



PETITION FOR A SPECIAL PRIVILEGE ccl-246 (7/15)

SP _____
CCF _____

- New application \$250.00 Fee
- Amendment to add items to Special Privilege # _____ (\$125.00 Fee)
- Amendment to remove items from Special Privilege # _____ (No fee)
- Amendment for change of ownership for Special Privilege # _____ (No fee)

- File petition with the Department of Public Works, Attention: Special Privileges, 841 North Broadway, Room 919, Milwaukee, WI 53202.
- Fee must be submitted with petition. Checks should be made payable to the City of Milwaukee.
- Questions? Call 414-286-2454

To the Honorable, The Common Council of the City of Milwaukee:

The Licensee F STREET GROUP
(Name of Individual, Partners, Corporation or LLC)

being the owners of the following property known by street address as 1932 EAST KENILWORTH PLACE
(Street Address and Zip Code)

in the 3RD Aldermanic District respectfully petition the Common Council of the City of Milwaukee according to the provisions of Section 66.0425 of the Wisconsin Statutes, that the following privilege be granted:

Description of Special Privilege: BALCONY EXTENDING INTO THE PUBLIC RIGHT OF WAY

Of which a plan or sketch is herewith submitted. Petitioner agrees to comply with all laws and all ordinances of the City of Milwaukee, to abide by any order or resolution of the Common Council affecting this privilege, to be primarily liable for damages to person or property by reason of the granting of such privilege, pay annual compensation as provided by law in the sum to be fixed by the proper city officers, and to file and keep current throughout the existence of the privilege, a certificate of insurance indicating applicant holds a public liability policy in at least the sums of \$25,000.00/\$50,000.00 bodily injury, and \$10,000.00 property damage, insuring the city against any liability that might arise by reason of the privilege.

Petitioner further agrees to remove said privilege whenever public necessity so requires when so ordered upon resolution adopted by the Common Council or other legislative body.

Should this special privilege be discontinued for any reason whatsoever, petitioner agrees to remove all construction work executed pursuant to this special privilege, to restore to its former condition and to the approval of the Commissioner of Public Works, any curb, pavement, or other public improvement which was removed, changed or disturbed by reason of the granting of this special privilege. Petitioner further agrees not to contest the validity of Section 66.0425 of the Wisconsin Statutes, or the legality of this special privilege in any way.

Name (Please Print): Scott Lurie
(Individual, Partner, or Agent if corporation or LLC as shown above)

Signature: [Handwritten Signature] Date: 10/21/16
(Individual, Partner, or Agent if corporation or LLC)

Corporation or LLC Name: F Street Group
(If applicable, as shown above)

Mailing Address (If different than property address above): 5601 W. North Avenue

(OVER)

City: Milwaukee State: WI Zip: 53208

Telephone: (414)405-1668 E-Mail: scott@fstreetgroup.com

Architect/Engineer/Contractor (If Applicable)

Name: RINKA CHUNG ARCHITECTURE

Address: 756 NORTH MILWAUKEE STREET

City: MILWAUKEE State: WI Zip: 53202

Telephone: 414 431 8101 E-Mail: BKNITT@RINKACHUNG.COM

IMPORTANT NOTICE FOR CUSTOMERS PAYING BY CHECK

When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer from your account or to process the payment as a check transaction.

PAID

\$250.00 DAS

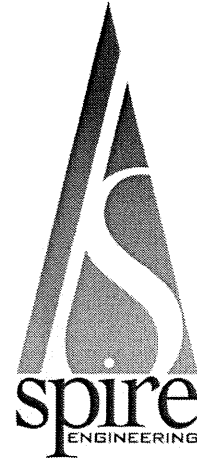
OCT 27 2016

Special Privilege Application
City of Milwaukee
Department of Public Works

October 25, 2016

Mr. Buck Knitt
RINKA CHUNG ARCHITECTURE INC
756 North Milwaukee Street, Suite 250
Milwaukee, WI 53202

Re: Yokohama 1910
Milwaukee, WI



Dear Mr. Knitt:

Spire Engineering, Inc. (Spire) has performed the structural design for the renovations to the building located at 1910 E Kenilworth Place for Yokohama 1910, including the design of the raised patio on the exterior of building. This patio structure is comprised of wood joists and posts that will bear on both sidewalk slabs and on top of concrete walls that are part of two sidewalk vaults.

Spire has calculated the maximum loads that the wooden posts would be imparting on the sidewalk slab and vault walls and are very comfortable with their ability to support the additional weight.

Please let me know if you have any questions.

Sincerely,

SPIRE ENGINEERING, INC.

A handwritten signature in black ink that reads 'Alan T. Rentmeester'.

Alan T. Rentmeester, PE

600 W Virginia Street, Suite 102
Milwaukee, WI 53204
Phone: (414) 278-9200

[2016-10-25.Yokohama.doc](#)

YOKOHAMA 1910 FACADE RENOVATION

1932 E KENILWORTH PLACE

ISSUED FOR PERMIT

OCTOBER 20, 2016

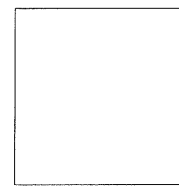
SHEET INDEX

ARCHITECTURAL

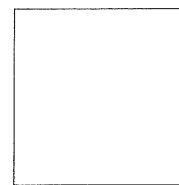
- T1-01 TITLE SHEET, INDEX & PROJECT INFORMATION
- A0-01 DEMOLITION FLOOR PLAN & ELEVATION
- A3-01 NEW FACADE PLAN, ELEVATION & DETAILS

