



FN 040602

April 05, 2005

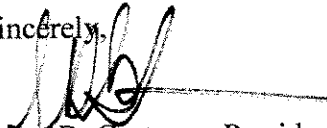
City of Milwaukee  
Zoning, Neighborhood & Development Committee

Re: Proposed Walgreen's @ 27<sup>th</sup> St. & National Ave.  
Common Council files no. 040602

The revisions to previously submitted plans are as follows:

1. Turned bus shelter / sign structure @ corner into 1000 s.f.± leaseable building that also includes Walgreen's & Historic Layton Blvd. signage
2. Revised parking lot to accommodate new corner building.
3. Revised landscape plan to reflect changes to site plan.
4. Added display windows in lieu of spandrel glass along National Avenue frontage.

Sincerely,

  
Steve R. Gartman, President

April 5, 2005

Milwaukee Common Council Members

Re: Leasing proposed 1015 SF building-SWC 27<sup>th</sup> and National Ave.

Dear Council Members:

I'm writing this letter to clarify the leasing of this proposed Urban Edge 1015 SF building that is being added to the proposed Walgreens project at this location. Unlike the Osco developments where they had a master lease with themselves or their landlord, I will build and own this building. Under a master lease, the tenant (Osco) pays the landlord one fixed amount regardless if the ancillary building gets leased. This means there is no incentive to the landlord to lease this space, the tenant controls this process. This is why the space at Forest Home and Mitchell and Humboldt and North remained vacant for long periods of time. Under my scenario, Walgreens is only giving me their approval to build this 1015 SF building. I will construct and pay for this building. I will be responsible to lease this building. I need the rent to pay my mortgage. I can assure you I will lease this space quickly. I'm in the process of hiring the Polacheck Company to start looking for the right tenant. I hope this explanation gives you a level of comfort that this building will not remain vacant. Thank you for your time.

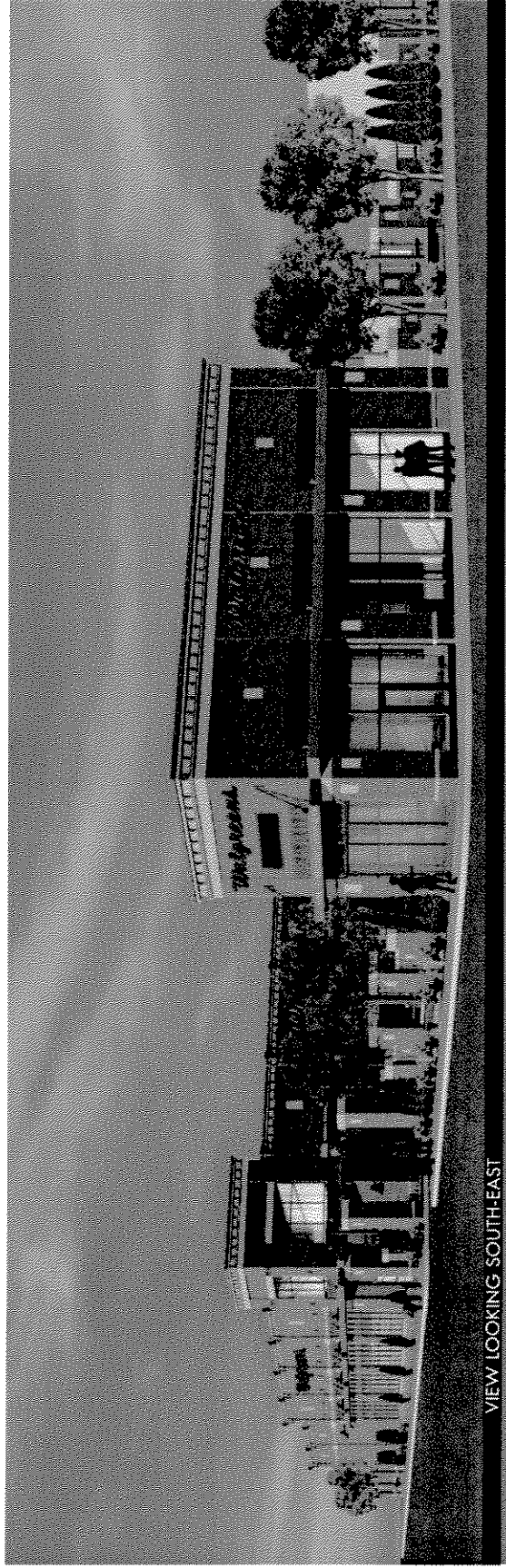
Sincerely,



Brian Cummings

Cc: Bob Donovan-Milwaukee Alderman  
Mike Frame-Walgreen Co  
Don Zien-Polacheck Co  
Bruce Block-Reinhart, Boerner, Van Dcuren

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Waukesha, Wisconsin 53186  
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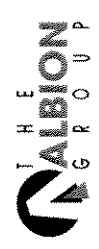


