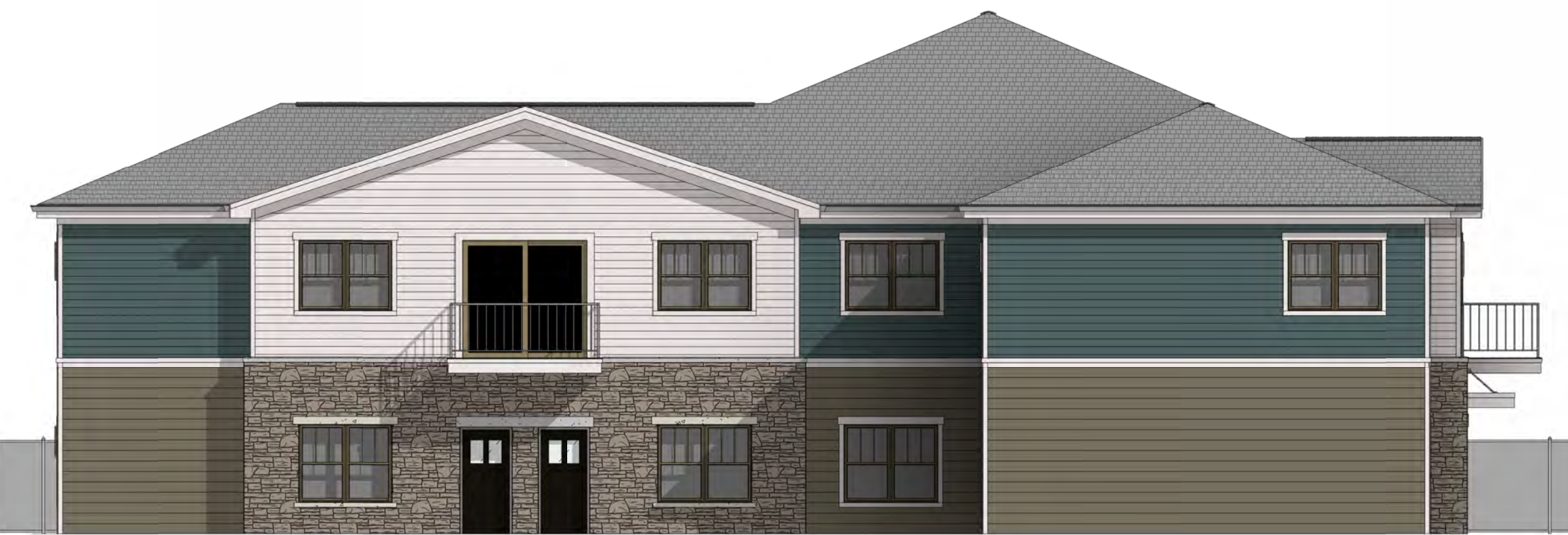
STONE - KENSINGTON



BALCONY EXAMPLE



CEDAR FENCE EXAMPLE



**3 EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"



**1 NORTH ELEVATION**  
SCALE 1/8" = 1'-0"

**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN  
APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE
-----	-------------	------

**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

**SHEET**

BUILDING ELEVATIONS-COLOR

**A403**



SHEET KEYNOTES

- 09-03 FINISHED END PANEL
- 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- 09-05 FINISHED SIDE PANEL



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
T 414.277.9700 | F 414.277.9705  
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

INFORMATION

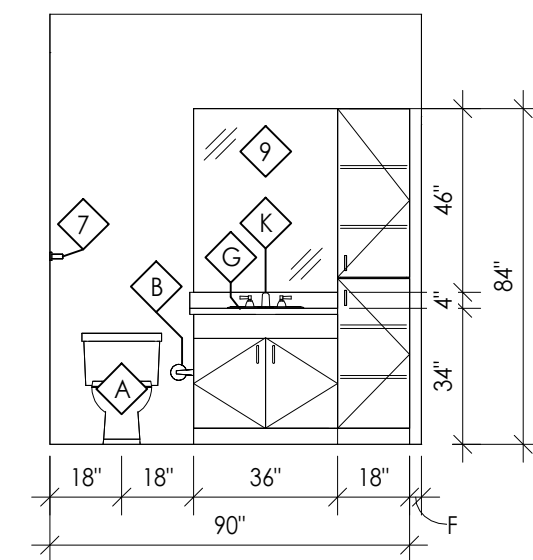
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

SHEET

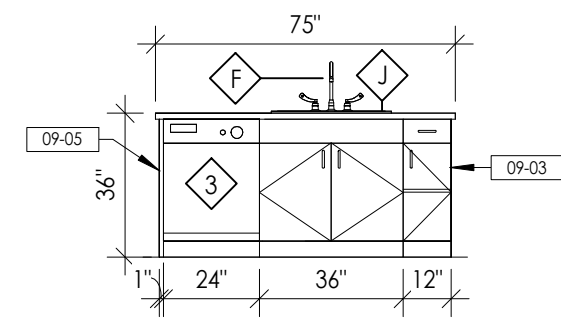
ENLARGED UNIT PLANS & ELEVATIONS

A701

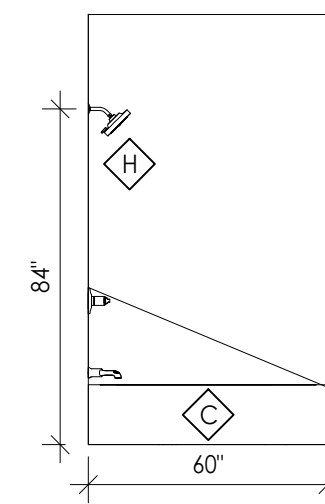
© STEPHEN PERRY SMITH ARCHITECTS, INC.



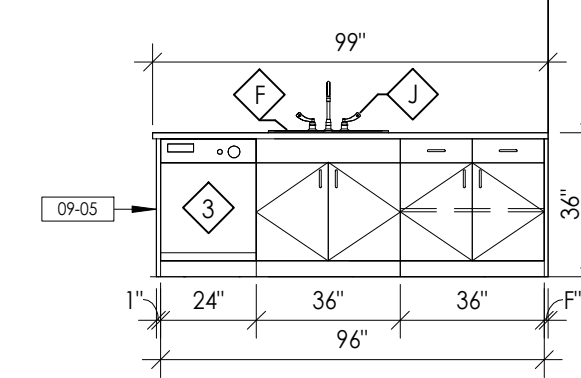
10 UNIT 1B BATH SINK/TOILET  
SCALE 1/4" = 1'-0"



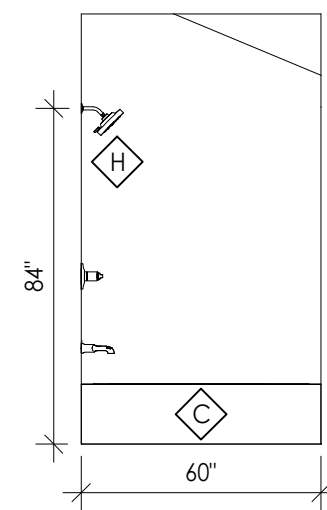
8 UNIT 1B ISLAND  
SCALE 1/4" = 1'-0"



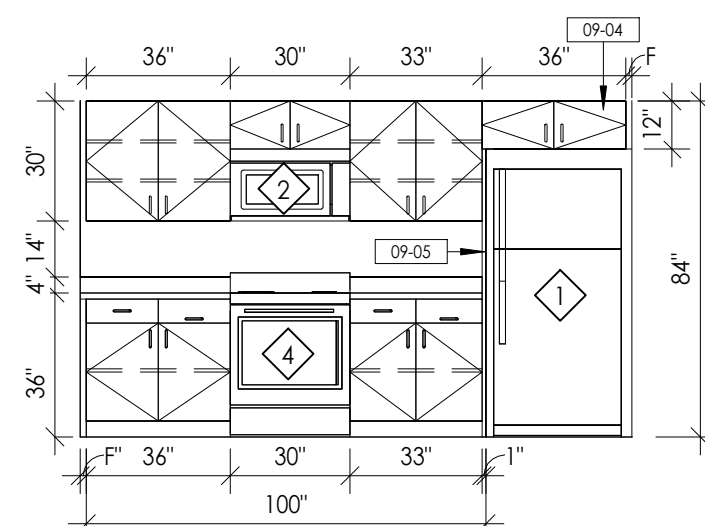
6 UNIT 1A TUB  
SCALE 1/4" = 1'-0"



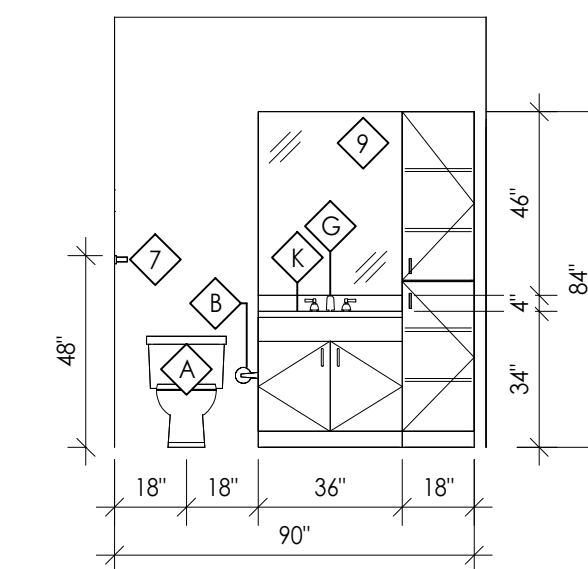
4 UNIT 1A PENINSULA  
SCALE 1/4" = 1'-0"



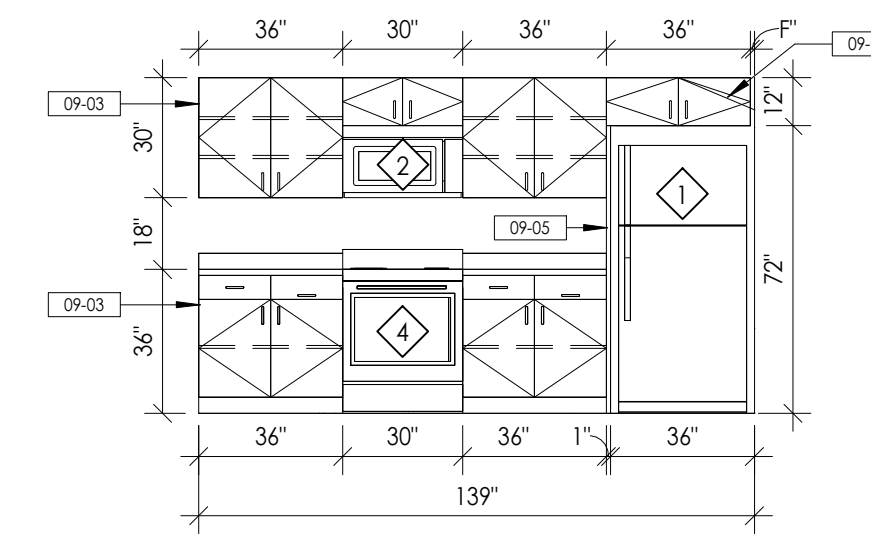
9 UNIT 1B TUB  
SCALE 1/4" = 1'-0"



