

PLAT OF SURVEY

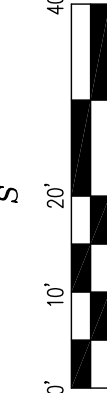
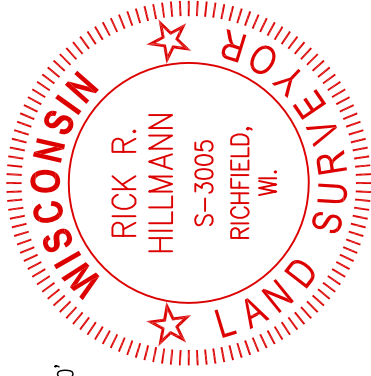
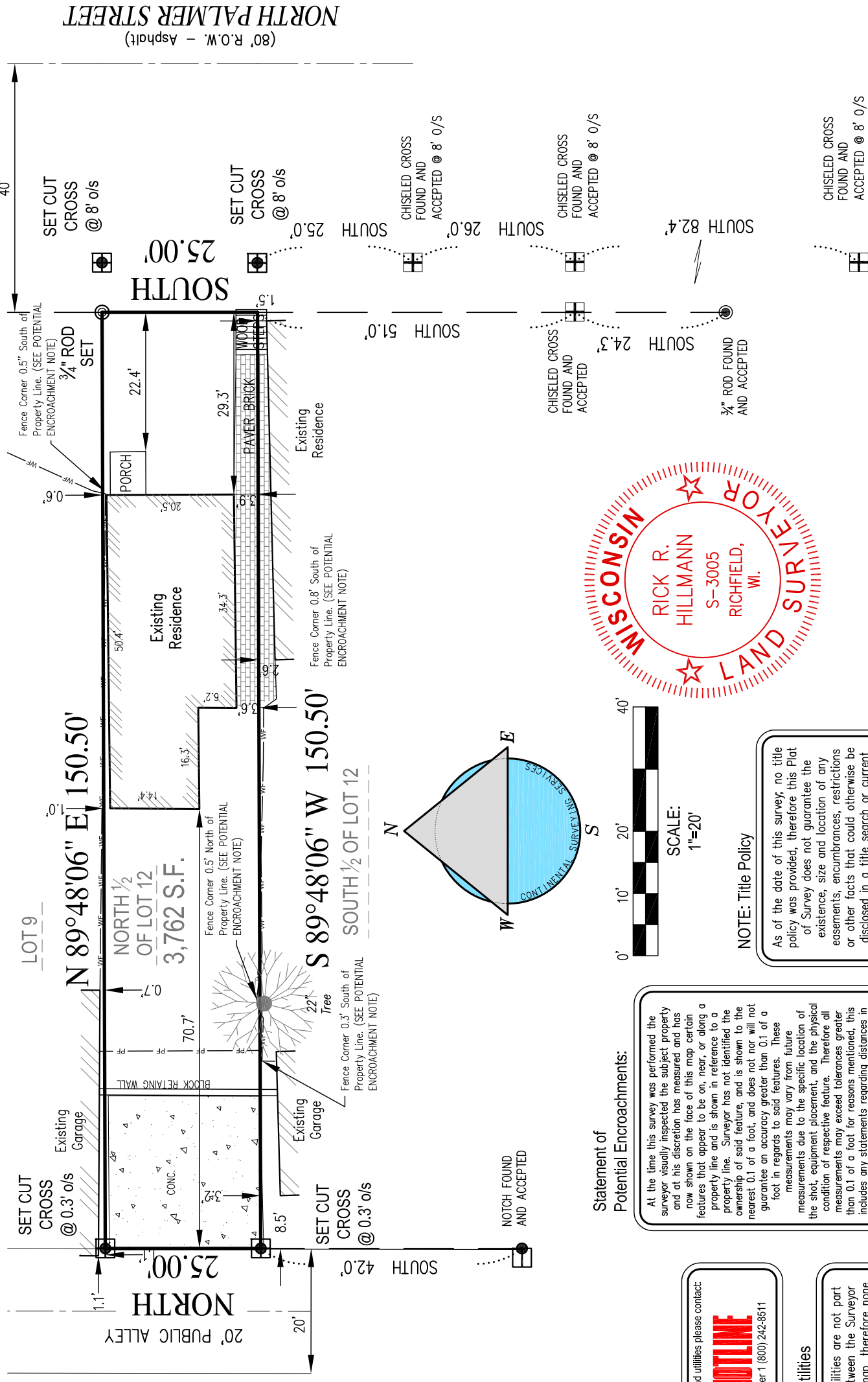
PROPERTY DESCRIPTION: (Per Document No.: 10690063)