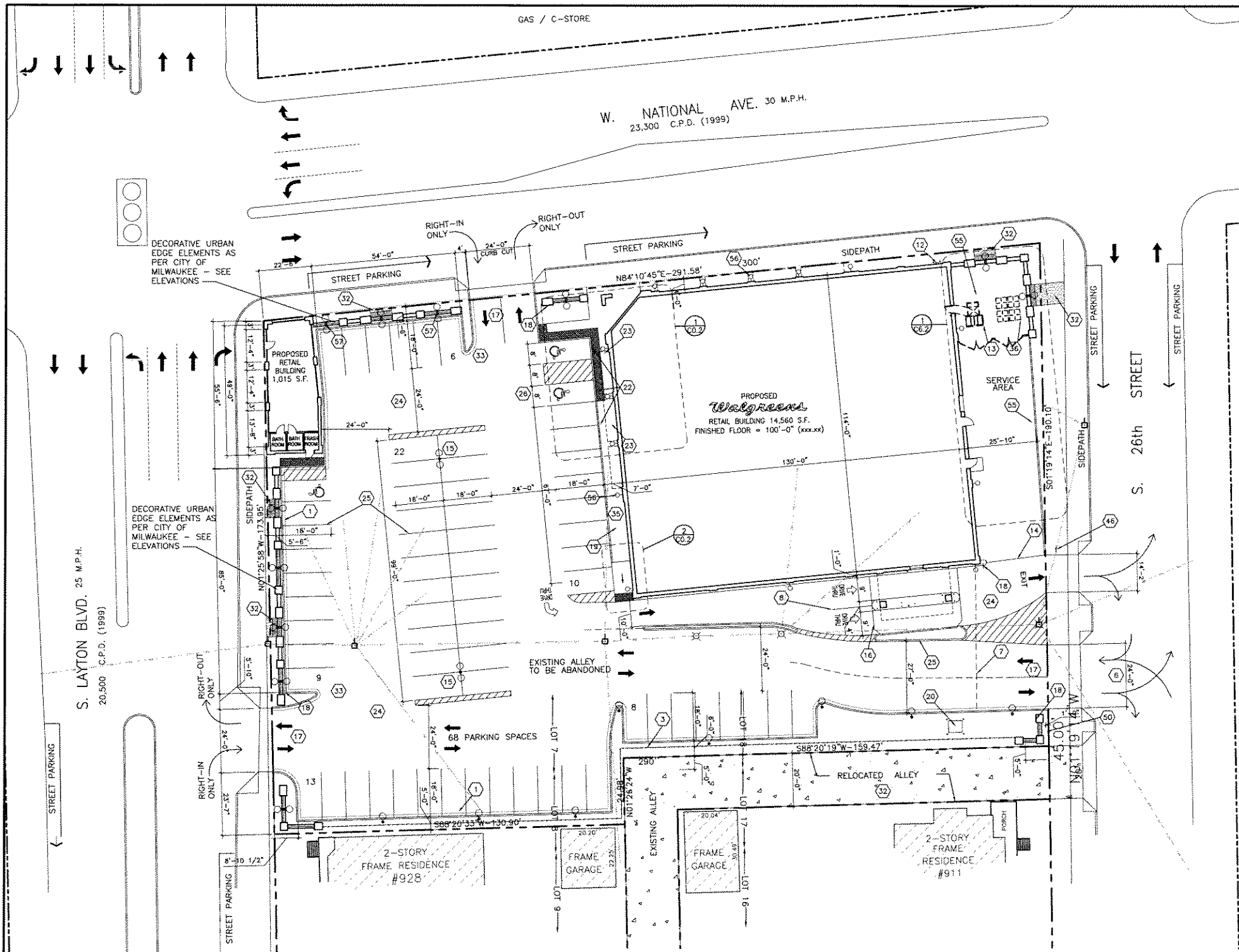
VIEW LOOKING SOUTH-EAST



VIEW LOOKING SOUTH-WEST

PROPOSED WALGREENS  
LAYTON BLVD. & NATIONAL AVE.  
MILWAUKEE, WISCONSIN





**SITE PLAN KEYED NOTES**

- 1 PERIMETER OF ALL ASPHALT TO RECEIVE CONCRETE CURB (SEE 7/CO.0).
- 2 65-FOOT TRUCK-TURNING RADIUS DEPICTED AS PER SHEET 06.1.
- 3 6'-0" HIGH OPAQUE CEDAR BOARD-ON-BOARD FENCE ON PROPERTY LINE. CEDAR FENCE TO HAVE GALVANIZED POSTS SET IN CONCRETE. SEAL WOOD WITH CLEAR SEALER. SEE 11/A6.2
- 4 IDENTIFY USE AND LOCATE ALL STRUCTURES ADJACENT TO WALGREENS SITE. INDICATE NUMBER OF STORIES AND DISTANCE FROM PROPERTY LINE.
- 5 SPOT ELEVATION AT FLOW LINE OF PROPOSED ENTRANCE.
- 6 CONCRETE APRON TO D.O.T. SPECIFICATIONS. CURB CUT DIMENSION MUST ACCOMMODATE 65 FOOT TRACTOR/TRAILER WITHOUT ROLLING ONTO CURB. SEE CRITERIA NOTE #9, THIS SHEET. DIVIDE DRIVEWAY INTO LANES W/ STRIPING.
- 7 LIMIT OF HEAVY DUTY ASPHALT PAVING (SEE 5/CO.0).
- 8 15' X 4" W YELLOW PAINT STRIPE (TYPICAL) LANE DIVIDER.
- 9 LINE OF CANOPY ABOVE.
- 10 12"x18" "DO NOT BLOCK ENTRANCE" SIGN. SEE DETAIL 11/CO.0.
- 11 36" FLEXIBLE DELINEATOR POST. FASTEN TO CONCRETE WITH BOLTS (NO ADHESIVE FASTENING).
- 12 GAS METER WITH BOLLARDS.
- 13 COMPACTORS. SEE SHEET C6.2.
- 14 LINE OF CONCRETE PAD SEE GENERAL NOTES C6.2 FOR CONSTRUCTION.
- 15 DECORATIVE LIGHT POLE (TYPICAL). SEE SHEET ED.1. QUANTITY AND LOCATION OF POLES TO BE DETERMINED BY APPROVED PHOTOMETRICS. COORDINATE WITH ED.1A AND ED.1. LOCATE 2'-6" BEHIND FACE OF CURB TO CENTER LINE OR AS SHOWN.
- 16 CONCRETE DRIVE-UP LANE AND CANOPY ABOVE.
- 17 PROVIDE LANE DIVIDERS AND DIRECTIONAL ARROWS AT ALL DRIVES AND END OF DRIVE AISLES (SEE 10/CO.0).
- 18 MINIMUM 24" OCTAGONAL REFLECTIVE STEEL STOP SIGN (SET BACK CLEAR OF TRAFFIC). SEE DETAIL 11/CO.0. AT DRIVE-THRU: ALIGN EDGE OF STOP SIGN WITH EDGE OF 1'-0" CURB AT DRIVE-THRU. (SEE C6.2).
- 19 CONCRETE SIDEWALK. SEE SHEET A1.1 KEYED NOTE #2 (SEE 6/CO.0).
- 20 PAD MOUNTED TRANSFORMER WITH BOLLARDS. (COORDINATE W/ P.A. ANY OTHER LOCATIONS).
- 21 ENTRY BOLLARDS W/ POLYETHYLENE COVERS. (SEE 12/CO.0).
- 22 ACCESSIBLE PARKING SIGN. SEE ACCESSIBILITY SHEET FOR DETAIL.
- 23 ACCESSIBLE RAMP W/ DETECTABLE WARNING ALONG ACCESSIBLE ROUTE (TYP.). WHEN SLOPE IS LESS THAN 5% ONLY 36" OF DETECTABLE WARNING SURFACE IS REQUIRED.
- 24 ASPHALT PAVING (SEE 5/CO.0).
- 25 YELLOW PAINT STRIPING (TYPICAL).
- 26 ACCESSIBLE PARKING DESIGN TO MEET ALL GOVERNING CODES. QUANTITY AS REQUIRED BY A.D.A. ACCESSIBLE PARKING SPACES AND THEIR ACCESS AISLES SHALL BE 1 1/2% (2% MAX.) SLOPE IN ALL DIRECTIONS.
- 27 TOP OF SIGN FOUNDATION. SEE SHEET AS.1.
- 28 PLACE SIGN WITH MINIMUM SETBACKS. COORDINATE WITH ZONING AND DIMENSION ACCORDINGLY.
- 29 INDICATE ALL EXISTING OR PROPOSED TRAFFIC CONTROL ELEMENTS.
- 30 SPOT ELEVATION AT STREET INTERSECTION.
- 31 CORNER BUS SHELTER/MONUMENT READERBOARD SIGN. READERBOARD-PYLON SIGN. CONCRETE BASE FOR SIGN TO BE INSTALLED AS SOON AS POSSIBLE. ORIENT PERPENDICULAR TO MAJOR TRAFFIC STREET. SEE SHEET AS.1. PROVIDE CONCRETE PAVERS AT PYLON SIGN. EXCEPT PYLON SIGNS W/ L.E.B. READERBOARDS. INSTALL BENCHES PER CITY REQUIREMENTS. DECORATIVE COLORED CONCRETE.
- 32 ALL END ISLANDS TO BE 4'-0" LESS THAN STALL DEPTH. WHERE FULL DEPTH ISLAND IS REQUIRED, DETAIL ROLLOVER CURB AND CONCRETE FILL END OF ISLAND 4'-0".
- 34 RETURN SIDEWALK TO EXIT DOOR. (ADA ACCESSIBLE EXIT ROUTE REQUIRED).
- 35 WALKS WITHOUT COLUMNS CAN BE 7'-0" W. WALKS WITH COLUMNS SHALL PROVIDE 5'-0" CLEAR TO BUILDING AND 2'-6" CLEAR TO EDGE OF CURB. SOUTHERN PROTOPHYE WALK TO BE 10'-0" MIN.
- 36 TOTE ENCLOSURE (SEE C6.2).
- 37 DETECTABLE WARNING SURFACE, 36" DEEP, FLUSH WITH ASPHALT PAVING. SEE 1/CO.1 FOR ADDITIONAL INFORMATION & 16/CO.0 FOR ADA PAVEMENT DETAIL.
- 38 WALL MOUNTED LIGHT FIXTURE (TYPICAL). SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION & OTHER WALL MOUNTED LIGHT FIXTURES.
- 39 EXISTING BUILDING AND IT'S RELATED COMPONENTS TO BE REMOVED
- 40 ELECTRIC METER W/ BOLLARDS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 41 SLOPED SIDEWALK. (SEE SHEET CO.2 FOR ADDITIONAL NOTES).
- 42 TAPER CURB DOWN TO ASPHALT AT PROPERTY LINE/SIDEWALK.
- 43 CURB @ BUILDING. SEE DETAIL 15/CO.0
- 44 STOP LINES (SEE 10/CO.0 FOR SIMILAR INFORMATION).
- 45 EXISTING SIDEWALK
- 46 "DO NOT ENTER" SIGN MOUNTED ON STOP SIGN POLE, SIGN TO FACE STREET.
- 47 6" BOLLARDS AT TRANSFORMER, 4 TOTAL REQUIRED. SEE 12/CO.0 FOR ADDITIONAL INFORMATION.
- 48 CLOSE EXISTING CURB CUT AS REQUIRED
- 49 ADA ACCESSIBLE PEDESTRIAN ROUTE - 2% CROSS SLOPE MAXIMUM, 5% RUN SLOPE MAXIMUM.
- 50 4'-0" HIGH ORNAMENTAL METAL FENCE W/ MASONRY PIERS, INSTALL 2'-6" OFF CURB FACE. SEE 18/CO.0 FOR DETAILS.
- 51 RELOCATE EXISTING UTILITIES AS REQUIRED (TYPICAL)
- 52 CUT EXISTING PAVEMENT
- 53 INDICATES FLAT SEAM METAL PANEL AT ROOF SIDE OF PARAPET WALL PER 2002 WEBCB 704.11.1. SEE ROOF PLAN SHEET A1.3 & DETAIL 10A/A2.5 FOR ADDITIONAL INFORMATION.
- 54 AT EXTERIOR WALL WITH LESS THAN 5 FEET OF FIRE SEPARATION DISTANCE, EXTERIOR MULTI-WYTHE WALL (CMU WITH HOLLOW BRICK VENEER) PROVIDES 4 HOUR FIRE RESISTANCE PER IBC 720.4.2.1.
- 55 MASONRY SCREEN WALL.
- 56 WALL MOUNTED LIGHT, TYPICAL.
- 57 FREESTANDING LIGHT POLE ATOP MASONRY WALL.

