



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/841 N Broadway/Milwaukee, WI 53202/phone 414-286-5722

Property Description of work

2409 N. Terrace Ave., North Point North Historic District

Site plan, landscaping plan, footings and foundation approved for single-family residential project per the attached plans.

Date issued 12/12/2023

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Certificate of Appropriateness for architectural plans to be released by HPC staff at a later date following final selection and approval of building windows and doors.

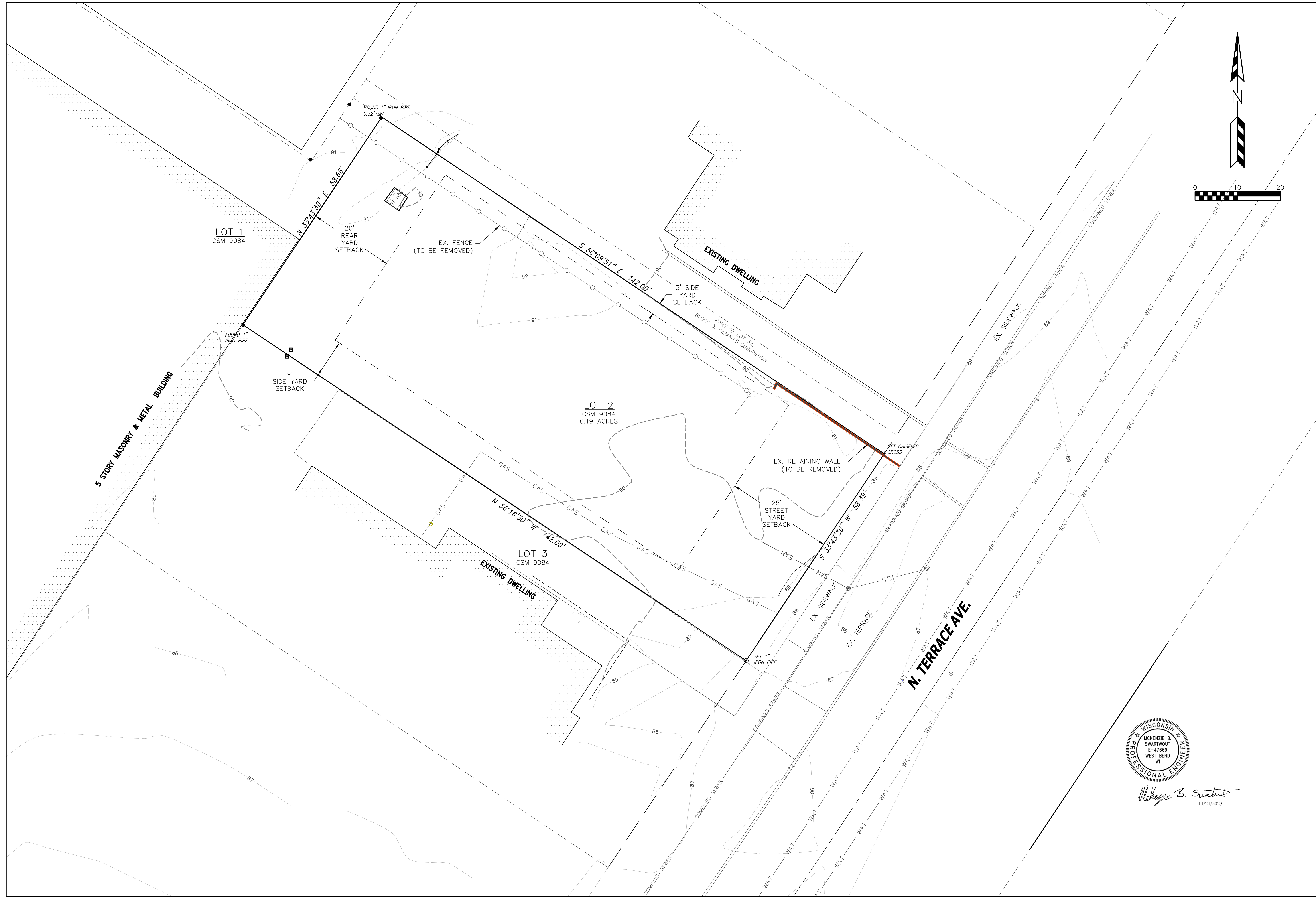
All work must be done in a craftsman-like manner. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5722 E-mail: hpc@milwaukee.gov.

Permits and timeline

You are responsible for determining if permits are required and obtaining them prior to commencing work. Consult the Development Center on the web or by telephone for details: www.milwaukee.gov/lms - (414) 286-8210. If permits are not required, work must be completed within one year of the date this certificate was issued. If permits are required, permits must be obtained within one year of the date this certificate was issued.