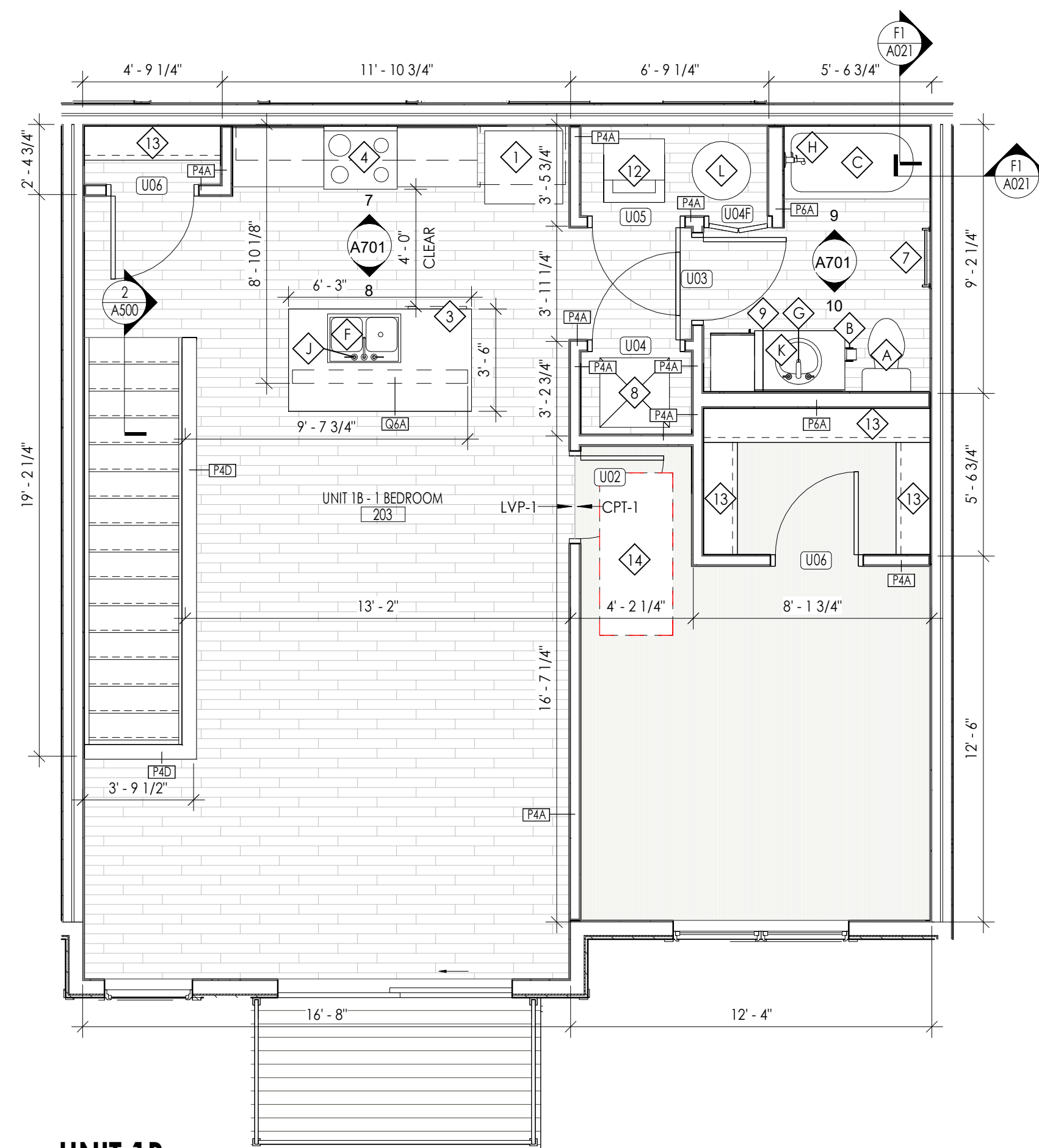
7 UNIT 1B KITCHEN  
SCALE 1/4" = 1'-0"



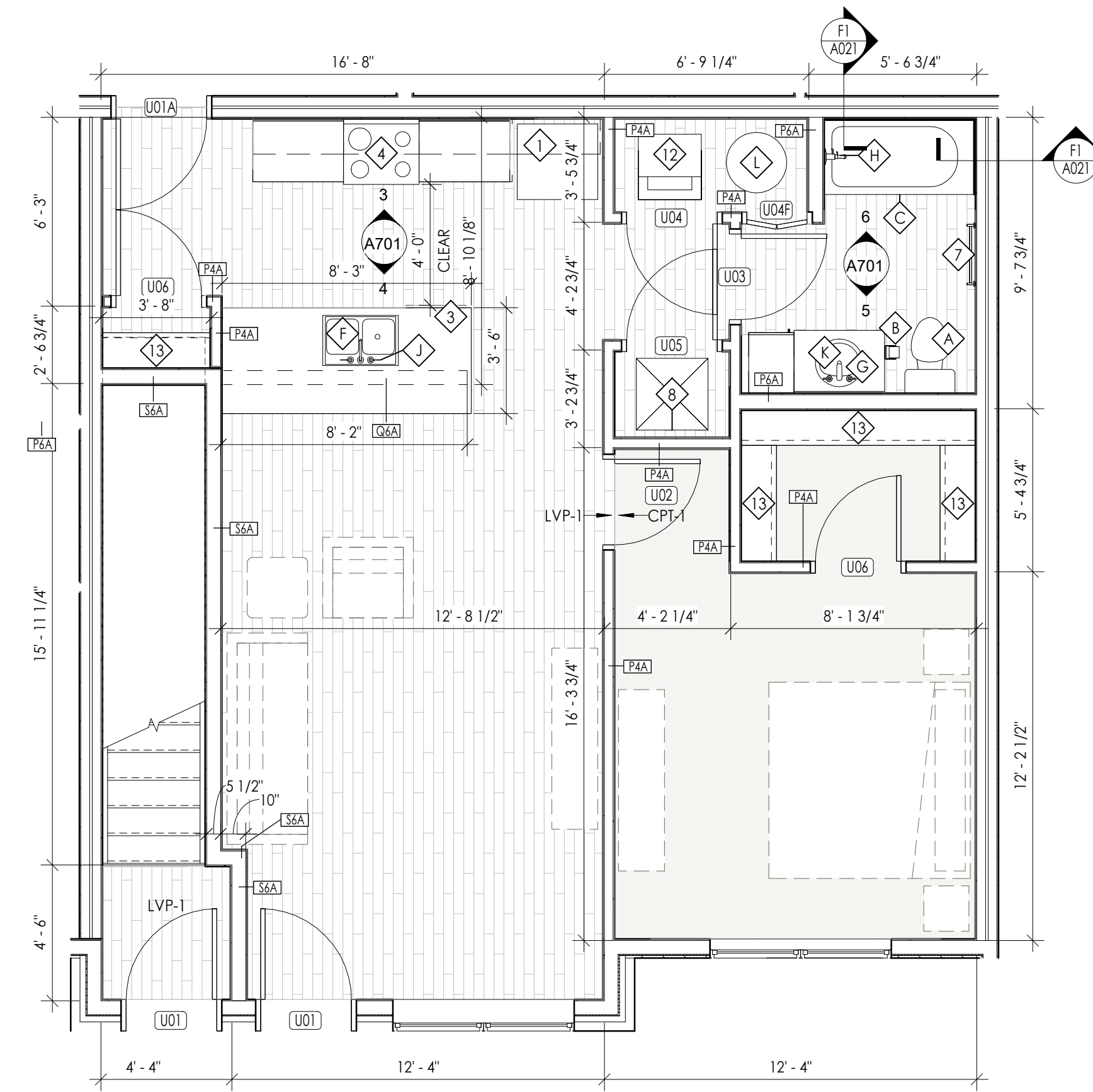
5 UNIT 1A BATH SINK/TOILET  
SCALE 1/4" = 1'-0"



3 UNIT 1A KITCHEN  
SCALE 1/4" = 1'-0"



2 UNIT 1B  
SCALE 1/4" = 1'-0"



1 UNIT 1A  
SCALE 1/4" = 1'-0"



**SHEET KEYNOTES**

- 09-03 FINISHED END PANEL
- 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- 09-05 FINISHED SIDE PANEL
- 09-11 REMOVABLE BASE CABINET (SEE 1/A901)



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
T 414.277.9700 | F 414.277.9705  
spsarchitects.com

**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

**INFORMATION**

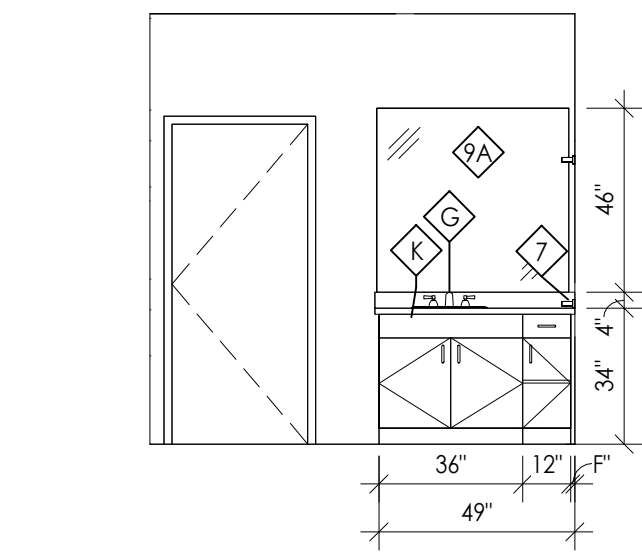
PROJECT ARCHITECT	SFS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

**SHEET**

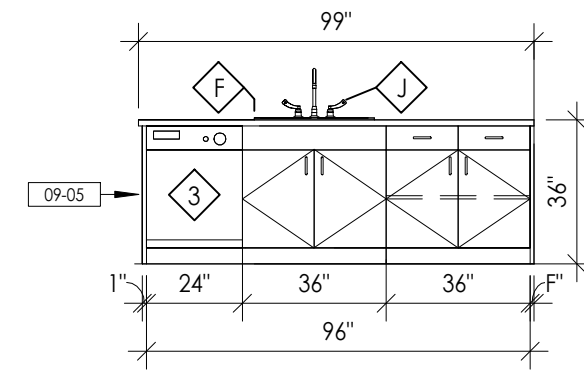
ENLARGED UNIT PLANS & ELEVATIONS

**A702**

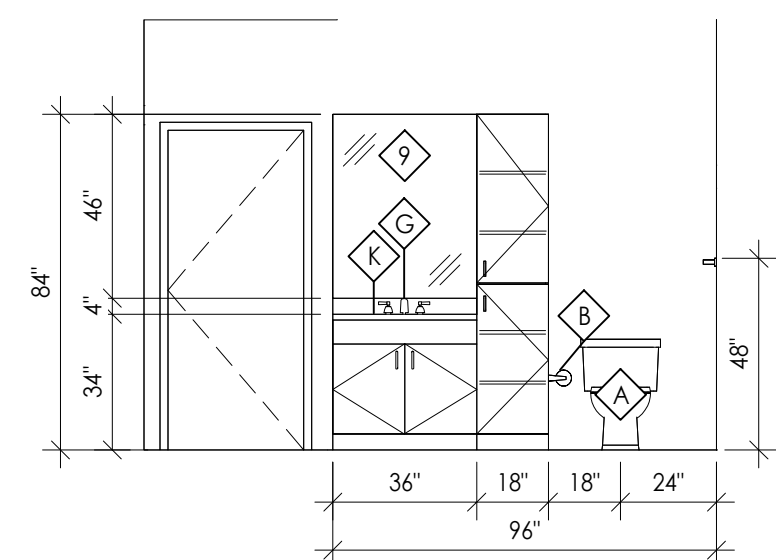
© STEPHEN PERRY SMITH ARCHITECTS, INC.



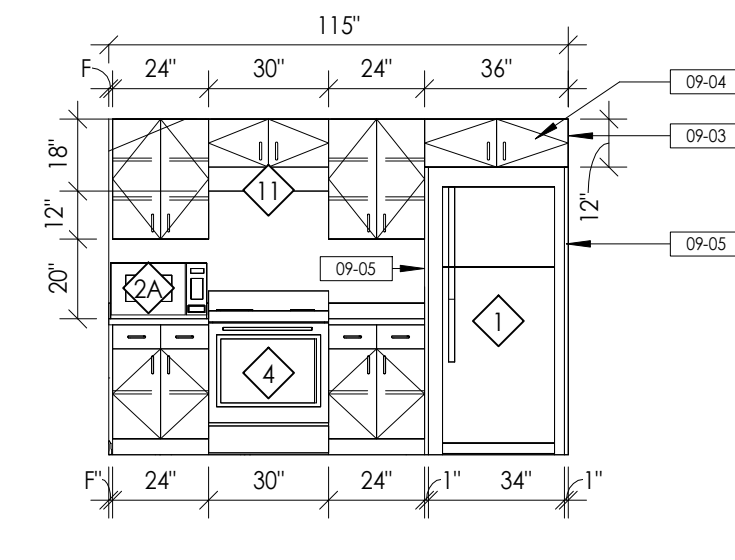
**14 UNIT 2B BATH SINK**  
SCALE 1/4" = 1'-0"



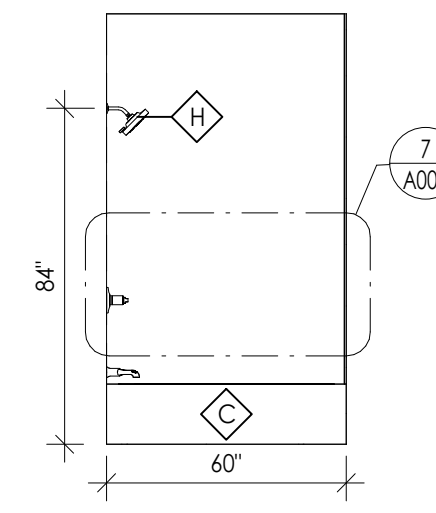
**12 UNIT 2B PENINSULA**  
SCALE 1/4" = 1'-0"



