
SEEDS OF HEALTH - HIGH SCHOOL

918 VEL R. PHILLIPS AVE
MILWAUKEE, WI 53203



SEEDS OF
HEALTH, INC.

BID PACKAGE BID PACKAGE DESCRIPTION

12/17/2020

PROJECT NUMBER: 319396-01

ABBREVIATIONS

A A/C A/E ACT ADDL ADDM ADJ AFC AFF AFG AFS ALT ALUM APPD APT AP ASC	air condition Architect/Engineer acoustical ceiling tile additional addressum adjustable above finished above finished above finished above finished grade above finished slab alternate aluminum approved apartment acoustical panel above suspended ceiling	C CLR CM CM CMU CO COL CONC CORR COT CSWK CT CW CTB D DEMO DEPT DF DIA DP DR DR FR DTL DS DW DWG E EIFS ELEC ELEC ELEV EP EQS EQU ETR EXT EXT	clear construction management construction manager concrete masonry unit cleanout column concrete corridor carpet casework ceramic tile cold water ceramic tile base demolition department drinking fountain diameter decorative panel door door frame detail downspout dishwasher drawing east exterior insulation & finish system elevation expansion joint electric electrical elevator epoxy expanded polystyrene board equal existing to remain existing exterior	F F FA FA FC FD FE FEC FHC FLR FM FM FO FP FP FRL FRP FT FTG G GA GALV GB GC GL GLU LAM GR GT GYP BD H HB HC HM HORIZ HSKP HGT HVAC HW HWY	female filler fire alarm fluid-applied fabric file cabinet floor drain fire extinguisher fire extinguisher cabinet fire hose cabinet floor factory mutual floor mat finished opening fire protection fireproof fireplace fiberglass reinforced plastic fire treated footing guage galvanized grab bar general contractor glass glue laminated wood grade, grading grout gypsum hose bibb hollow core hollow metal horizontal housekeeping height heating, ventilating & air conditioning hot water highway	I ID INSUL INT J JS L LAM LAV LL M MAX MC MFR MICRO MIN MIN MISC MU MS MTL N NA NIC NO NM NS NTS O OC OD OF/CI OF/CI OF/CI OF/VI OH DR OPH OPNG	inside diameter insulation interior janitor sink laminate lavatory live load maximum modular carpet tile mechanical manufacturer microwave minimum minute miscellaneous movement joint masonry opening mop sink metal north not applicable not in contract number nominal no scale not to scale on center outside diameter owner furnished, contractor installed owner furnished, contractor installed owner furnished, contractor installed & air conditioning overhead door opposite hand opening	P FJ FLAM PLYWD PML PREFAB PREFIN PSI PT PTN Q QT QTB QTZ R RB RCP RD REBAR REC REF REF REV RFS RO S SAN SC SC SCHED SCHED SF SIM SS SSIT ST ST STL STN STNB STRUCT	panel joint plastic laminate plywood plywood panel prefabricated prefinished pounds per square inch partition quarry tile quarry tile base quartz resilient base reflected ceiling plan roof drain reinforcing steel bars recess reference refrigerator resilient flooring revision room finish schedule rough opening south sanitary sealed concrete solid core schedule scheduled square foot sim solid schedule stainless steel stain stair steel stone stone base structure	T T&M TEMP TEMP TER TERB TFF TKBD TO TOB TOC TOJ TOPO TOS TOS TYP U UNO V VERT VF/CI VF/CI VF/VI VNR VIF W WF WI W/O W/C WC WD WDB WDV WH WP WP WT X XPS	time & materials temperature temporary terrazzo terrazzo base top of finished floor tackboard top of top of beam top of concrete top of joist topography top of slab top of steel typical unless noted otherwise vertical vendor furnished, contractor installed vendor furnished, contractor installed vendor furnished, contractor installed veneer verify in field west with without water closet wall covering wood wood base wood vander water heater wall protection work point window treatment extruded polystyrene board (insulated)
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PROJECT TEAM

ARCHITECTURAL EPPSTEIN UHEN ARCHITECTS, INC.

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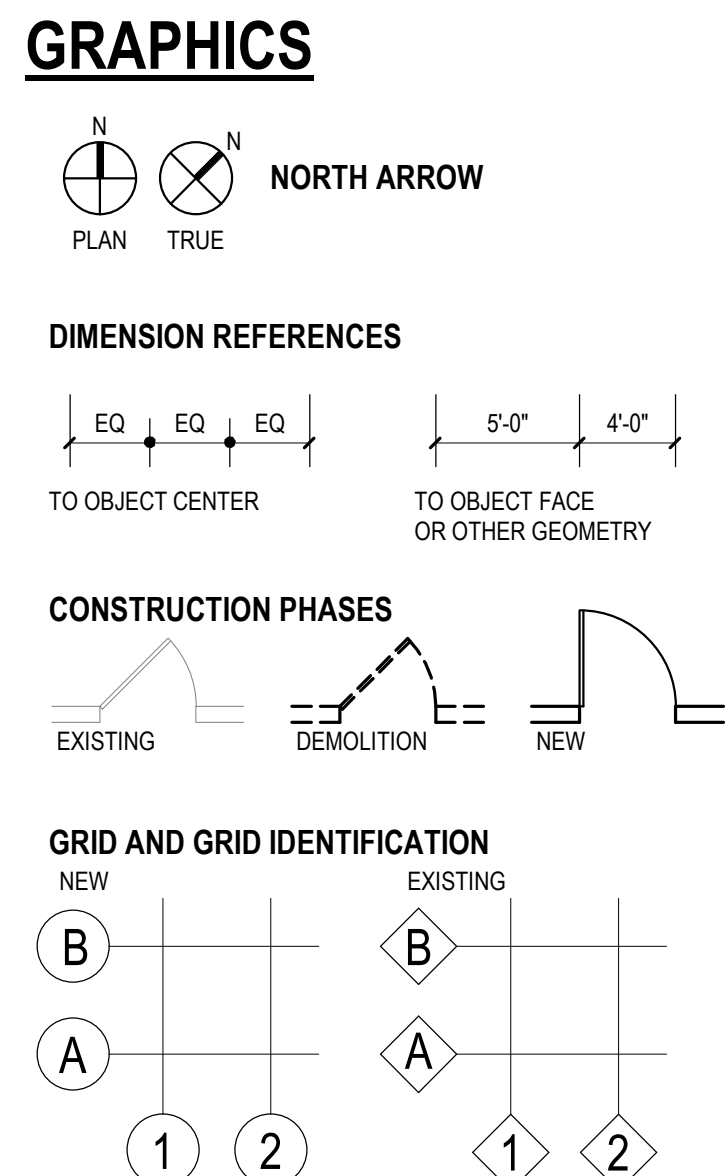
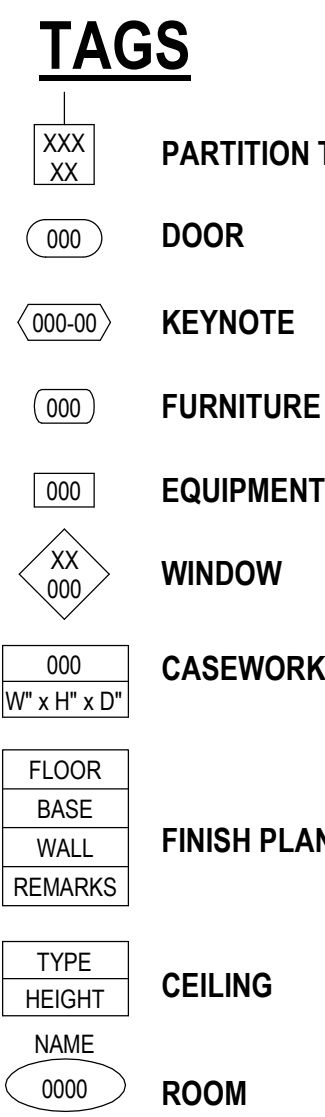
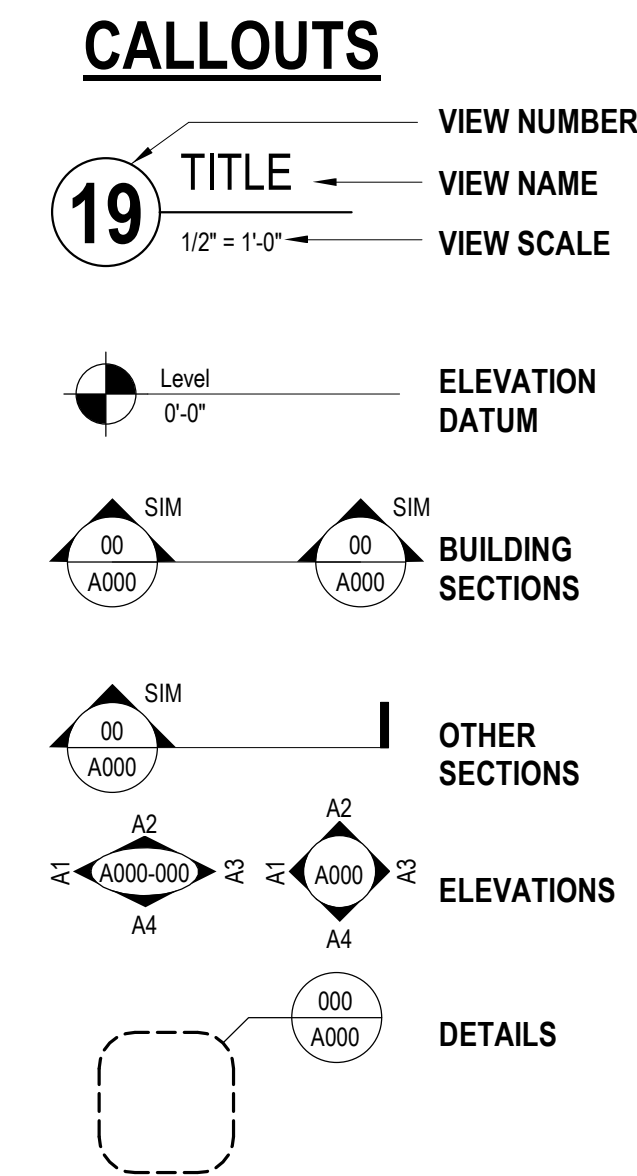
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SYMBOL LEGEND



VICINITY MAP

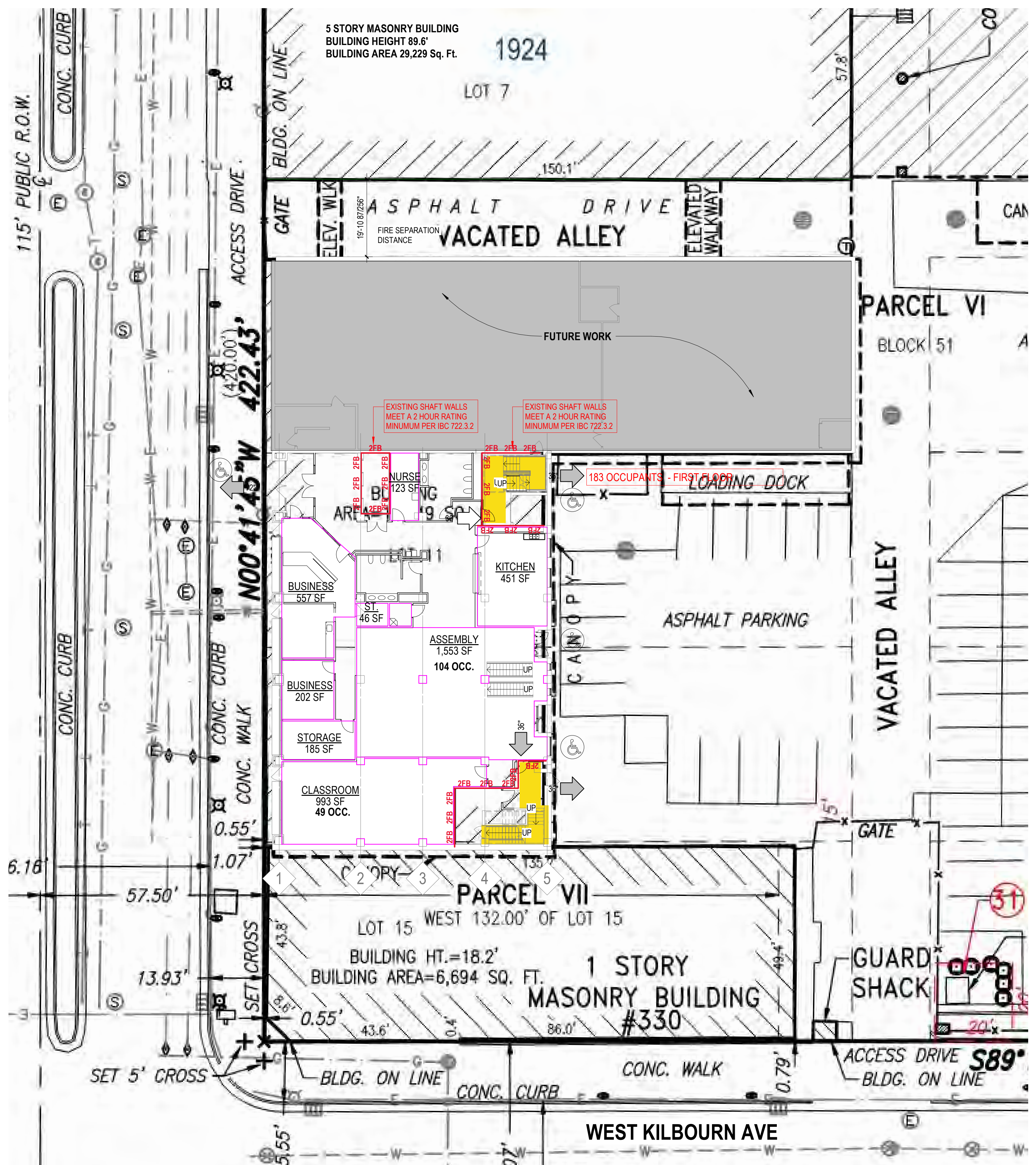
SHEET INFORMATION

PROJECT MANAGER TW

PROJECT NUMBER 319396-01

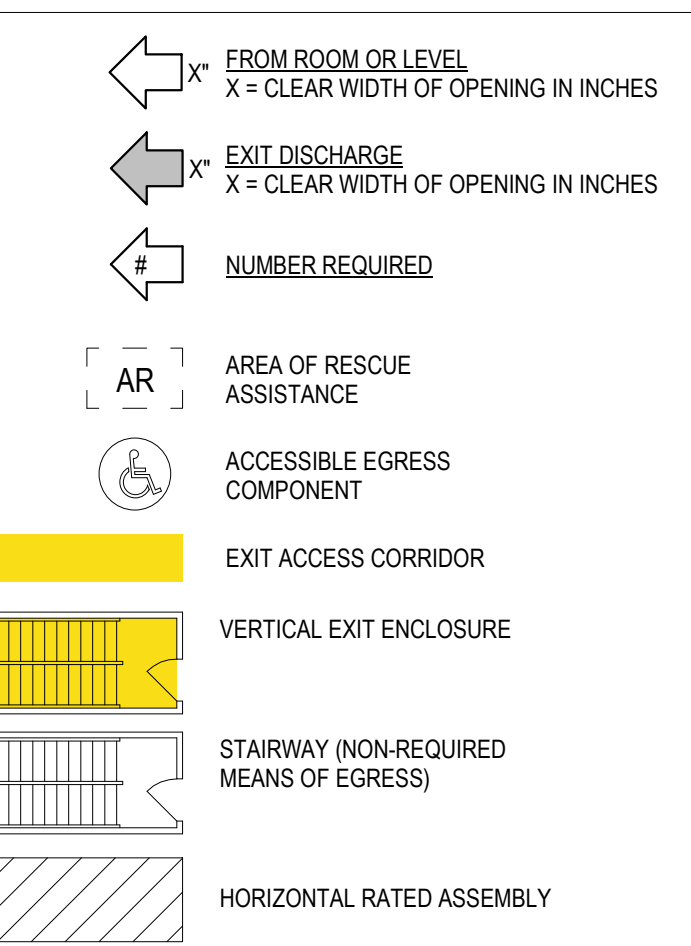
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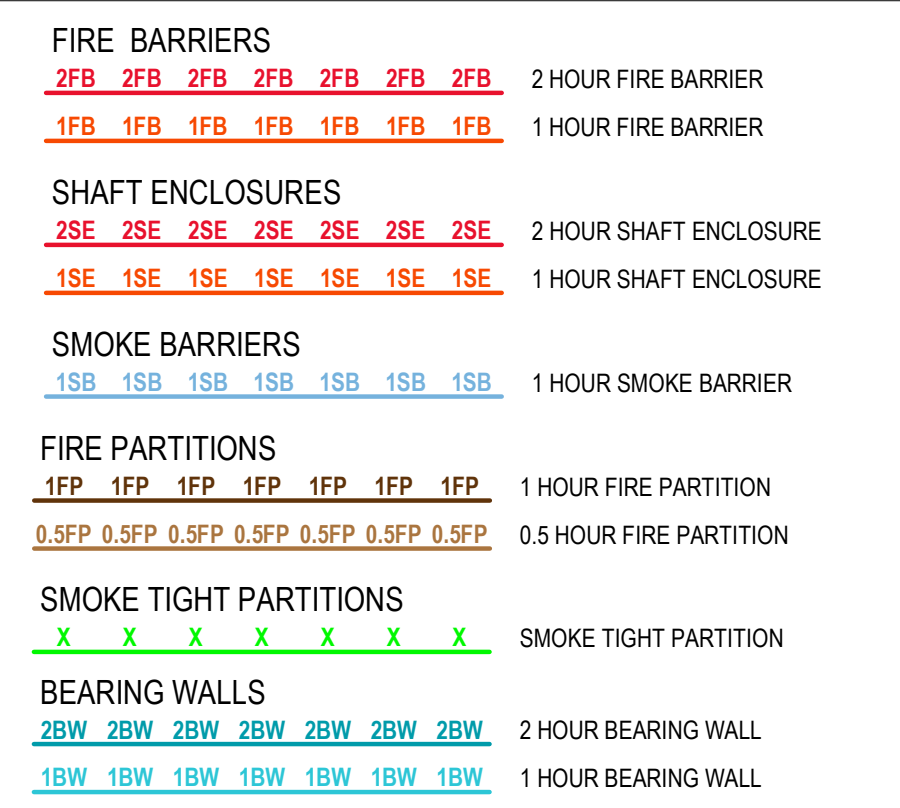


A1 1ST FLR LIFE SAFETY PLAN
1/16" = 1'-0"

MEANS OF EGRESS



FIRE RESISTIVE LEGEND



Area Schedule (Life Safety)