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Brostoff



REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

PSE
 PARISH SURVEY & ENGINEERING
 122 Wisconsin Street, West Bend, WI 53095
 262.346.7800 www.parishse.com

PROJECT TITLE:
**PROPOSED RESIDENTIAL
 2409 TERRACE AVE
 MILWAUKEE, WI 53211**

PLAN TITLE:
**EXISTING
 CONDITIONS
 PLAN**

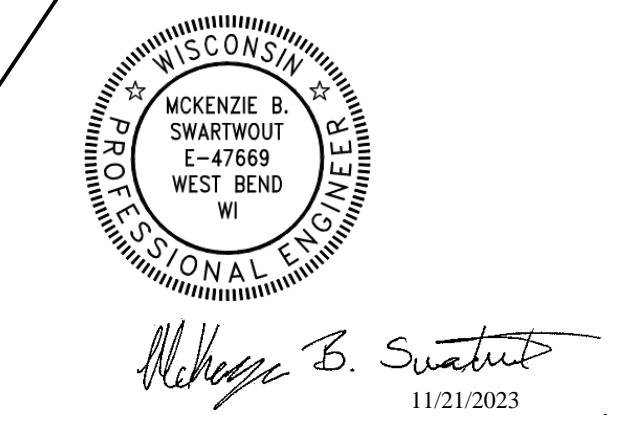
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MBS
 DESIGNED BY:
MBS
 CHECKED BY:
KJP

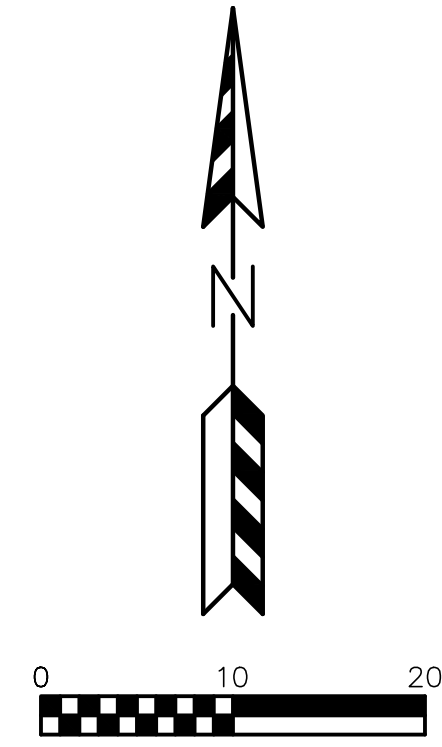
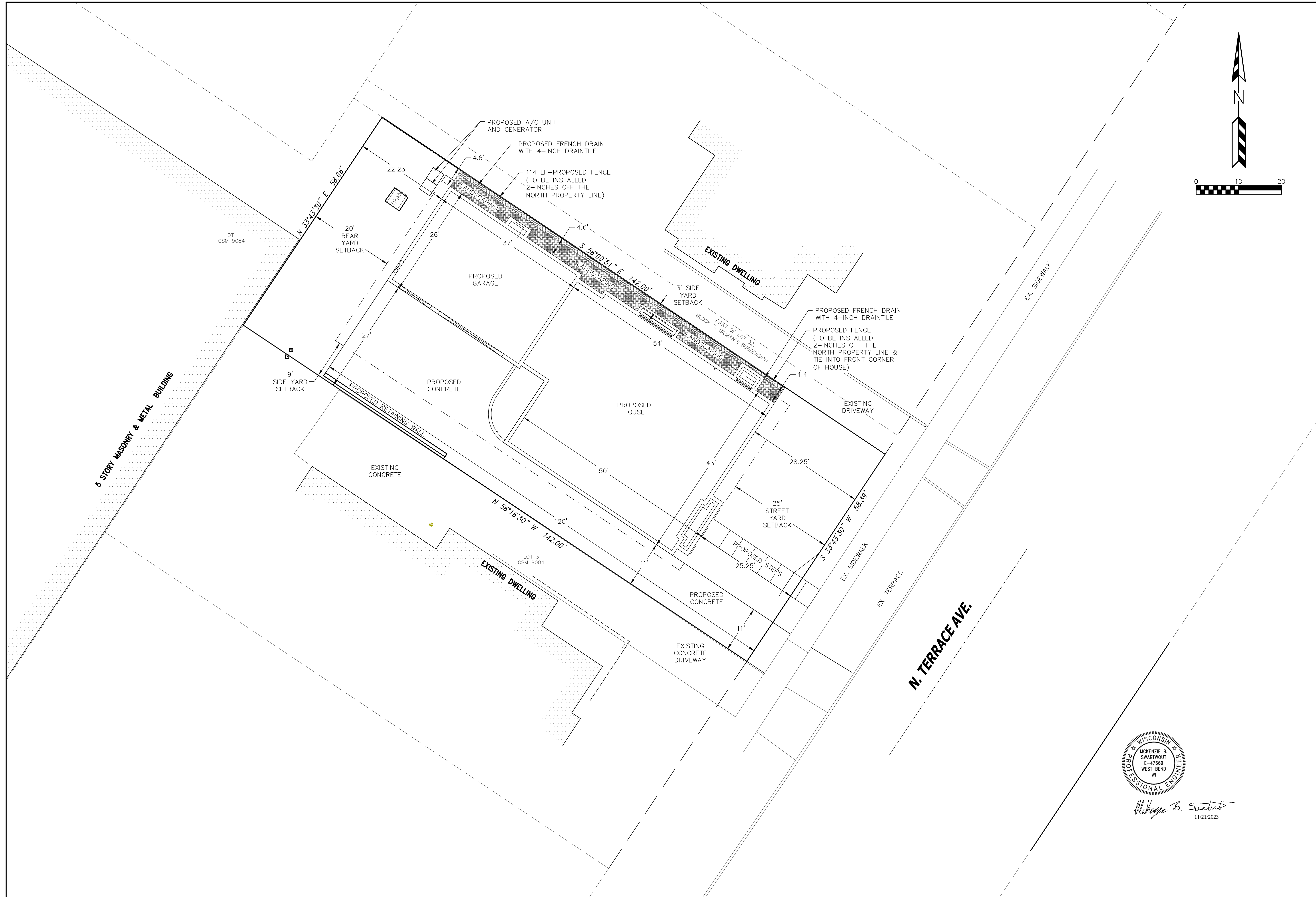
PLAN DATE:
11-21-2023