STRUCTURAL

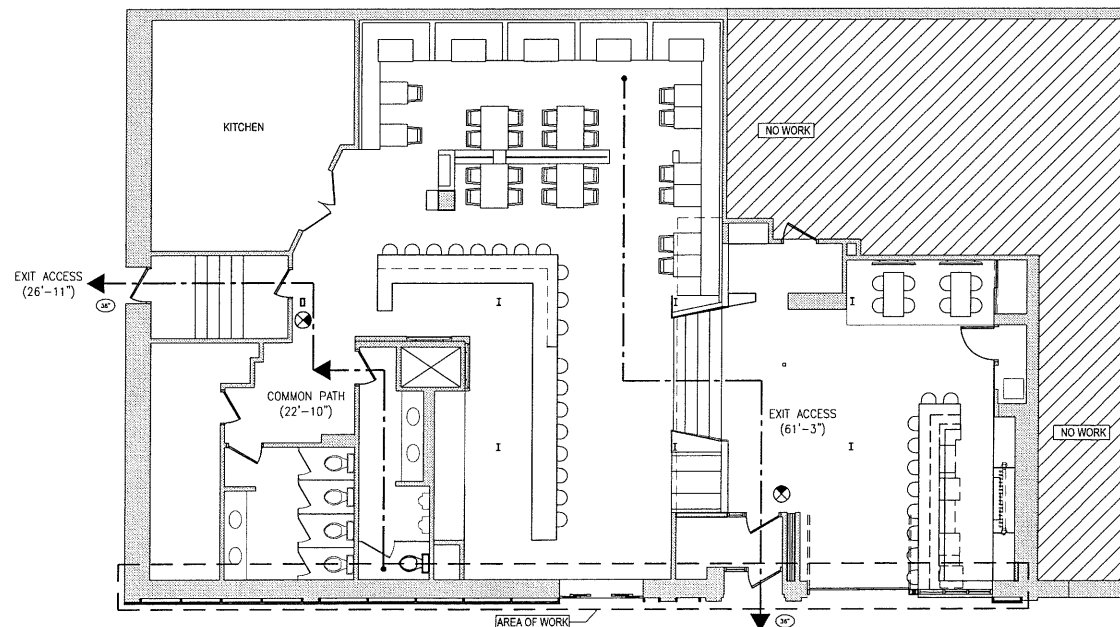
- S1-01 STRUCTURAL PLANS & DETAILS



ARCHITECT
RINKA CHUNG ARCHITECTURE INC.
756 N. MILWAUKEE STREET, SUITE 250
MILWAUKEE, WI 53202
(414) 431 8101



STRUCTURAL
SPIRE ENGINEERING, INC.
600 W. VIRGINIA STREET, SUITE 102
MILWAUKEE, WI 53204
(414) 278 9200



CODE SUMMARY - 2009 IBC and IEBC

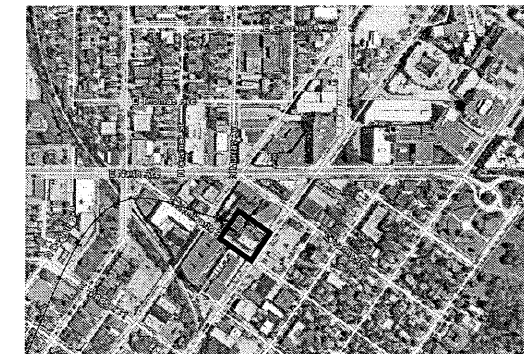
<u>Use and Occupancy Classification</u>	
Use (Section 302):	A-2 - ASSEMBLY
Construction Type:	Type - 3B, Unprotected Combustible
Area:	Level 1 Area: 5,000 Square Feet Area of Work: 350 Square Feet
Separation:	Non-Separated Use (per IBC 508.3)
Alteration Type:	Level 2 (PER IEBC)
Allowable Area	EXISTING BUILDING
Allowable Height	EXISTING BUILDING
<u>Occupancy / Egress</u>	
Existing Occupant Load	= 99 persons (No change - existing to remain)
Occupancy No Change	- Existing to Remain
<u>Egress Width (1005)</u>	
First Floor:	Other: .2 inches per person Width: 99 x .2 = 19.8 inches required (72 inches provided)
Common Path (1014.3):	75 feet max. (23 feet shown)
Exit Access (1015.1):	200 feet max. (62 feet shown)
Min. No. Exits (1021.1):	2 exits required (2 exits shown)