Level	Name	Function of Space	Area Key	Occupancy Classification	Area	Area per Occupant	Gross or Net	Occupancy Load Factor	Occupants Fixed	Occupants by Area	Occupants Total
LL	STORAGE	Accessory Storage / Mech Equipment		S-1	6,184.18 SF	300	Gross	0	0	21	21
LL: 1					6,184.18 SF						21
1ST FLR	CLASSROOM	Educational - Classroom	E	E	993.22 SF	20	Net	0	0	50	50
1ST FLR	STORAGE	Accessory Storage / Mech Equipment	S-1	S-1	186.18 SF	300	Gross	0	0	1	1
1ST FLR	ASSEMBLY	Assembly w/o Fixed Seats - Unconcentrated	A-3	A-3	1,553.39 SF	15	Net	0	0	104	104
1ST FLR	BUSINESS	Business Areas	B	B	556.92 SF	100	Gross	0	0	6	6
1ST FLR	BUSINESS	Business Areas	B	B	202.12 SF	100	Gross	0	0	3	3
1ST FLR	KITCHEN	Kitchen - Commercial	A-2	A-2	450.88 SF	200	Gross	0	0	3	3
1ST FLR	NURSE	Business Areas	B	B	123.42 SF	100	Gross	0	0	2	2
1ST FLR	ST.	Accessory Storage / Mech Equipment	S-1	S-1	46.42 SF	300	Gross	0	0	1	1
1ST FLR: 8					4,111.56 SF						170
2ND FLR	CLASSROOM	Educational - Classroom	E	E	985.68 SF	20	Net	0	49	0	49
2ND FLR	CLASSROOM	Educational - Classroom	E	E	992.28 SF	20	Net	0	0	50	50
2ND FLR	MECHANICAL	Accessory Storage / Mech Equipment	S-1	S-1	181.51 SF	300	Gross	0	0	1	1
2ND FLR	BUSINESS	Business Areas	B	B	134.64 SF	100	Gross	0	0	2	2
2ND FLR	STORAGE	Accessory Storage / Mech Equipment	S-1	S-1	108.09 SF	300	Gross	0	0	1	1
2ND FLR	BUSINESS	Business Areas	B	B	410.77 SF	100	Gross	0	0	5	5
2ND FLR	CLASSROOM	Educational - Shops & Vocational	E	E	574.89 SF	50	Net	0	0	12	12
2ND FLR	STORAGE	Accessory Storage / Mech Equipment	S-1	S-1	121.29 SF	300	Gross	0	0	1	1
2ND FLR	CLASSROOM	Educational - Classroom	E	E	569.28 SF	20	Net	0	0	29	29
2ND FLR: 9					4,078.43 SF						150
3RD FLR	CLASSROOM	Educational - Classroom	E	E	979.95 SF	20	Net	0	0	49	49
3RD FLR	CLASSROOM	Educational - Classroom	E	E	989.88 SF	20	Net	0	49	0	49
3RD FLR	CLASSROOM	Educational - Shops & Vocational	E	E	1,076.42 SF	50	Net	0	0	22	22
3RD FLR	STORAGE	Accessory Storage / Mech Equipment	S-1	S-1	131.97 SF	300	Gross	0	0	1	1
3RD FLR	MECHANICAL	Accessory Storage / Mech Equipment	S-1	S-1	135.25 SF	300	Gross	0	0	1	1
3RD FLR	BUSINESS	Business Areas	B	B	143.65 SF	100	Gross	0	0	2	2
3RD FLR	BUSINESS	Business Areas	B	B	383.58 SF	100	Gross	0	0	4	4
3RD FLR	ST.	Accessory Storage / Mech Equipment	S-1	S-1	87.29 SF	300	Gross	0	0	1	1
3RD FLR	STORAGE	Accessory Storage / Mech Equipment	S-1	S-1	123.3 SF	300	Gross	0	0	1	1
3RD FLR	ST.	Accessory Storage / Mech Equipment	S-1	S-1	44.55 SF	300	Gross	0	0	1	1
3RD FLR: 10					4,097.84 SF						131
4TH FLR PLAN	CLASSROOM	Educational - Classroom	E	E	989.22 SF	20	Net	0	49	0	49
4TH FLR PLAN	CLASSROOM	Educational - Classroom	E	E	976.48 SF	20	Net	0	49	0	49
4TH FLR PLAN	CLASSROOM	Educational - Classroom	E	E	906.03 SF	20	Net	0	0	46	46
4TH FLR PLAN	CONFERENCE	Assembly w/o Fixed Seats - Unconcentrated	A-3	A-3	298.48 SF	15	Net	0	0	20	20
4TH FLR PLAN	BUSINESS	Business Areas	B	B	159.82 SF	100	Gross	0	0	2	2
4TH FLR PLAN	BUSINESS	Business Areas	B	B	227.71 SF	100	Gross	0	0	3	3
4TH FLR PLAN	ST.	Accessory Storage / Mech Equipment	S-1	S-1	86.18 SF	300	Gross	0	0	1	1
4TH FLR PLAN	STORAGE	Accessory Storage / Mech Equipment	S-1	S-1	129.72 SF	300	Gross	0	0	1	1
4TH FLR PLAN	BUSINESS	Business Areas	B	B	139.51 SF	100	Gross	0	0	2	2
4TH FLR PLAN	ST.	Accessory Storage / Mech Equipment	S-1	S-1	50.38 SF	300	Gross	0	0	1	1
4TH FLR PLAN: 10					3,963.53 SF						174
Grand total: 38					22,435.53 SF						646

PROJECT DATA

OWNER	
SEEDS OF HEALTH	
LOCATION	
MUNICIPALITY	MILWAUKEE
COUNTY	MILWAUKEE
STATE	WI
APPLICABLE BUILDING CODES	
2015 IBC AS MODIFIED BY CHAPTERS SPS 361-366 MAY 1, 2018	
CONSTRUCTION CLASSIFICATION	
TYPE (IBC)	IIA
OCCUPANCY GROUP	
PRIMARY OCCUPANCIES	E (EDUCATION)
ACCESSORY OCCUPANCIES	A, B, S-1
INCIDENTAL OCCUPANCIES	NONE
MIXED USE AND OCCUPANCY	NON-SEPARATED OCCUPANCY
PROJECT TYPE	
CHANGE IN OCCUPANCY/ALTERATION	
NUMBER OF STORIES	
BASEMENT + 4 STORIES	
BLDG GROSS AREA (SQ FT)	
INSERT ALTERATION AREA	35,900 SQUARE FEET
INSERT TOTAL AREA	73,790 SQUARE FEET
FIRE PROTECTION	
FIRE ALARM	COMPLETE
FIRE SUPPRESSION	COMPLETE
MONITORING TYPE	CENTRAL STATION
NFPA STANDARD USED	NFPA 13
FIRE RESISTIVE RATINGS	
STAIR ENCLOSURES	2 HOUR
ELEVATOR ENCLOSURES	2 HOUR
SHAFT ENCLOSURES	2 HOUR
PRIMARY STRUCTURAL FRAME	1 HOUR
FLOORS	1 HOUR
ROOF DECK	1 HOUR
ROOF STRUCTURAL FRAME	1 HOUR
EXTERIOR WALLS - NON-BEARING	1EBC 1012.6
LIFE SAFETY SYSTEM REQUIREMENTS	
COMMON PATH OF EGRESS TRAVEL	75' MAX PER IBC 1006.2.1
EXIT ACCESS TRAVEL DISTANCE	250' MAX PER IBC 1017.2
DEAD END CORRIDOR	50' MAX PER IBC 1002.4
ACCESSIBLE MEANS OF EGRESS	NOT REQUIRED PER IBC 1009.1



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SHEET INFORMATION

PROJECT MANAGER: **TW**
PROJECT NUMBER: **319396-01**

LIFE SAFETY SITE PLAN & NOTES

G101

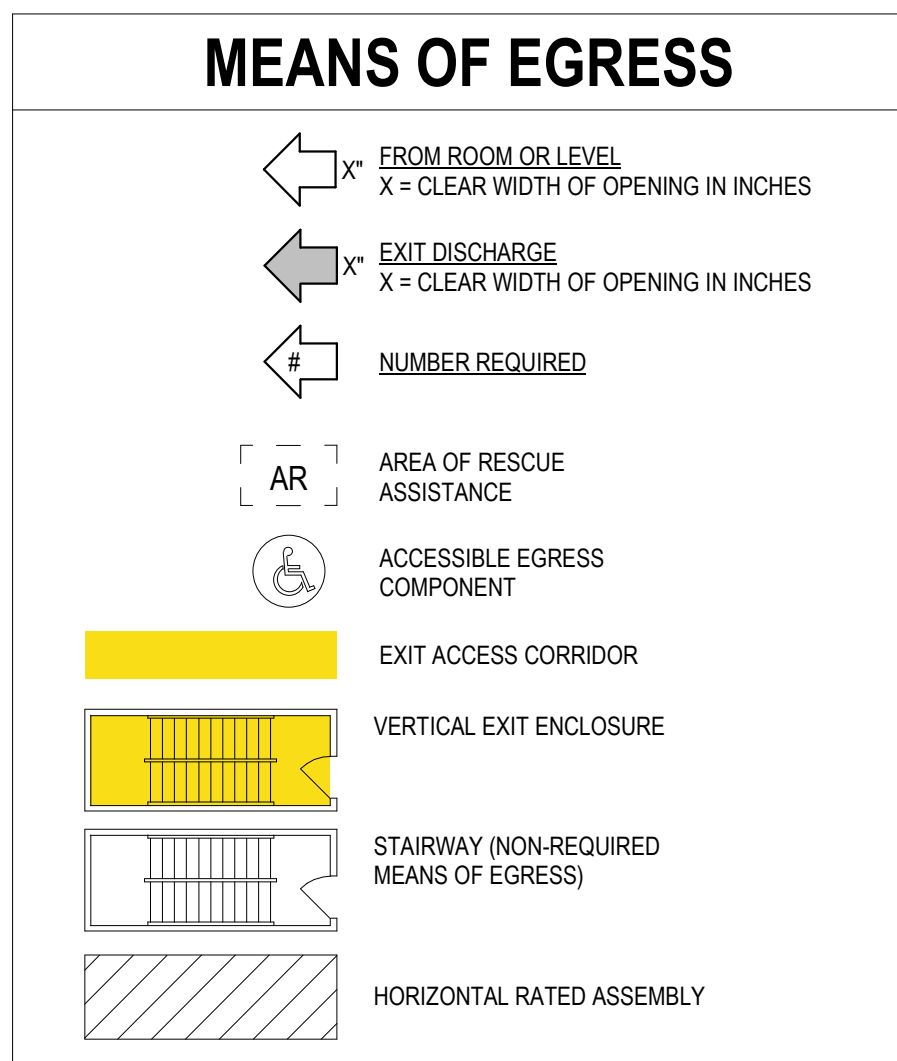


C1 LL LIFE SAFETY PLAN
1/16" = 1'-0"

BUILDING PLUMBING FIXTURE COUNT								
OCCUPANCY	OCCUPANT LOAD*	OCCUPANT LOAD (PER GENDER)	WATER CLOSET		LAVATORIES		DRINKING FOUNTAINS	SERVICE SINK
			MEN	WOMEN	MEN	WOMEN		
A-3 ASSEMBLY	127	127/2 = 64	1:125	1:65	1:200	1:200	1:500	1
TOTALS			1	1	1	1	1	1
BUSINESS	31	31/2 = 16	1:25 (UP TO 50), 1:50 (OVER 50)	1:25 (UP TO 50), 1:50 (OVER 50)	1:40 (UP TO 80), 1:80 (OVER 80)	1:40 (UP TO 80), 1:80 (OVER 80)	1:100	1
TOTALS			1	1	1	1	1	1
EDUCATIONAL	450	450/2 = 225	1:50	1:50	1:50	1:50	1:100	1
TOTALS			5	5	5	5	5	1
STORAGE	34	34/2 = 17	1:100	1:100	1:100	1:100	1:1,000	1
TOTALS			1	1	1	1	1	1
			REQUIRED	8	8	8	8	4
			PROVIDED	10	12	10	8	4
			UNISEX	2		2		

*NOTE: SEE OCCUPANT LOAD SCHEDULE FOR OCCUPANT LOAD BREAKDOWN.

FIRE RESISTIVE LEGEND	
FIRE BARRIERS	
2FB, 2FB, 2FB, 2FB, 2FB, 2FB, 2FB, 2FB	2 HOUR FIRE BARRIER
1FB, 1FB, 1FB, 1FB, 1FB, 1FB, 1FB, 1FB	1 HOUR FIRE BARRIER
SHAFT ENCLOSURES	
2SE, 2SE, 2SE, 2SE, 2SE, 2SE, 2SE, 2SE	2 HOUR SHAFT ENCLOSURE
1SE, 1SE, 1SE, 1SE, 1SE, 1SE, 1SE, 1SE	1 HOUR SHAFT ENCLOSURE
SMOKE BARRIERS	
1SB, 1SB, 1SB, 1SB, 1SB, 1SB, 1SB, 1SB	1 HOUR SMOKE BARRIER
FIRE PARTITIONS	
1FP, 1FP, 1FP, 1FP, 1FP, 1FP, 1FP, 1FP	1 HOUR FIRE PARTITION
0.5FP, 0.5FP, 0.5FP, 0.5FP, 0.5FP, 0.5FP, 0.5FP, 0.5FP	0.5 HOUR FIRE PARTITION
SMOKE TIGHT PARTITIONS	
X, X, X, X, X, X, X, X, X, X, X, X	SMOKE TIGHT PARTITION
BEARING WALLS	
2BW, 2BW, 2BW, 2BW, 2BW, 2BW, 2BW, 2BW	2 HOUR BEARING WALL
1BW, 1BW, 1BW, 1BW, 1BW, 1BW, 1BW, 1BW	1 HOUR BEARING WALL



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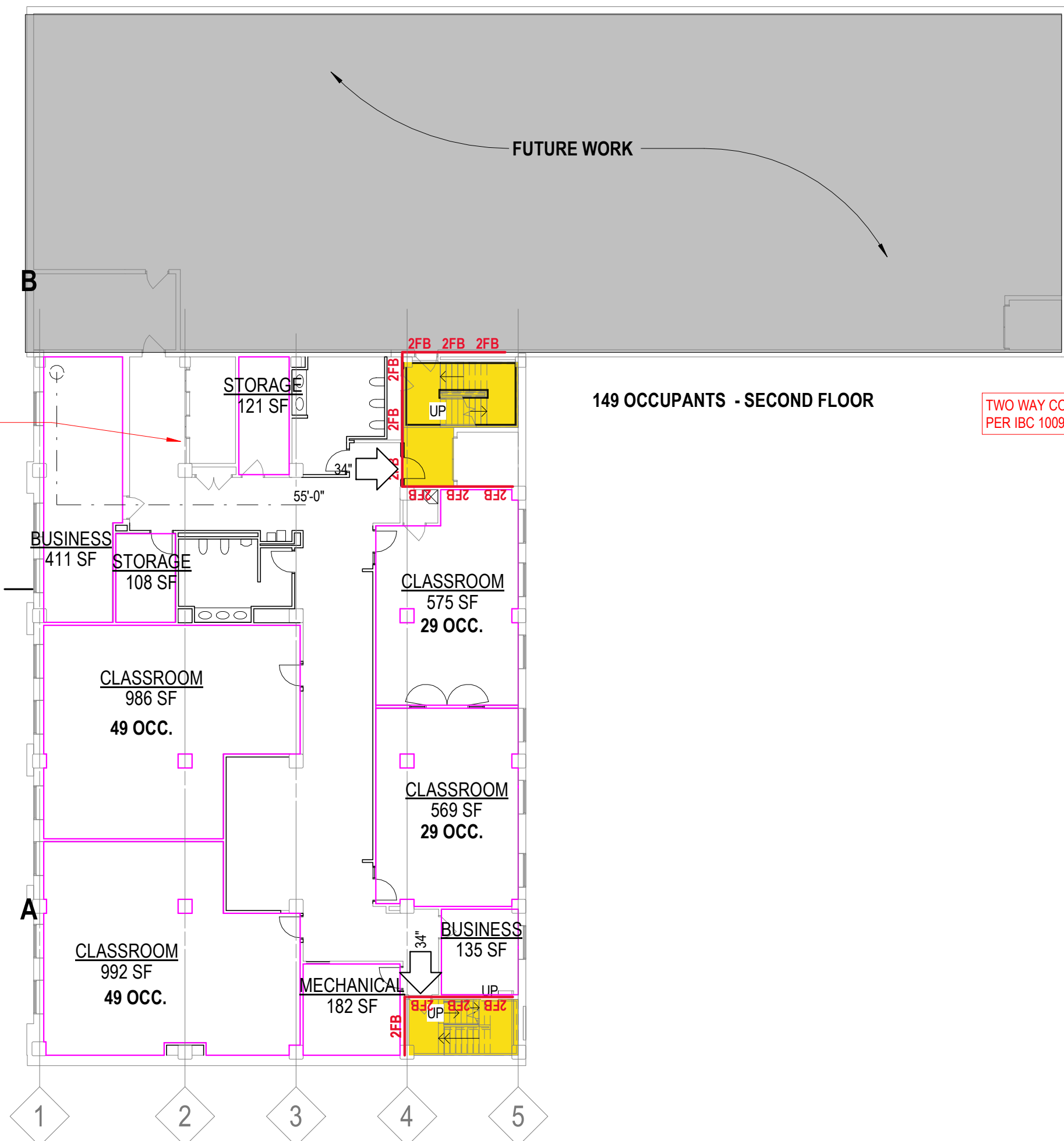
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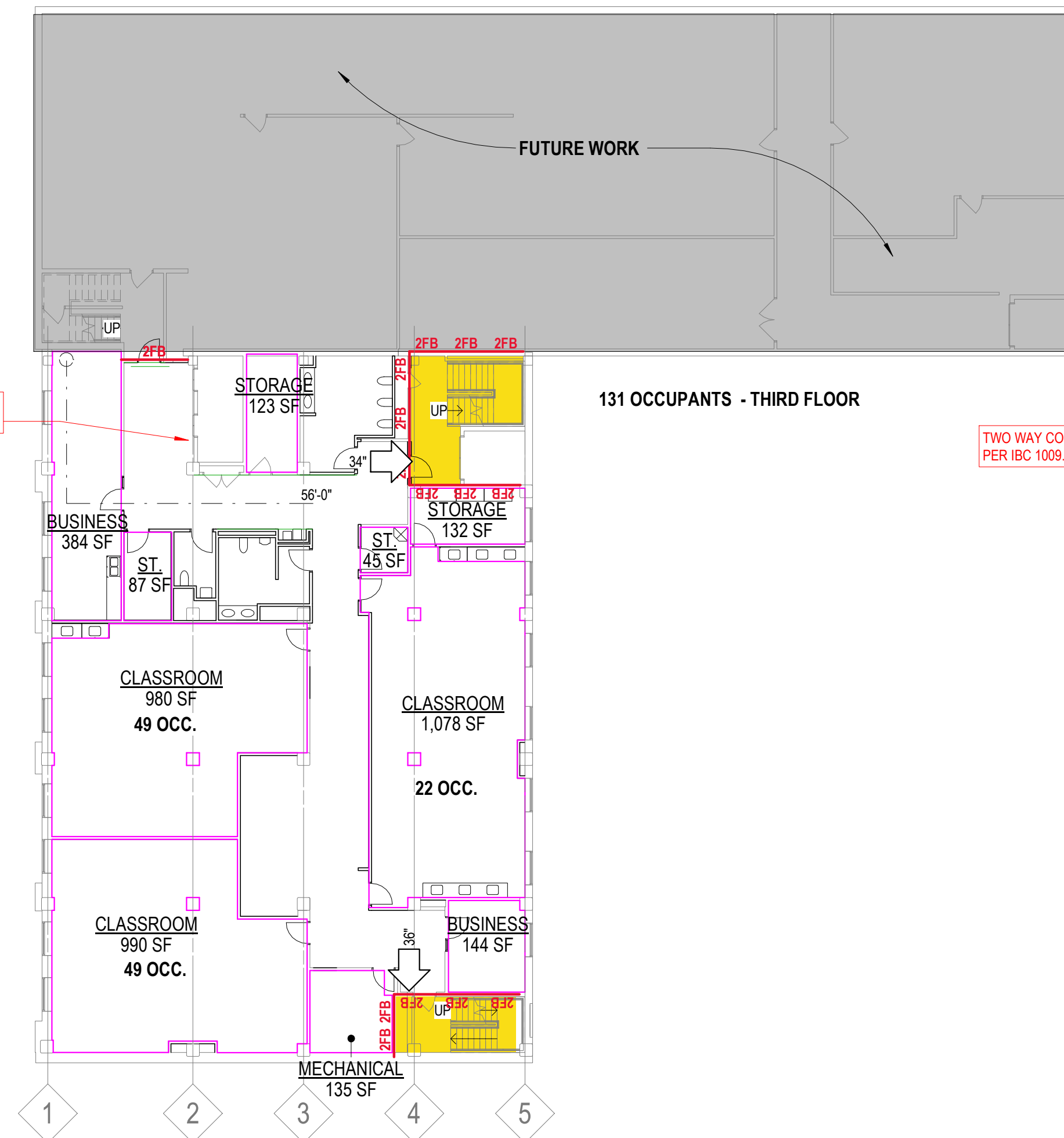
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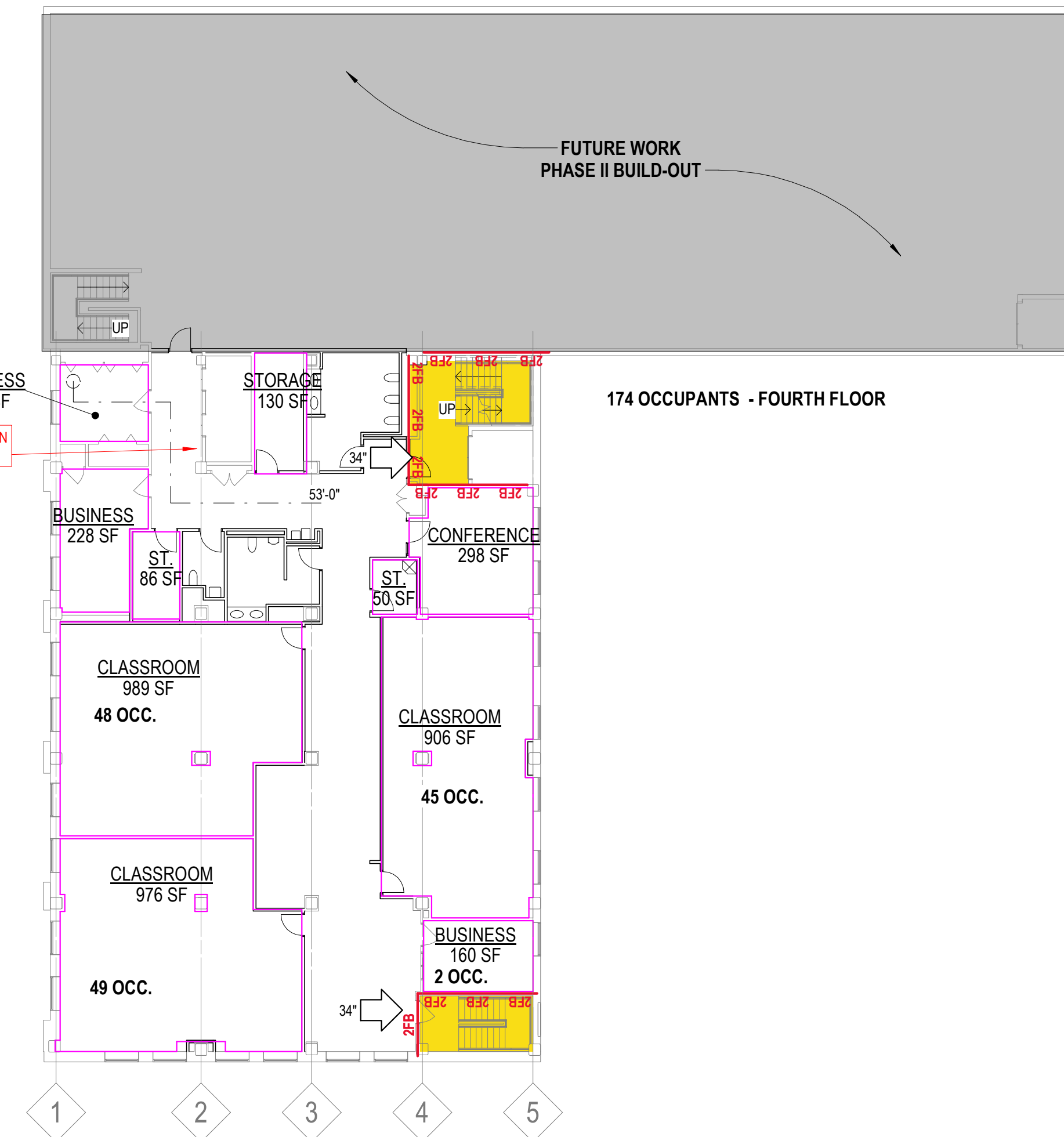
ISSUANCE AND REVISIONS	
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A1 2ND FLR LIFE SAFETY PLAN
1/16" = 1'-0"