PROJECT NO:
 \JM-28-23\

SUBMITTAL

SHEET NO:
C1.01





REVISIONS:	
NO.	DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

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PROPOSED RESIDENTIAL
 2409 TERRACE AVE
 MILWAUKEE, WI 53211

PLAN TITLE:
PROPOSED SITE PLAN

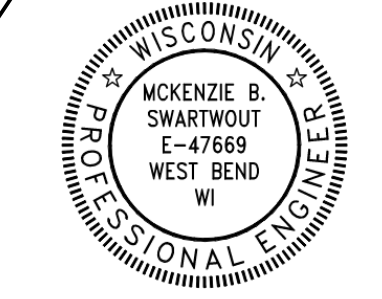
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KJP

PLAN DATE:
11-21-2023

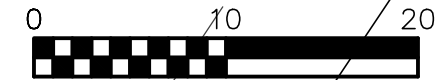
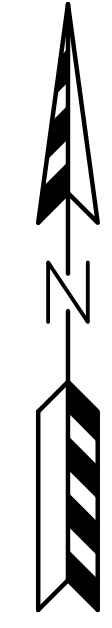
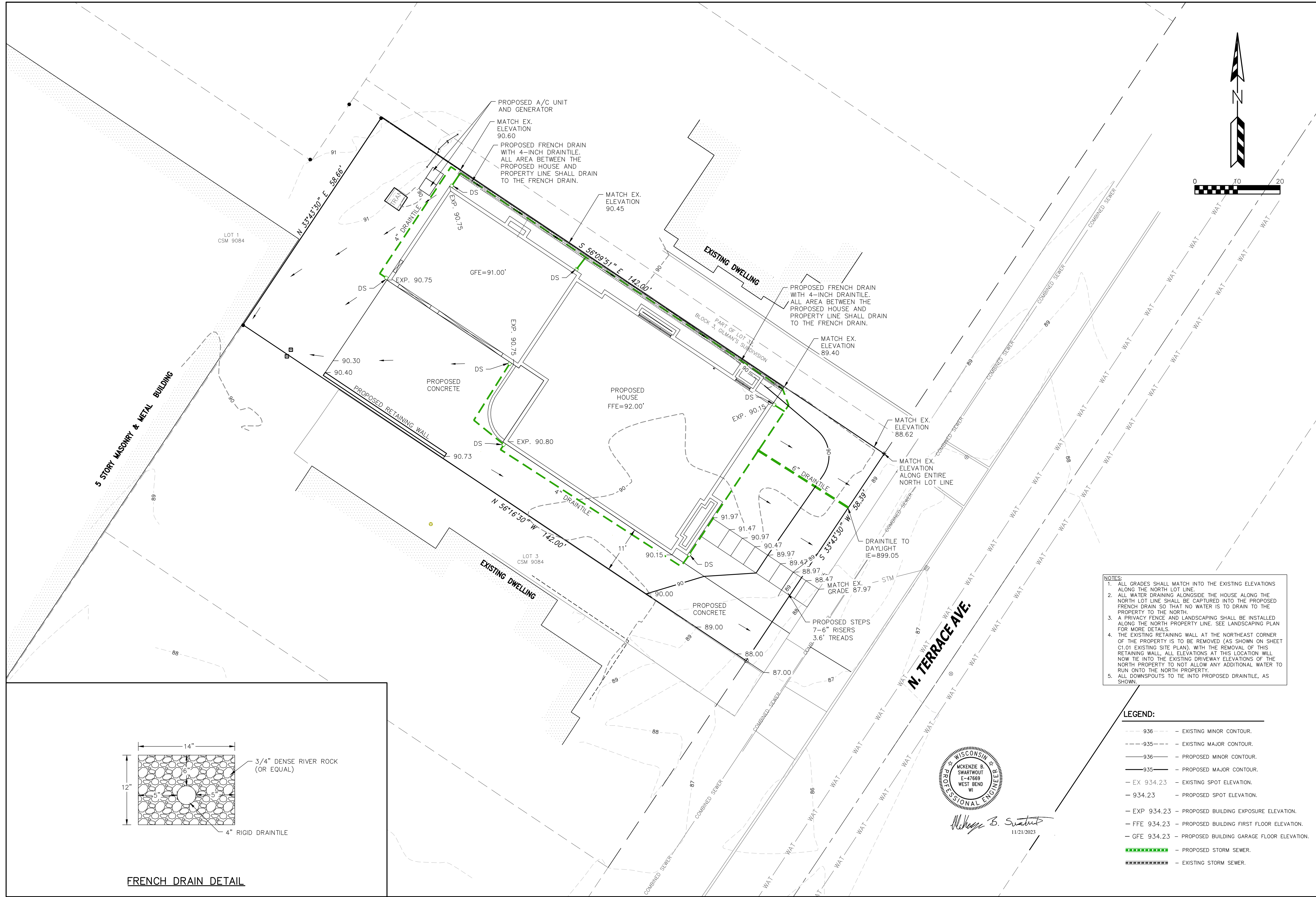
PROJECT NO:
 \JM-28-23\