CODE PLAN KEY

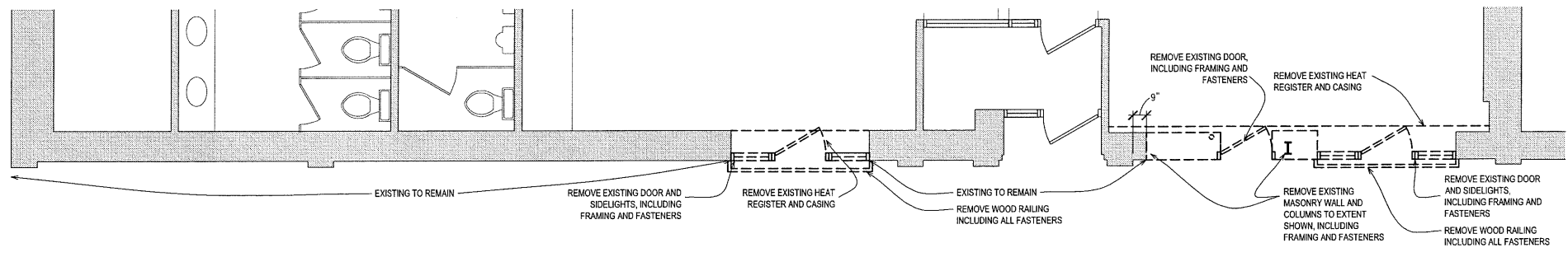
- ⊗ EXIT WIDTH
- ⊗ EXIT LOCATION



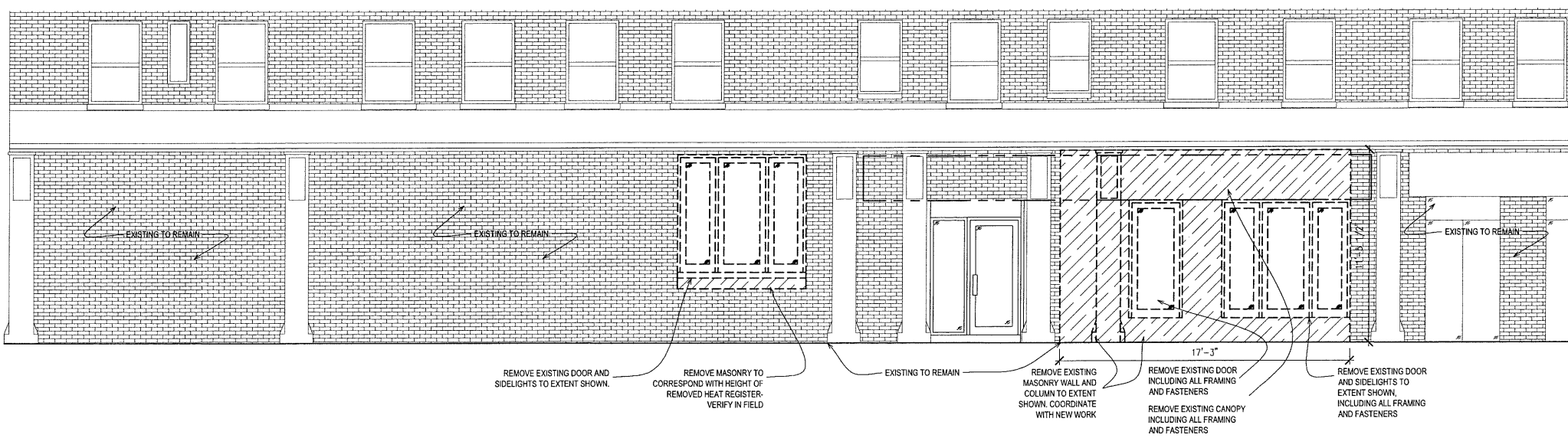
2 CONCEPTUAL VIEW OF EXTERIOR
N.T.S.



1 LOCATION MAP
N.T.S.



24 EXISTING FACADE PLAN
1/4" = 1'-0"



21 EXISTING ELEVATION
1/4" = 1'-0"

ISSUED FOR PERMIT

YOKOHAMA 1910

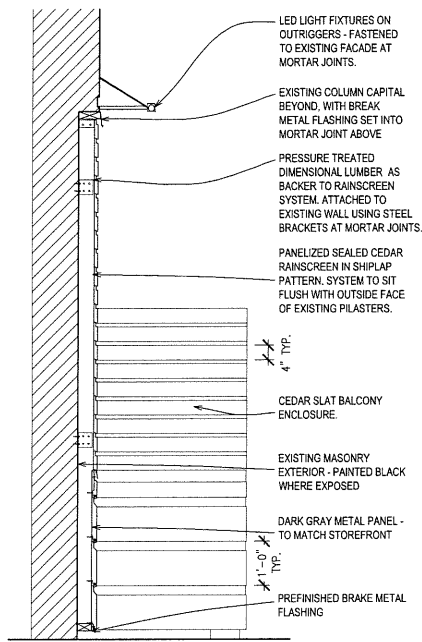
Issue Date OCTOBER 20, 2016

PTS NO.:
RCA Project No.: 160615
Sheet Title

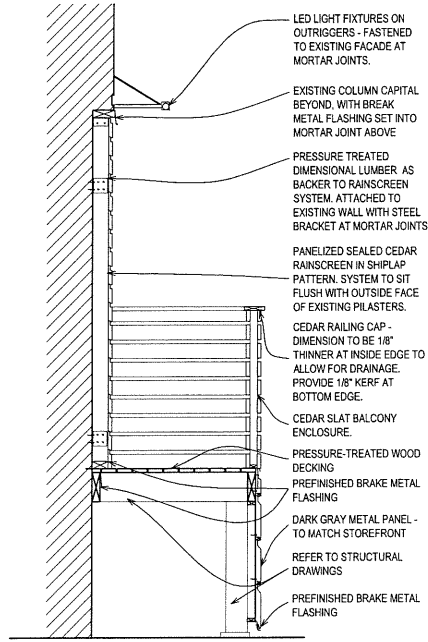
DEMOLITION
FLOOR PLAN &
ELEVATION

Sheet No.