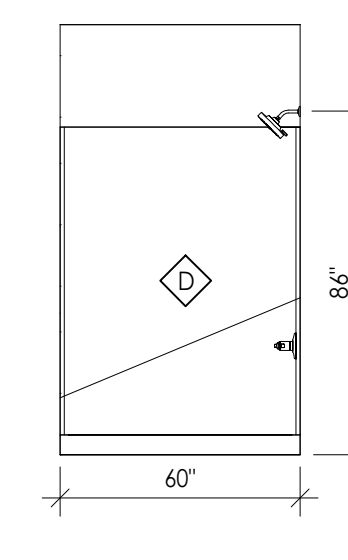
**10 UNIT 2B PRIMARY BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



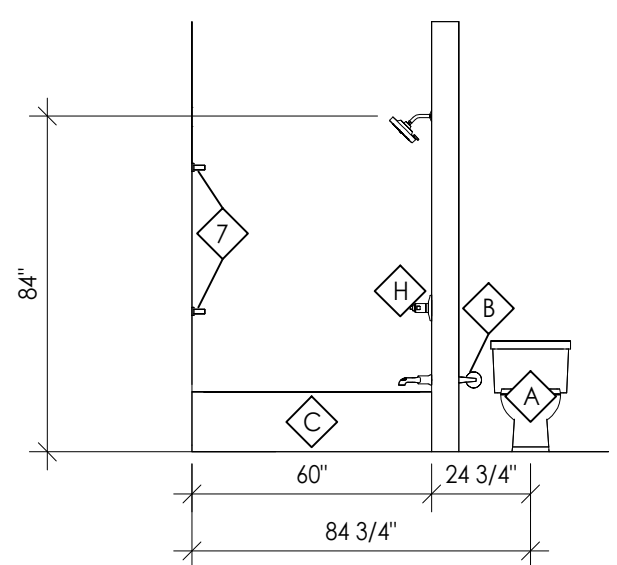
**8 UNIT 2A ADA KITCHEN**  
SCALE 1/4" = 1'-0"



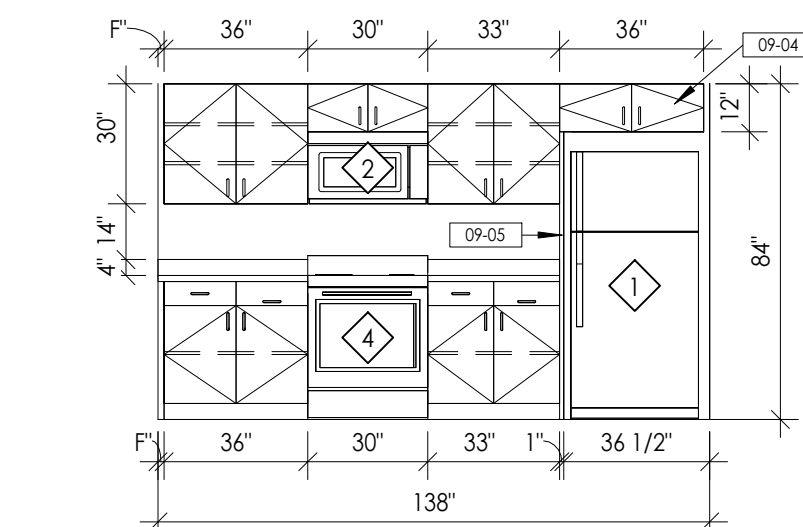
**6 UNIT 2A ADA TUB**  
SCALE 1/4" = 1'-0"



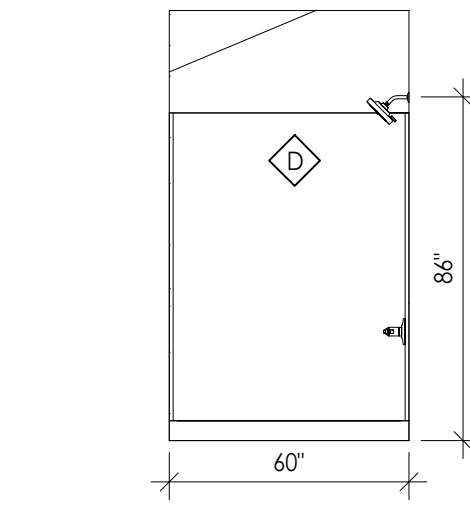
**4 UNIT 2A SHOWER**  
SCALE 1/4" = 1'-0"



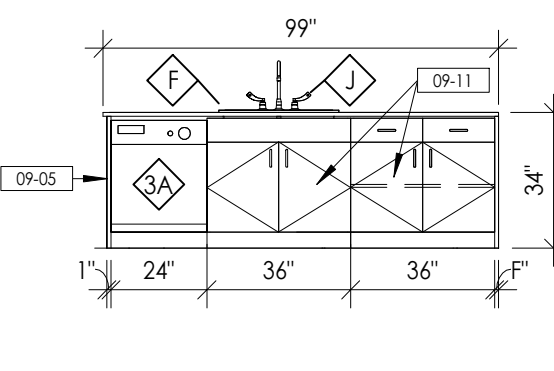
**13 UNIT 2B TOILET**  
SCALE 1/4" = 1'-0"



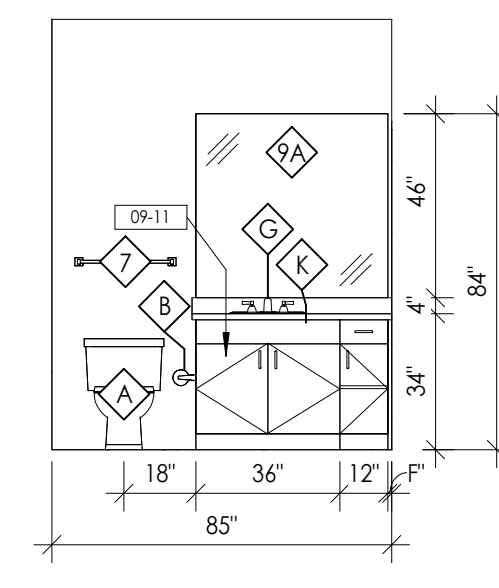
**11 UNIT 2B KITCHEN**  
SCALE 1/4" = 1'-0"



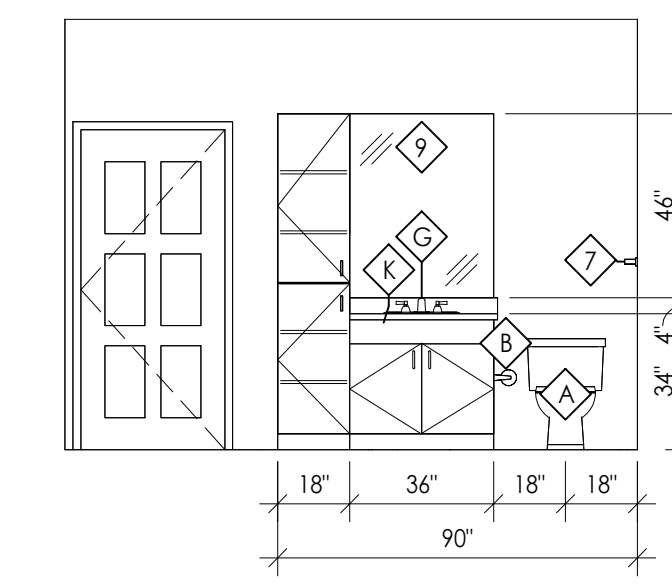
**9 UNIT 2B SHOWER**  
SCALE 1/4" = 1'-0"



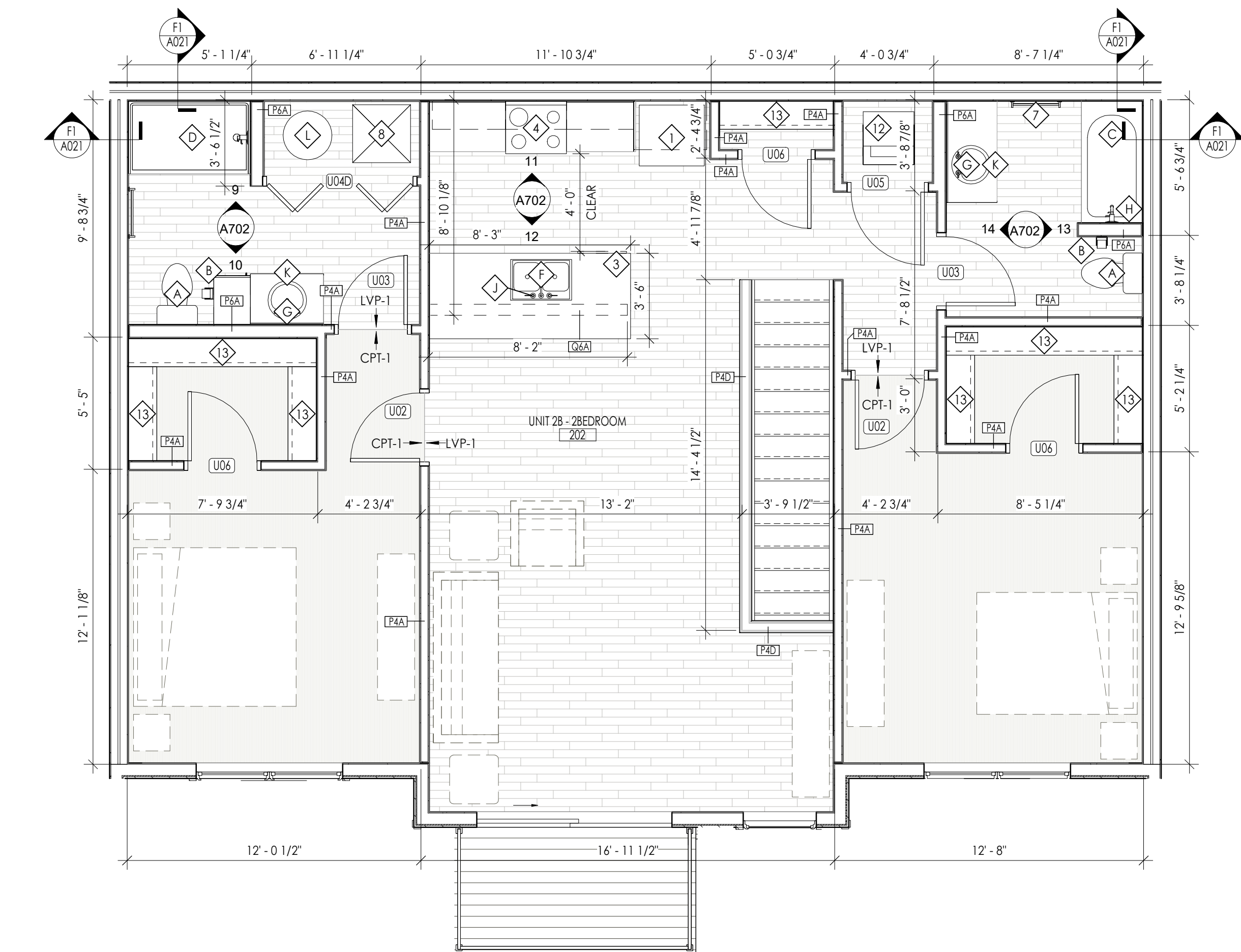
**7 UNIT 2A ADA PENINSULA**  
SCALE 1/4" = 1'-0"