**SITE DATA - WALGREENS**

EXISTING ZONING = LOCAL BUSINESS DISTRICT, L2B		SIGNAGE REQUIREMENTS	
TOTAL SITE AREA	51,496 SF (1.18 ACRES)	FREESTANDING PYLON SIGNS	
BUILDING SETBACKS		SETBACK	NONE
FRONT YARD	MIN= NONE MAX= AVG OF 2 ADJ BLDGS	ALLOWABLE AREA- EACH FACE	32 SQFT
SIDE YARDS	MIN= NONE MAX= 5 FEET	TOTAL ALLOWABLE AREA	60 SQFT
REAR YARD	NONE	MAXIMUM HEIGHT	14 FEET
		REQUIRED SEPARATION FROM OTHER SIGNS	AS FAR AS POSSIBLE
BUILDING HEIGHT	MIN 18 FT, MAX 60 FT	WALL SIGNS	
PROPOSED BUILDING AREA	14,560 SF	ALLOWABLE SIGNAGE	1 PER 25 LINEAL FEET
PRIMARY STREET FRONTAGE MIN GLAZED AREA	60%	MAXIMUM ALLOWABLE AREA PER 25 FT	40 SQFT
SECONDARY STREET FRONTAGE MIN GLAZED AREA	15%		
PARKING REQUIREMENTS		FACES OF FREESTANDING SIGN MUST FACE OPPOSITE DIRECTIONS NO 2 FREESTANDING SIGNS MAY FACE THE SAME STREET FOR FREESTANDING SIGNS AT THE INTERSECTION OF 2 STREETS THERE IS NO SETBACK OR VISION TRIANGLE	
NET AREA OF SALES	11,900 SF		
REQUIRED PARKING SPACES			
1 SPACE PER 500 SF OF GROSS FLOOR AREA	29 SPACES		
CAR PARKING SPACES PROPOSED	62 SPACES		
HANDICAPPED PARKING SPACES PROPOSED	3 SPACES		
TOTAL PARKING SPACES PROPOSED	65 SPACES		

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DRAWINGS/SPECIFICATIONS BY:  
 WALGREENS' CONSULTANT  
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:  
 WALGREENS' CONTRACTOR  
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

NO.	DATE	DESCRIPTION
5	04/05/05	Submittal Revisions
4	01/17/04	Submittal Revisions
3	11/30/04	Submittal Revisions
2	10/15/04	Submittal Revisions
1	10/1/04	Plan Commission Submittal
A	8/27/04	Preliminary Site Plan

DOCUMENT ISSUES/BENCHMARKS

STORE # XXXXX  
 PROJECT NAME  
**WALGREENS STORE**  
 LAYTON BLVD & NATIONAL AVE.  
 MILWAUKEE, WI  
 DRAWING TITLE

CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY: MPJ	<b>A0.1</b>
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0465-00	OF DWGS.