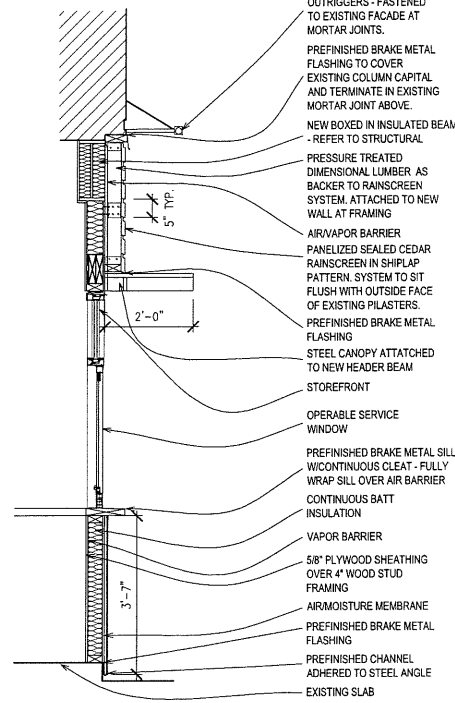
A0-01



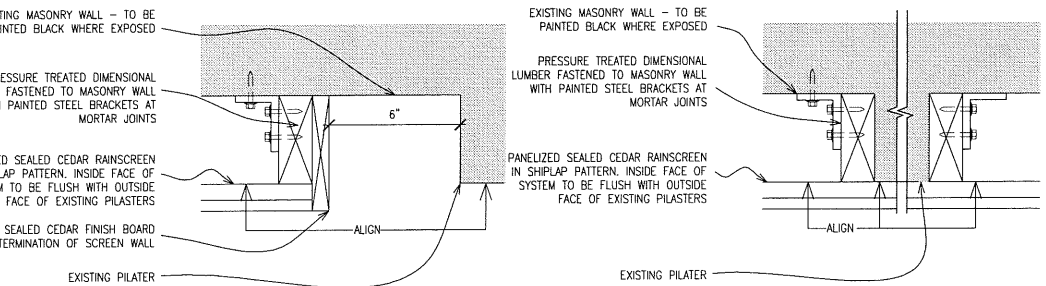
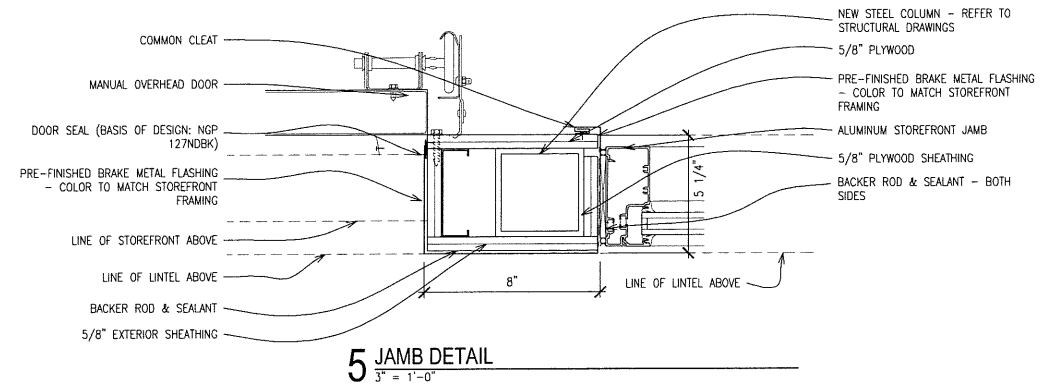
24 WALL SECTION
1/2" = 1'-0"



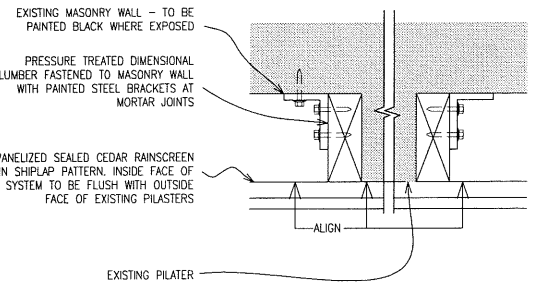
19 WALL SECTION
1/2" = 1'-0"



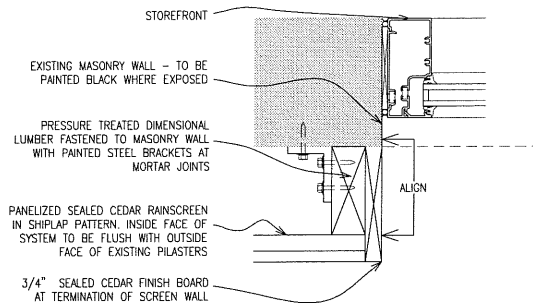
14 WALL SECTION
1/2" = 1'-0"



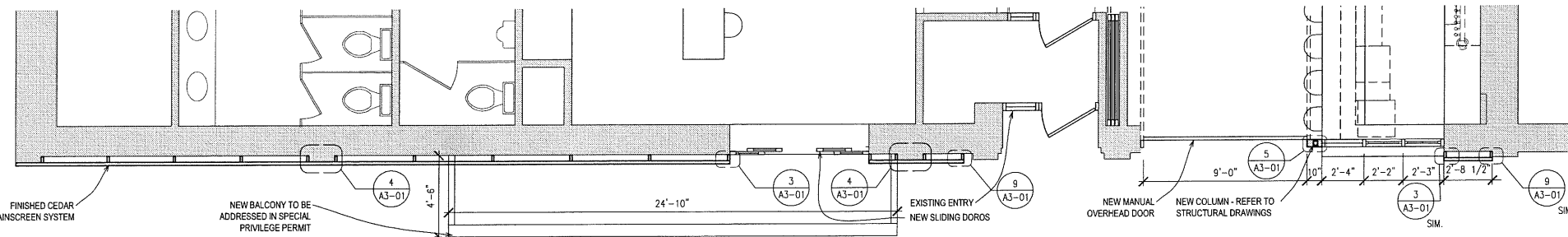
9 FACADE DETAIL
3" = 1'-0"