A3 3RD FLR LIFE SAFETY PLAN
1/16" = 1'-0"



A5 4TH FLR LIFE SAFETY PLAN
1/16" = 1'-0"

SHEET INFORMATION

PROJECT MANAGER TW
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LIFE SAFETY PLANS

G102

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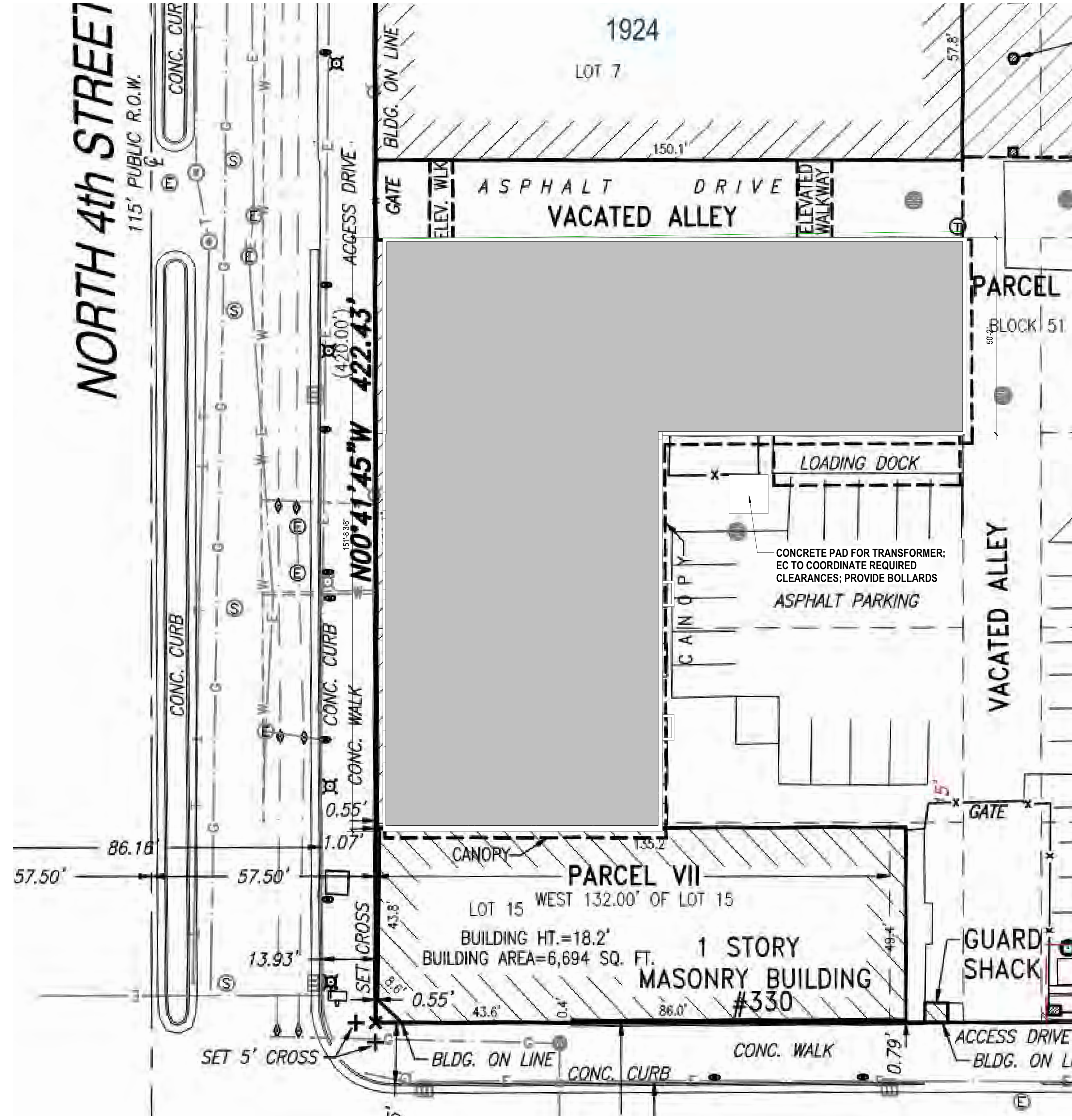
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PROJECT MANAGER TW
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ARCHITECTURAL
SITE PLAN

AS100



A3 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

1 2 3 4 5 6

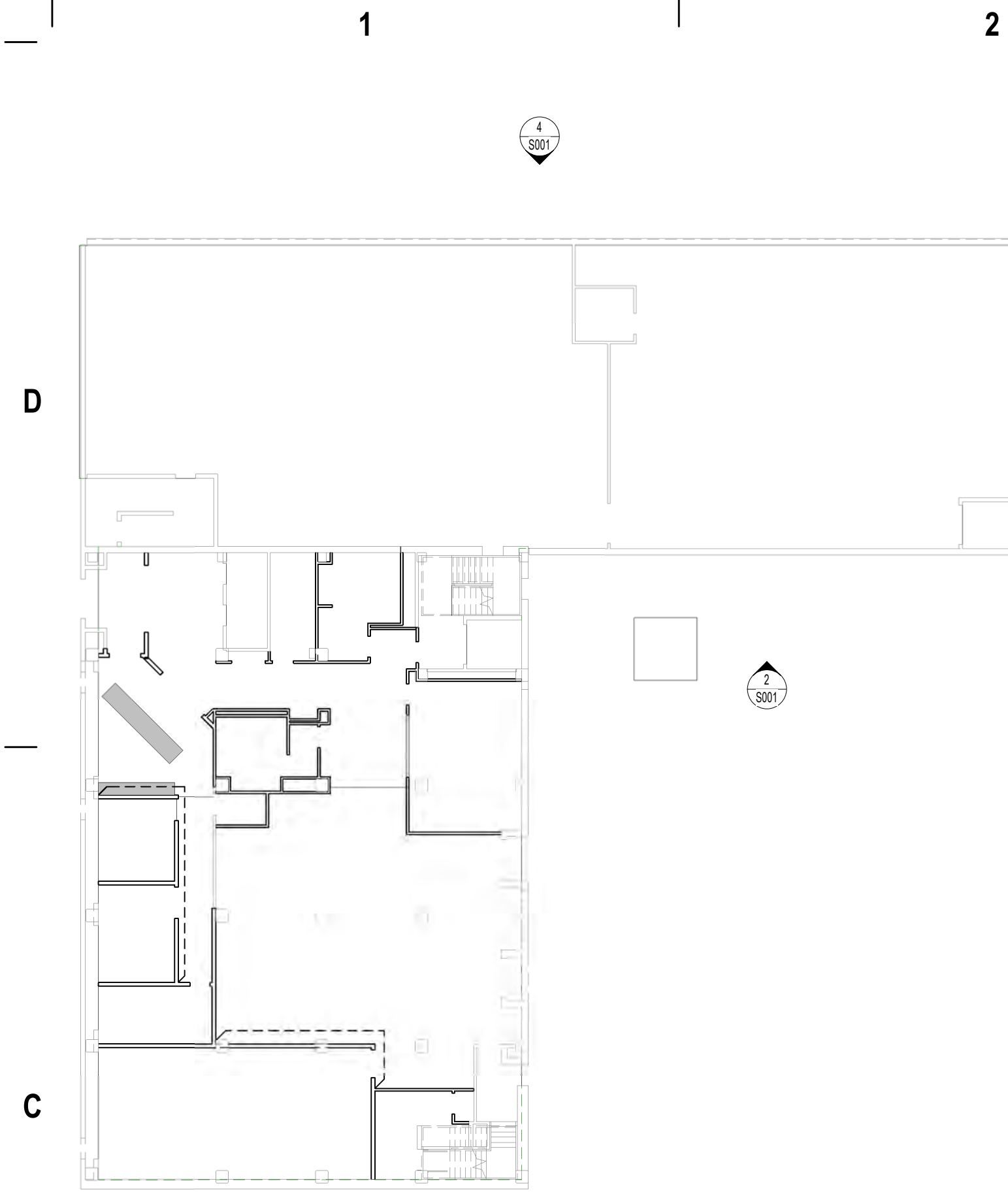
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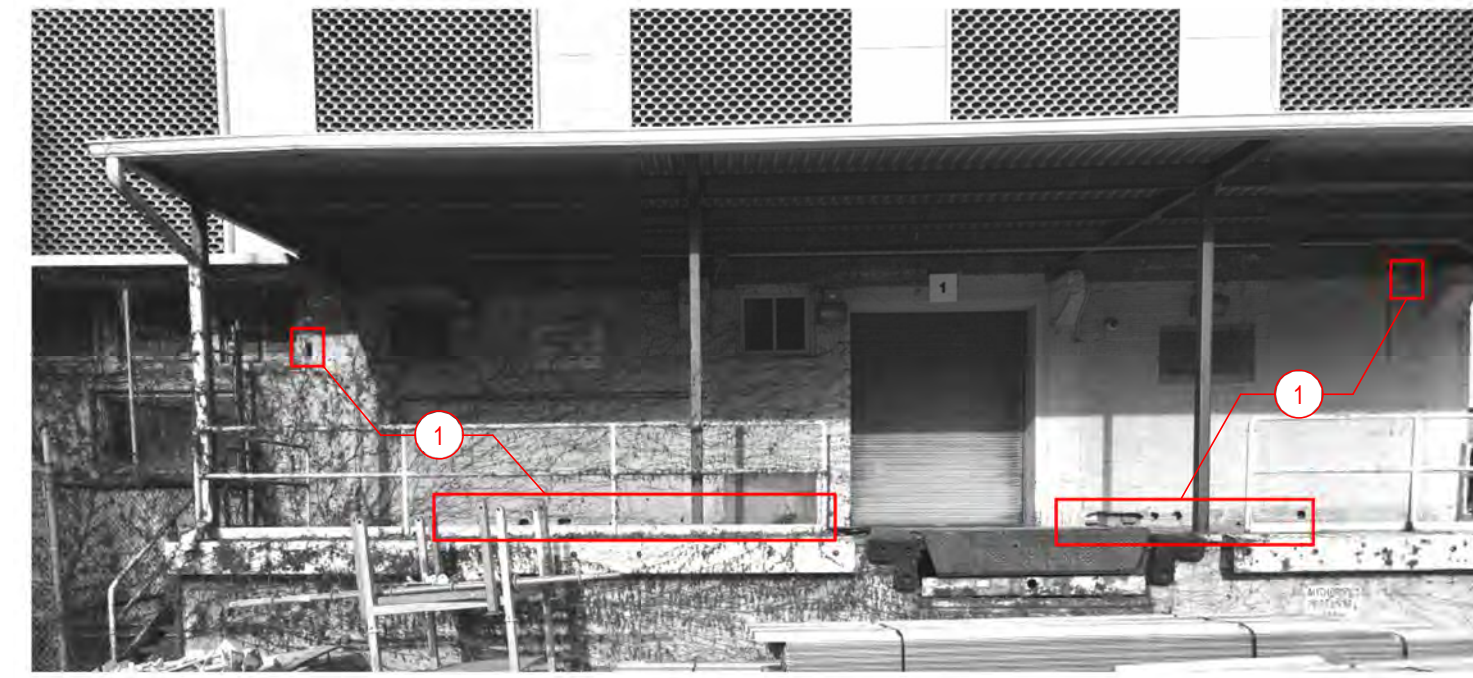
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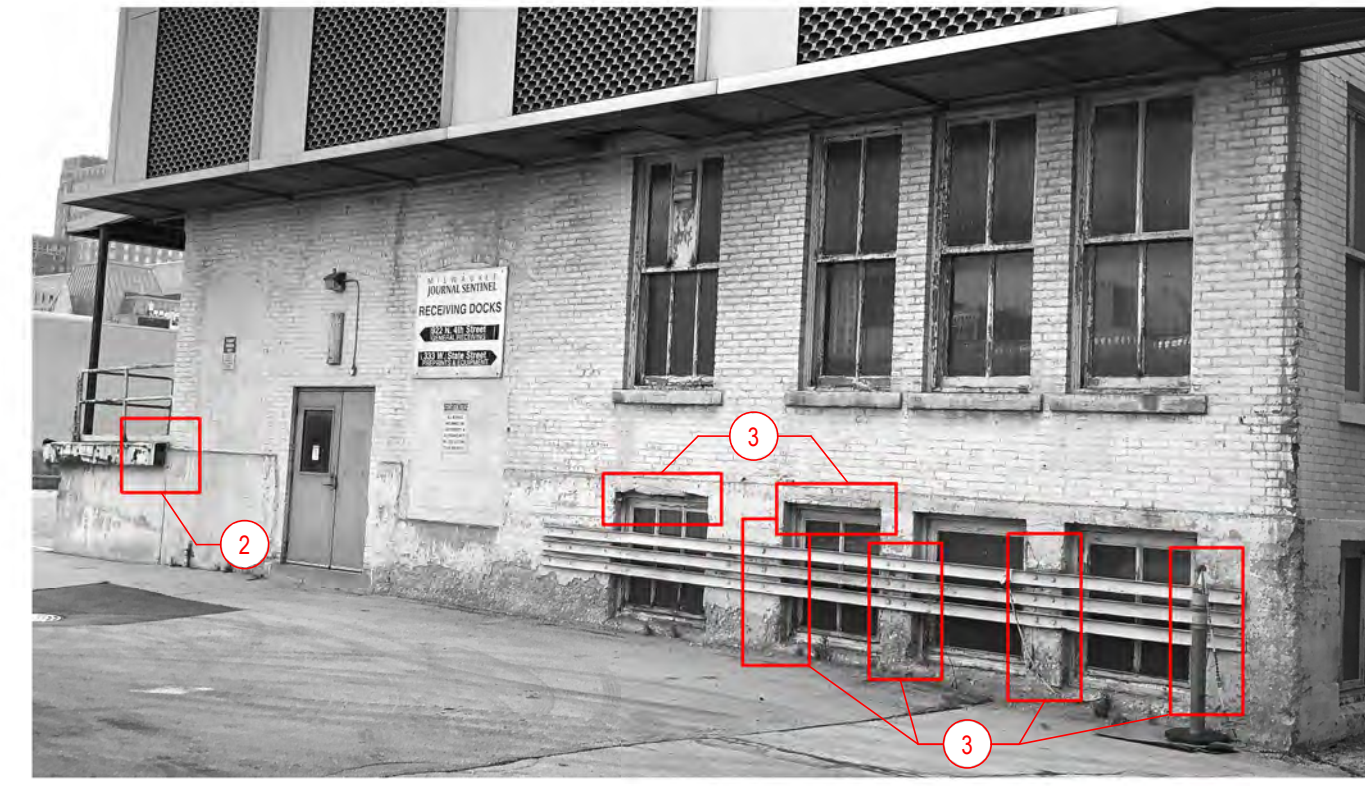
1 2 3 4 5 6