The North 1/2 of Lot 12, in Block 19, in Sherman's Addition, being a Subdivision of a part of the Northeast 1/4 of Section 20, Township 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

NOTE:

Bearings are referenced to the easterly line of Palmer Street as SOUTH

20" x 3/4" Iron Rod Set (1.13 lb/foot)



NOTE: Title Policy
As of the date of this survey, no title policy was provided, therefore this Plat of Survey does not guarantee the existence, size and location of any easements, encumbrances, restrictions or other facts that could otherwise be disclosed in a title search or current Title Policy.

Statement of Potential Encroachments:
At the time this survey was performed the surveyor visually inspected the subject property and at his discretion has measured and has now shown on the face of this map certain features that appear to be on, near, or along a property line and is shown in reference to a property line. Surveyor has not identified the ownership of said feature, and is shown to the nearest 0.1 of a foot, and does not nor will not guarantee an accuracy greater than 0.1 of a foot in regards to said features. These measurements may vary from future measurements due to the specific location of the shot, equipment placement, and the physical condition of respective feature. Therefore all measurements may exceed tolerances greater than 0.1 of a foot for reasons mentioned, this includes any statements regarding distances in the form of notes shown on this map.

For questions regarding underground utilities please contact:
DIGGERS HOTLINE
PHONE: Wisconsin 1 Call center 1 (800) 242-8511

NOTE: Underground Utilities
Location of Underground utilities are not part of the agreement made between the Surveyor AND Client named on this map, therefore none are shown.

This map was drafted by: TLM

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND IN MY PROFESSIONAL OPINION THIS MAP IS A TRUE REPRESENTATION THEREOF AND IS MADE IN ACCORDANCE WITH THE RECORDS OF THE REGISTER OF DEEDS AS NEARLY AS PRACTICAL. THIS SURVEY COMPLIES WITH WISCONSIN ADMINISTRATIVE CODE AE-7 EXCEPT FOR THOSE ITEMS WAIVED, IF ANY, AND IS BOUND BY WISCONSIN STATE STATUTE 893.37 THAT DEFINES STATUTE OF LIMITATIONS IN REGARDS TO SURVEYS.

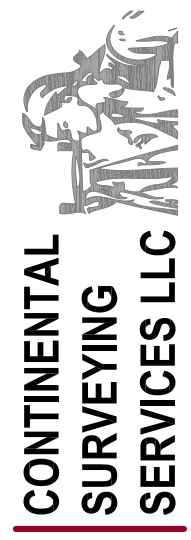
[Signature]
Rick R. Hillmann S-3005

Dated this 5th Day
of OCTOBER, 2017.

CLIENT:
Joseph Sedita
2019 N Palmer St
Milwaukee, WI 53212

PROPERTY ADDRESS:
2019 N Palmer St
Milwaukee
Wisconsin 53212

PARCEL INFO:
TAX KEY NUMBER: 3530508000
PROJECT NO.: 20170922_MTG0001
SERVICE PERFORMED: MTG



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By the Graces of God and the talents given to us, we strive to provide the most Honest and Reliable Land Surveying Services