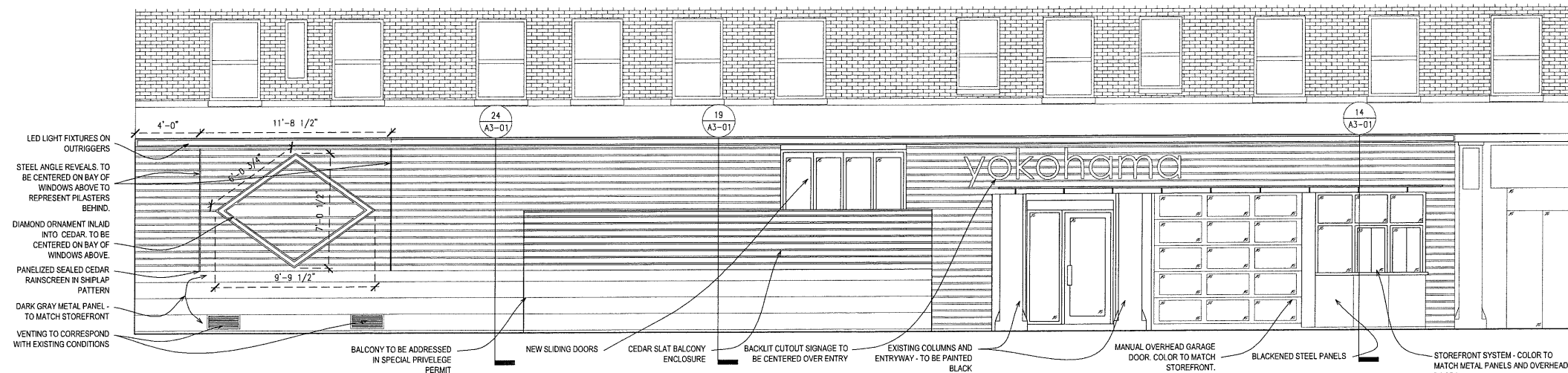
4 FACADE DETAIL
3" = 1'-0"



3 FACADE DETAIL
3" = 1'-0"



24 BALCONY PLAN
1/4" = 1'-0"



21 SOUTH ELEVATION
1/4" = 1'-0"

Copyright
Rinka Chung Architecture, Inc.
756 North Milwaukee, Wisconsin 53202
Telephone 414.431.8101

RINKA CHUNG
RINKA CHUNG ARCHITECTURE INC.

ISSUED FOR PERMIT

YOKOHAMA 1910

PTS No.:
RCA Project No.: 160615
Sheet Title

**NEW FACADE
PLAN, ELEVATION
& DETAILS**

Sheet No.

A3-01

Issue Date OCTOBER 20, 2016

WOOD FRAMING NOTES

(APPLY TO ALL FRAMING DRAWINGS)

1. ARCHITECT AND CONTRACTOR SHALL DETAIL AND CONSTRUCT BUILDING FINISHES TO ACCOMMODATE $\frac{3}{4}$ " TO $\frac{1}{2}$ " OF EXPECTED WOOD SHRINKAGE PER FLOOR OF WOOD CONSTRUCTION. LUMBER SHALL NOT BE STORED IN STANDING WATER AND INSTALLED LUMBER THAT HAS BEEN EXPOSED TO THE ELEMENTS SHALL BE DRIED SUFFICIENTLY BEFORE INTERIOR OR EXTERIOR FINISHES ARE APPLIED TO AVOID CRACKING/CRUNCHING.
2. ALL CONNECTIONS SHALL COMPLY WITH IBC 2009 TABLE 2304.9.1 FASTENING SCHEDULE, SEE SHEET S002. DETAILS IN DRAWINGS WITH MORE EXTENSIVE CONNECTIONS SHALL GOVERN OVER THOSE SHOWN IN TABLE.
3. PROVIDE CROSS BRIDGING BETWEEN FLOOR JOISTS PER 2005 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION 4.4.1.
4. FOR ALL WOOD MEMBERS THAT FRAME INTO OTHER MEMBERS AND WHERE NOT SPECIFICALLY DETAILED OR SPECIFIED IN THE DRAWINGS, USE AN APPROPRIATE SIMPSON STRONG TIE HANGER SELECTED FOR ACTUAL END REACTION. CONTACT ENGINEER FOR END REACTION IF NECESSARY.

STRUCTURAL STEEL NOTES

1. FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM WITH THE AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION), "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION.
2. ALL STEEL DETAILS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AISC "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS", LATEST EDITION.
3. USE A325N BOLTS UNLESS NOTED OTHERWISE.
4. SPLICES SHALL BE ALLOWED ONLY AT LOCATIONS SPECIFICALLY INDICATED ON THE STRUCTURAL DRAWINGS UNLESS APPROVED OTHERWISE BY THE ENGINEER.
5. OVERSIZED OR SLOTTED HOLES SHALL NOT BE USED FOR ANY CONNECTIONS UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS OR APPROVED BY THE ENGINEER.
6. CUTS, HOLES, COPING, ETC. REQUIRED FOR WORK OF OTHER TRADES SHALL BE SHOWN ON THE SHOP DRAWINGS AND MADE IN THE SHOP. CUTS OR BURNING OF HOLES IN STRUCTURAL STEEL MEMBERS IN THE FIELD WILL NOT BE PERMITTED.