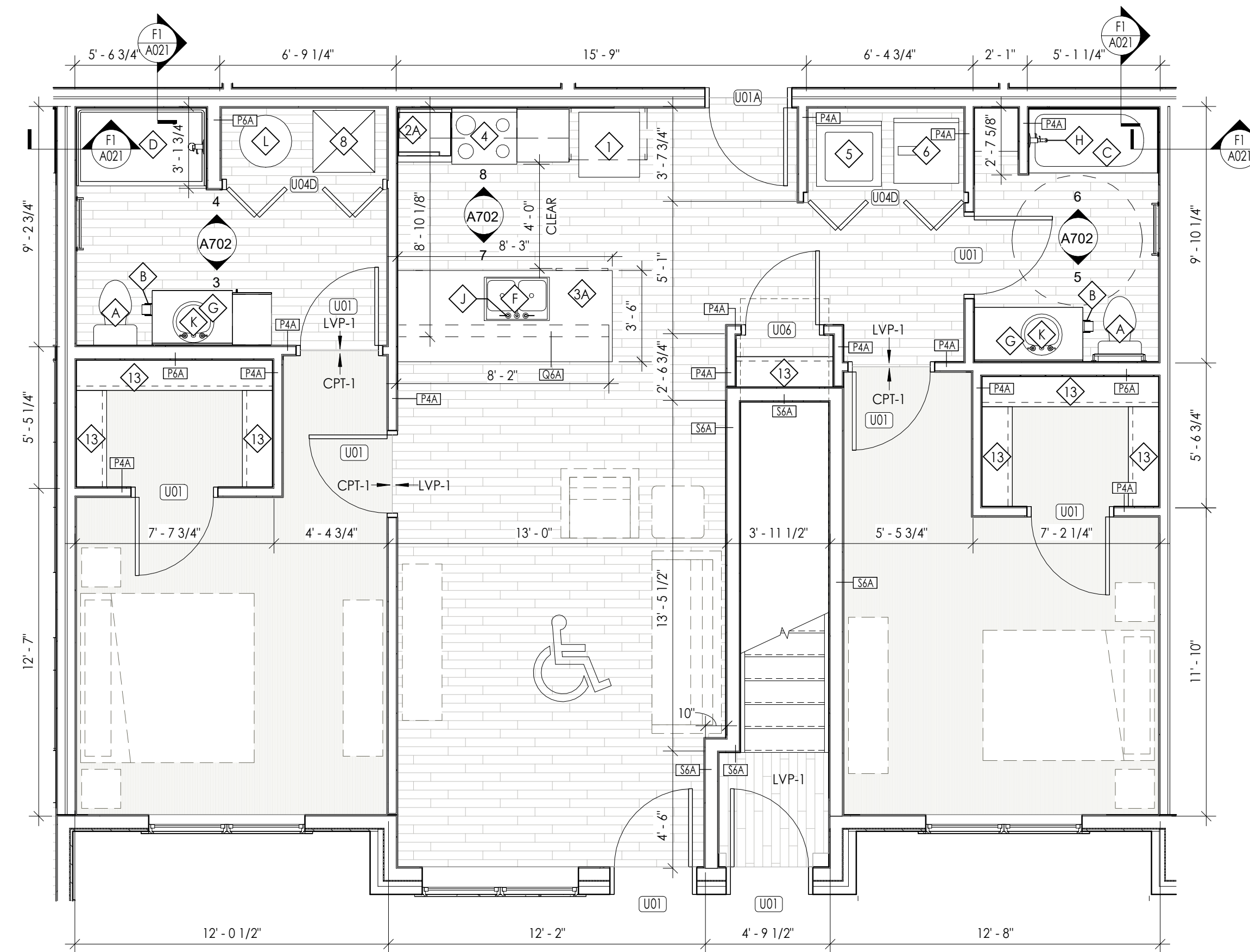
**5 UNIT 2A ADA BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



**3 UNIT 2A ADA PRIMARY BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



**2 UNIT 2B**  
SCALE 1/4" = 1'-0"



**1 UNIT 2A - 'TYPE-ADA'**  
SCALE 1/4" = 1'-0"



SHEET KEYNOTES

- 09-03 FINISHED END PANEL
- 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- 09-05 FINISHED SIDE PANEL



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
T 414.277.9700 | F 414.277.9705  
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

INFORMATION

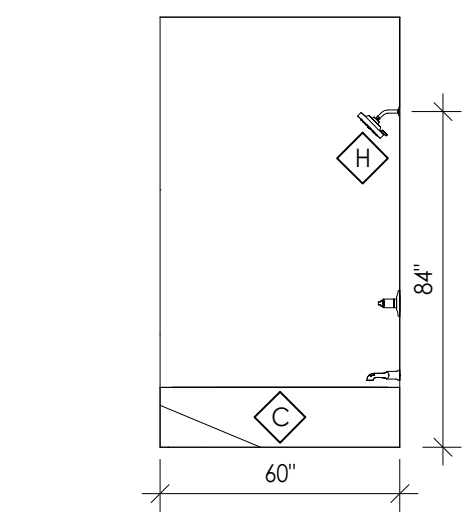
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

SHEET

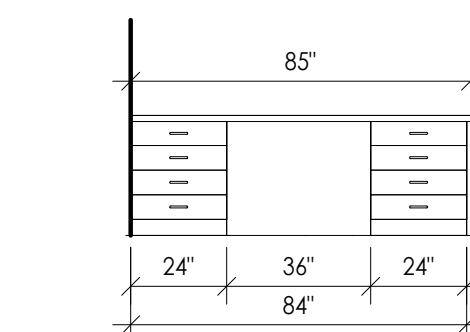
ENLARGED UNIT PLANS & ELEVATIONS

A703

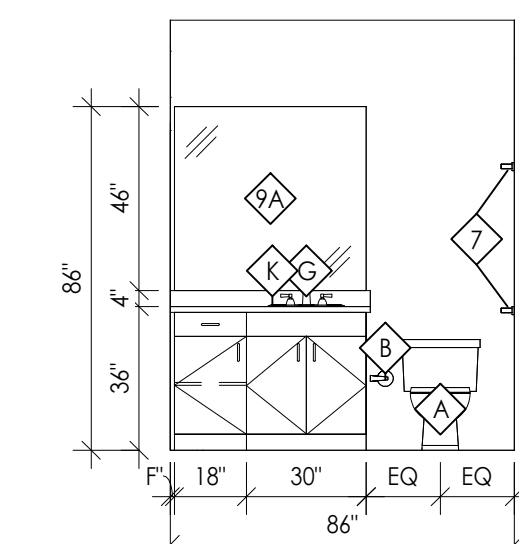
© STEPHEN PERRY SMITH ARCHITECTS, INC.



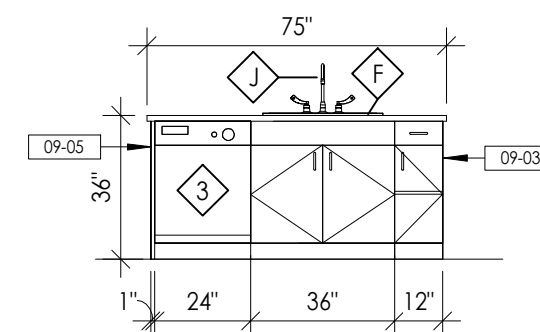
9 UNIT 3A TUB  
SCALE 1/4" = 1'-0"



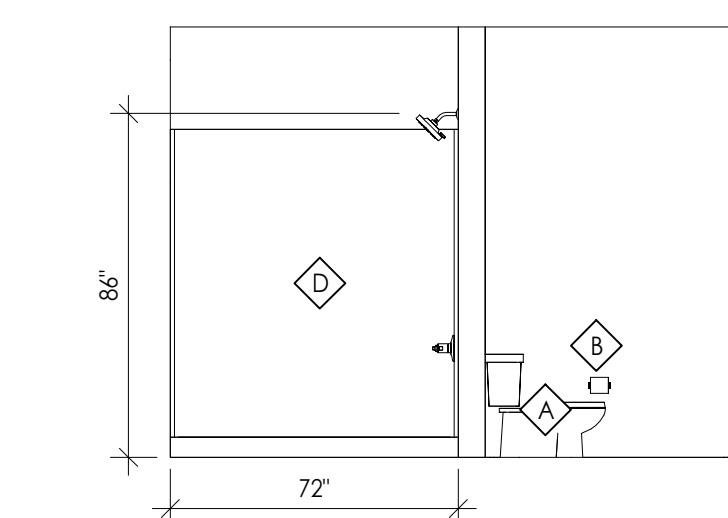
5 UNIT 3A DESK  
SCALE 1/4" = 1'-0"



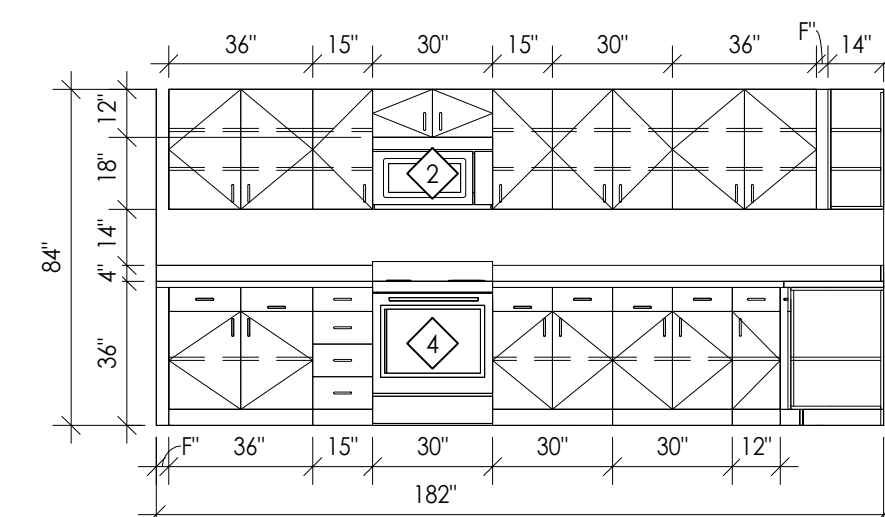
8 UNIT 3A BATH SINK/TOILET  
SCALE 1/4" = 1'-0"



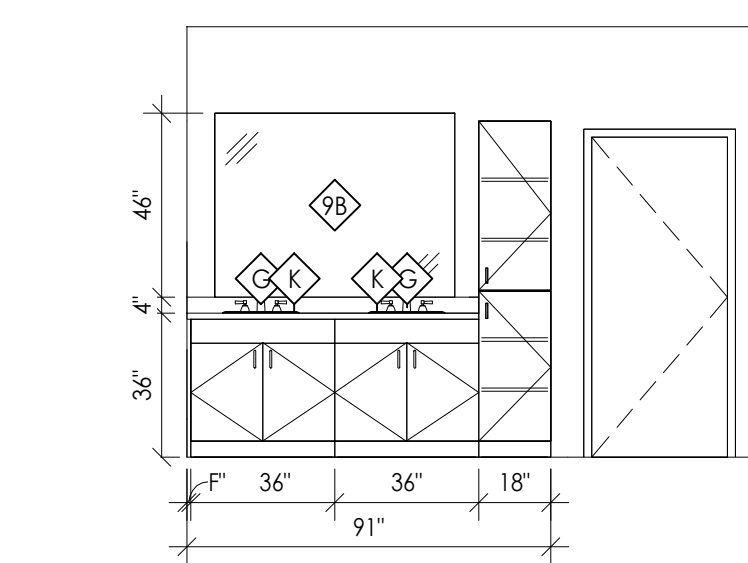
4 UNIT 3A ISLAND  
SCALE 1/4" = 1'-0"



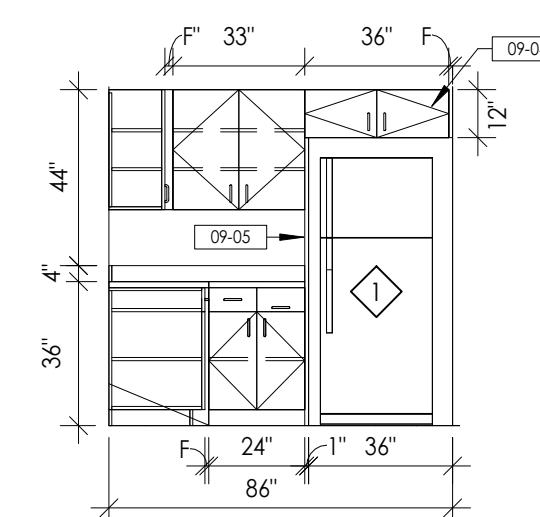
7 UNIT 3A SHOWER/TOILET  
SCALE 1/4" = 1'-0"