**1 SITE PLAN**  
 1"=20'-0"

0 10 20 40

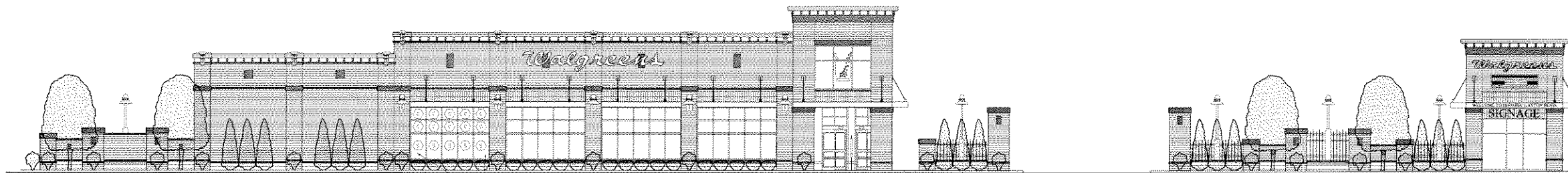
NORTH

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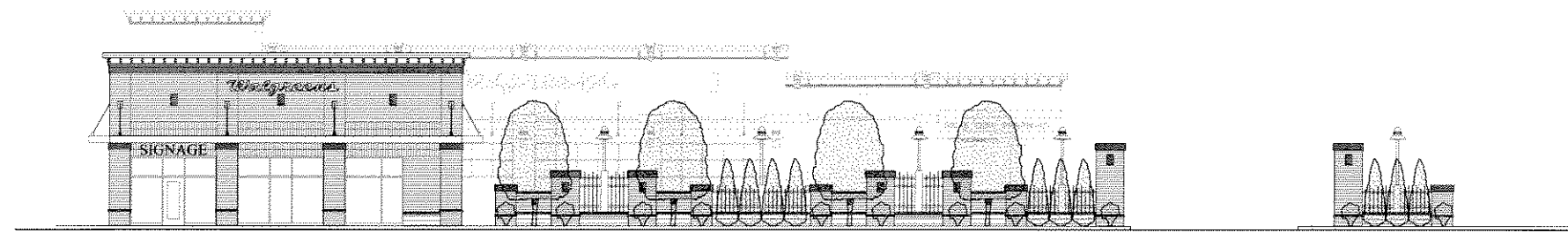
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REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
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OTHERS	<input type="checkbox"/>		

NOTE: VEGETATION SHOWN AT MATURE HEIGHT.

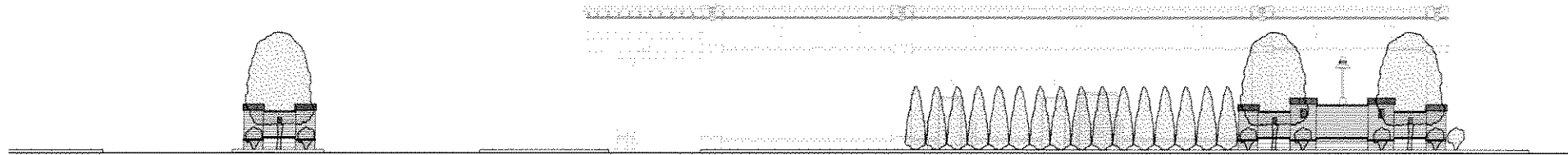


**1 NORTH ELEVATION**  
 1/2" = 1'-0"

TYPICAL WINDOW CONFIGURATION:  
 1 SPANDREL GLAZING  
 2 USION GLAZING



**2 WEST ELEVATION**  
 1/2" = 1'-0"



**3 EAST ELEVATION**  
 1/2" = 1'-0"

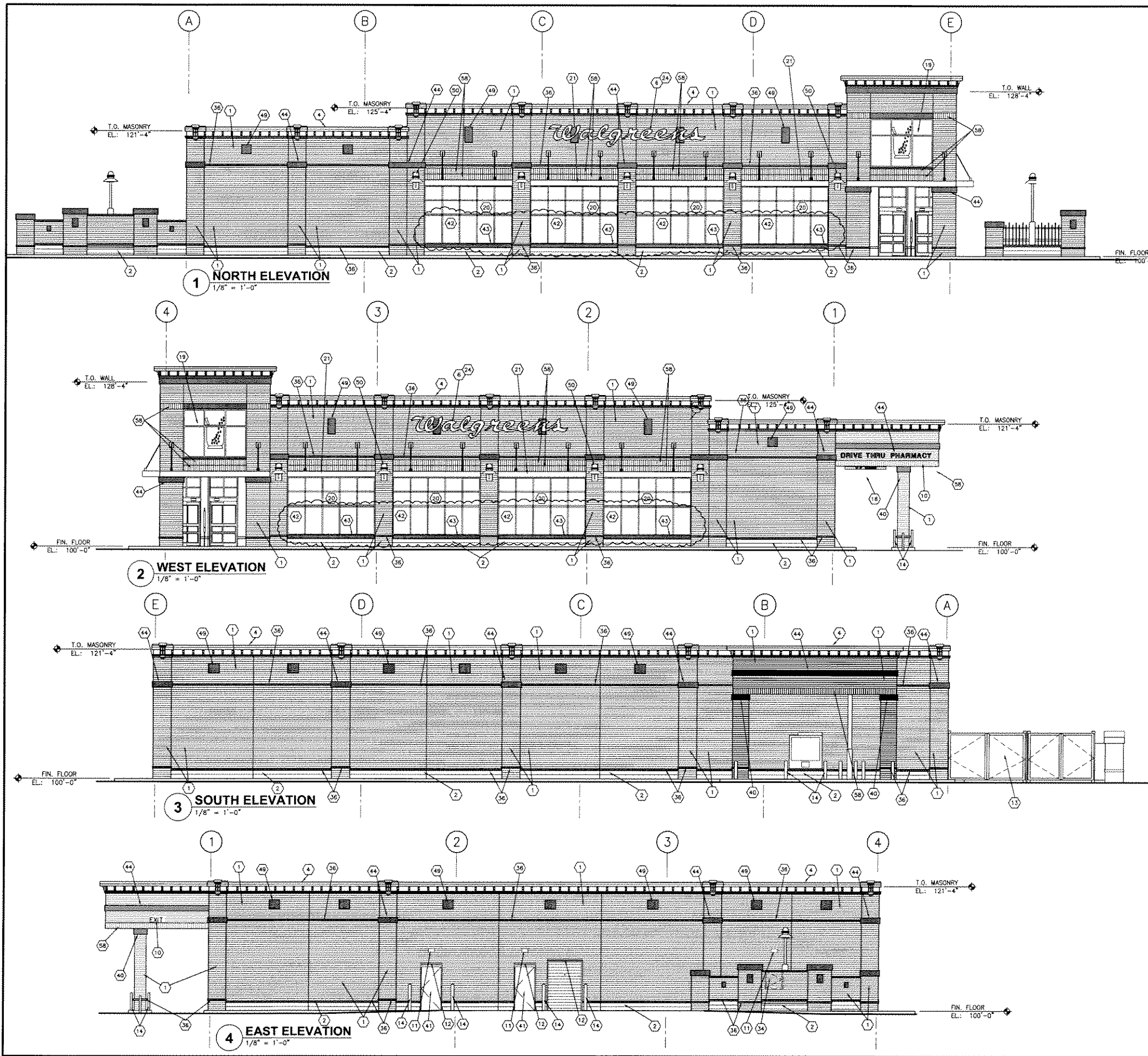
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**OVERALL EXTERIOR ELEVATIONS**

CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY: MPJ	<b>A2.1</b>
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0465-00	OF DWGS.



**EXTERIOR ELEVATIONS KEYED NOTES**

- 1 UTILITY SIZE FACE BRICK.
- 2 SPLIT-FACE BLOCK.
- 3 SMOOTH-FACED MANUFACTURED LIMESTONE.
- 4 PREFINISHED SHEET METAL COPING, GUTTERS, AND DOWNSPOUTS. INTERNAL ROOF DRAINS ARE PREFERRED IN NORTHERN CLIMATES (COLOR "A").
- 5 WALL HYDRANT.
- 6 RED "WALGREENS" SCRIPT SIGN, INTERNALLY ILLUMINATED. SEE DETAILS ON SHEET A5-2.
- 7 INDIVIDUAL LETTER SIGN.
- 8 ROOF LINE.
- 9 FOTE ROOF WITH SNOW GUARDS. SEE SHEET C6-2.
- 10 INDIVIDUAL LETTER SIGN. SEE SHEET A5-2.
- 11 WALL-MOUNTED LIGHT. SEE ELECTRICAL DRAWINGS. AT TRASH COMPACTOR CONDITIONS WHERE THERE IS A SECOND SEPARATE ENCLOSURE, PROVIDE A SECOND FIXTURE.
- 12 RAIN SHIELD.
- 13 TRASH COMPACTOR AND TOTE ENCLOSURES. SEE DETAILS ON SHEET C6-2.
- 14 PIPE BOLLARD. SEE DETAIL 12/00-0.
- 15 FLEXIBLE DELINEATION POST.
- 16 WINDOW SIGN. SEE SHEET A5-2.
- 17 1/8" THICK BENT-STEEL PLATE (TO PROTECT DOWNSPOUT). SLOTTED TO MASONRY. GOPE-ANGULAR BULLNOSE. SEE DETAIL 2/A2-3.
- 18 "CLEARANCE" SIGN. SEE DETAIL ON SHEET A5-2.
- 19 WALGREEN NEON GRAPHIC BEYOND. SEE DETAIL ON SHEET A5-2.
- 20 GLAZING SYSTEM.
- 21 METAL AWNING PROJECTION.
- 22 26GA GALVANIZED "M" PANEL WITH END CLOSURES. PREFINISHED IN STANDARD COLOR THAT MOST APPROXIMATES THE ADJACENT DRIVE.
- 23 AWNING DASHED IN FOR CLARITY.
- 24 BOTTOM OF LOWER CASE LETTERS TO BE A MINIMUM OF 18" BELOW ROOF LINE. OR SIGN TO BE MOUNTED ON RACEWAY TO AVOID ROOF MEMBRANE PENETRATION. PAINT RACEWAY TO MATCH BRICK.
- 25 STONE SILL (TYP).
- 26 ROOF SCUPPERS AT INTERVALS AS REQUIRED BY SPECIFIC JOB. INTERNAL ROOF DRAINS WITH OVERFLOW SCUPPERS ARE REQUIRED IN NORTHERN CLIMATES. ALIGN STORM SEWER ENTRANCE @ GRADE WITH SCUPPERS ABOVE WHEN DOWNSPOUTS ARE USED.
- 27 VERTICAL FLUSH METAL PANEL. COLOR TO MATCH ROOF.
- 28 COLUMN. PAINT BR #PC-81-MANCHESTER TAN.
- 29 ROUGH-FACED MANUFACTURED LIMESTONE.
- 30 ROUGH-FACED END (MANUFACTURED LIMESTONE).
- 31 SMOOTH-FACED END TO RECEIVE AWNING BRACKET.
- 32 FLOODLIGHT. SEE ELECTRICAL DRAWINGS.
- 33 STACKED HEADERS - NO SOLIDS OR MITERED UNITS. SEE DETAIL 7/A2-2.
- 34 COMPACTOR CHUTE / DOOR. SEE PLAN FOR LOCATION.
- 35 BRICK EXPANSION JOINT. FILL WITH ROD & SEALANT. COLOR TO MATCH BRICK. SEE DETAIL 8/A2-5.
- 36 PRECAST CONCRETE BAND - SEE DETAIL 7/A2-5.
- 37 LINE OF RTU BEYOND.
- 38 E.P.D.M. ROOF. WRAP UP TOWER AND ONTO TOWER ROOF. SEE SHEET A2-4.
- 39 PREFINISHED METAL COLLECTOR BOX & DOWNSPOUT (COLOR "A").
- 40 PRECAST CONCRETE BAND - SEE DETAIL 2/A2-5.
- 41 HOLLOW METAL DOOR & FRAME (PAINT).
- 42 ALUMINUM STOREFRONT W/ WINDOW BOX ALONG NATIONAL AVE. & SPANDREL GLAZING ALONG PARKING.
- 43 PRECAST CONCRETE SILL - SEE DETAIL 7/A2-5.
- 44 PRECAST CONCRETE BAND - SEE DETAIL 11/A2-5.
- 45 GAS METER.
- 46 ELECTRIC METER. SEE ELECTRICAL DRAWINGS.
- 47 EMERGENCY LIGHT (SEE ELECTRICAL DRAWINGS) @ 10'-0" A.F.F. FIELD VERIFY. NOTE: MATCH HEIGHT OF INTERIOR EMERGENCY LIGHTS.
- 48 BRICK CONTROL JOINT, RAKE MORTAR JOINT AND FILL WITH ROD & SEALANT. SEALANT COLOR TO MATCH BRICK.
- 49 PRECAST CONCRETE MEDALLION.
- 50 DECORATIVE LIGHT FIXTURE.
- 51 SIMULATED WOOD DENTIL FASCIA (PAINT COLOR "P-2").
- 52 "TYPON" #084603.
- 53 SIMULATED WOOD BRACKET (PAINT COLOR "P-1").
- 54 "TYPON" #063300.
- 55 SIMULATED WOOD BRACKET (PAINT COLOR "P-1").
- 56 "TYPON" #087500.
- 57 SIMULATED WOOD BAND (PAINT COLOR "P-2").
- 58 "TYPON" #085100.
- 59 SIMULATED WOOD KEYSTONE (PAINT COLOR "P-2").
- 60 "TYPON" #857008.
- 61 PAINTED "TYPON" CORNICE.
- 62 PRECAST CONCRETE PANEL.
- 63 BRICK SOLDIER COURSE, PROJECT 3/8"