1 STRUCTURAL REPAIRS - KEYPLAN
S001 SCALE: 1" = 20'-0"



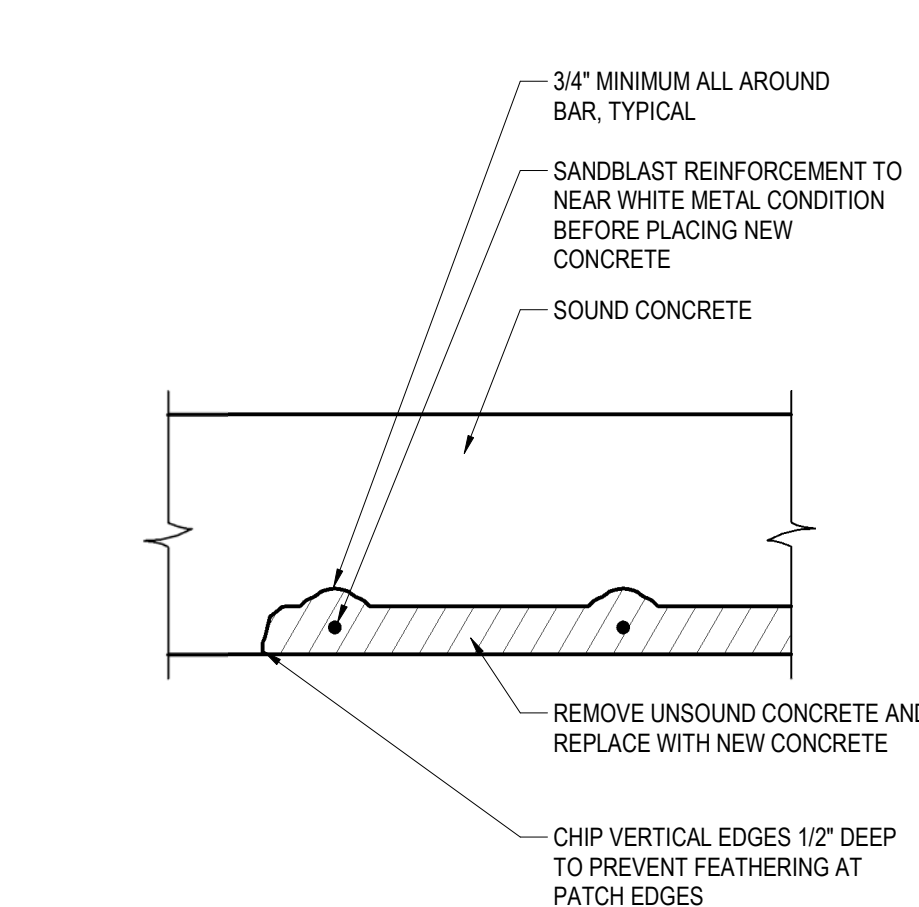
2 SOUTH ELEVATION - LOADING DOCK
S001 SCALE: 1/8" = 1'-0"



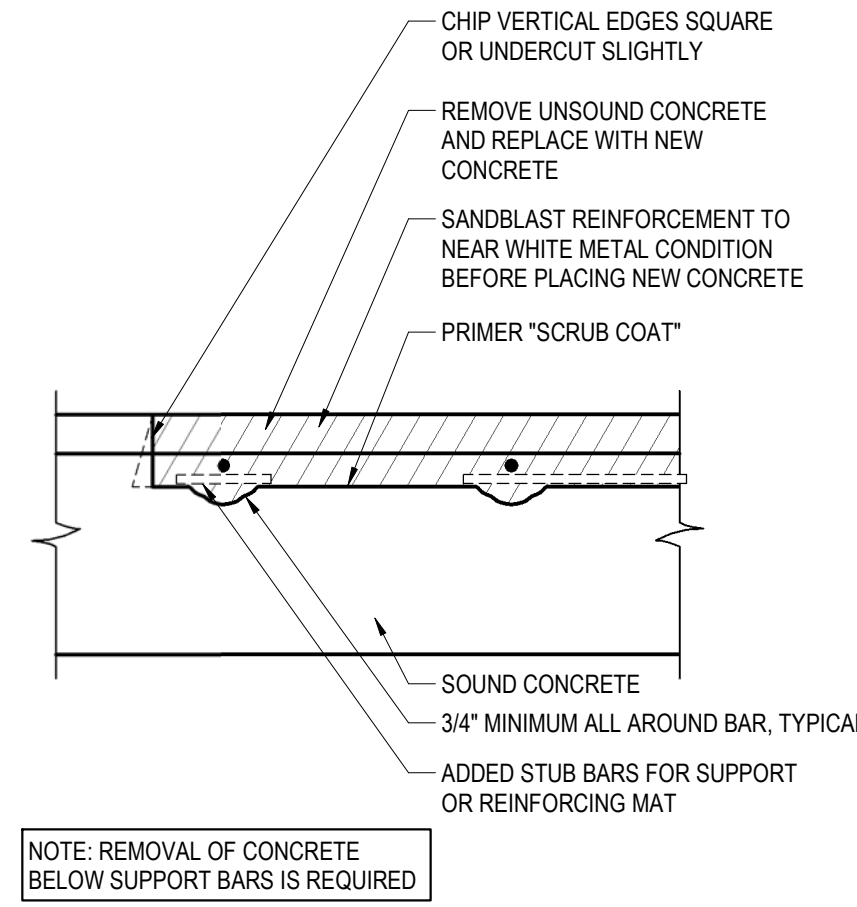
3 EAST ELEVATION - PARKING LOT
S001 SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION - ALLEY
S001 SCALE: 1/8" = 1'-0"



5 UNDERSIDE SLAB RESTORATION
S001 SCALE: 1 1/2" = 1'-0"



6 TOPSIDE SLAB RESTORATION
S001 SCALE: 1 1/2" = 1'-0" (2 LAYERS REINFORCEMENT)

STRUCTURAL REPAIRS - KEY NOTES

- ① REMOVE 12x12 CLAY TILES WITH BROKEN FACE SHELL AND REPLACE WITH CONCRETE MASONRY UNITS AS REQUIRED.
- ② REPAIR CONCRETE AT TRANSITION BETWEEN BUILDING WALL AND EXTERIOR CONCRETE SLAB.
- ③ REMOVE LOOSE CONCRETE, CLEAN AND COAT STEEL AS REQUIRED AND PATCH CONCRETE, SEE SPECIFICATION SECTIONS 02 41 17 AND 03 31 45.

**SECTION 02 41 17
REMOVAL OF EXISTING CONCRETE AND SURFACE PREPARATION**

- PART 1 - GENERAL**
- 1.01 SUMMARY**
- A. Include materials, labor, services and incidentals necessary for completion of this Section of Work.
 - B. Work generally includes:
 1. Removal of unsound concrete
 2. Examination of exposed reinforcement
 3. Sandblasting of acceptable reinforcement
 4. Coating of exposed acceptable reinforcement
 5. Cleaning and preparation of the underlying sound concrete prior to casting new fill or patch concrete
 6. Proper disposal of incidental debris

- PART 2 - PRODUCTS**
- 2.01 REBAR COATING/PRIMER**
- A. Single component epoxy zinc primer based on metallic zinc and epoxy resins
 1. Acceptable products
 - a. MasterProtect P 8100AP by BASF
 - b. FX-406 Zinc Rich primer by Simpson Strong Tie
 - c. Approved equal

- 2.02 EQUIPMENT**
- A. Chipping and Jack Hammers:
 1. Use chipping hammers of nominal 15 pound class or less
 - a. Hammer stroke 2" to 4"
 - b. Round shank bit
 - B. Sandblasting Equipment: Sandblasting equipment shall be capable of removing rust from the exposed reinforcement and laitance from newly exposed concrete surfaces.
 - C. Compressed Air Equipment: Compressed air equipment shall be capable of removal of dust and dirt from concrete repair areas.

- PART 3 - EXECUTION**
- 3.01 CONCRETE REMOVAL**
- A. Shore the structure as required.
 - B. Unsound concrete shall be removed by chipping to sound concrete.
 - C. Where possible, the areas removed shall be rectangular in shape in plan view. Do not feather edges, chip edges square or slightly undercut
 - D. During the chipping process in deteriorated concrete areas, care shall be exercised to avoid cracking of the underlying sound concrete.
 - E. During removal of unsound concrete, if more than half of the reinforcement bar diameter is exposed, the bar is not firmly bonded to the surrounding concrete or if the bar is corroded, then the remaining concrete around the bar shall be removed.
 1. The clearance between the bar and the concrete shall be a minimum of 3/4". Support bars for the main reinforcement steel shall not be exposed provided there is no corrosion on these bars.
 - F. The newly exposed sound concrete shall be cleaned by blowing away loose material with a deep sandblast and followed by cleaning with a compressed air jet.

- 3.02 REINFORCEMENT CLEANING AND REPLACEMENT**
- A. Exposed reinforcement shall be thoroughly cleaned by sandblasting to remove rust and unsound concrete.
 - B. Bars that are damaged or that have lost more than 10 percent of their original area at any point along the length shall be considered unacceptable and shall be removed and replaced with an equivalent new bar of equal length at the Engineer's direction.
 1. No. 8 bars and smaller that have lost between 5 percent and 10 percent of their original area at any point can be blast-cleaned and may remain with the addition of a new full-length #4 bar used as supplemental steel next to the remaining cleaned bar at the Engineer's direction
 - C. Exposed or supplemental reinforcement bars shall be no closer than 1/4" measured radially from existing concrete. The elevation of exposed or supplemental reinforcement shall be maintained at the original height.
 - D. Prepare surface to coating manufacturers recommendations, minimum SSPC-SP6
 - E. Cleaned reinforcement shall be coated with a zinc rich rebar primer prior to casting the new concrete against the old.

**SECTION 03 31 45
PATCHING OF STRUCTURAL CONCRETE**

- PART 1 - GENERAL**
- 1.01 SUMMARY**
- A. Work includes:
 1. Supplying, placing, finishing and curing concrete over properly prepared existing concrete surfaces as indicated on Drawings and as specified

PART 2 - PRODUCTS

2.01 REPAIR PRODUCTS:

- A. Overhead and Vertical Repair Mortar
 1. Polymer modified cementitious repair mortar combined with low density aggregates meeting the following minimum properties:

Compressive Strength	Test Method
At 1 Day	1700psi
At 28 Days	5000psi

- 2. Subject to compliance with requirements, provide one of the following, in combination with a corrosion inhibitor:
 - a. "SikaRepair SHB" by Sika
 - b. "MasterEmaco N 400 RS" by BASF
 - c. Or approved equal.
- 3. Subject to compliance with requirements, provide one of the following products containing an integral corrosion inhibitor:
 - a. "MasterEmaco S488 C1" by BASF
 - b. "SikaTop 123 Plus" by Sika
 - c. Or approved equal with integral corrosion inhibitor.

- B. Horizontal Repair Mortar
 1. One or two component early strength gaining cementitious repair mortar, meeting the following minimum properties:

Compressive Strength	Test Method
At 1 Day	2500psi
At 28 Days	6500psi

- C. Cementitious Bonding Agent
 1. Epoxy modified, solvent free cementitious bonding agent with integral corrosion inhibitor meeting the following minimum properties:

Test Method	Value	Standard
28 Day Compressive Strength	8000 psi	ASTM C109
Flexural Strength at 28 Days	1000 psi	ASTM C348
Tensile Bond Strength at 28 Days	200 psi	ASTM C882

- PART 3 - EXECUTION**
- 3.01 PREPARATION OF SURFACES TO RECEIVE PATCHING CONCRETE**
- A. Refer to Specification Section 02 41 17 "Removal of Existing Concrete and Surface Preparation" for requirements.
 - B. Remove unsound material, dirt, oil, grease and other bond-inhibiting materials.
 - C. Remove rust and loose concrete on exposed reinforcing steel by sandblasting.
 - D. Concrete substrate shall be saturated surface dry with no standing water prior to application and shall be saturated for a minimum of two hours prior to application.
 - E. Surfaces shall be thoroughly cleaned by air-blasting as a final step to remove sand and debris.
 - F. Coat exposed patch areas, including reinforcing, with bonding agent. Apply per manufacturer's instructions.



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creativity beyond engineering
project number: 1200746

PROJECT INFORMATION

SEEDS OF HEALTH - HIGH SCHOOL

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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12/17/20	CONSTRUCTION DOCUMENTS

B

SHEET INFORMATION

PROJECT ENGINEER SJR
PROJECT NUMBER 319396-01

STRUCTURAL REPAIRS

S001



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- ### SHEET NOTES - DEMOLITION
- PRIOR TO BEGINNING WORK, NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED BETWEEN THE PROPOSED SCOPE OF WORK AND THE EXISTING CONDITIONS.
 - CONTRACTOR TO COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION AS SHOWN ON DRAWINGS. REPORT ANY CONFLICTS TO ARCHITECT BEFORE DEMOLITION WORK BEGINS.
 - SEE MEP PLANS (IF AVAILABLE) FOR ADDITIONAL DEMOLITION ITEMS AND NOTES. SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED BY THESE DRAWINGS BUT SHALL INCLUDE ALL WORK NECESSARY TO FACILITATE NEW CONSTRUCTION.
 - PRIOR TO BIDDING, CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS, PRODUCTS TO BE USED, AND QUANTITIES REQUIRED.
 - IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THIS WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY ARCHITECT AND OWNER. OWNER WILL REMOVE HAZARDOUS MATERIALS UNDER A SEPARATE CONTRACT.
 - REFER TO FINISH PLANS TO IDENTIFY ALL AREAS BEING ALTERED INCLUDING ROOMS WHERE ALTERATIONS ARE LIMITED TO NEW FINISHES. AT ALL ALTERED LOCATIONS, REMOVE ALL INTERIOR AND WALL MOUNTED ITEMS. REMOVE ALL FINISHES AND RESIDUAL GLUE.
 - REMOVE FLOOR FINISHES AND CEILING IN ALL RENOVATED AREAS.
 - COORDINATE REMOVAL OF EXISTING DOORS, FRAMES AND HARDWARE WITH OWNER. SALVAGE OR REMOVE AS DIRECTED.
 - CONTRACTOR TO PROTECT AREAS ADJACENT TO DEMOLITION. ANY INADVERTENT DAMAGE DONE TO ADJACENT AREAS NOT SPECIFICALLY SCHEDULED FOR DEMOLITION SHALL BE REPLACED BY THE CONTRACTOR AT N.L.
 - SEE FINISH PLANS FOR EXTENT OF NEW WALL FINISHES, INCLUDING WALL TILE, PAINT, CORNER GUARDS AND BASE. PROPER WALL PREP, INCLUDING BUT NOT LIMITED TO, REMOVING EXISTING WALL FINISHES, WALL PAPER AND ADHESIVE RESIDUE, PATCHING SUBSTRATES, AND PRIMING AND LEVELING, SHALL BE INCLUDED IN BASE BID.
 - WHERE EXISTING OPENINGS ARE REMOVED & WALLED UP, PREPARE ALL SUBSTRATES AND MATCH ALL FINISH MATERIALS ON BOTH SIDES OF WALL TO ELIMINATE ANY EVIDENCE OF THE PREVIOUS OPENING LOCATION.

PROJECT INFORMATION

SEEDS OF HEALTH - HIGH SCHOOL

KEYNOTES PER SHEET

0241-01	REMOVE EXISTING STAIR HANDRAILS AND GUARDRAILS. REFERENCE A4 ON A500.
0241-02	REMOVE ENTIRE WALL.
0241-03	REMOVE PORTION OF WALL - COORDINATE EXTENT OF DEMOLITION WITH NEW PLANS.
0241-04	REMOVE DOOR(S), FRAME AND ASSOCIATED HARDWARE.
0241-08	REMOVE TOILET FIXTURES, TOILET PARTITIONS, URINALS, SINKS AND ASSOCIATED COMPONENTS IN BATHROOM.

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ISSUANCE AND REVISIONS

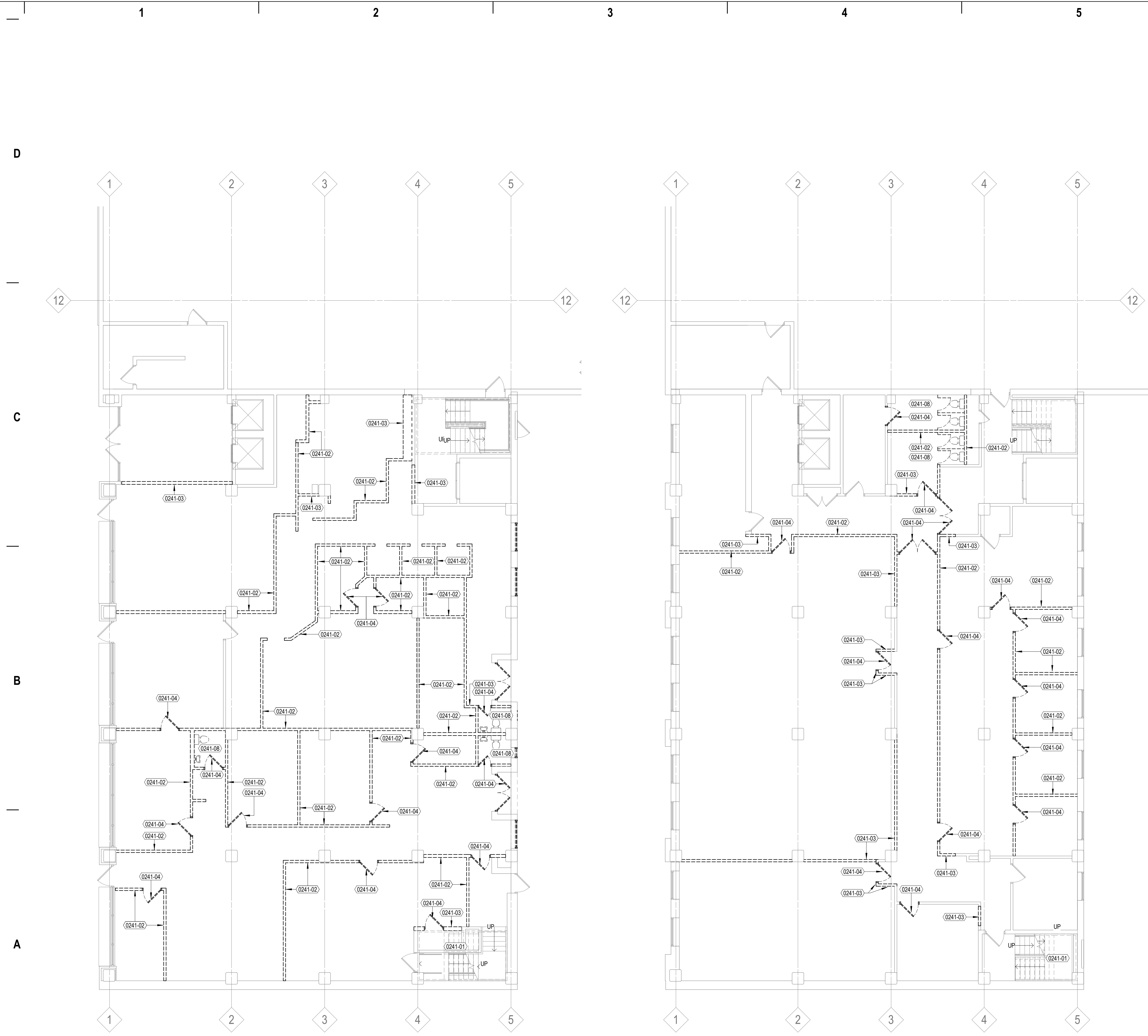
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12/17/2020	CONSTRUCTION DOCUMENTS

SHEET INFORMATION

PROJECT MANAGER TW
PROJECT NUMBER 319396-01

1ST AND 2ND FLR DEMOLITION PLANS

AD101



A1 1ST FLR DEMOLITION PLAN
1/8" = 1'-0"

A3 2ND FLR DEMOLITION PLAN
1/8" = 1'-0"