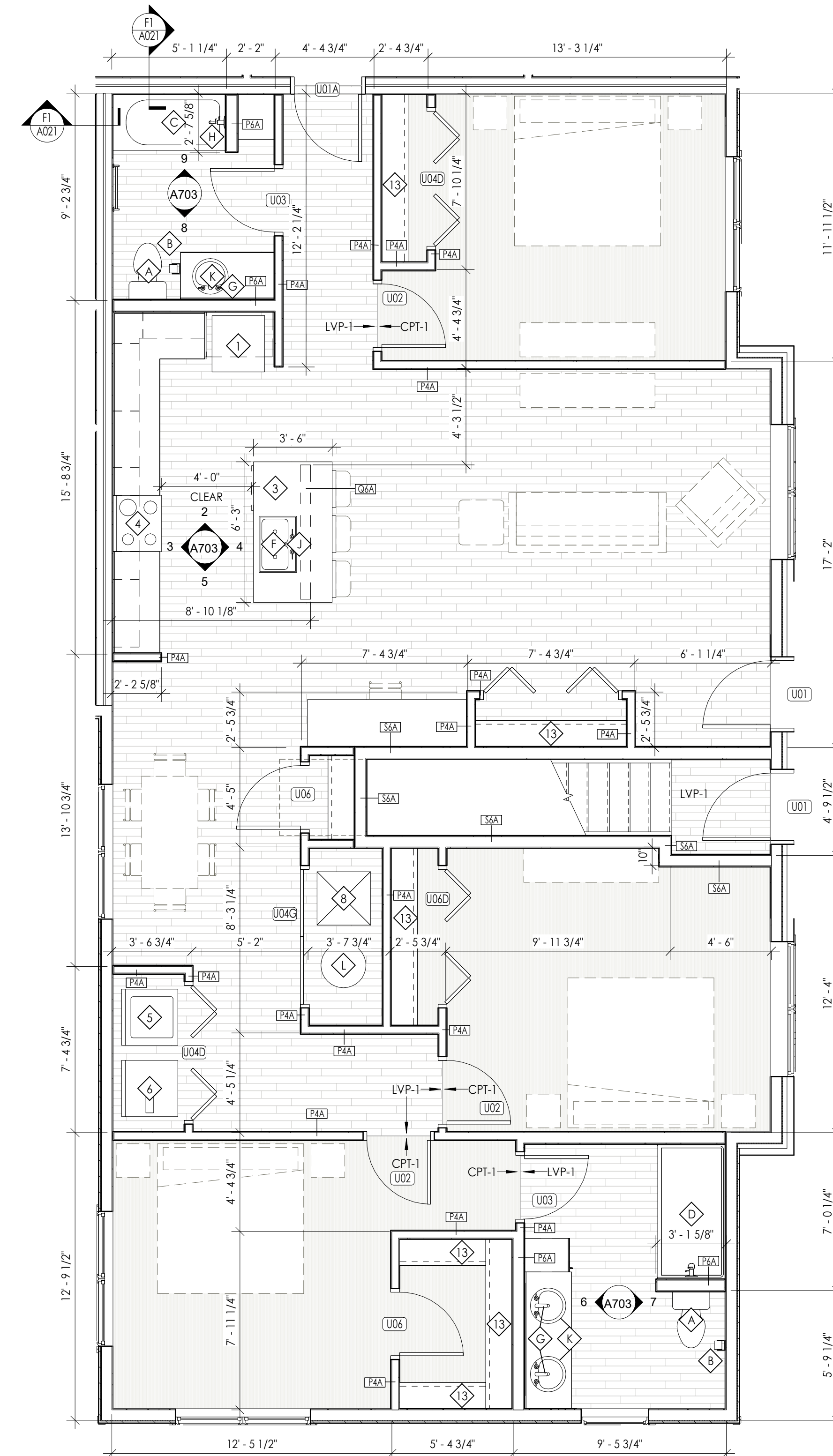
3 UNIT 3A KITCHEN 2  
SCALE 1/4" = 1'-0"



6 UNIT 3A PRIMARY BATH SINK  
SCALE 1/4" = 1'-0"



2 UNIT 3A KITCHEN 1  
SCALE 1/4" = 1'-0"



1 UNIT 3A  
SCALE 1/4" = 1'-0"



**SHEET KEYNOTES**

09-03 FINISHED END PANEL  
 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)  
 09-05 FINISHED SIDE PANEL



215 N. WATER STREET, SUITE 250  
 MILWAUKEE, WI 53202  
 T 414.277.9700 | F 414.277.9705  
 spsarchitects.com

**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN APARTMENTS**

4450 S 27TH STREET  
 MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
 3861 S. 60TH STREET  
 MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE
-----	-------------	------

**INFORMATION**

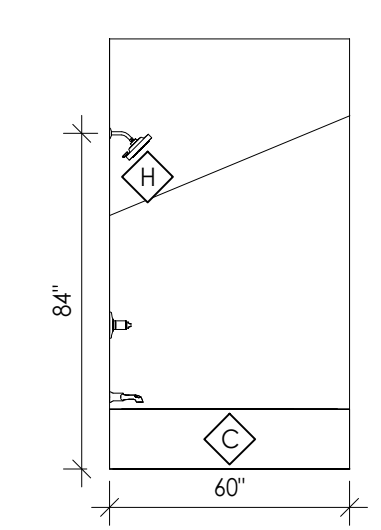
PROJECT ARCHITECT	SFS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	CITY REVIEW
DATE	05.30.23

**SHEET**

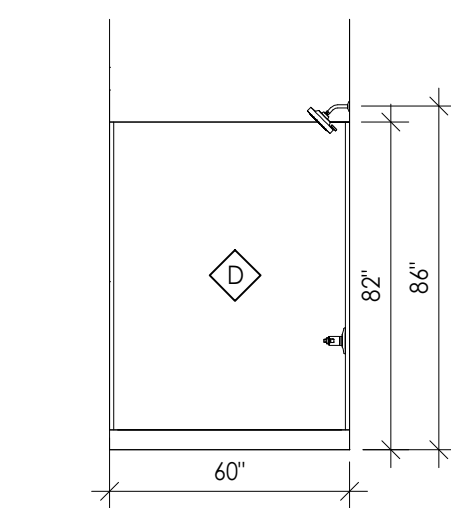
ENLARGED UNIT PLANS & ELEVATIONS

**A704**

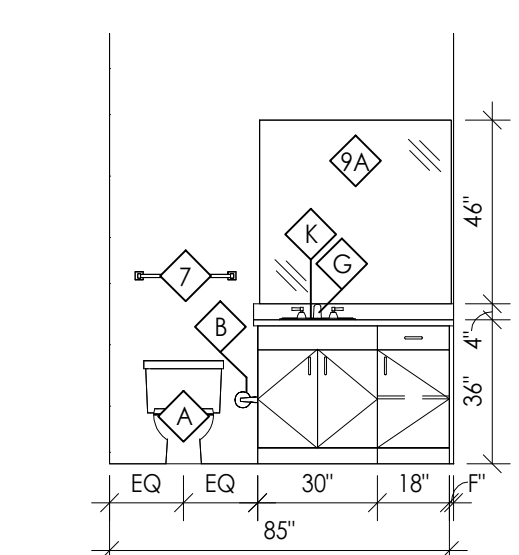
© STEPHEN PERRY SMITH ARCHITECTS, INC.



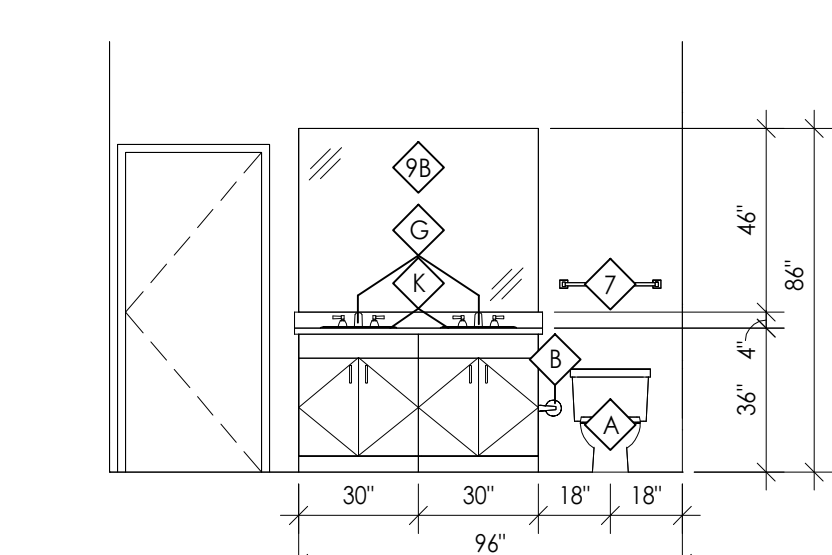
**9 UNIT 3B TUB**  
 SCALE 1/4" = 1'-0"



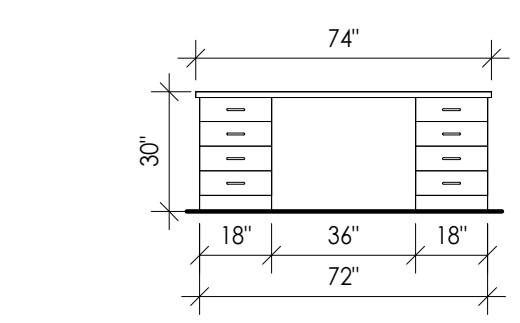
**8 UNIT 3B SHOWER**  
 SCALE 1/4" = 1'-0"



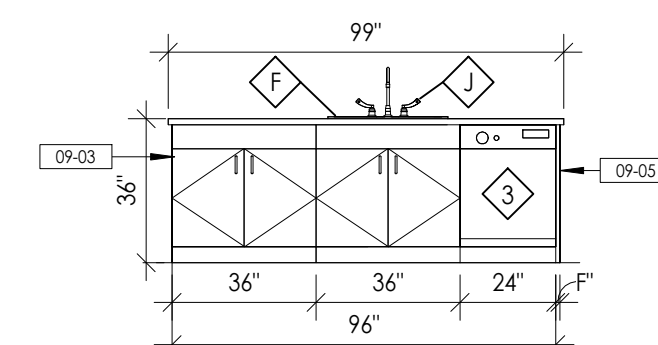
**7 UNIT 3B BATH SINK/TOILET**  
 SCALE 1/4" = 1'-0"



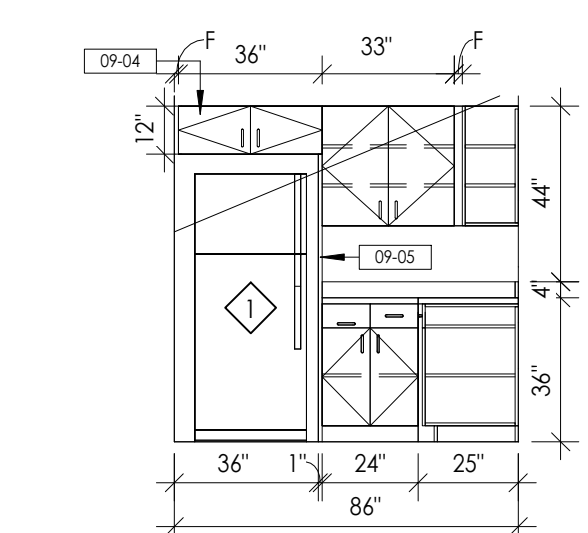
**6 UNIT 3B PRIMARY BATH SINK/TOILET**  
 SCALE 1/4" = 1'-0"



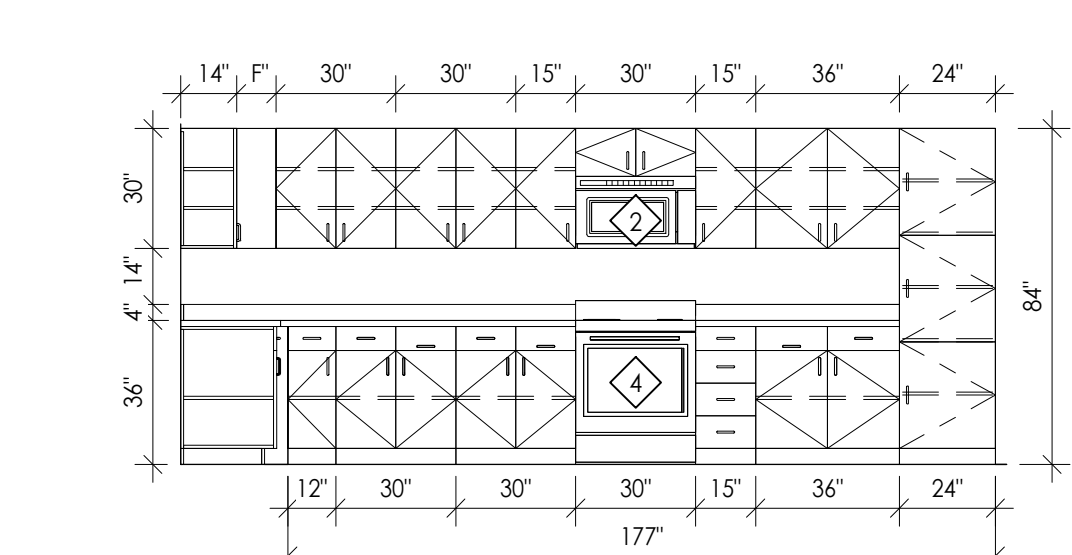
**5 UNIT 3B DESK**  
 SCALE 1/4" = 1'-0"