MATERIAL DESIGN PROPERTIES

CONCRETE STRENGTHS:		
FOOTINGS	$f_c = 3000$ psi	
CONCRETE WALLS	$f_c = 4000$ psi	
SLAB ON GRADE	$f_c = 4000$ psi	
REINFORCING STEEL STRENGTHS:		
BAR (ASTM A 615, grade 60)	$F_y = 60,000$ psi	
WVF (ASTM A 185)	$F_y = 65,000$ psi	
STRUCTURAL STEEL STRENGTHS:		
WF SHAPES (ASTM A992)	$F_y = 50,000$ psi	
ANGLES, CHANNELS, PLATES, & BARS (ASTM A36)	$F_y = 36,000$ psi	
SQUARE & RECTANGULAR TS OR HSS SECTIONS (ASTM A500, grade B)	$F_y = 46,000$ psi	
ROUND HSS SECTIONS (ASTM A500, grade B)	$F_y = 42,000$ psi	
STEEL PIPE (ASTM A53, grade B)	$F_y = 35,000$ psi	
HIGH STRENGTH BOLTS (ASTM A325)		
ANCHOR BOLTS (ASTM F1554)	$F_u = 36,000$ psi	
WELD ELECTRODES	E70XX	
HEADED WELDED STUDS (ASTM A108)	$F_u = 55,000$ psi	
WOOD STRENGTHS:		
WOOD MEMBERS USED FOR THIS PROJECT SHALL BE OF THE FOLLOWING GRADES/STRENGTHS AT A MINIMUM. HIGHER GRADES INDICATED IN PLANS OR SCHEDULES GOVERN OVER THESE MINIMUMS.		
DIMENSIONAL LUMBER:		
EXTERIOR PATIO BEAMS AND JOISTS		
SPECIES:		
GRADE:		

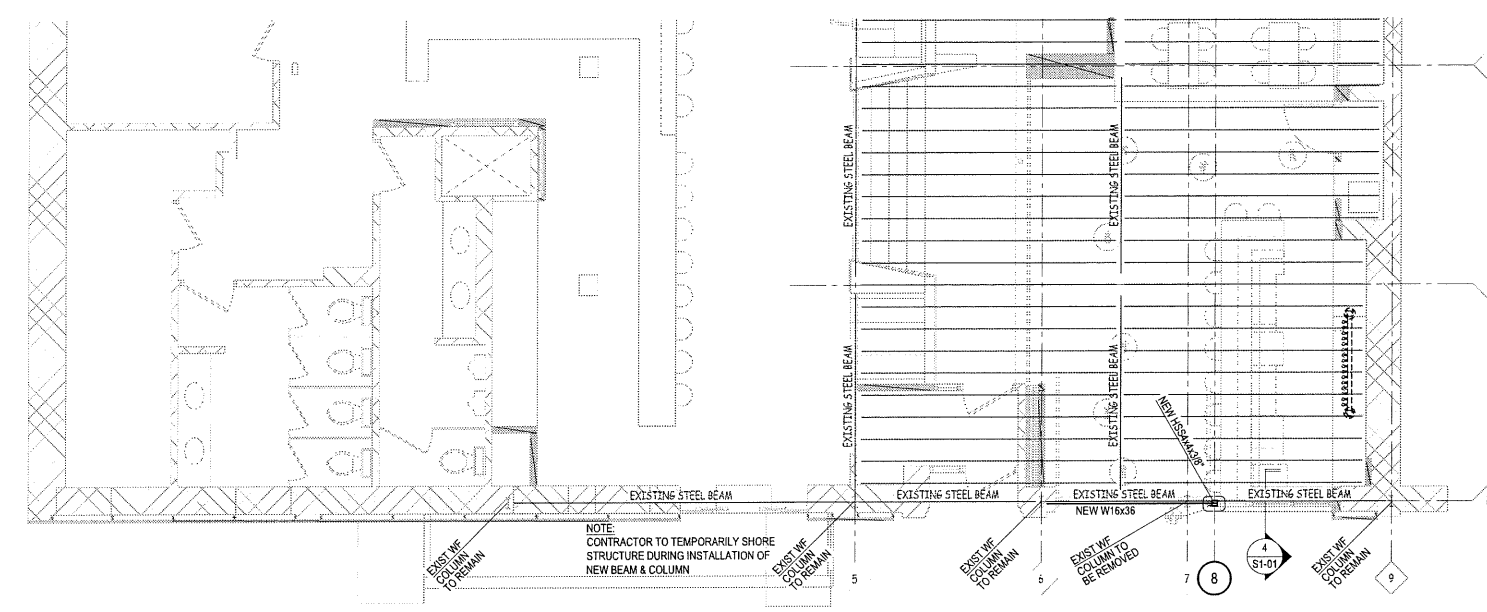
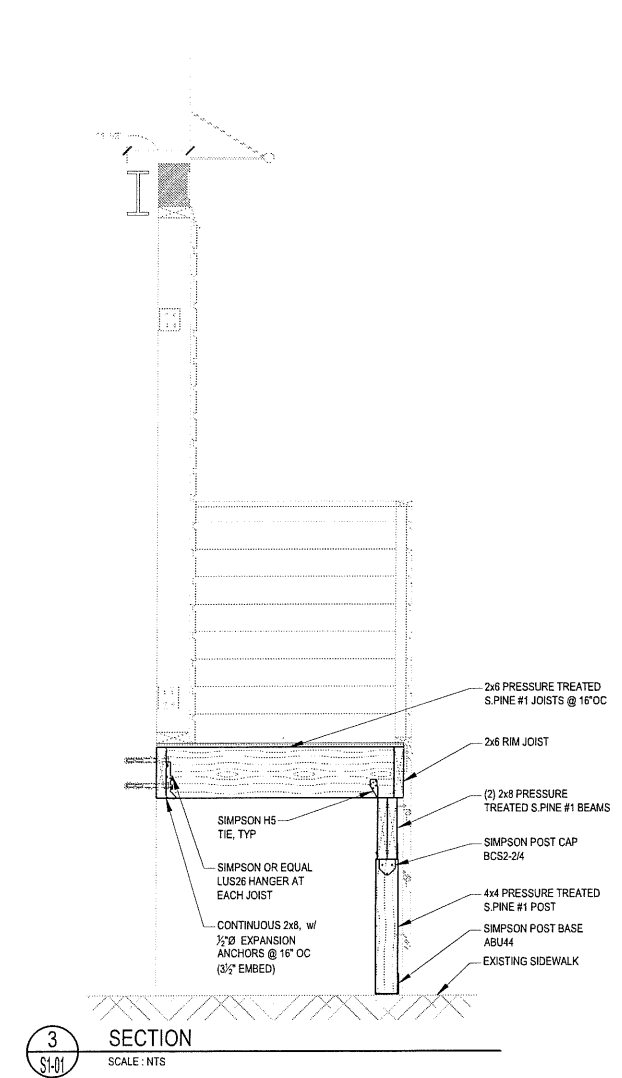
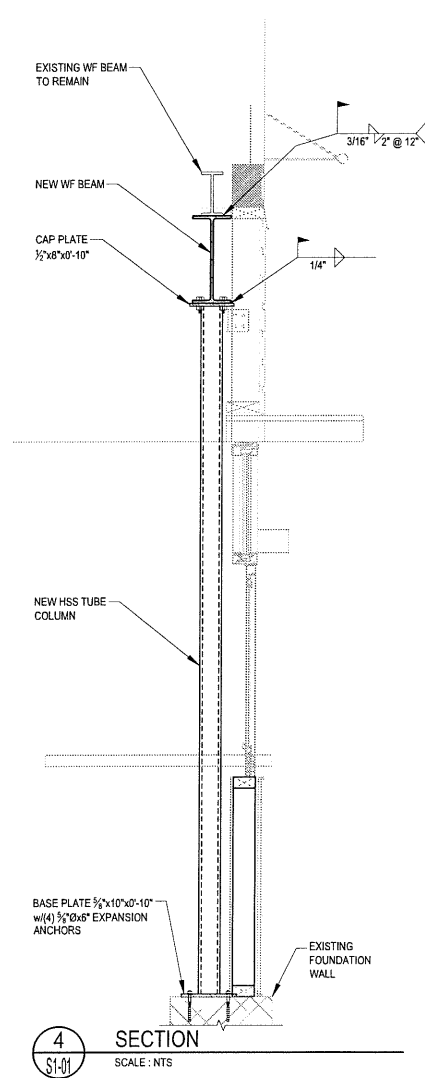
DESIGN DATA