SUBMITTAL

SHEET NO:
C1.02



McKenzie B. Swartwout
 11/21/2023



REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

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 122 Wisconsin Street, West Bend, WI 53095
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**PROPOSED RESIDENTIAL
 2409 TERRACE AVE
 MILWAUKEE, WI 53211**

**GRADING
 PLAN**

DRAWN BY:
MBS
 DESIGNED BY:
MBS
 CHECKED BY:
KJP

PLAN DATE:
11-21-2023

PROJECT NO:
 \JM-28-23\

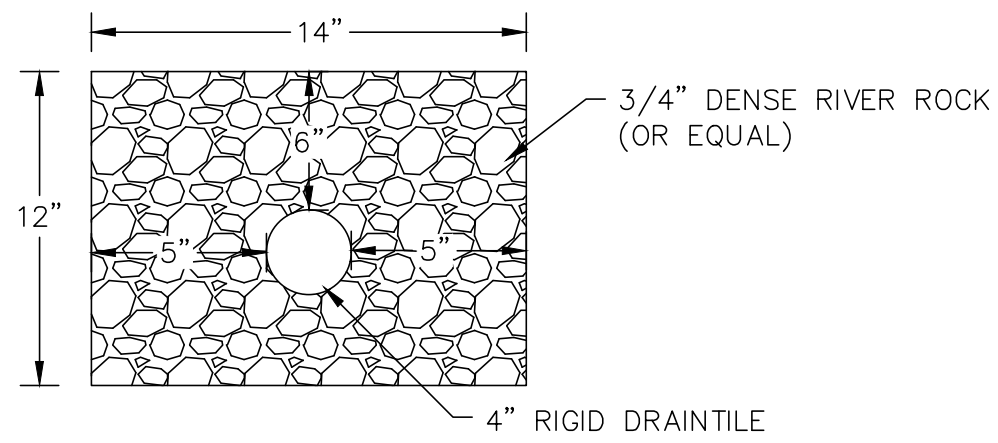
SUBMITTAL

SHEET NO:
C1.03

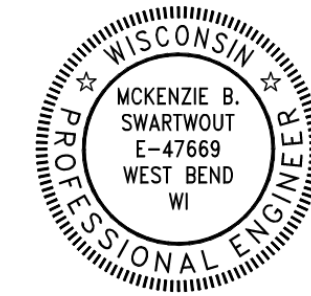
- NOTES:**
1. ALL GRADES SHALL MATCH INTO THE EXISTING ELEVATIONS ALONG THE NORTH LOT LINE.
 2. ALL WATER DRAINING ALONGSIDE THE HOUSE ALONG THE NORTH LOT LINE SHALL BE CAPTURED INTO THE PROPOSED FRENCH DRAIN SO THAT NO WATER IS TO DRAIN TO THE PROPERTY TO THE NORTH.
 3. A PRIVACY FENCE AND LANDSCAPING SHALL BE INSTALLED ALONG THE NORTH PROPERTY LINE. SEE LANDSCAPING PLAN FOR MORE DETAILS.
 4. THE EXISTING RETAINING WALL AT THE NORTHEAST CORNER OF THE PROPERTY IS TO BE REMOVED (AS SHOWN ON SHEET C1.01 EXISTING SITE PLAN). WITH THE REMOVAL OF THIS RETAINING WALL, ALL ELEVATIONS AT THIS LOCATION WILL NOW TIE INTO THE EXISTING DRIVEWAY ELEVATIONS OF THE NORTH PROPERTY TO NOT ALLOW ANY ADDITIONAL WATER TO RUN ONTO THE NORTH PROPERTY.
 5. ALL DOWNSPOUTS TO TIE INTO PROPOSED DRAINTILE, AS SHOWN.