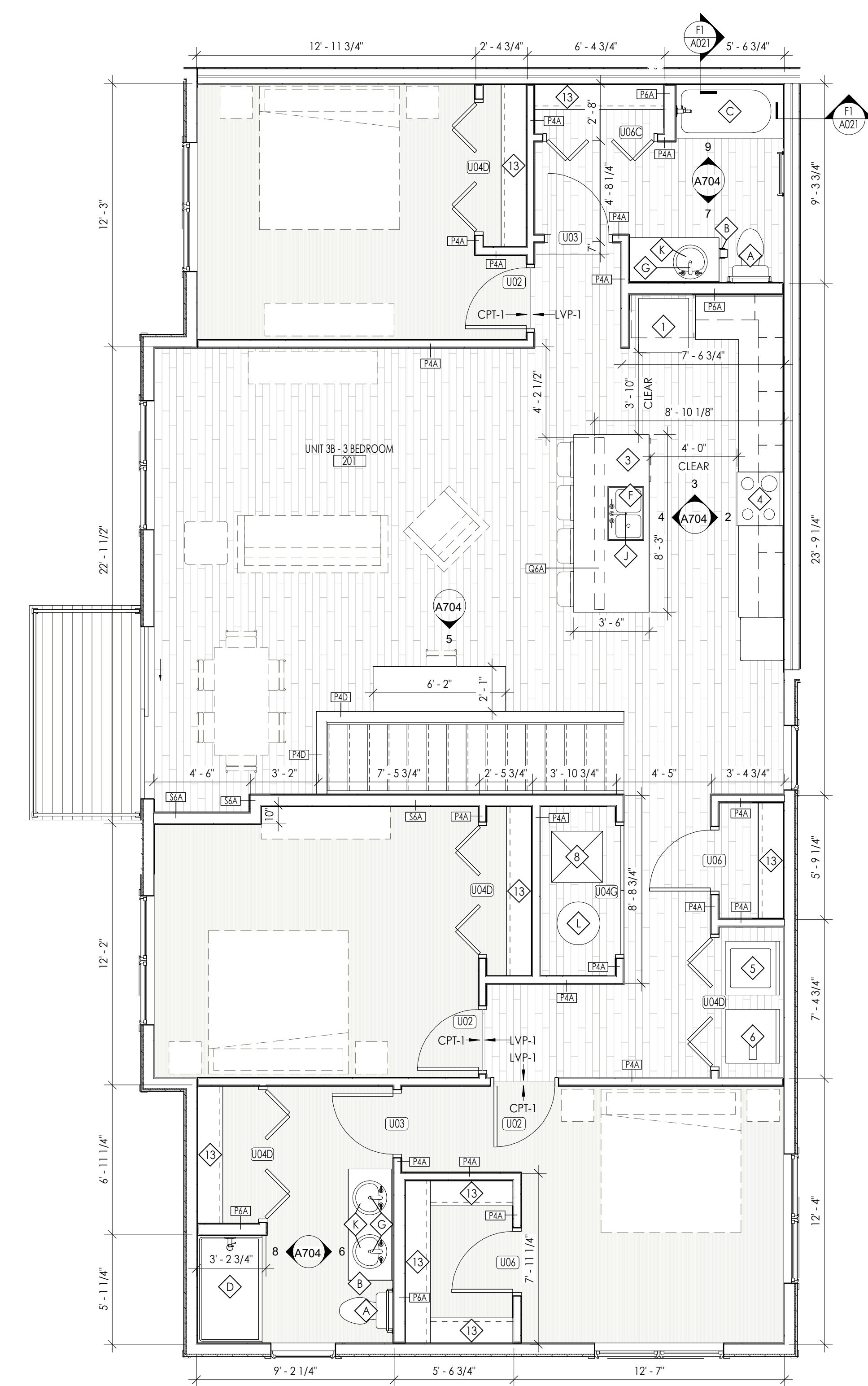
**4 UNIT 3B ISLAND**  
 SCALE 1/4" = 1'-0"



**3 UNIT 3B KITCHEN 1**  
 SCALE 1/4" = 1'-0"

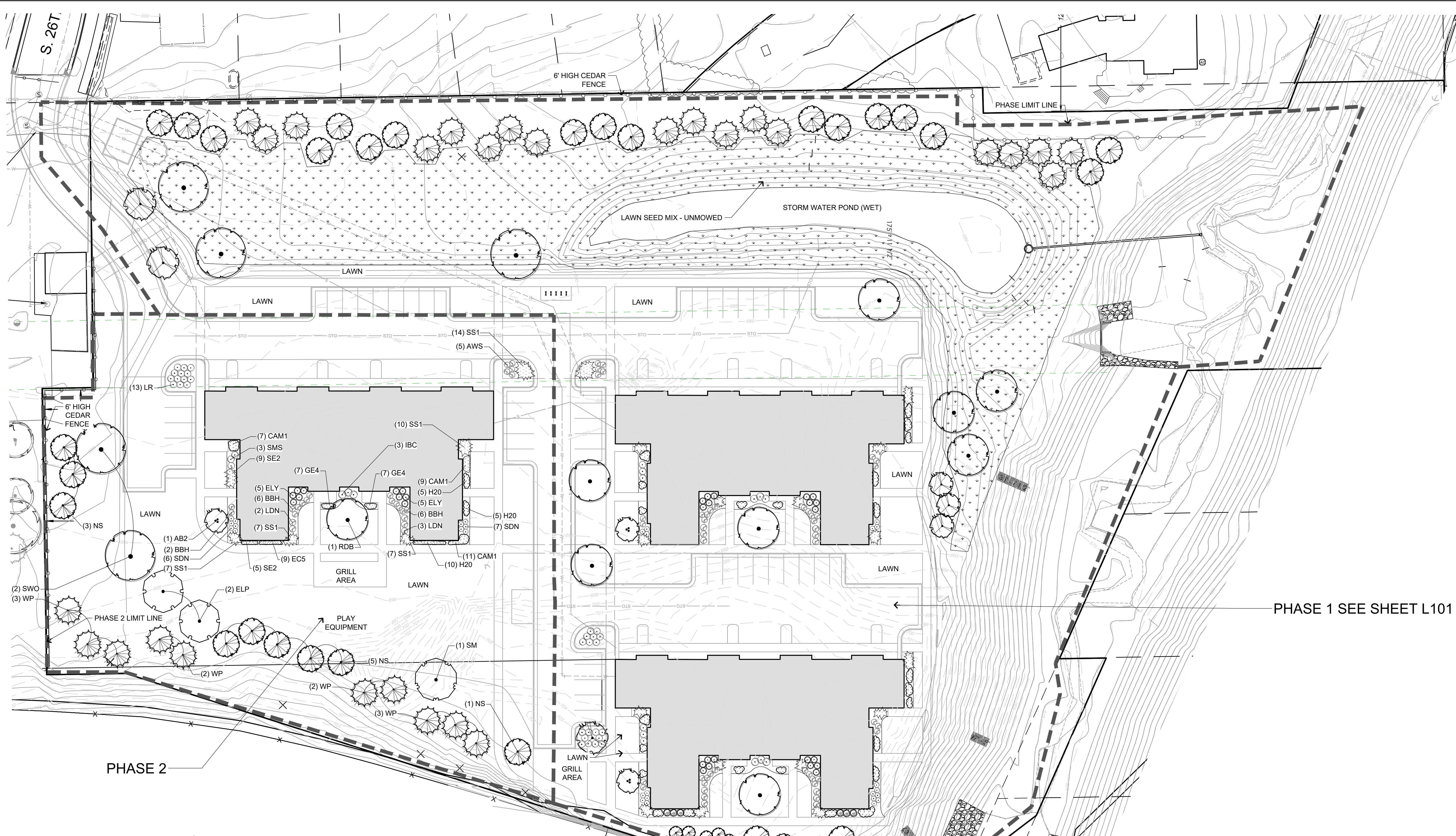


**2 UNIT 3B KITCHEN 2**  
 SCALE 1/4" = 1'-0"



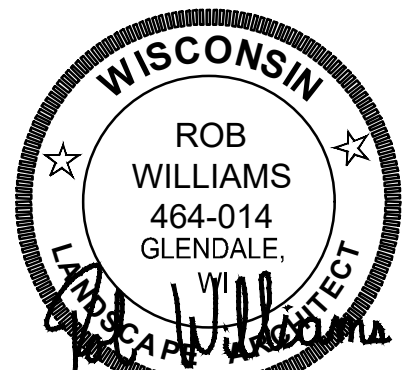
**1 UNIT 3B**  
 SCALE 1/4" = 1'-0"



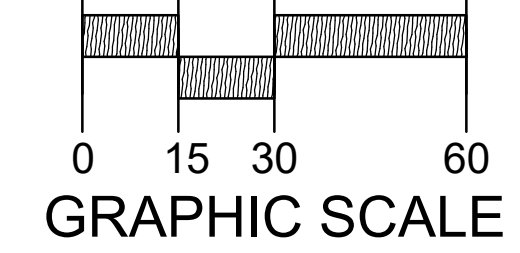
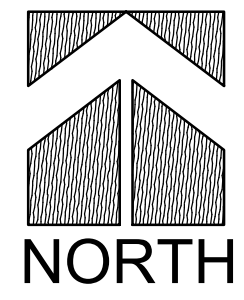


**PLANT SCHEDULE PHASE 2**

COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>DECIDUOUS TREES</b>				
SM	Super Maple	2 1/2" CAL	B&B	Full, matching heads
ELP	Exclamation London Planetree	2 1/2" CAL	B&B	Full, matching heads
SWO	Swamp White Oak	2 1/2" CAL	B&B	Full, matching heads
<b>EVERGREEN TREES</b>				
NS	Norway Spruce	6" HT	B&B	Semi-sheared, fully branched to ground
WP	White Pine	6" HT	B&B	Semi-sheared, fully branched to ground
<b>ORNAMENTAL TREES</b>				
RDB	Autumn Brilliance Serviceberry	7" HT	B&B	Clump, max. 3 stems
	Eastern Redbud	2" CAL	B&B	Full, matching heads, Northern grown
<b>DECIDUOUS SHRUBS</b>				
IBC	Inquise Beauty Black Chokeberry	15" HT	CONT.	
SDN	Niko Slender Dogwood	12" HT	CONT.	
LR	Kotalaki Orange Cherrilla	15" HT	CONT.	
BBH	Budding Hydrangea	24" HT	CONT.	
LDN	Little Devil Dwarf Ninesbark	24" HT	CONT.	
SMS	Snowmound Spirea	24" HT	CONT.	
AWS	Anthony Waterer Spirea	18" HT	CONT.	
<b>EVERGREEN SHRUBS</b>				
ELY	Everlow Yew	15" HT	B&B	
<b>ORNAMENTAL GRASSES</b>				
SS1	Little Bluestem Grass	1 GAL	POT	24" Spacing
<b>PERENNIALS</b>				
CAM1	Montrose White Columbine	4 1/2"	POT	24" Spacing
EC5	Kim's Knee High Purple Coneflower	4 1/2"	POT	18" Spacing
GE4	Rozanne Coreopsis	4 1/2"	POT	18" Spacing
H20	Royal Queen Daylily	4 1/2"	POT	18" Spacing
SE2	Autumn Fire Sedum	4 1/2"	POT	24" Spacing



DATE: 09-12-2023



R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.