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PROJECT INFORMATION

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SHEET INFORMATION

PROJECT MANAGER TW
PROJECT NUMBER 319396-01

3RD AND 4TH FLR
DEMOLITION PLANS

AD102

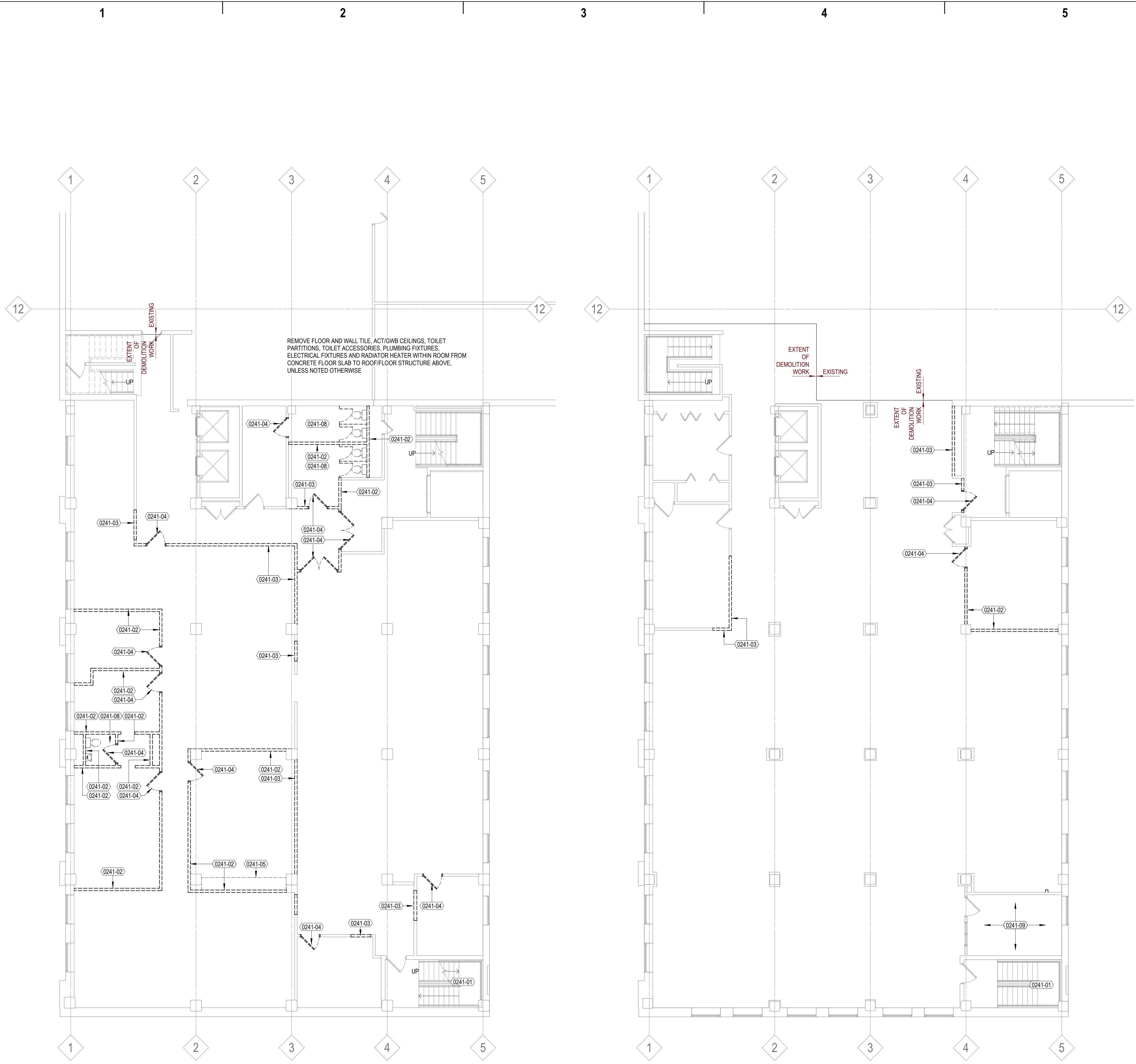
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SHEET NOTES - DEMOLITION

1. PRIOR TO BEGINNING WORK, NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED BETWEEN THE PROPOSED SCOPE OF WORK AND THE EXISTING CONDITIONS.
2. CONTRACTOR TO COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION AS SHOWN ON DRAWINGS. REPORT ANY CONFLICTS TO ARCHITECT BEFORE DEMOLITION WORK BEGINS.
3. SEE MEP PLANS (IF AVAILABLE) FOR ADDITIONAL DEMOLITION ITEMS AND NOTES.
4. SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED BY THESE DRAWINGS BUT SHALL INCLUDE ALL WORK NECESSARY TO FACILITATE NEW CONSTRUCTION.
5. PRIOR TO BIDDING, CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS, PRODUCTS TO BE USED, AND QUANTITIES REQUIRED.
6. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THIS WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY ARCHITECT AND OWNER. OWNER WILL REMOVE HAZARDOUS MATERIALS UNDER A SEPARATE CONTRACT.
7. REFER TO FINISH PLANS TO IDENTIFY ALL AREAS BEING ALTERED INCLUDING ROOMS WHERE ALTERATIONS ARE LIMITED TO NEW FINISHES. AT ALL ALTERED LOCATIONS, REMOVE ALL INTERIOR AND WALL MOUNTED ITEMS. REMOVE ALL FINISHES AND RESIDUAL GLUE.
8. REMOVE FLOOR FINISHES AND CEILINGS IN ALL RENOVATED AREAS.
9. COORDINATE REMOVAL OF EXISTING DOORS, FRAMES AND HARDWARE WITH OWNER. SALVAGE OR REMOVE AS DIRECTED.
10. CONTRACTOR TO PROTECT AREAS ADJACENT TO DEMOLITION. ANY INADVERTENT DAMAGE DONE TO ADJACENT AREAS NOT SPECIFICALLY SCHEDULED FOR DEMOLITION SHALL BE REPLACED BY THE CONTRACTOR AT N.L.
11. SEE FINISH PLANS FOR EXTENT OF NEW WALL FINISHES, INCLUDING WALL TILE, PAINT, CORNER GUARDS AND BASE. PROPER WALL PREP, INCLUDING BUT NOT LIMITED TO, REMOVING EXISTING WALL FINISHES, WALL PAPER AND ADHESIVE RESIDUE, PATCHING SUBSTRATES, AND PRIMING AND LEVELING, SHALL BE INCLUDED IN BASE BID.
12. WHERE EXISTING OPENINGS ARE REMOVED & WALLED UP, PREPARE ALL SUBSTRATES AND MATCH ALL FINISH MATERIALS ON BOTH SIDES OF WALL TO ELIMINATE ANY EVIDENCE OF THE PREVIOUS OPENING LOCATION.

KEYNOTES PER SHEET

0241-01	REMOVE EXISTING STAIR HANDRAILS AND GUARDRAILS. REFERENCE A4 ON A500.
0241-02	REMOVE ENTIRE WALL
0241-03	REMOVE PORTION OF WALL - COORDINATE EXTENT OF DEMOLITION WITH NEW PLANS
0241-04	REMOVE DOOR(S), FRAME AND ASSOCIATED HARDWARE
0241-05	REMOVE CASEWORK, COUNTER AND ASSOCIATED HARDWARE
0241-08	REMOVE TOILET FIXTURES, TOILET PARTITIONS, URINALS, SINKS AND ASSOCIATED COMPONENTS IN BATHROOM
0241-09	REMOVE FLOORING AND ACOUSTICAL CEILING GRID/TILE



A1 3RD FLR DEMOLITION PLAN
1/8" = 1'-0"

A3 4TH FLR DEMOLITION PLAN
1/8" = 1'-0"



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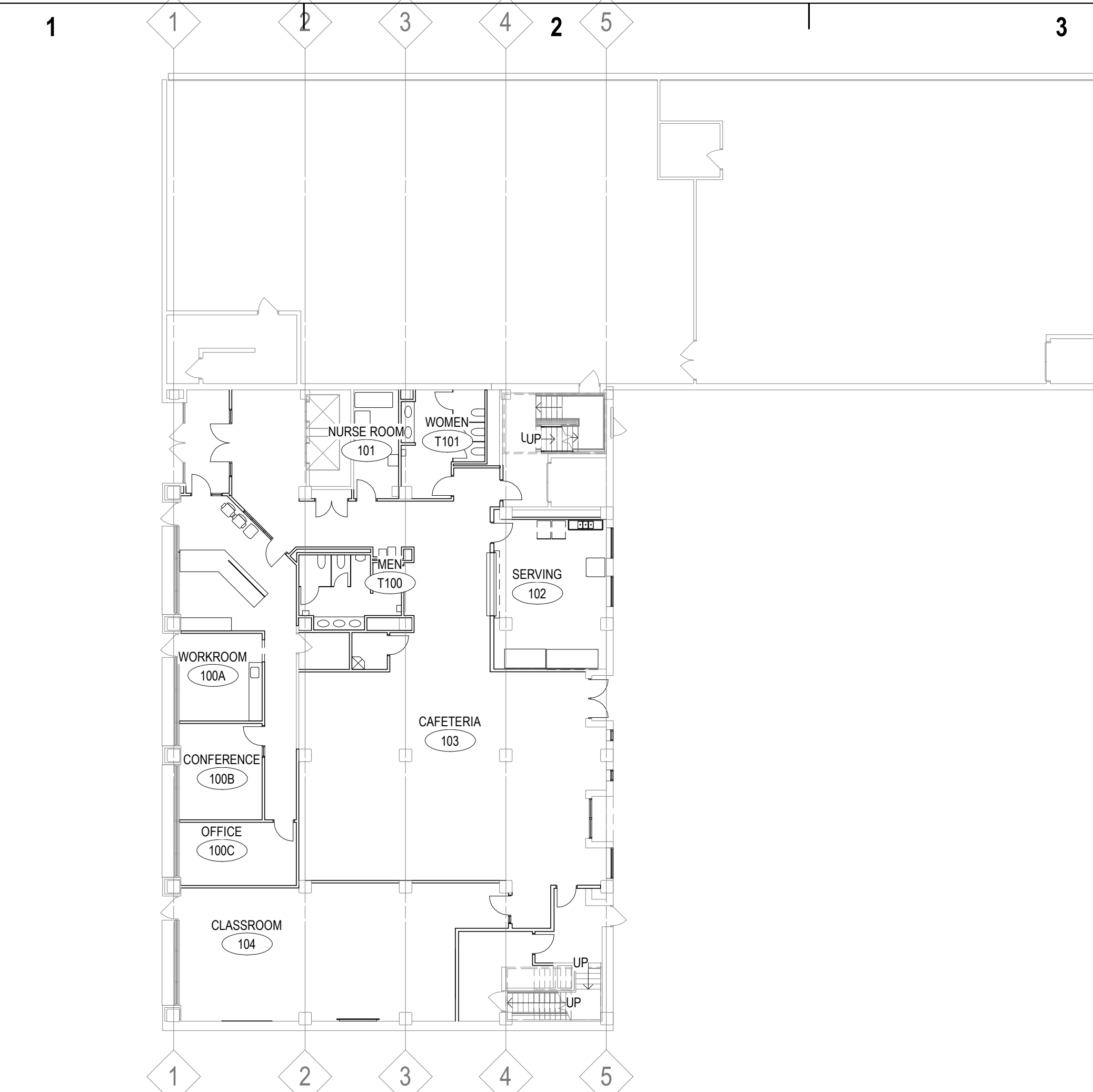
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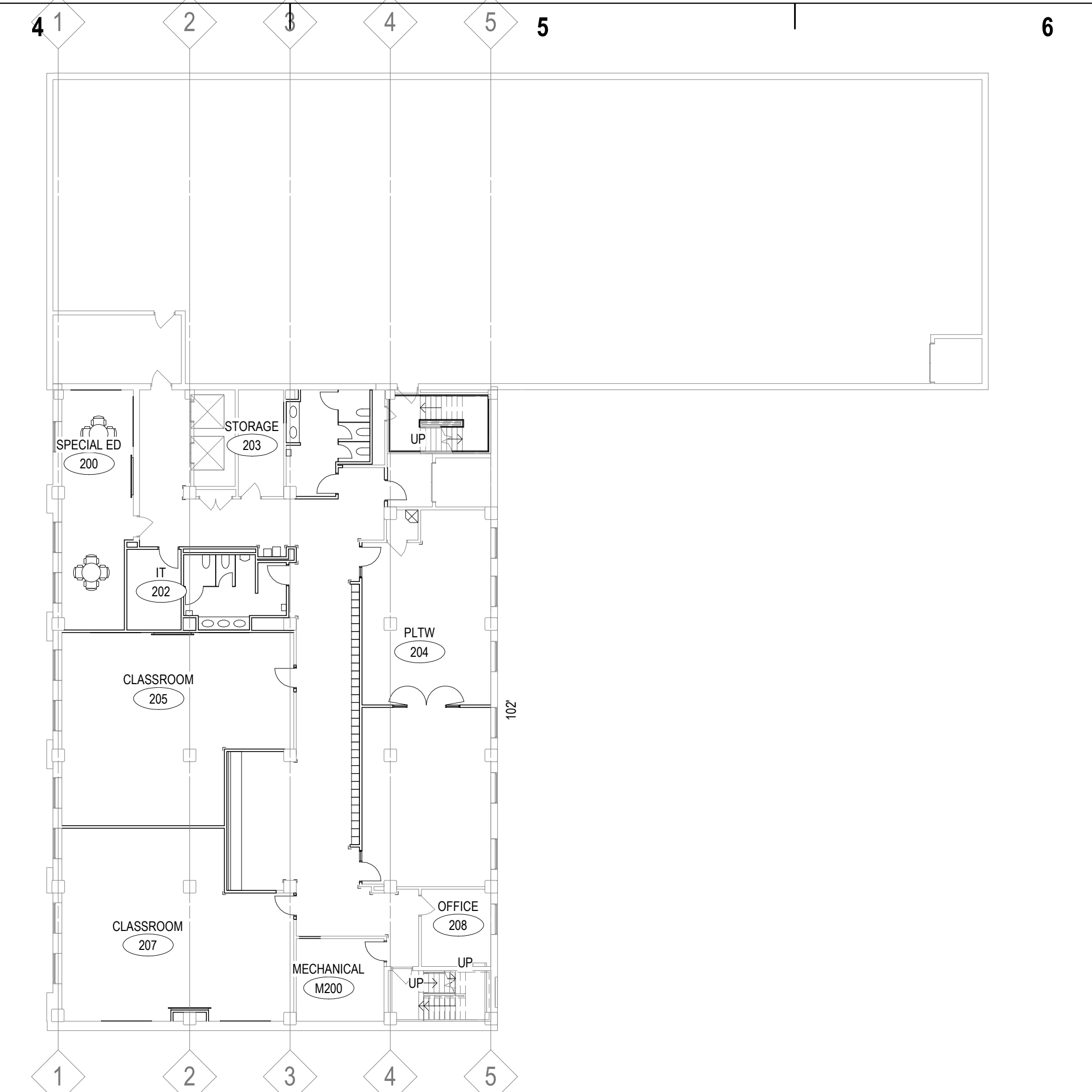
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PROJECT NUMBER 319396-01

OVERALL FLOOR
PLANS

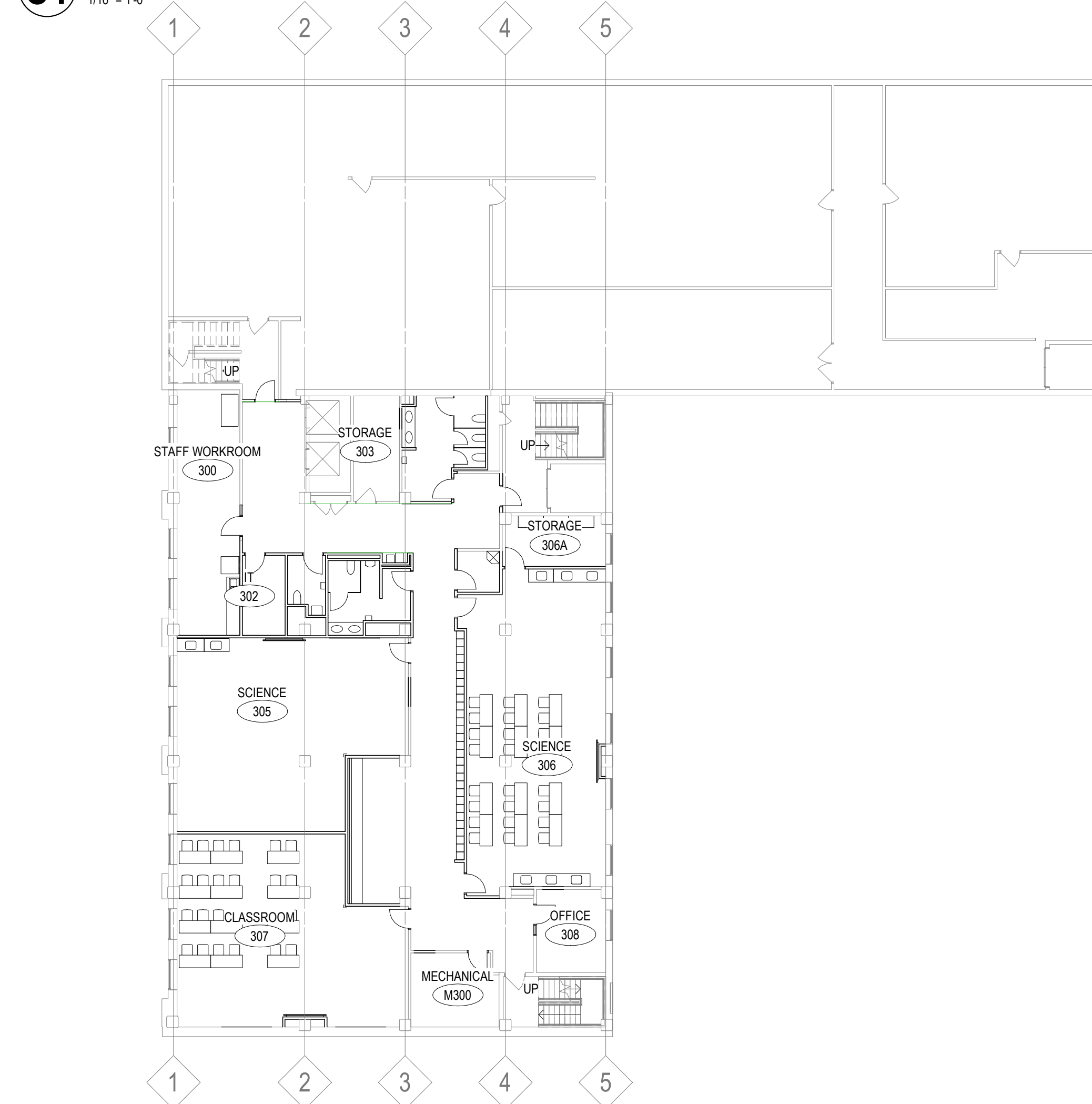
A100



C1 1ST FLR PLAN OVERALL
1/16" = 1'-0"



C4 2ND FLR PLAN OVERALL
1/16" = 1'-0"



A1 3RD FLR PLAN OVERALL
1/16" = 1'-0"



A4 4TH FLR PLAN OVERALL
1/16" = 1'-0"

SHEET NOTES - FLOOR PLAN

1. BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
2. ALL DIMENSION STRINGS ARE TO FINISH FACE OF WALL, UNLESS NOTED OTHERWISE.
3. ELECTRICAL CONTRACTOR TO PROVIDE POWER AND DATA FOR OWNER EQUIPMENT. COORDINATE ROUGH-IN LOCATION WITH OWNER.
4. REFER TO SHEET A500 FOR REFERENCED PARTITION TYPES AND DETAILS. WALLS NOT TAGGED ON THESE PLANS SHALL BE PARTITION TYPE S3A-S11.
5. ALL WALLS DIRECTLY BEHIND OR ADJACENT TO PLUMBING FIXTURES SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
6. LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
7. REPAIR, PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEW. MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR UNFINISHED SURFACES.
8. PATCH ALL WALL BASE SCARS AT EXISTING WALL SURFACES. PREPARE SMOOTH TO RECEIVE NEW WALL BASE FOR UNIFORM APPEARANCE.
9. PATCH WALLS TO MATCH ADJACENT SURFACES AT ALL ABANDONED OR REMOVED ELECTRICAL, MECHANICAL OR PLUMBING ROUGH-IN LOCATIONS. BLANK COVER PLATES ARE NOT ACCEPTABLE.
10. PREPARE FLOOR LEVEL AND SMOOTH FOR NEW HARD SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ABNORMALITIES IN CONCRETE FLOOR.
11. ALL AREAS DISTURBED BY DEMOLITION SHALL BE PATCHED AND PROPERLY PREPARED FOR NEW FINISH APPLICATIONS. WHERE ADJACENT FINISHES ARE EXISTING TO REMAIN, PATCH AND MATCH EXISTING FINISHES. CONSULT WITH THE OWNER TO IDENTIFY ATTIC STOCK AND/OR PREVIOUS MATERIAL SPECIFICATIONS.
12. PROVIDE BLOCKING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.
13. PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT. INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH OWNER.
14. EXISTING COLUMN FUR OUTS TO REMAIN. NEW WALLS TO ALIGN WITH FACE OF COLUMN FUR OUTS WHEN POSSIBLE.
15. FURNITURE IS SHOWN ON PLAN FOR REFERENCE ONLY.
16. PROVIDE (1) 4'-0" MARKERBOARD IN ALL OFFICES AND CONFERENCE ROOMS, UNLESS NOTED OTHERWISE (ALL FLOORS). EC TO COORDINATE ELECTRICAL REQUIREMENTS WITH OWNER.
17. DO NOT INSTALL ELECTRICAL, FIRE ALARMS, MECHANICAL, THERMOSTATS OR SIMILAR DEVICES ON DIGITAL WALLCOVERING AND/OR ACCENT PAINT WALLS, UNLESS REQUIRED BY CODE. INSTALL THESE DEVICES ON ADJACENT WALL WHENEVER POSSIBLE. REFERENCE SHEET A231.