DESIGN CODE:	
2009 IBC WITH SEPTEMBER 1, 2011 WISCONSIN AMENDED I-CODE INSERTS INTERNATIONAL BUILDING CODE 2009 (IBC)	
LIVE LOADS:	
RESIDENTIAL (ABOVE):	40 psf
UNITS	
RETAIL SPACE:	
FIRST FLOOR	100 psf or 1000 lbs
STAIRWAYS, CORRIDORS, LOBBIES, COMMON AREAS	100 psf
BALCONIES AND TERRACES (NON-RESIDENTIAL)	100 psf
ROOF	25 psf

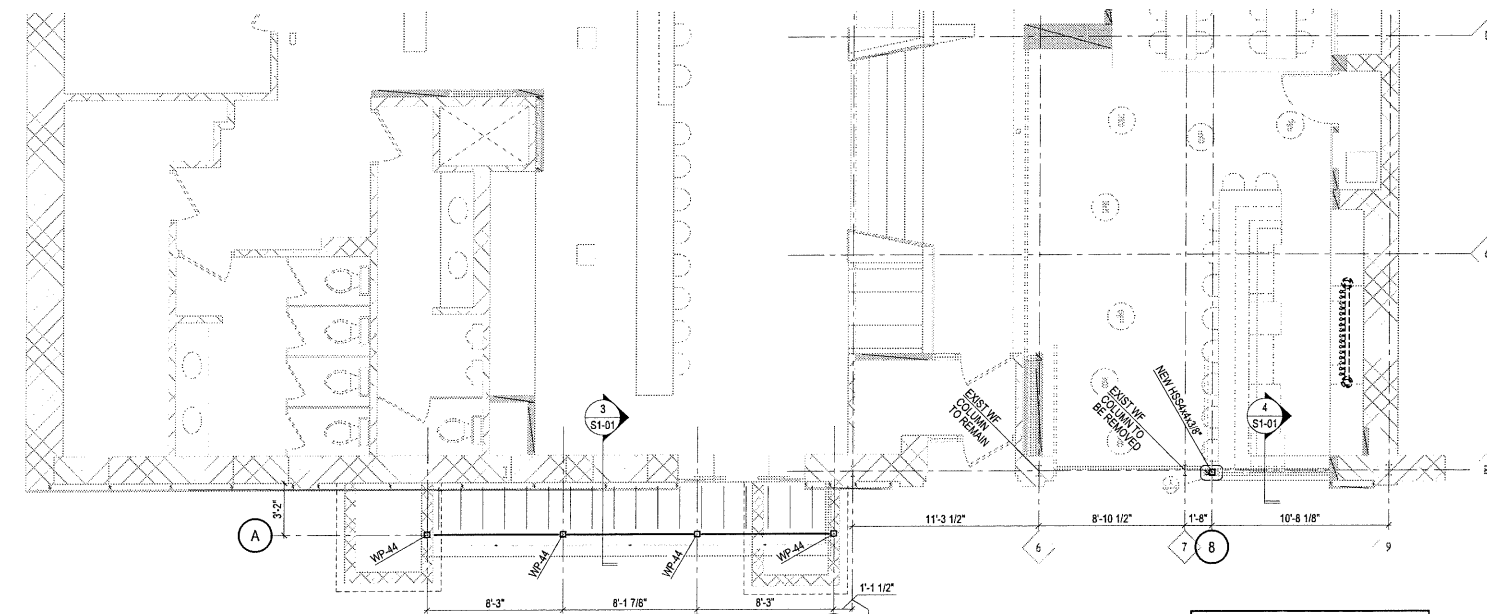
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RINKA CHUNG ARCHITECTURE INC. 200
755 North Milwaukee Street, Suite 200
Milwaukee, Wisconsin 53202
Telephone: 414.431.8101