DATE	DESCRIPTION

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

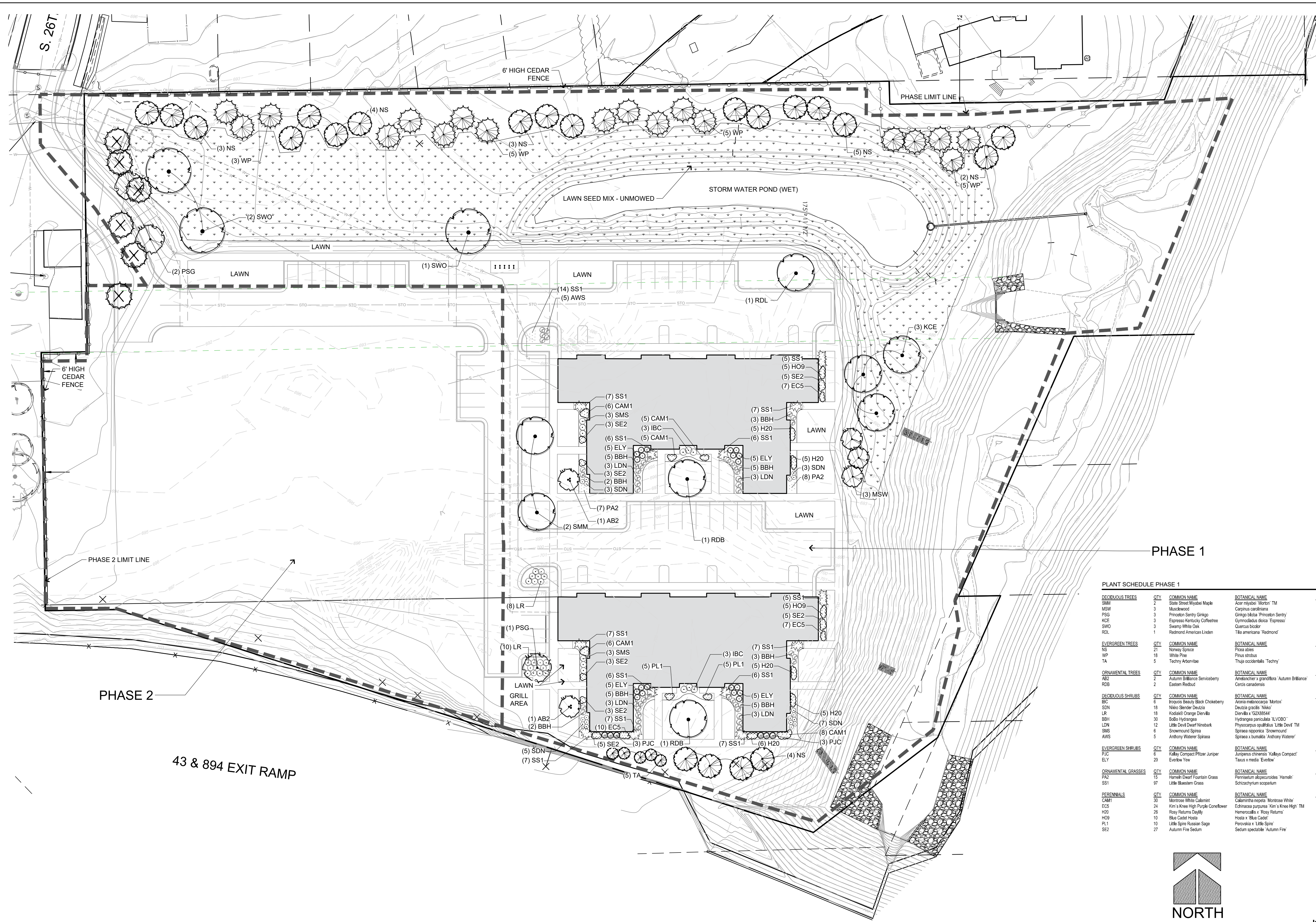
**raSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

**THE GARDEN APARTMENTS**  
**4500 S. 26TH ST., MILWAUKEE, WI, 53221**  
**FULL BUILD OUT LANDSCAPE PLAN**

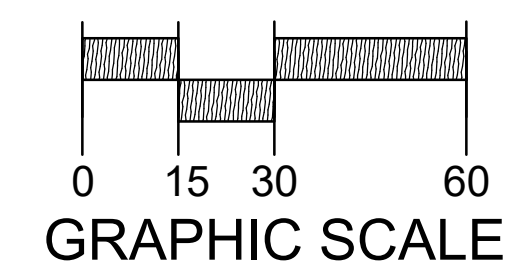
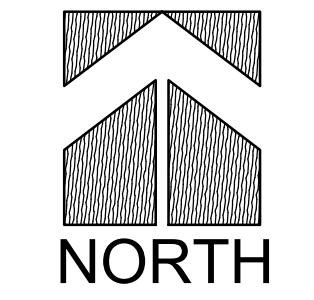
© COPYRIGHT 2023  
R.A. Smith, Inc.  
DATE: 09/12/2023  
SCALE: 1" = 30'  
JOB NO. 3170078.01  
PROJECT MANAGER:  
**ROB WILLIAMS, PLA**  
DESIGNED BY: ERM  
CHECKED BY: REW  
**SHEET NUMBER**  
**L100**





**PLANT SCHEDULE PHASE 1**

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SMM	2	State Street Maple	Acer spicatum 'Morton' TM	3" CAL	B&B	Full, matching heads
MSW	3	Musclewood	Carpinus caroliniana	2" CAL	B&B	Full, matching heads
PSG	3	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	2 1/2" CAL	B&B	Full, matching heads
KCE	3	Espresso Kentucky Coffee tree	Gymnocladia dioica 'Espresso'	2" CAL	B&B	Full, matching heads
SWO	3	Swamp White Oak	Quercus bicolor	2 1/2" CAL	B&B	Full, matching heads
RDL	1	Redmond American Linden	Tilia americana 'Redmond'	3" CAL	B&B	Full, matching heads
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
NS	21	Norway Spruce	Picea abies	6 HT	B&B	Semi-shaded, fully branched to ground
HP	18	White Pine	Pinus strobus	6 HT	B&B	Semi-shaded, fully branched to ground
TA	5	Tachya Arborvitae	Thuja occidentalis 'Tachya'	6 HT	B&B	Semi-shaded, fully branched to ground
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AB2	2	Autumn Brilliance Serviceberry	Aamelanchier x grandiflora 'Autumn Brilliance'	7 HT	B&B	Okms, min. 3 stems
RDB	2	Eastern Redbud	Cercis canadensis	2" CAL	B&B	Full, matching heads, Northern grown
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
BC	6	Prospice Beauty Black Chokeberry	Aronia melanocarpa 'Morton'	15" HT	CONT.	
SDN	18	Nikko Slender Dogwood	Desmodium illinoense	12" HT	CONT.	
LR	18	Kodiak Orange Clematis	Clematis x 'KODIACK'	15" HT	CONT.	
BBH	30	SoBo Hydrangea	Hydrangea paniculata 'TLVBO'	24" HT	CONT.	
LDN	12	Little Devil Dwarf Nimbark	Physocarpus opulifolius 'Little Devil' TM	24" HT	CONT.	
SMS	6	Snowmound Spirea	Spiraea japonica 'Snowmound'	24" HT	CONT.	
AWS	5	Anthony Waterer Spiraea	Spiraea x bumalda 'Anthony Waterer'	18" HT	CONT.	
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PJC	6	Kalloy Compact Pfitzer Juniper	Juniperus chinensis 'Kalloy Compact'	24" SPD	CONT.	
ELY	20	Everlow Yew	Taxus x media 'Everlow'	18" HT	B&B	
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PAZ	15	Hansel Dwarf Fountain Grass	Perisetum alpinopurpureum 'Hansel'	1.0 CAL	POT	24" Spacing
SS1	87	Little Bluestem Grass	Schizanthus scoparium	1.0 CAL	POT	24" Spacing
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
LAM	30	Monrose White Salenast	Callimorpha rotunda 'Monrose White'	4 1/2" POT	POT	24" Spacing
EC5	24	Kim's Knee High Purple Coreopsis	Echinacea purpurea 'Kim's Knee High' TM	4 1/2" POT	POT	18" Spacing
RDR	28	Royal Returns Daily	Hemerocallis x 'Royal Returns'	4 1/2" POT	POT	18" Spacing
HCB	10	Blue Candy Heart	Hosta x 'Blue Candy'	4 1/2" POT	POT	24" Spacing
PL1	10	Little Spire Russian Sage	Perovskia x 'Little Spire'	4 1/2" POT	POT	24" Spacing
SE2	27	Autumn Fire Sedum	Sedum spectabile 'Autumn Fire'	4 1/2" POT	POT	24" Spacing



Know what's below.  
Call before you dig.

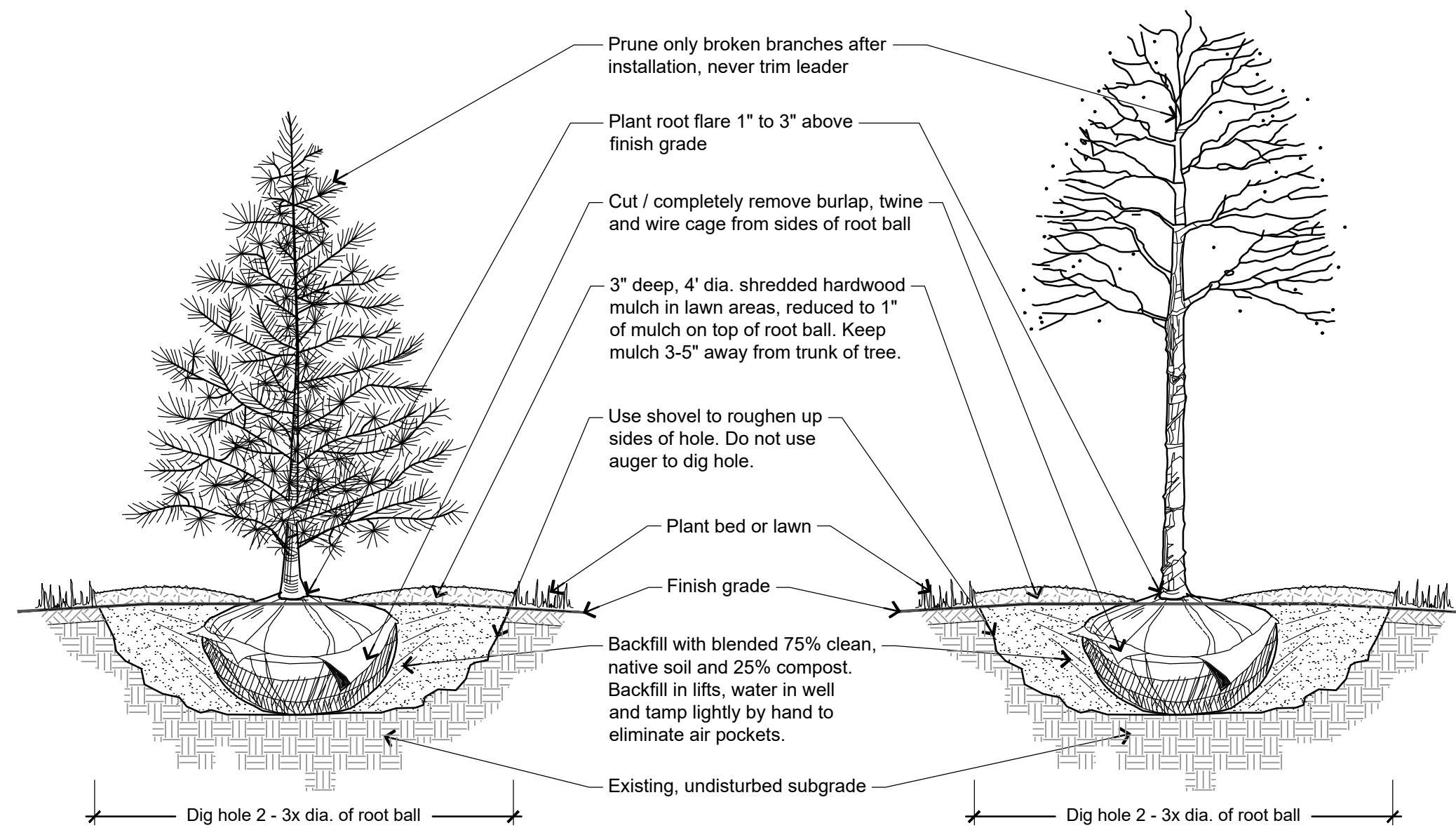
R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A. SMITH, INC.