KEYNOTES PER SHEET

0101	ALIGN
0103	LOCATE STUD TIGHT TO COLUMN FACE
0104	ALIGN WITH EXISTING WALL FACE
0105	ALIGN WITH EXISTING COLUMN
0106	LOCATE STUD TIGHT TO WALL FACE
0552-01	PROVIDE WALL HANDRAIL. REFERENCE DETAIL A2 ON A500.
0552-02	PROVIDE STAIR GUARDRAIL AND HANDRAIL. REFERENCE DETAIL A4 ON A500.
0610-15	PROVIDE WOOD BLOCKING/NAILERS FOR FUTURE LOWER AND UPPER CABINETS
0843-05	VERIFY EXISTING ROUGH OPENING FOR NEW STOREFRONT SYSTEM, KAWNEER 451T
1420-01	CONTRACTOR TO REBUILD ONE OF THE TWO EXISTING ELEVATOR CABS TO MEET CURRENT ADA (AMERICANS WITH DISABILITIES ACT) REQUIREMENTS. IF AN EXISTING ELEVATOR CAB IS UNABLE TO BE MODIFIED TO MEET CURRENT ADA REQUIREMENTS, THEN BOTH EXISTING ELEVATOR CABS ARE TO BE REMOVED AND ONE NEW ELEVATOR TO BE INSTALLED. NEW ELEVATOR TO BE MACHINE ROOM-LESS GEARLESS ELEVATOR. BASIS OF DESIGN: 2100 OTIS GEN2 UNDERSLING SYSTEMS
1420-02	PROVIDE TWO WAY COMMUNICATION HERE



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PROJECT INFORMATION

SEEDS OF HEALTH - HIGH SCHOOL

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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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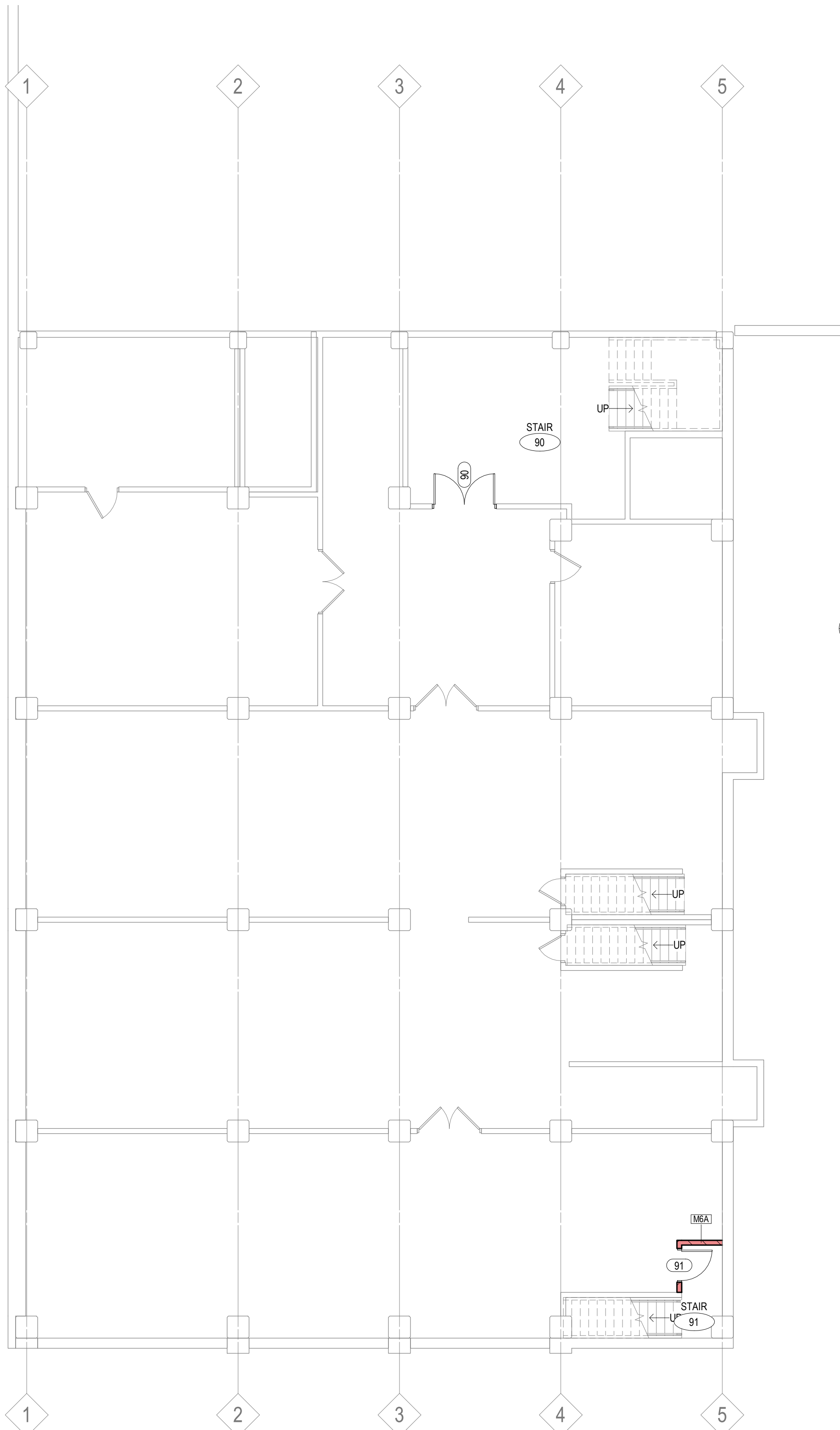
SHEET INFORMATION

PROJECT MANAGER **TW**

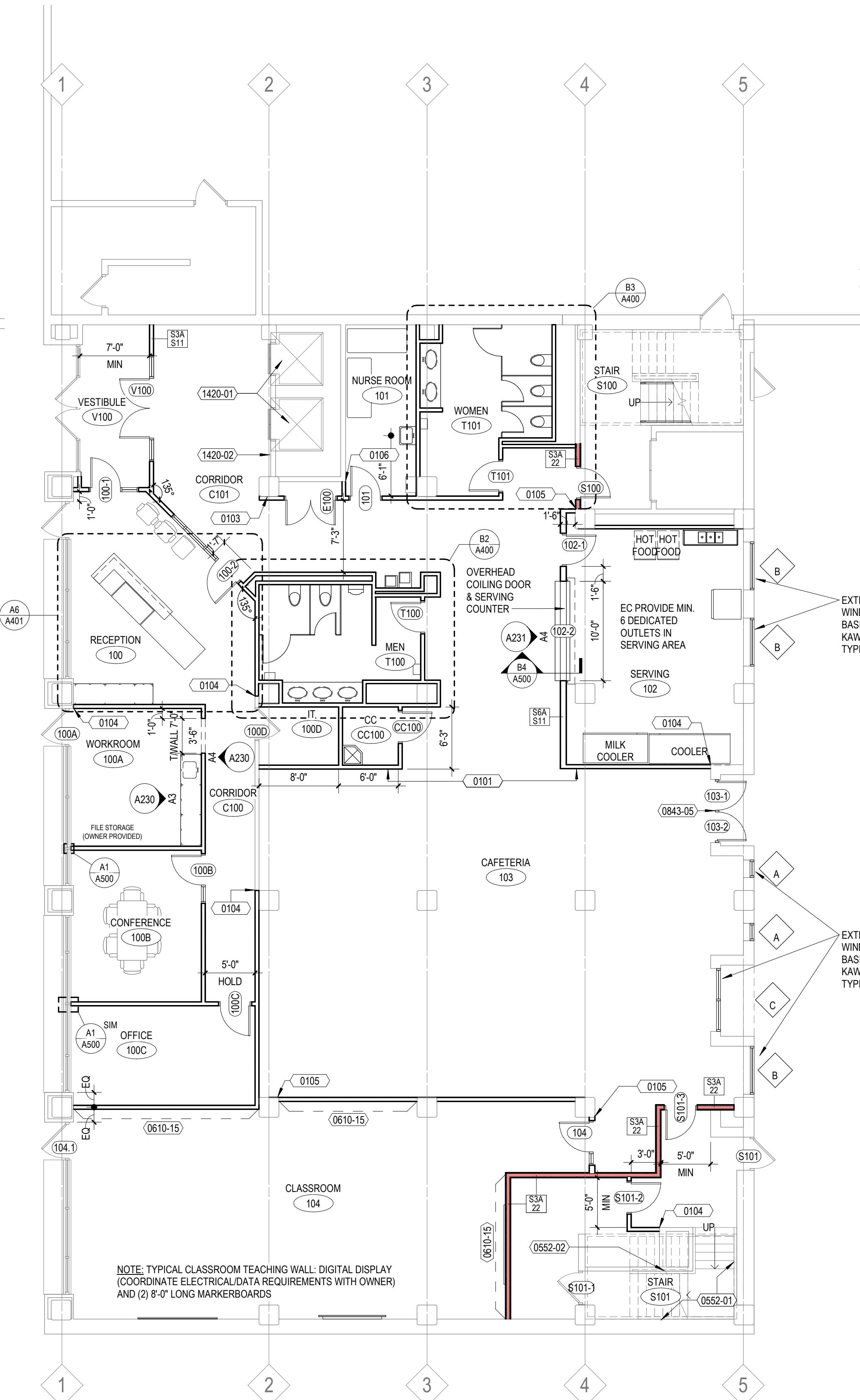
PROJECT NUMBER **319396-01**

LL AND 1ST FLOOR PLANS

A101



A2 LL PLAN
1/8" = 1'-0"



A5 1ST FLR PLAN
1/8" = 1'-0"

EXTERIOR WINDOW FRAME - BASIS OF DESIGN KAWNEER 451T, TYPICAL

EXTERIOR WINDOW FRAME - BASIS OF DESIGN KAWNEER 451T, TYPICAL

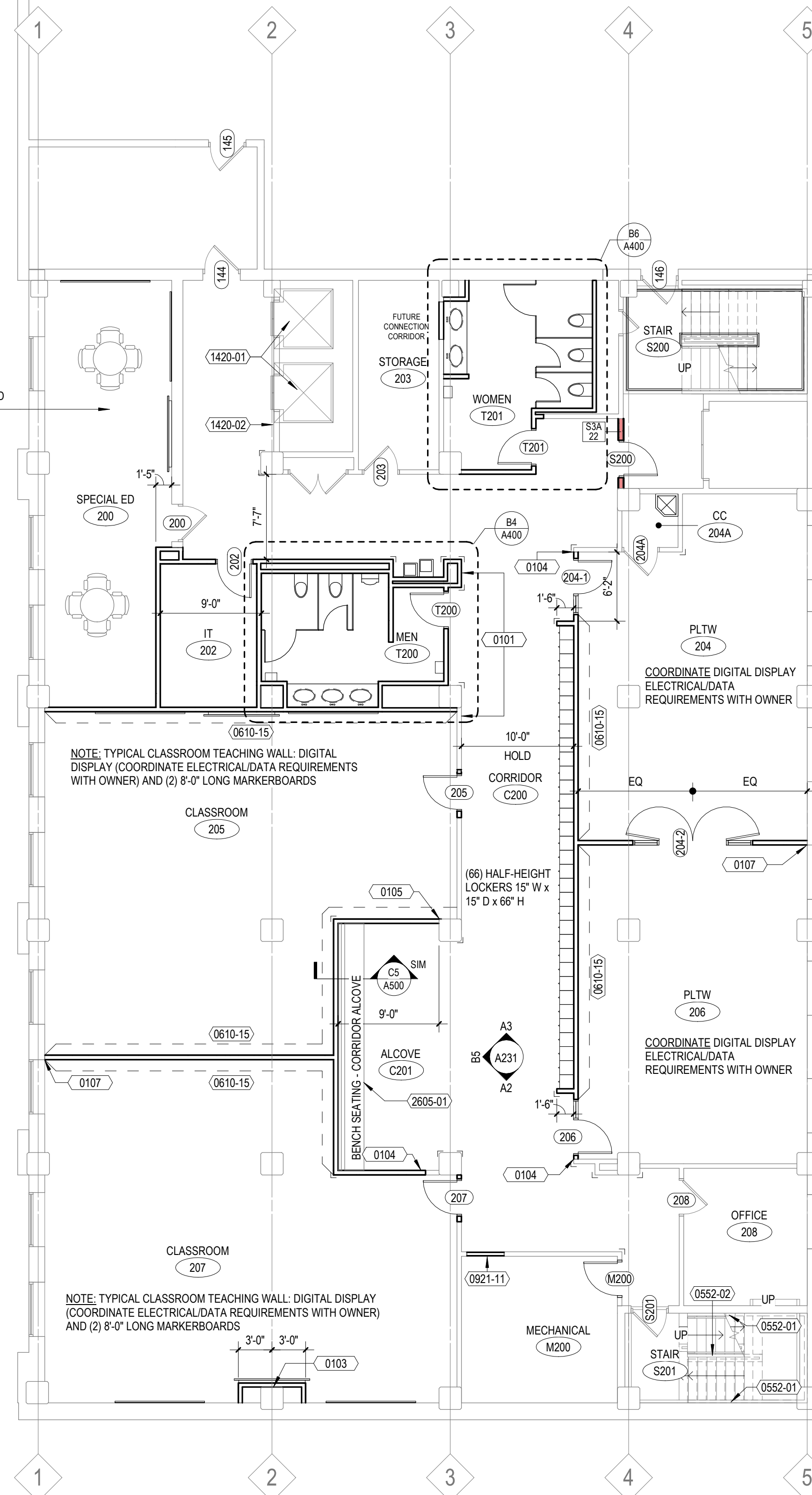
NOTE: TYPICAL CLASSROOM TEACHING WALL: DIGITAL DISPLAY (COORDINATE ELECTRICAL DATA REQUIREMENTS WITH OWNER) AND (2) 8'-0" LONG MARKERBOARDS

SHEET NOTES - FLOOR PLAN

1. BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
2. ALL DIMENSION STRINGS ARE TO FINISH FACE OF WALL, UNLESS NOTED OTHERWISE.
3. ELECTRICAL CONTRACTOR TO PROVIDE POWER AND DATA FOR OWNER EQUIPMENT. COORDINATE ROUGH-IN LOCATION WITH OWNER.
4. REFER TO SHEET A000 FOR REFERENCED PARTITION TYPES AND DETAILS. WALLS NOT TAGGED ON THESE PLANS SHALL BE PARTITION TYPE S3A-S11.
5. ALL WALLS DIRECTLY BEHIND OR ADJACENT TO PLUMBING FIXTURES SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
6. LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
7. REPAIR, PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEW. MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR UNFINISHED SURFACES.
8. PATCH ALL WALL BASE SCARS AT EXISTING WALL SURFACES. PREPARE SMOOTH TO RECEIVE NEW WALL BASE FOR UNIFORM APPEARANCE.
9. PATCH WALLS TO MATCH ADJACENT SURFACES AT ALL ABANDONED OR REMOVED ELECTRICAL, MECHANICAL OR PLUMBING ROUGH-IN LOCATIONS. BLANK COVER PLATES ARE NOT ACCEPTABLE.
10. PREPARE FLOOR LEVEL AND SMOOTH FOR NEW HARD SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ABNORMALITIES IN CONCRETE FLOOR.
11. ALL AREAS DISTURBED BY DEMOLITION SHALL BE PATCHED AND PROPERLY PREPARED FOR NEW FINISH APPLICATIONS. WHERE ADJACENT FINISHES ARE EXISTING TO REMAIN, PATCH AND MATCH EXISTING FINISHES. CONSULT WITH THE OWNER TO IDENTIFY ATTIC STUCK AND/OR PREVIOUS MATERIAL SPECIFICATIONS.
12. PROVIDE BLOCKING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.
13. PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT. INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH OWNER.
14. EXISTING COLUMN FUR OUTS TO REMAIN. NEW WALLS TO ALIGN WITH FACE OF COLUMN FUR OUTS WHEN POSSIBLE.
15. FURNITURE IS SHOWN ON PLAN FOR REFERENCE ONLY.
16. PROVIDE (1) 4'-0" MARKERBOARD IN ALL OFFICES AND CONFERENCE ROOMS, UNLESS NOTED OTHERWISE (ALL FLOORS); EC TO COORDINATE ELECTRICAL REQUIREMENTS WITH OWNER.
17. DO NOT INSTALL ELECTRICAL, FIRE ALARMS, MECHANICAL, THERMOSTATE OR SIMILAR DEVICES ON DIGITAL WALLCOVERING AND/OR ACCENT PAINT WALLS, UNLESS REQUIRED BY CODE. INSTALL THESE DEVICES ON ADJACENT WALL WHENEVER POSSIBLE. REFERENCE SHEET A231.