LEGEND:

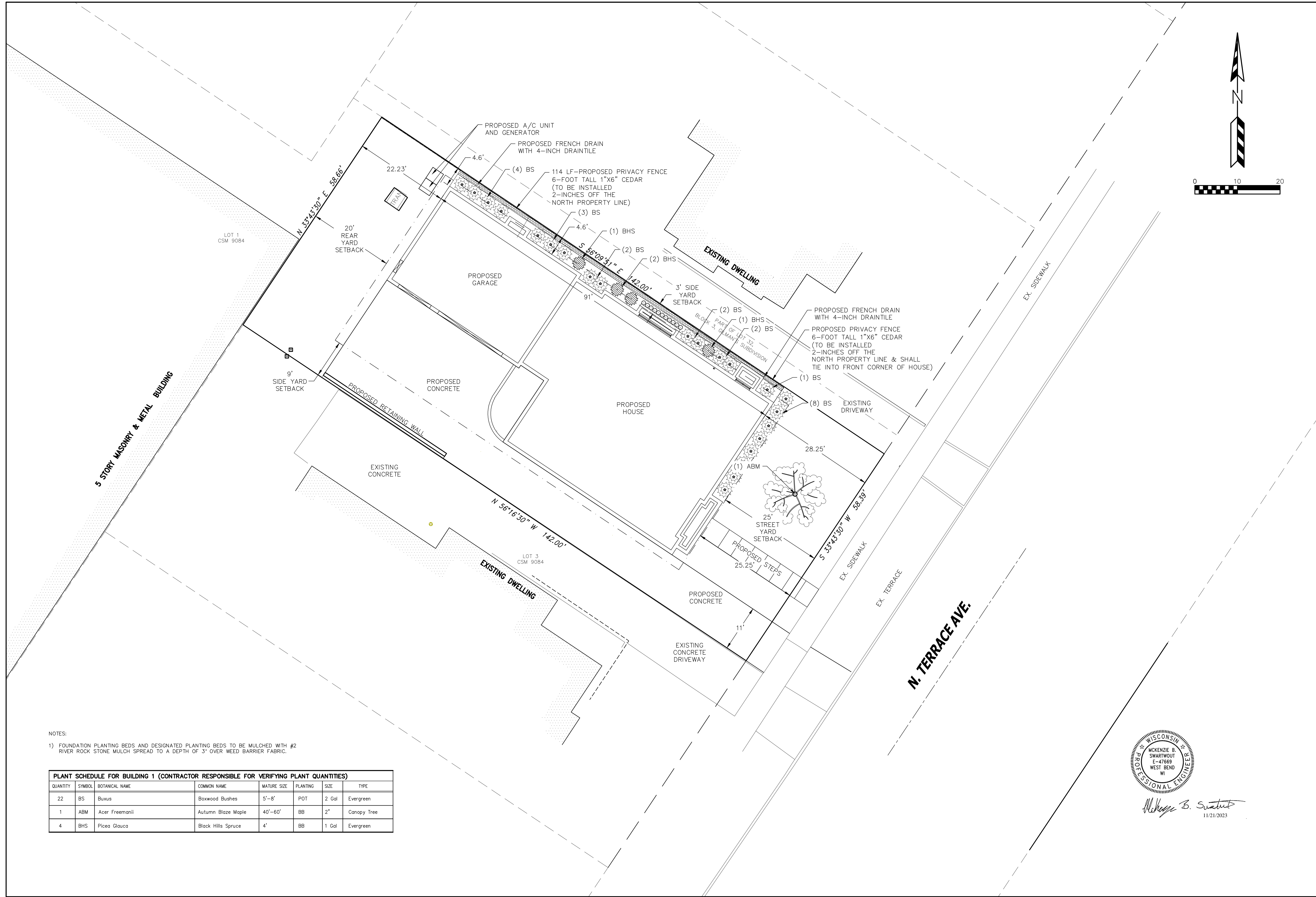
- - - 936 - - - EXISTING MINOR CONTOUR.
- - - 935 - - - EXISTING MAJOR CONTOUR.
- 936 — — PROPOSED MINOR CONTOUR.
- 935 — — PROPOSED MAJOR CONTOUR.
- EX 934.23 - EXISTING SPOT ELEVATION.
- 934.23 - PROPOSED SPOT ELEVATION.
- EXP 934.23 - PROPOSED BUILDING EXPOSURE ELEVATION.
- FFE 934.23 - PROPOSED BUILDING FIRST FLOOR ELEVATION.
- GFE 934.23 - PROPOSED BUILDING GARAGE FLOOR ELEVATION.
- - - - - PROPOSED STORM SEWER.
- - - - - EXISTING STORM SEWER.



FRENCH DRAIN DETAIL

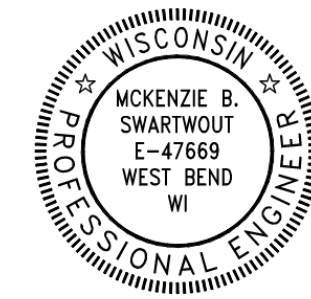


McKenzie B. Swartz
 11/21/2023



NOTES:
 1) FOUNDATION PLANTING BEDS AND DESIGNATED PLANTING BEDS TO BE MULCHED WITH #2 RIVER ROCK STONE MULCH SPREAD TO A DEPTH OF 3" OVER WEED BARRIER FABRIC.