**THE ALBION ARCHITECTS**  
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NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		

**EXTERIOR COLOR SCHEDULE**

BRICK VENEER ----- HARMAR 840

SPLIT-FACE CONC. BLOCK ----- MATCH PRECAST CONCRETE

PRECAST CONCRETE ("PRAIRIE STONE") ----- "ALABASTER"

STOREFRONT FRAMING ----- BRONZE ANODIZED

STANDING SEAM METAL ----- UNA-CLAD

ROOFING/FLASHING ----- "SHERWOOD GREEN"

MISCELLANEOUS SHEET METAL (COPINGS, FASCA, ETC.)

COLOR "A" ----- UNA-CLAD "SHERWOOD GREEN"

COLOR "A" ----- UNA-CLAD "ALMOND"

FIELD PAINTING COLORS (GYPSUM BOARD SOFFITS, BRACKETS, ETC.)

COLOR "P-1" ----- COLOR TO MATCH UNA-CLAD "SHERWOOD GREEN"

COLOR "P-2" ----- COLOR TO MATCH UNA-CLAD "ALMOND"

**BUILDING SIGN AREA SUMMARY**

NORTH ELEVATION	
20'-8 3/4" WALGREENS SCRIPT SIGN	44.56 S.F.
WEST ELEVATION	
20'-8 3/4" WALGREENS SCRIPT SIGN	44.56 S.F.
10' DRIVE-THRU PHARMACY INDIVID. LETTER	12.6 S.F.
	57.16 S.F.
SOUTH ELEVATION	
	0 S.F.
EAST ELEVATION	
10' EXIT INDIVIDUAL LETTER	2.1 S.F.
<b>TOTAL BUILDING SIGNAGE</b>	<b>103.82 S.F.</b>
<b>TOTAL SITE SIGNAGE (PYLON SIGN)</b>	<b>87.6 S.F.</b>
<b>TOTAL SIGNAGE AREA</b>	<b>191.42 S.F.</b>

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 LAYTON BLVD & NATIONAL AVE.  
 MILWAUKEE, WI

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

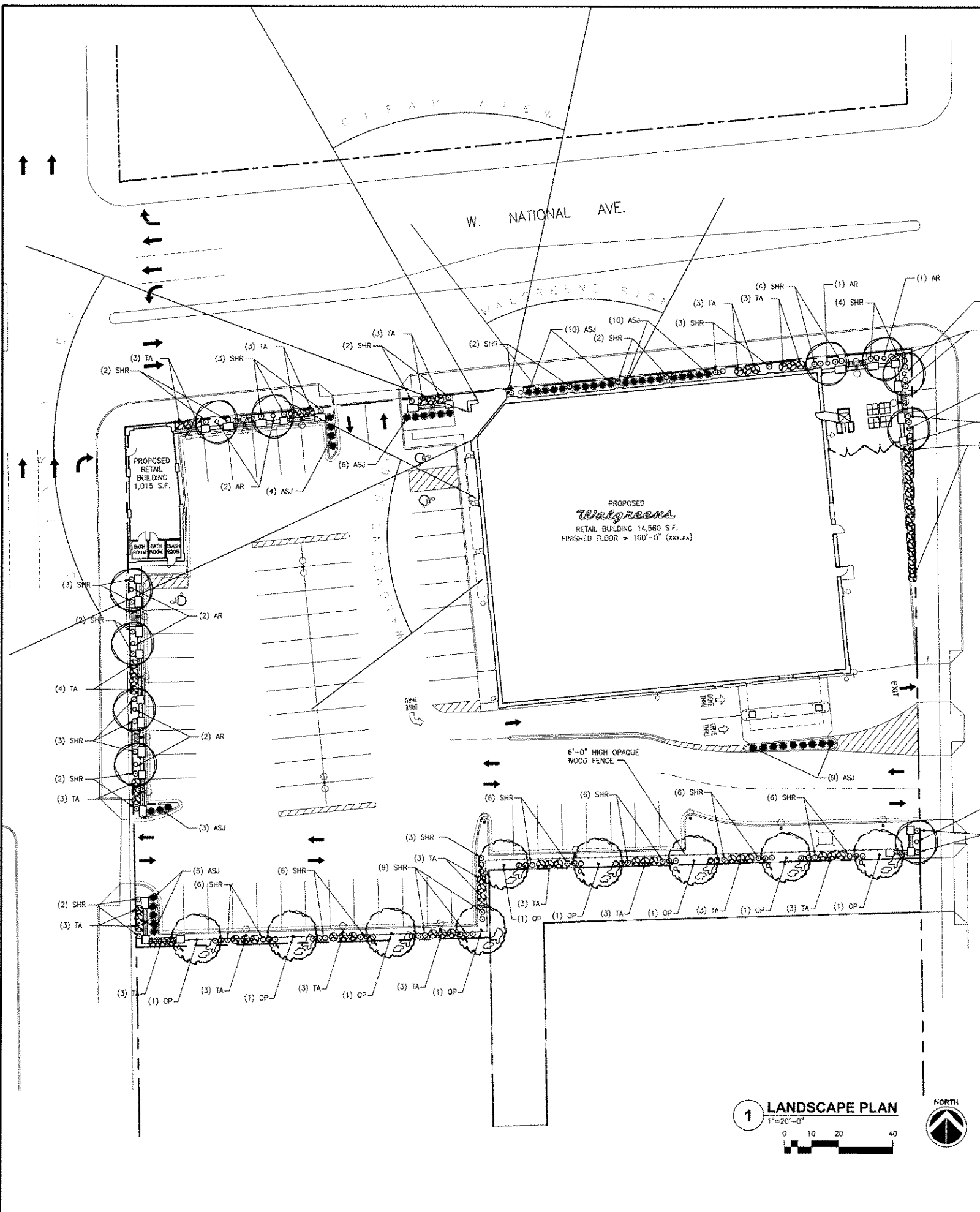
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RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0465-00	OF DWGS.