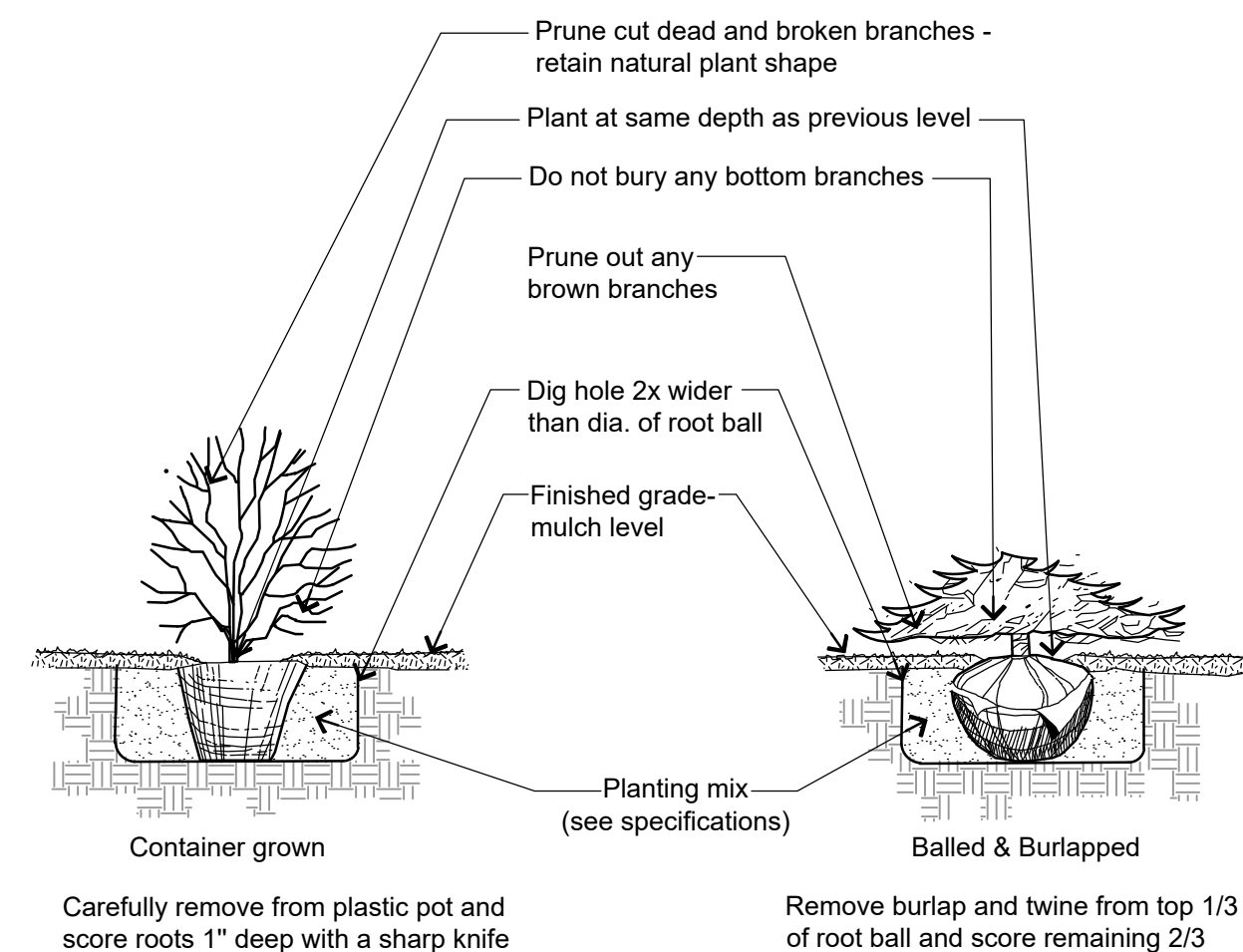
DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com CREATIVITY BEYOND ENGINEERING	
Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI Cedarburg, WI   Naperville, IL   Irvine, CA	
<b>THE GARDEN APARTMENTS</b> <b>4500 S. 26TH ST., MILWAUKEE, WI, 53221</b>	
<b>PHASE 1 LANDSCAPE PLAN</b>	
© COPYRIGHT 2023 R.A. Smith, Inc. DATE: 09/12/2023 SCALE: 1" = 30' JOB NO. 3170078.01 PROJECT MANAGER: ROB WILLIAMS, PLA DESIGNED BY: ERM CHECKED BY: REW <b>SHEET NUMBER</b> L101	

P:\3170078\DWG\01 (2023)\Sheets\3170078.01\_LSP01.dwg, PHASE 1 LANDSCAPE PLAN, 9/12/2023, 2:23:59 PM, rww

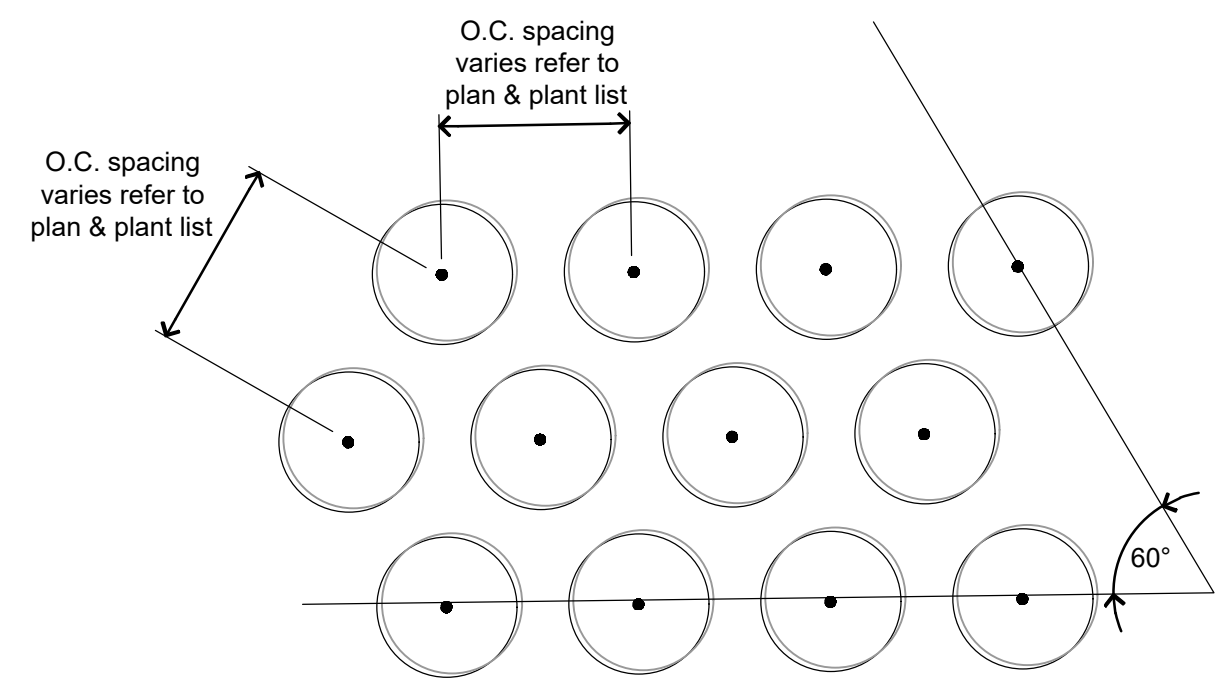




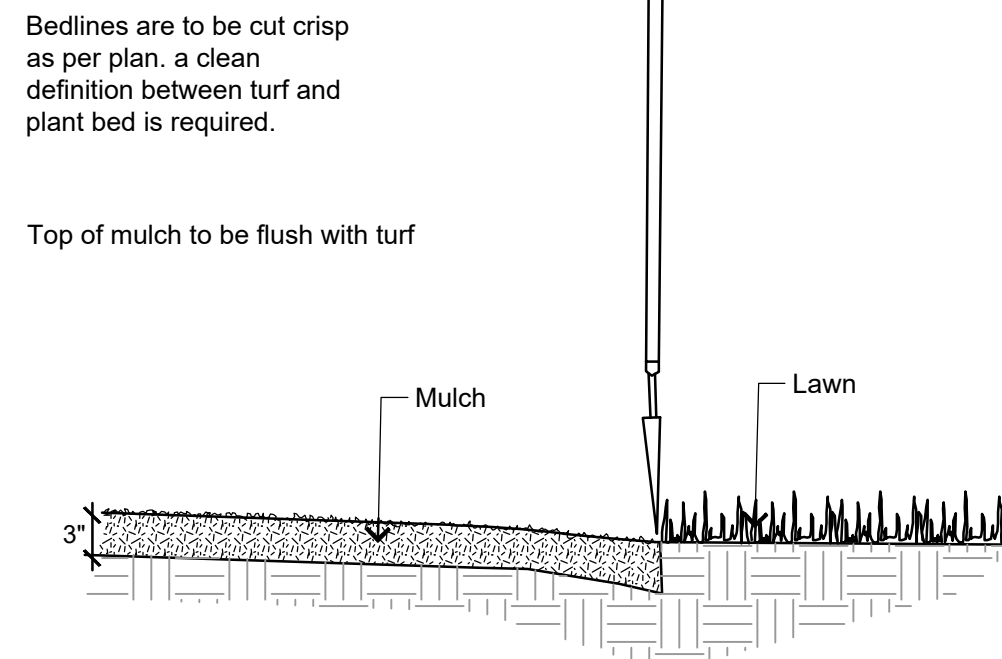
**1 TREE PLANTING DETAIL**  
NOT TO SCALE  
ras-2023-3170078-07



**2 SHRUB PLANTING DETAIL**  
NOT TO SCALE



**3 PLANTING LAYOUT**  
NOT TO SCALE



**4 SHOVEL OR MECHANICAL CUT PLANT BED EDGE DETAIL**  
NOT TO SCALE

### GENERAL LANDSCAPE NOTES

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
- The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
- Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
- Topsoil shall be placed to meet proposed finished grade. Planting islands to be backfilled with clean topsoil free of debris (per note below) to a minimum depth of 18" by general / grading contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 3" of clean topsoil (per note below).
- Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
- Planting beds and parking lot islands. Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
- Seeded areas: to receive a settled minimum depth of 3" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
- Tree planting (see planting detail): plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. An auger is not an acceptable method of digging tree planting holes. Scarify side walls of tree pit prior to installation. Once tree has been placed into the hole, is at the correct depth and vertical alignment and will no longer be moved, brace root ball by tamping soil around the lower portion of the root ball. Remove and discard twine / rope, burlap and support wire from the sides of root ball. Backfill pit with 75% existing soil removed from excavation and 25% compost blended prior to backfilling holes, in six-inch lifts. Lightly tamp each lift using foot pressure or hand tools to settle backfill, support the tree and eliminate voids. Do not over compact or use mechanical or pneumatic tamping equipment. Discard any gravel, heavy clay or stones. When hole has been backfilled to three-quarters of its depth, pour water around the root ball and allow to soak into soil to settle the soil. Continue backfilling until soil is brought to grade level.  
  
Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all trees in lawn areas, reduced to 1" deep on top of root ball. Keep mulch 3"-5" away from trunk of tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Trees too large for two people to lift in and out of holes, shall be placed with sling. Do not rock the trees in holes to raise them.
- Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of high-quality shredded hardwood bark mulch (not environment or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material injurious to plant growth. All perennial and ornamental grass planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
- Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
- Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDOT S100 Compost Specification.
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, to ensure good seed to soil contact, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.  
  
An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
- Lawn seed mix - use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial ryegrass applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
- UnMowed Lawn Seed mix - WisDOT 80 native seed mix or equivalent applied at 2lbs per 1,000 SF. Provide seed specifications to general contractor prior to installation.
- Lawn installation for all sodded turfgrass areas: remove / kill off any existing unwanted vegetation prior to sodding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than 1/2 square foot) until acceptance by owner.
- Warranty and replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one calendar year after the date of acceptance. This assumes the owner performs required maintenance (i.e. regular watering) after the landscape contractor's maintenance period has been completed. Landscape contractor shall inform owner when required maintenance has concluded. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, evergreens, shrubs, perennials, ornamental grasses, turf grass areas and native seeding areas (if applicable). Work also includes weeding, edging, mulching (only if required), watering, fertilizing, trimming, mowing lawn areas, sweeping up grass clippings, pruning and deadheading.
- Project completion: upon substantial completion of the project, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to answer questions and ensure that all specifications have been met. The landscape contractor is to provide watering and general ongoing maintenance instructions (in writing) for the new plantings and lawn to the owner and general contractor.

DESCRIPTION													
DATE													

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com



Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

**THE GARDEN APARTMENTS**  
**4500 S. 26TH ST., MILWAUKEE, WI, 53221**

**LANDSCAPE NOTES AND DETAILS**



Know what's below.  
Call before you dig.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.  
  
ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A. SMITH, INC.

© COPYRIGHT 2023 R.A. Smith, Inc.
DATE: 09/12/23
SCALE: NTS
JOB NO. 3170078.01
PROJECT MANAGER: ROB WILLIAMS, PLA
DESIGNED BY: ERM
CHECKED BY: REW
<b>SHEET NUMBER</b>
<b>L200</b>