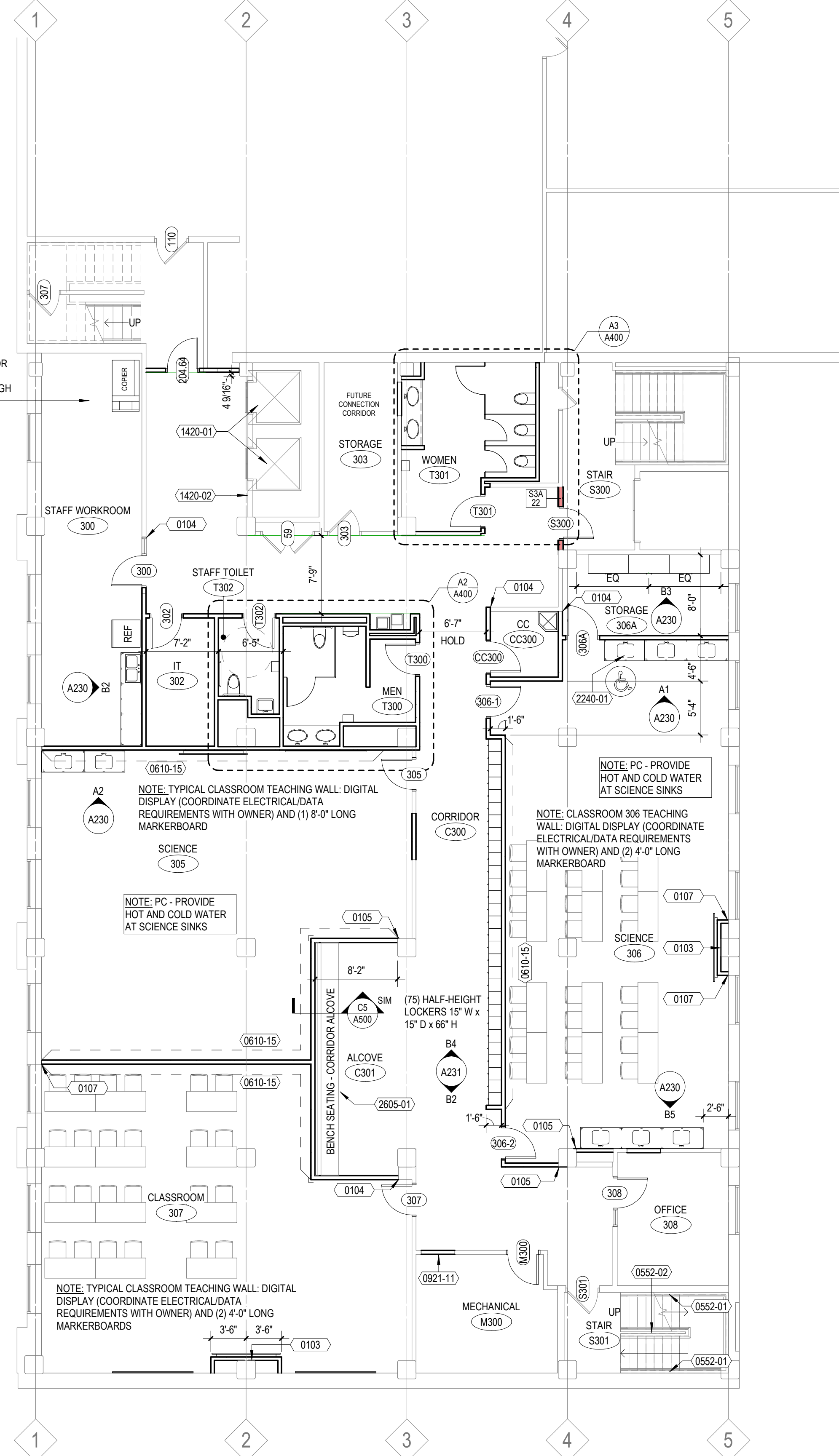
KEYNOTES PER SHEET

0101	ALIGN
0103	LOCATE STUD TIGHT TO COLUMN FACE
0104	ALIGN WITH EXISTING WALL FACE
0105	ALIGN WITH EXISTING COLUMN
0107	ALIGN WITH EXISTING WINDOW OPENING
0552-01	PROVIDE WALL HANDRAIL. REFERENCE DETAIL A2 ON A500.
0552-02	PROVIDE STAIR GUARDRAIL AND HANDRAIL. REFERENCE DETAIL A4 ON A500.
0610-15	PROVIDE WOOD BLOCKING/NAIERS FOR FUTURE LOWER AND UPPER CABINETS
0921-11	INFILL OPENING WITH NEW ACOUSTICAL INSULATED STUD WALL AND ALIGN FINISHES TO EXISTING WALL ON BOTH SIDES
1420-01	CONTRACTOR TO REBUILD ONE OF THE TWO EXISTING ELEVATOR CABS TO MEET CURRENT ADA (AMERICANS WITH DISABILITIES ACT) REQUIREMENTS. IF AN EXISTING ELEVATOR CAB IS UNABLE TO BE MODIFIED TO MEET CURRENT ADA REQUIREMENTS, THEN BOTH EXISTING ELEVATOR CABS ARE TO BE REMOVED AND ONE NEW ELEVATOR TO BE INSTALLED. NEW ELEVATOR TO BE MACHINE ROOM-LESS GEARLESS ELEVATOR. BASIS OF DESIGN: 2100 OTIS GENZ UNDERSLUNG SYSTEMS
1420-02	PROVIDE TWO WAY COMMUNICATION HERE
2240-01	SINK MOUNTED EYE WASH. COORDINATE WITH OWNER.
2605-01	PROVIDE (4) BLACK ELECTRICAL DUPLEX RECEPTACLES AND BLACK COVER PLATES AT THE HEAD OF THE BENCH AND EQUALLY SPACED ALONG THE BENCH. REFERENCE DETAIL C5 ON SHEET A500.



A2 2ND FLR PLAN
1/8" = 1'-0"

EC TO PROVIDE OUTLETS FOR LAMINATOR AND COPIER. COORDINATE ADDITIONAL ELECTRICAL EQUIPMENT AND DATA ROUGH INS WITH OWNER



A5 3RD FLR PLAN
1/8" = 1'-0"



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PROJECT INFORMATION

SEEDS OF HEALTH - HIGH SCHOOL

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PROJECT MANAGER TW

PROJECT NUMBER 319396-01

2ND AND 3RD FLR PLANS

A102



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SHEET INFORMATION

PROJECT MANAGER TW

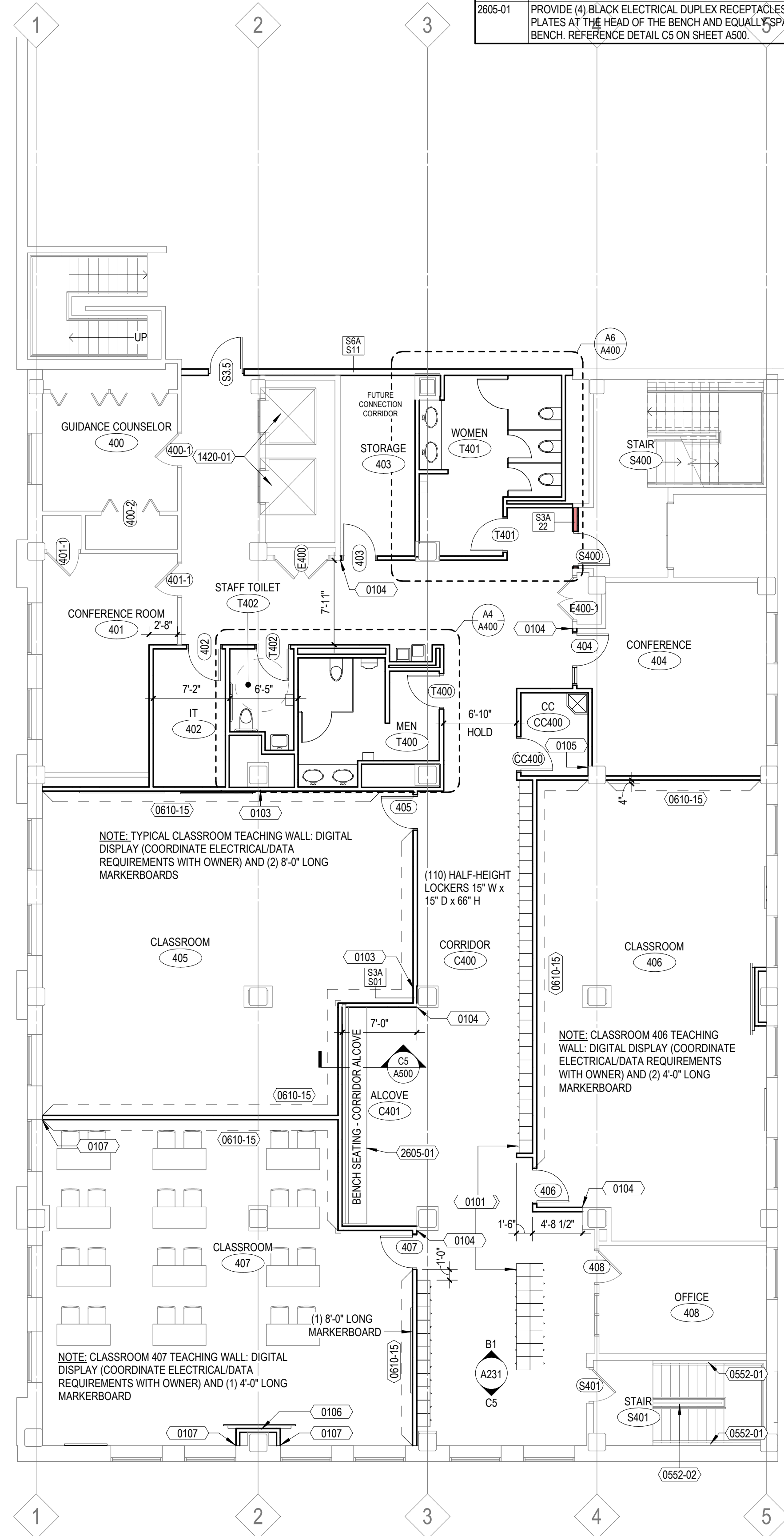
A PROJECT NUMBER 319396-01

4TH FLR PLAN

A103

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KEYNOTES PER SHEET	
0101	ALIGN
0103	LOCATE STUD TIGHT TO COLUMN FACE
0104	ALIGN WITH EXISTING WALL FACE
0105	ALIGN WITH EXISTING COLUMN
0106	LOCATE STUD TIGHT TO WALL FACE
0107	ALIGN WITH EXISTING WINDOW OPENING
0552-01	PROVIDE WALL HANDRAIL. REFERENCE DETAIL A2 ON A500.
0552-02	PROVIDE STAIR GUARDRAIL AND HANDRAIL. REFERENCE DETAIL A4 ON A500.
0610-15	PROVIDE WOOD BLOCKING/NAILERS FOR FUTURE LOWER AND UPPER CABINETS
1420-01	CONTRACTOR TO REBUILD ONE OF THE TWO EXISTING ELEVATOR CABS TO MEET CURRENT ADA (AMERICANS WITH DISABILITIES ACT) REQUIREMENTS. IF AN EXISTING ELEVATOR CAB IS UNABLE TO BE MODIFIED TO MEET CURRENT ADA REQUIREMENTS, THEN BOTH EXISTING ELEVATOR CABS ARE TO BE REMOVED AND ONE NEW ELEVATOR TO BE INSTALLED. NEW ELEVATOR TO BE MACHINE ROOMLESS GEARLESS ELEVATOR. BASIS OF DESIGN: 2100 OTIS GEN2 UNDERSLUNG SYSTEMS
2605-01	PROVIDE (4) BLACK ELECTRICAL DUPLEX RECEPTACLES AND BLACK COVER PLATES AT THE HEAD OF THE BENCH AND EQUALLY SPACED ALONG THE BENCH. REFERENCE DETAIL C5 ON SHEET A500.



A5 4TH FLR PLAN
1/8" = 1'-0"

1

2

3

4

5

6

KEYNOTES PER SHEET

0781	APPLIED FIREPROOFING
0921-10	GYPSUM BOARD CEILING HEIGHT TO ALIGN WITH EXISTING WINDOW HEAD

SHEET NOTES - CEILING PLAN

1. INSTALL SUSPENDED CEILING TYPE ACT-1 UNLESS NOTED OTHERWISE.
2. NEW CEILINGS TO BE AT LEAST 8'-0" AFF UNLESS NOTED OTHERWISE.
3. WHEN CEILINGS ABUT WINDOWS WHERE THE CEILING ELEVATION IS LOWER THAN WINDOW HEAD ELEVATION USE TYPICAL DETAIL B5 ON SHEET 500.
4. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY MEP CONFLICTS WHICH IMPACT CEILING CONSTRUCTION PRIOR TO EXECUTING ANY WORK.
5. MINIMUM SIZE FOR PERIMETER CEILING TILES SHALL NOT BE LESS THAN 4" IN ALL DIRECTIONS.
6. LIGHTING AND/OR MEP ELEMENTS ARE INDICATED FOR SCOPE AND CONCEPT ONLY.



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PROJECT INFORMATION

**SEEDS OF HEALTH -
HIGH SCHOOL**

**918 VEL R. PHILLIPS
AVE
MILWAUKEE, WI
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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12/17/2020	CONSTRUCTION DOCUMENTS

SHEET INFORMATION

PROJECT MANAGER TW

PROJECT NUMBER 319396-01

**LL AND 1ST FLOOR
CEILING PLANS**

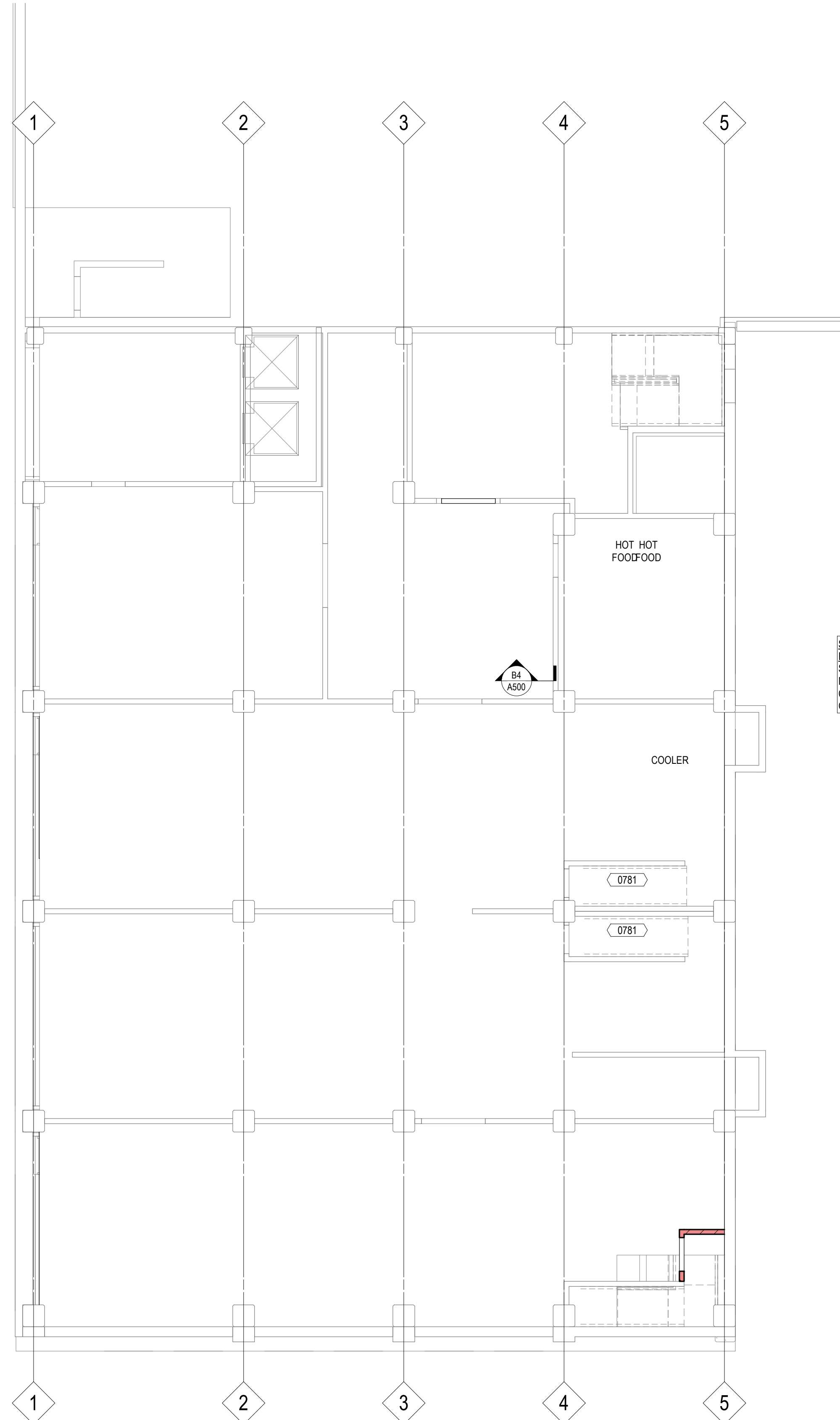
A111

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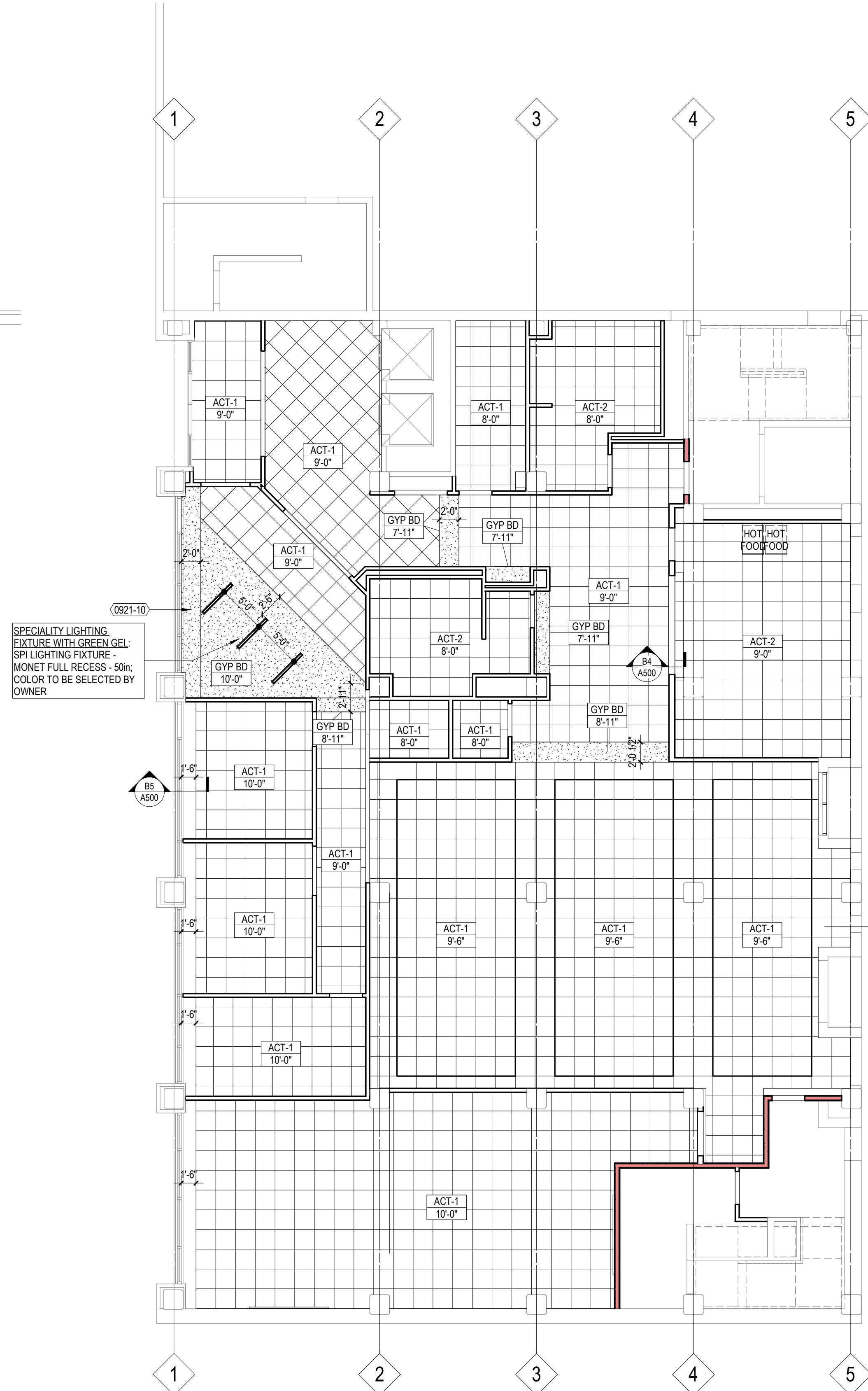
C

B

A



A2 LL CEILING PLAN
1/8" = 1'-0"



A5 1ST FLR CEILING PLAN
1/8" = 1'-0"

1

2

3

4

5

6

KEYNOTES PER SHEET
 0951-02 INSTALL CEILINGS AS HIGH AS POSSIBLE. CONTACT ARCHITECT IF CEILINGS ARE REQUIRED TO BE INSTALLED LOWER THAN 8'-0".