RINKA CHUNG
RINKA CHUNG ARCHITECTURE INC

Spire Engineering, Inc.
600 W. Virginia St. Suite 102
Milwaukee, WI 53204
(414) 278-9200
SE Project #: 16121



2 SECOND FLOOR FRAMING PLAN
SCALE: 3/16" = 1'-0"
S1-01



1 FIRST FLOOR FRAMING PLAN
SCALE: 3/16" = 1'-0"
S1-01

ALL INFORMATION CONCERNING EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OR MATERIAL FABRICATION. NOTIFY ENGINEER FOR POSSIBLE REMEDIAL ACTION IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN HERE.

SCOPE CONSTRUCTION SET

YOKOHAMA 1910

PIS NO.:
RCA Project No.: 160615
Sheet Title

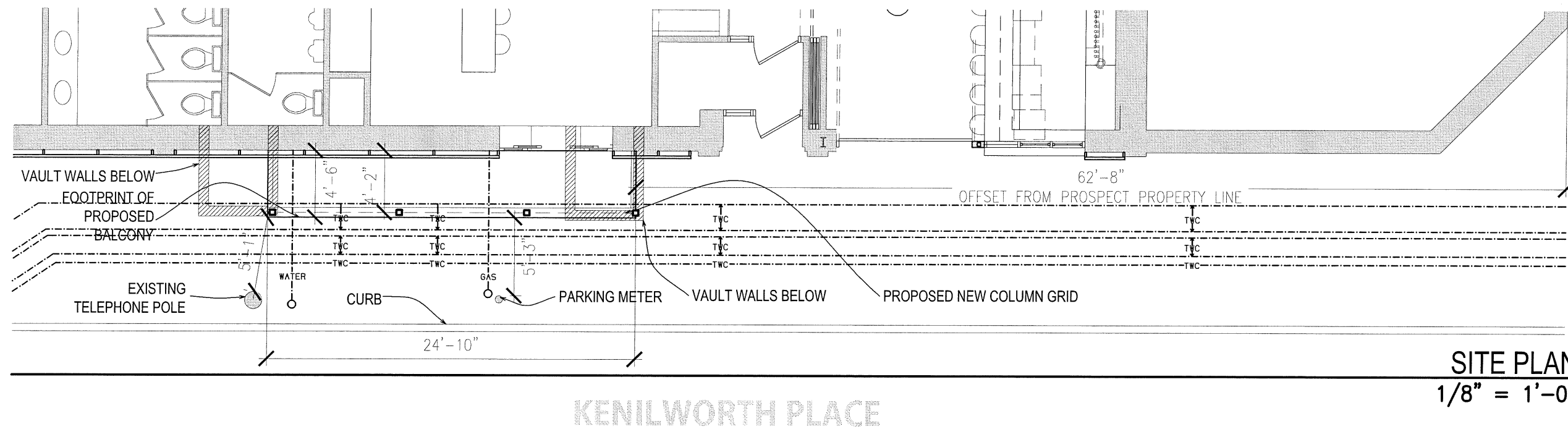
STRUCTURAL
PLANS & DETAILS

Sheet No.

S1-01

Issue Date: OCTOBER 20, 2016

3/16"

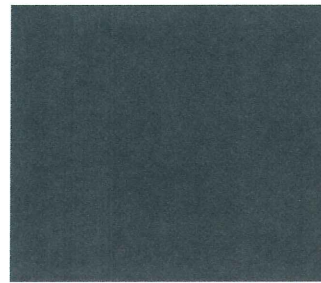




BLACKENED STEEL
PANEL



NATURAL CEDAR
SCREEN WALL



GRAY METAL PANEL TO
MATCH STOREFRONT



EXISTING BRICK
CLADDING

CEDAR SLAT
SCREEN WALL WITH
SYMBOL AND
REVEALS
CENTERED ON
WINDOW BAY
ABOVE

GRAY METAL PANEL
TO MATCH
STOREFRONT

DRINK RAIL
EXTENDED WEST

BACKLIT CUTOUT
SIGNAGE

EXISTING ENTRY
WITH EXISTING
COLUMNS
REVEALED ON
EITHER SIDE

BLACKENED STEEL
PANEL

OVERHEAD
GARAGE DOOR
WITH ALL BLACK
FRAMING

SOUTH ELEVATION



PROPOSED RENDERING - LOOKING NORTHWEST