PLANT SCHEDULE FOR BUILDING 1 (CONTRACTOR RESPONSIBLE FOR VERIFYING PLANT QUANTITIES)							
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING	SIZE	TYPE
22	BS	Buxus	Boxwood Bushes	5'-8'	POT	2 Gal	Evergreen
1	ABM	Acer Freemanii	Autumn Blaze Maple	40'-60"	BB	2"	Canopy Tree
4	BHS	Picea Glauca	Black Hills Spruce	4'	BB	1 Gal	Evergreen



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 MILWAUKEE, WI 53211**

PLAN TITLE:
**PROPOSED
 LANDSCAPE
 PLAN**

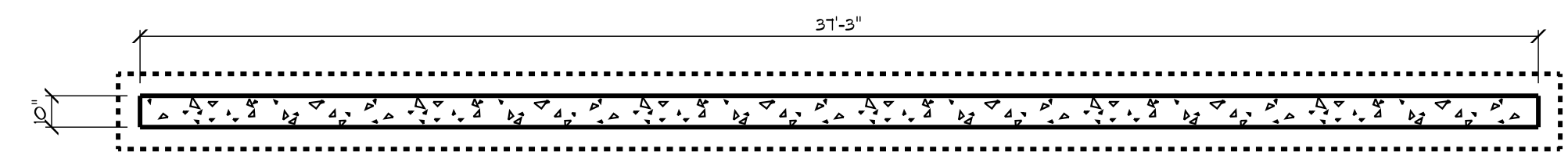
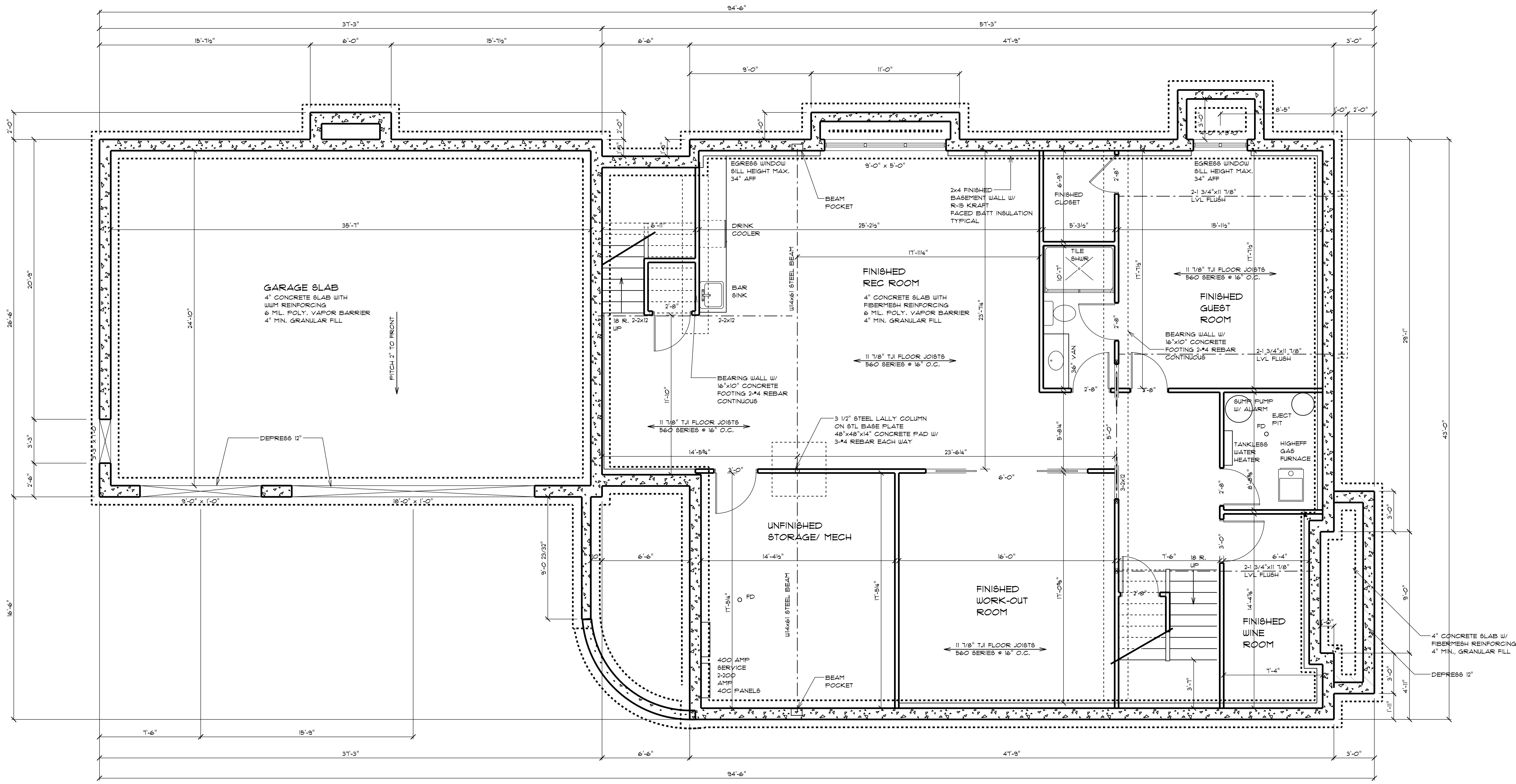
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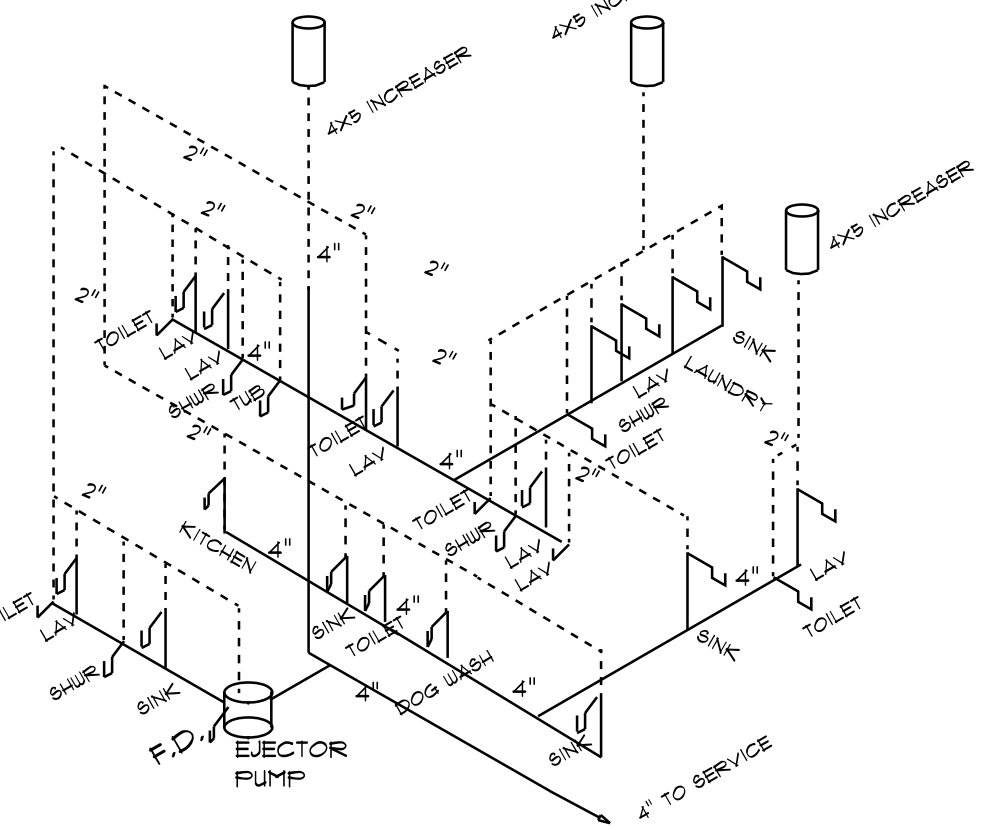
SUBMITTAL