PLANT SCHEDULE					
SYMBOL	QUANTITY	SIZE	ROOT	COMMON NAME	SCIENTIFIC NAME
ASJ	47	24"	BB	ARMSTRONG JUNIPER	JUNIPERIS CHINENSIS "ARMSTRONGII"
SHR	93	16"	BB	SHRUB ROSES "GEORGE VANCOUVER"	RUGOSA "HYBRIDS"
OP	9	2" CAL.	BB	ORNAMENTAL PEAR	PYRUS CALLERYANA "BRADFORD"
TA	68	7' HIGH	BB	TECHNY ARBORVITAE	THUJA OCCIDENTALIS
AR	11	2.5" - 3" CAL.	BB	RED MAPLE	ACER RUBRUM

DRAWINGS/SPECIFICATIONS BY:  
 WALGREENS CONSULTANT  
 LANDLORD'S CONSULTANT

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 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

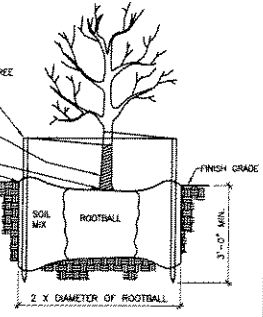
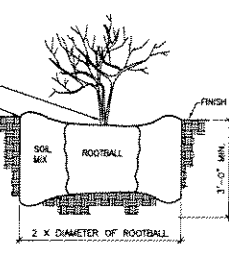
STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	



**GENERAL NOTES**

- SITE CLEARING**  
 REMOVE ALL EXISTING TREES AND VEGETATION PER SPECIFICATION SECTION 02190, EXCEPT THOSE AS NOTED ON PLAN.
- DIGGING**  
 CONTACT LOCAL DIGGER'S HOTLINE PRIOR TO DOING ANY DIGGING.
- MULCHING**  
 TREES AND SHRUBS TO RECEIVE A 3" LAYER OF SHREDDED HARDWOOD BARK WITH NO MORE THAN 1" OF MULCH AT THE BASE OF THE TREE OR SHRUB. PERENNIALS ARE TO RECEIVE 1" OF MULCH UNLESS OTHERWISE NOTED.
- TREES IN LAWN AREA ARE TO RECEIVE A 4 FT. DIAMETER MULCHED TREE RING.  
 ALL LARGE PLANT BEDS TO RECEIVE LANDSCAPE EDGING.
- SUBSTITUTIONS**  
 SUBSTITUTIONS OF PLANT MATERIAL MUST BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT/DESIGNER.
- PLANT MATERIAL**  
 ALL PLANT MATERIAL WILL BE #1 STOCK IN ACCORDANCE WITH THE AMERICAN NURSERYMEN'S STANDARDS. ALL WOODY PLANT MATERIAL (EXCLUDING TRANSPLANTS) WILL BE GUARANTEED FOR 1 YEAR FROM PROJECT COMPLETION.
- PLANTING**
- ALL TREES ARE TO BE PLANTED IN HOLES 18" LARGER IN DIAMETER THAN THE ROOT BALL OF THE TREE. ALL SHRUBS ARE TO BE PLANTED IN HOLES 12" LARGER IN DIAMETER THAN THE ROOT BALL OF THE SHRUB.
  - HOLES ARE TO BE BACKFILLED WITH A MIXTURE OF 2/3 ORIGINAL SOIL AND 1/3 PLANT STARTER. TYRAX WEED BARRIER TO BE USED IN ALL PLANT BEDS.
  - TREES AND SHRUBS ARE TO BE PLANTED WITH FERTILIZER PACKETS.
  - SHRUB GROUPINGS ARE TO BE EDGED WITH HEAVY DUTY POLY LAWN EDGING WHERE THE BED EDGES MEET TURF AREAS.
  - STAKE ALL DECIDUOUS AND EVERGREEN TREES USING STURDY CEDAR STAKES, THREE PER TREE, AND NYLON "SEAT BELT" STRAPPING, FIRMLY ATTACHED.
  - PERENNIAL AND ANNUAL BEDS ARE TO BE AMENDED WITH 2-3" OF PLANT STARTER, ROTOTILLED INTO A DEPTH OF 6".
  - ALL AREAS DISTURBED BY LANDSCAPE CONSTRUCTION ARE TO BE SODDED.
  - ALL OTHER PLANTING AREAS NOT MULCHED ARE TO BE SODDED, INCLUDING R.O.W. AREAS AS NOTED ON PLAN. SOD SHALL CONSIST OF A DENSE, WELL-ROOTED NURSERY GROWN BLUEGRASS SOD, AND SHALL BE FREE FROM WEEDS AND UNDESIRABLE GRASSES. SOD SHALL BE LAID SMOOTHLY, EDGE TO EDGE, WITH STAGGERED JOINTS. AFTER LAYING, ROLL TO INSURE GOOD CONTACT WITH THE SOIL.
  - SEE SPEC. SECTION 02900 - (LANDSCAPING/IMPROVEMENTS) FOR IRRIGATION SYSTEM INFORMATION. TO BE PROVIDED & INSTALLED UNDER LANDSCAPE CONTRACTORS CONTRACT.
  - IRRIGATION CONTRACTOR TO AVOID CROSSING EASEMENTS IF POSSIBLE. VERIFY ALL EASEMENT LOCATIONS PRIOR TO INSTALLING IRRIGATION LINES. IRRIGATION CONTRACTOR TO SUBMIT TO REDMOND AT LEAST FOUR (4) WEEKS PRIOR TO INSTALLATION A COMPLETE SUBMITTAL PACKAGE FOR APPROVAL. PROVIDE TO REDMOND TWO (2) AS-BUILT PLANS OF INSTALLED IRRIGATION SYSTEM.
- NOTES:**  
 SEE SPECIFICATION SECTION 02900 - LANDSCAPING/IMPROVEMENTS FOR ADDITIONAL REQUIREMENTS/INFORMATION.  
 PLAN OF SURVEY FOR THIS PROPERTY PROVIDED BY OTHERS. LANDSCAPE ARCHITECT TAKES NO RESPONSIBILITY FOR THE ACCURACY THEREOF AND NONE SHOULD BE ASSUMED.

- TRIM ALL DEAD & DAMAGED BRANCHES
- SELECT BEST VIEWERS ANGLE, LIFT STOCK BY ROOTBALL & PLACE IN PLANTERS PIT
- SPRAY WITH ANTI-DESCICANT WAX
- WATER THOROUGHLY AT THE TIME OF PLANTING & THEREAFTER AS DIRECTED
- INSTALL 3 YEAR SLOW RELEASE FERTILIZER PACKETS IN ALL PLANTING HOLES, AS PER MANUFACTURERS INSTRUCTIONS/SPECIFICATIONS
- STAKE USING 6'-0" LONG 3" DIA CEDAR STAKES DRIVEN INTO GROUND TO A MIN. DEPTH OF 3'-0". 3 PER TREE AND NYLON "SEAT-BELT" STRAPPING FIRMLY ATTACHED UTILIZING SPIRAL WAX.
- TREE WRAP TO FIRST BRANCH
- CUT TREES AT TOP OF ROOTBALL, PULL DOWN TOP 1/3 OF BURLAP AROUND ROOTBALL
- 3" SPECIFIED MULCH
- TOP OF ROOTBALL AT FINISH GRADE
- FORM 3" SAUCER TO ENCLOSE STOCK
- SOIL MIX: 2/3 EXISTING SOIL 1/3 PLANT STARTER MIX
- LOOSEN SUBSOIL WITH PICK TO ENSURE POROSITY
- REST BALL OF TREE ON FIRM BORE OF SUBSOIL TO INSURE THAT TREE DOES NOT LOWER WITH SOIL SETTLEMENT



**1 LANDSCAPE PLAN**  
 1"=20'-0"  
 0 10 20 40

NO.	DATE	DESCRIPTION
5	04/05/05	Submittal Revisions
4	01/17/04	Submittal Revisions
3	11/30/04	Submittal Revisions
2	10/15/04	Submittal Revisions
1	10/1/04	Plan Commission Submittal
A	8/27/04	Preliminary Site Plan

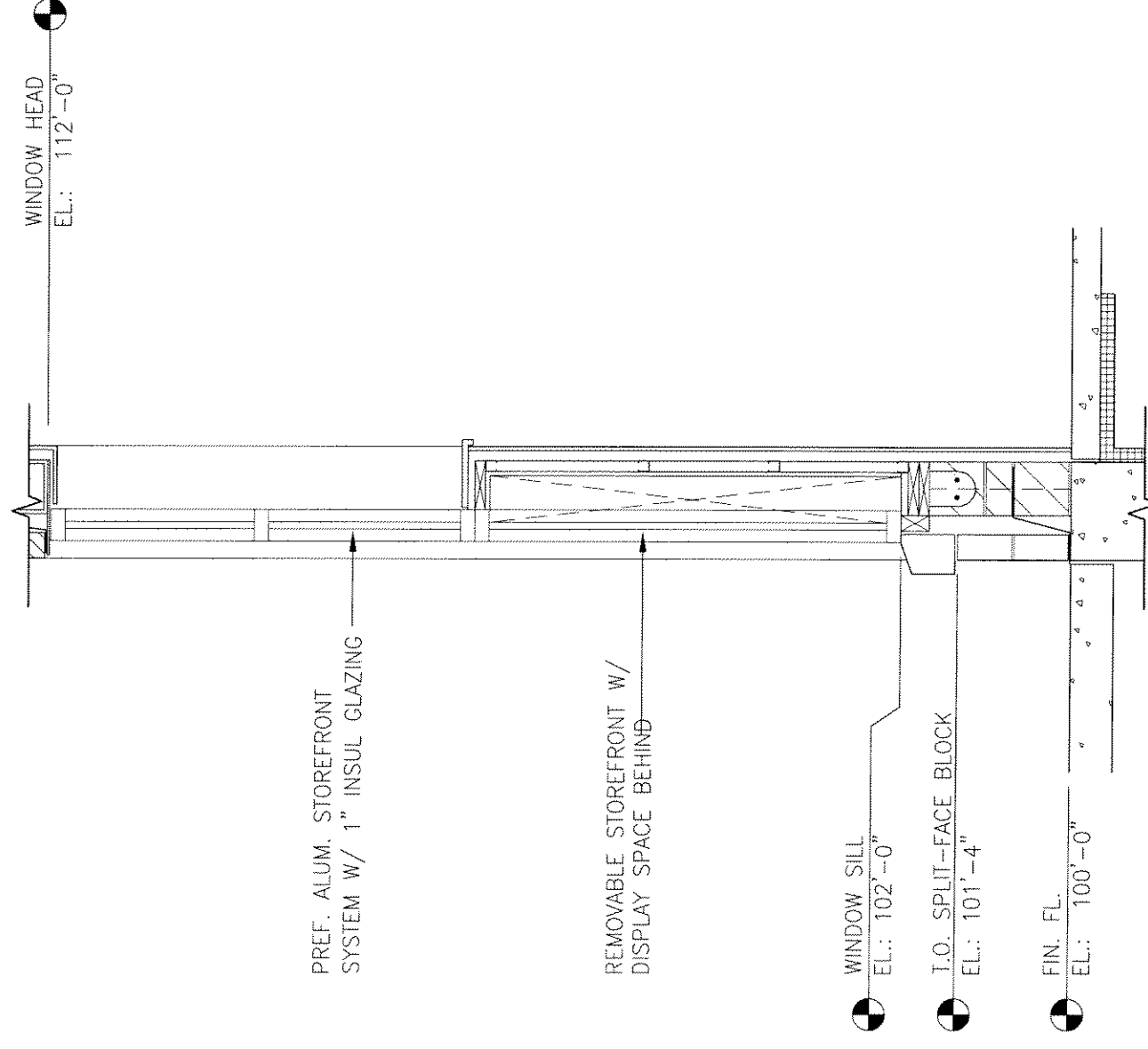
**DOCUMENT ISSUES/BENCHMARKS**

STORE # XXXXX

PROJECT NAME  
**WALGREENS STORE**  
 LAYTON BLVD & NATIONAL AVE.  
 MILWAUKEE, WI

DRAWING TITLE  
**LANDSCAPE PLAN**

CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY:	<b>L1</b>
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0465-00	OF DWGS.



PREF. ALUM. STOREFRONT SYSTEM W/ 1" INSUL GLAZING

REMOVABLE STOREFRONT W/ DISPLAY SPACE BEHIND

WINDOW SILL  
EL.: 102'-0"

I.O. SPLIT-FACE BLOCK  
EL.: 101'-4"

FIN. FL.  
EL.: 100'-0"

**1** TYPICAL WINDOW BOX SECTION  
1/2" = 1'-0"

**THE ALBION GROUP ARCHITECTS**  
 338 North Milwaukee Street, Suite 503  
 Milwaukee, Wisconsin 53202  
 414.223.3350 phone 414.223.3340 fax

PROJECT NO. : 0465--00

DATE : 04/05/05

PROJECT : WALGREENS STORE  
 27TH ST. & NATIONAL AVE.  
 MILWAUKEE, WI

SHEET :

SEC1