SHEET NO:
C1.04



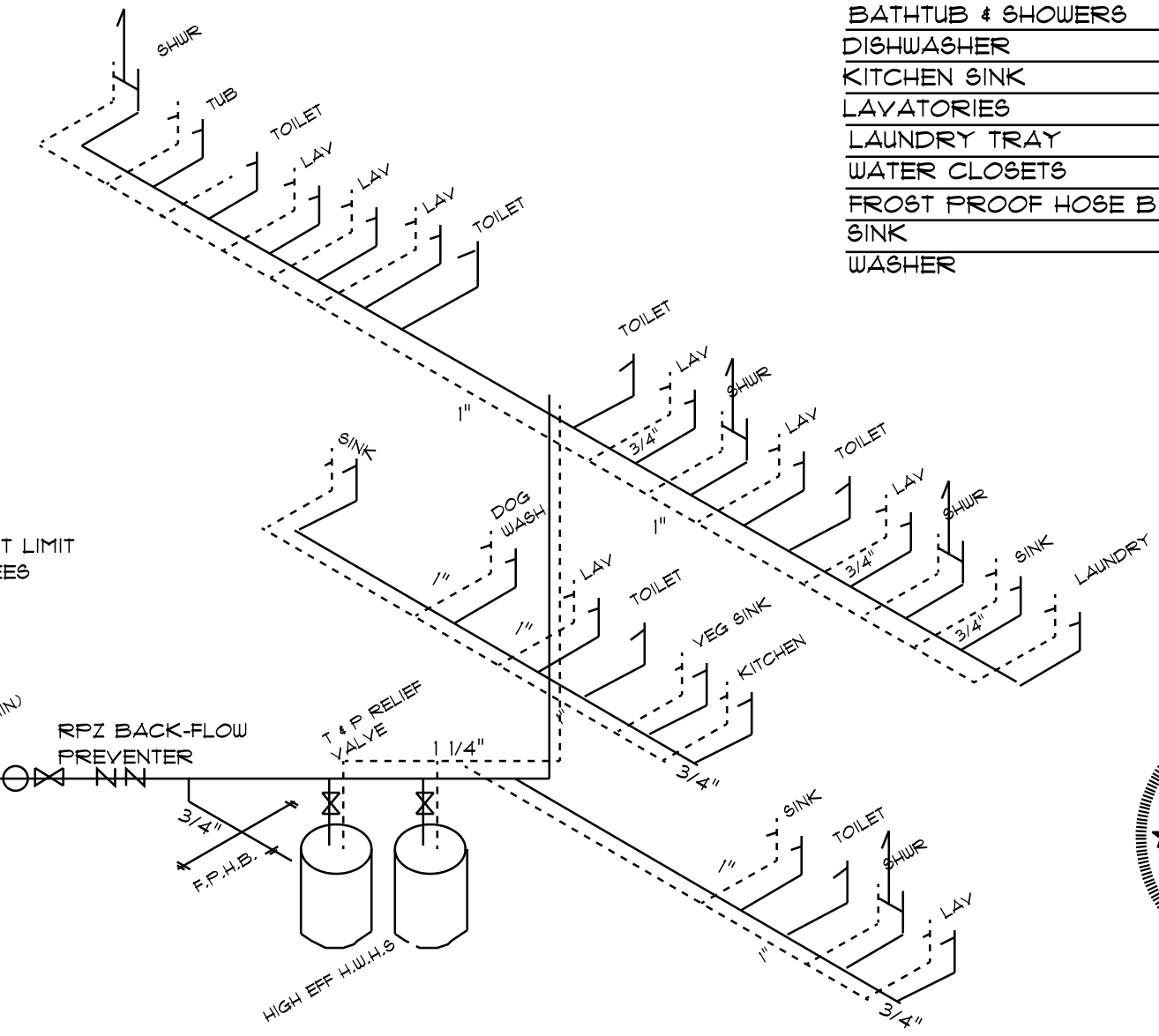
FOUNDATION PLAN / BASEMENT PLAN
SCALE 1/4" = 1'-0"

WASTE & VENT DIAGRAM
RUBBER CHECK VALVES NOT PERMITTED ON 2" DISCHARGE LINE.
ALL STORY PITS AND SEALED EJECTOR PITS SHALL BE INSTALLED WITH TOP EDGE 2" ABOVE FINISH FLOOR.
ALL PIPES SHALL BE SCHEDULE 40 PVC ABOVE GROUND.
EJECTOR PITS TO HAVE GATE VALVE ON 2" DISCHARGE WASTE LINE. SPIN AIR CHAMBERS ARE PROHIBITED.
ONLY 2 TOILETS ARE ALLOWED TO DISCHARGE INTO A 3" HORIZONTAL WASTE LINE AND A MAX. OF 30 FIXTURE UNITS. TOILETS ON AN EJECTOR PUMP IS CONSIDERED A 3RD TOILET ON SAID LINE.
CELLULAR FOAM CORE TYPE PVC IS PROHIBITED.
HOSE BIBBS TO HAVE VACUUM BREAKER PROTECTION TYP.

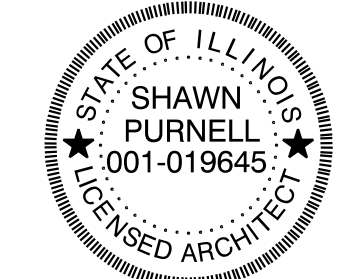


WATER SUPPLY DIAGRAM
PROVIDE SHUT-OFF VALVES AT EACH FIXTURE.
TYPE K COPPER UNDERGROUND.
PEX PIPING ABOVE GROUND FOR ALL POTABLE WATER PIPING.
FROST PROOF HOSE BIBBS TO BE CONNECTED TO HARD WATER.
PROVIDE AIR CHAMBERS AT EACH H & C WATER FIXTURES.
SHOWER VALVES TO BE PRESSURE BALANCING TYPE.
INSTALL WATER SAVING FIXTURES PER CODE.
SHOWER MIXING VALVES TO BE STAMPED ASSE-1015.
ONE FIXTURE SUPPLY SHALL BE SUPPLIED ON A 1/2" WATER LINE.
NON METALLIC SUPPLY RISER TUBES, INCLUDING STAINLESS STEEL BRAIDED TYPE ARE PROHIBITED.
MIN. 1 1/2" SERVICE AND 1" WATER METER.

PROVIDE A MINIMUM OF 120 DEGREE HOT WATER AND ADJUST LIMIT CONTROL STOPS ON TUB/SHWR VALVES TO 85 TO 115 DEGREES



BATHTUB & SHOWERS	3/4"
DISHWASHER	1/2"
KITCHEN SINK	1/2"
LAVATORIES	1/2"
LAUNDRY TRAY	1/2"
WATER CLOSETS	1/2"
FROST PROOF HOSE BIBBS	3/4"
SINK	1/2"
WASHER	1/2"



I hereby certify these plans have been prepared under my direct supervision and control and to the best of my knowledge and belief complies with the building codes of Milwaukee WI

Shawn Purnell Architect
ILL. Lic. # 001-019645 Expires 11-30-24

MINICHILLO RESIDENCE
2409 N TERRACE AVE. MILWAUKEE WI

PURNELL ARCHITECTS, INC.,
20 HAWLEY COURT GRAYSLAKE IL 60030
847.989.2712 SHAWN@SHAWNPUERNELL.COM