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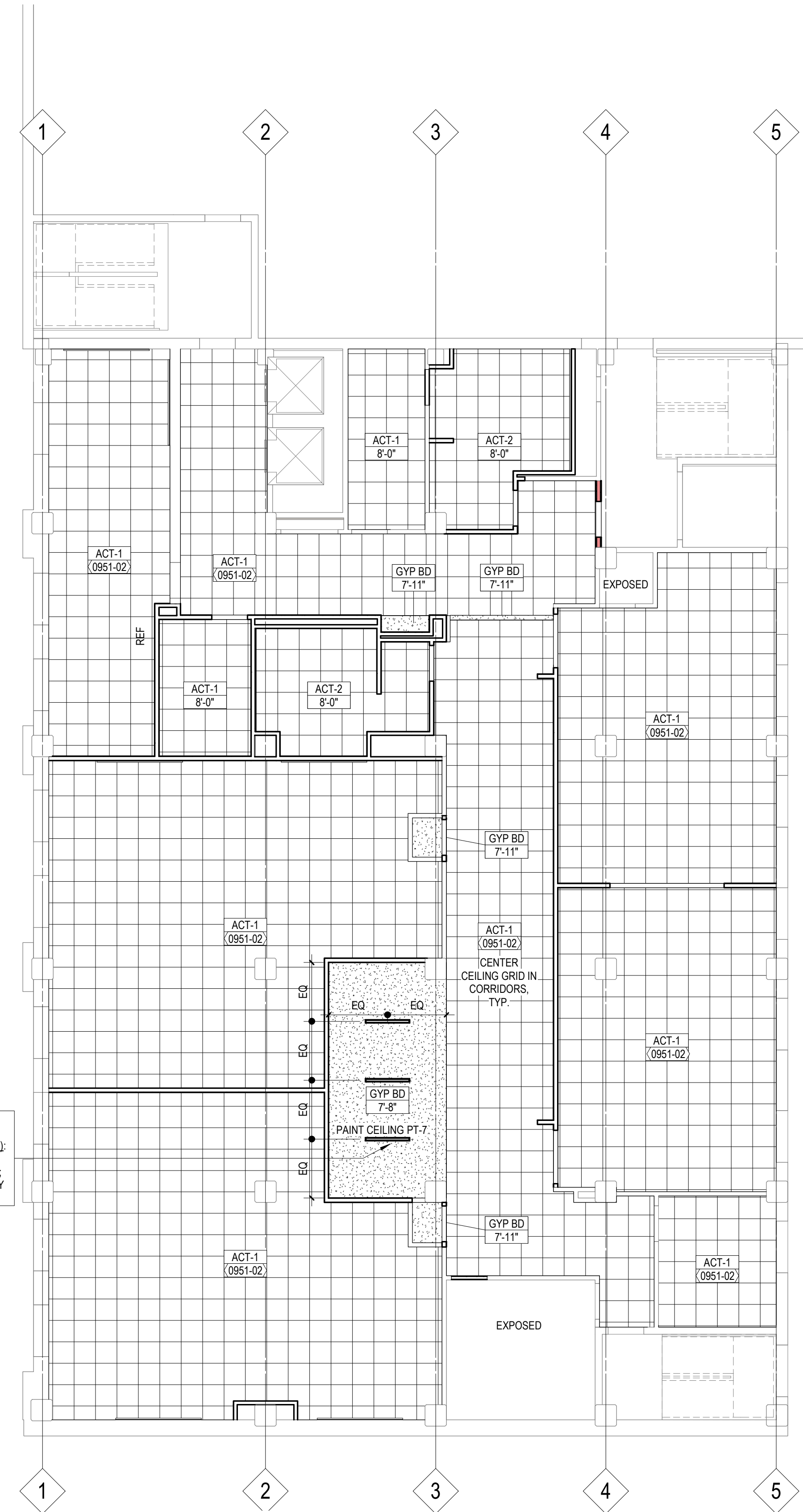
DATE	DESCRIPTION
12/17/2020	CONSTRUCTION DOCUMENTS

SHEET INFORMATION

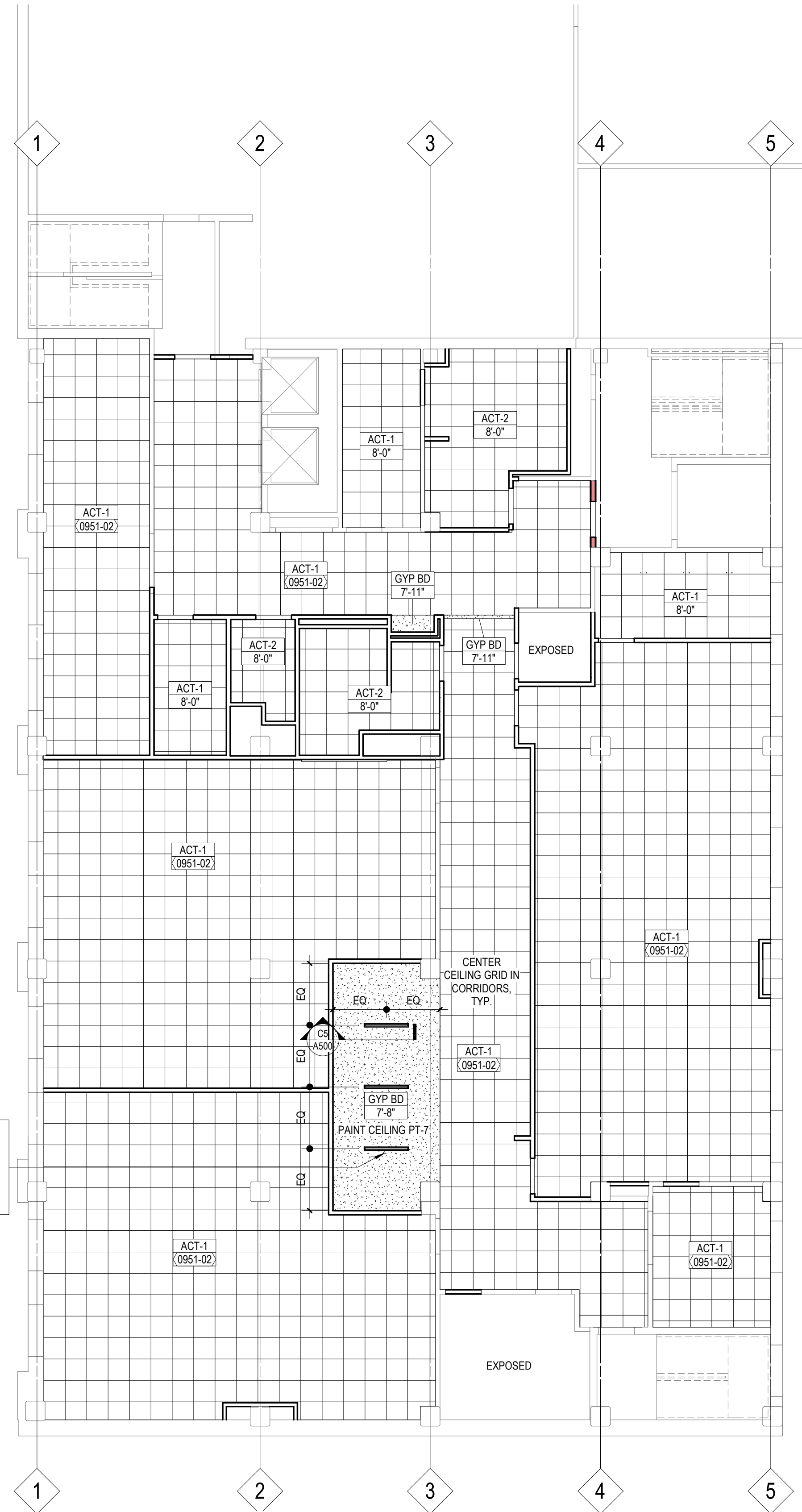
PROJECT MANAGER TW
PROJECT NUMBER 319396-01

**2ND AND 3RD FLR
 CEILING PLANS**

A112



A2 2ND FLR CEILING PLAN
 1/8" = 1'-0"



A5 3RD FLR CEILING PLAN
 1/8" = 1'-0"

1

2

3

4

5

6

KEYNOTES PER SHEET

0781-01	2 HOUR RATED SPRAYED-ON FIREPROOFING ON ROOF STRUCTURE IN RATED STAIR SHAFT. BASIS OF DESIGN: MONOKOTE MK-1000/HB. PRODUCT TO COMPLY WITH ASTM E738, ASTM 3760, ASTM E859, AND ASTM E759. MAX FLAME SPREAD AND MAX SMOKE SPREAD OF ZERO WHEN TESTED WITH ASTM E84.
0951-02	INSTALL CEILINGS AS HIGH AS POSSIBLE. CONTACT ARCHITECT IF CEILINGS ARE REQUIRED TO BE INSTALLED LOWER THAN 8'-0".



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B

SHEET INFORMATION

PROJECT MANAGER **TW**

A PROJECT NUMBER 319396-01

4TH FLR CEILING PLANS

A113

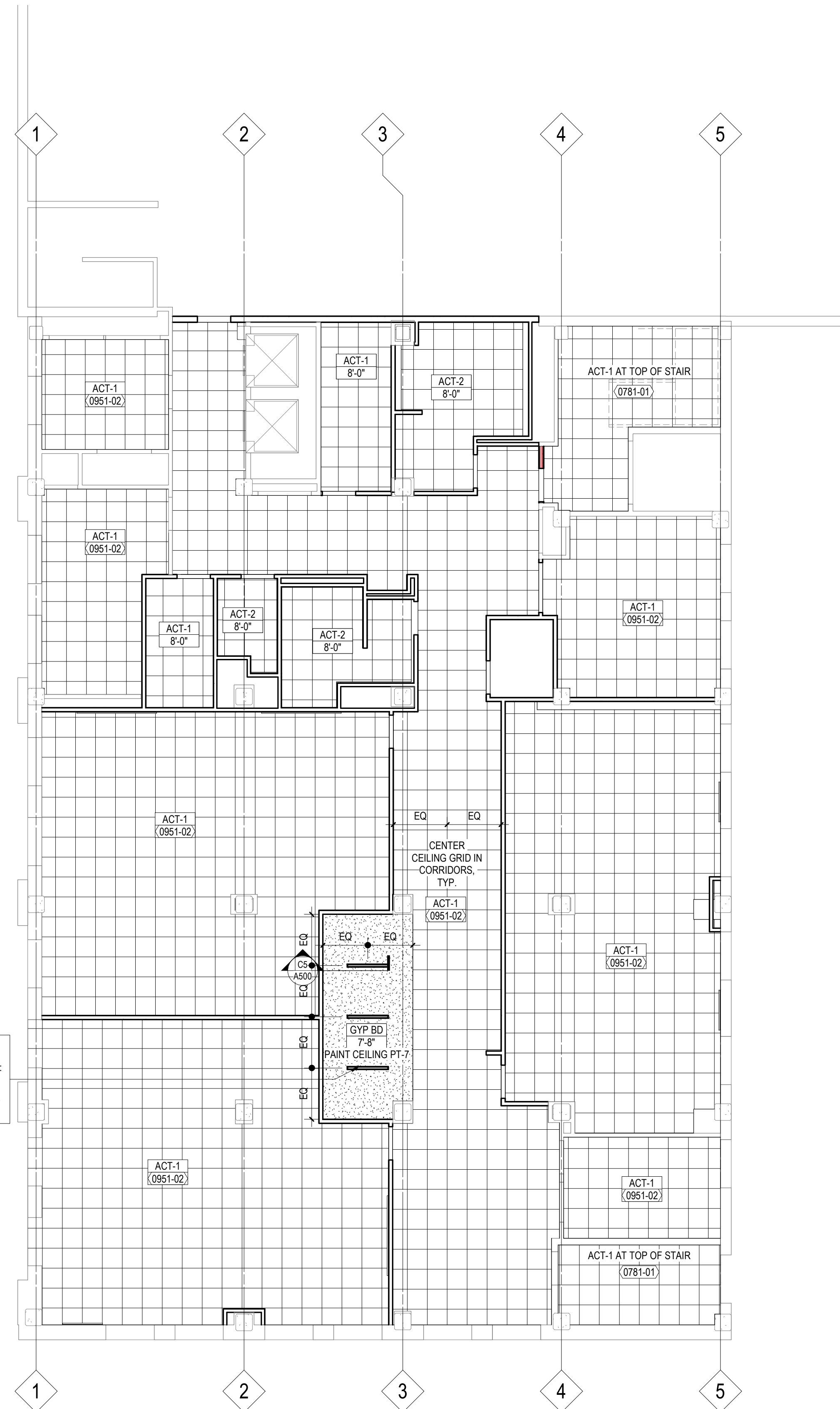
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D

C

B

A



A4 4TH FLR CEILING PLAN
1/8" = 1'-0"

MATERIAL SCHEDULE GENERAL NOTES

SPECIFICATION	NOTE
DIV 09	MATERIALS IN THIS SCHEDULE ARE REFERENCED IN MULTIPLE AREAS OF THE ENTIRE DRAWINGS SET.
DIV 09	REFER TO INTERIOR ELEVATIONS FOR WALL FINISHES AND MILLWORK FINISHES.
DIV 09	PROVIDE ATTIC STOCK OF FINISH MATERIALS SUCH AS FLOORING, PAINT, WALLCOVERING, CEILING TILE AND SIMILAR. VERIFY TYPES AND QUANTITIES WITH OWNER AND/OR TENANT.
DIV 08	REFER TO DOOR SCHEDULE FOR FINISHES FOR NON-FACTORY FINISHED DOORS AND FRAMES.
DIV 08 & 09	PAINT ALL DOOR FRAMES PT-11 UNLESS NOTED OTHERWISE.
06 40 00	INSTALL ALL WOOD GRAIN PLASTIC LAMINATE ON VERTICAL SURFACES WITH A VERTICAL GRAIN ORIENTATION, UNLESS NOTED OTHERWISE.
09 30 00	ALL TILE SIZES INDICATED ARE NOMINAL, UNLESS NOTED OTHERWISE.
09 30 00	SUBMIT A FLOOR PLAN PROVIDING PROPOSED CONTROL JOINT LOCATIONS FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
09 30 00	AT AREAS TO RECEIVE HARD TILE, PROVIDE CRACK ISOLATION MEMBRANE AT CONTROL JOINT LOCATIONS.
09 30 00	PROVIDE WATERPROOF MEMBRANE WHERE TOILETS, URINALS, FLOOR SINKS, AND SHOWERS OCCUR.
09 30 00	PROVIDE 1/8" GROUT JOINT FOR RECTIFIED TILE WHERE TILE IS NOT MESH MOUNTED. PROVIDE 3/16" GROUT JOINT FOR NON-RECTIFIED TILE WHERE TILE IS NOT MESH MOUNTED. GROUT JOINT SHALL BE AT LEAST THREE TIMES THE ACTUAL FACIAL VARIATION OF THE TILE.
09 50 00	REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES.
09 60 00	CARPET TILE SHALL BE INSTALLED USING THE MANUFACTURER'S GLUE-FREE METHOD WHEN AVAILABLE, SUCH AS TACTILES, LOCKDOTS OR SIMILAR.
09 60 00	AT DOOR OPENINGS, PLACE FLOORING TRANSITIONS BETWEEN DISMILAR MATERIALS, COLORS, OR PATTERNS. CENTER UNDER THE DOOR WHEN THE DOOR IS IN THE CLOSED POSITION. WHERE NO DOOR EXISTS IN THE OPENING, PLACE THE TRANSITION AT THE CENTER OF THE JAMB.
09 60 00	PROVIDE SMOOTH, EVEN FLOORING TRANSITIONS BETWEEN DISMILAR FLOORING MATERIALS. PROVIDE APPROPRIATE TRANSITION MATERIAL TO CAP AN EXPOSED EDGE OR END OF A MATERIAL.
09 60 00	WHERE HARD TILE ADJUTS CARPETING OR RESILIENT TILE, PROVIDE MANUFACTURER'S RECOMMENDED UNDERLAYMENT MATERIAL OR LEVELING COMPOUND UNDER THE CARPET OR RESILIENT FLOOR IN A MANNER THAT REDUCES THE HEIGHT DIFFERENCE AT THE TRANSITION TO THE GREATEST POSSIBLE EXTENT. THE APPLICATION OF THE UNDERLAYMENT MATERIAL SHALL NOT HAVE A SLOPE GREATER THAN 1/16" PER 12", AND IN NO CASE GREATER THAN THE LEVELNESS TOLERANCES REQUIRED FOR DOORS AND BY FURNITURE AND EQUIPMENT MANUFACTURERS.
09 60 00	FLOORING TRANSITIONS TO BE THE FOLLOWING, UNLESS NOTED OTHERWISE: (A) CARPET TO HARD TILE: PROVIDE SCHLUTER SCHIENE-EB WITH BRUSHED STAINLESS STEEL FINISH. INSTALL PER MANUFACTURER RECOMMENDATIONS. (B) VCT TO CARPET: SCHLUTER SCHIENE-EB WITH BRUSHED STAINLESS STEEL FINISH. INSTALL PER MANUFACTURER RECOMMENDATIONS. (C) CONCRETE TO VCT: PROVIDE BROWN/BLACK RUBBER TRANSITION STRIP. ADJUST THINSET GROUT AS NECESSARY.
09 60 00	EXTEND FLOOR FINISH MATERIAL FULLY UNDERNEATH ALL CABINETS, UNLESS NOTED OTHERWISE.
09 60 00	FOR RESILIENT BASE INSTALLATION, PROVIDE LONGEST LENGTHS AVAILABLE, AND PROVIDE PREFORMED CORNERS.
09 60 00	INSTALL STANDARD METAL COVE CAP WHERE RESILIENT FLASH COVE BASE IS INDICATED, UNLESS NOTED OTHERWISE.
09 90 00	INCLUDE RECOMMENDED TINTED PRIMER AND 3 FINISH COATS FOR ALL ACCENT PAINT COLORS. PAINT ALL WALLS WITH ONE (1) COAT PRIMER AND TWO (2) FINISH COATS TO ACHIEVE UNIFORM COVERAGE AND FINISH.
09 90 00	INTERIOR PAINT FINISHES (TYPICAL): FLAT: GYP BD CEILINGS, SOFFITS AND BULKHEADS EGGSHELL: WALL SATIN OR SEMI-GLOSS: HM DOORS, HM FRAMES, MDF DOORS <VERIFY SHEEN WITH MANUFACTURER> WATER-BASED EPOXY: TOILET ROOM WALLS AND CEILINGS
09 90 00	PROVIDE PAINT DRAIN-DOWNS FOR ALL PAINT SHOWING COLOR AND FINISH.
09 90 00	PAINT GYP BD SOFFITS AND BULKHEADS PT-10 UNLESS NOTED OTHERWISE. PAINT SOFFITS WITH A SINGLE COLOR ON HORIZONTAL AND VERTICAL SURFACES, UNLESS NOTED OTHERWISE.
09 90 00	PAINT ALL EXPOSED CEILINGS INCLUDING STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ELEMENTS PT-10 UNLESS NOTED OTHERWISE.
09 90 00	PAINT ALL HANDRAILS, GUARDRAILS AND TRIM PT-12 UNLESS NOTED OTHERWISE.
09 90 00	PAINT ALL FIRE EXTINGUISHER CABINETS, ACCESS PANELS, MECHANICAL DIFFUSERS, AND ELECTRICAL PANELS TO MATCH ADJACENT WALLS AND/OR CEILINGS.
09 90 00	WHERE EXPOSED OR PARTIALLY EXPOSED TO VIEW, PAINT WOOD CLEATS SUPPORTING CASEWORK TO MATCH ADJACENT WALL COLOR, UNLESS NOTED OTHERWISE.
10 20 00	INSTALL ALL CORNER GUARDS WITH BOTTOM EDGE ALIGNING AT TOP OF WALL BASE, UNLESS NOTED OTHERWISE.

MATERIAL SCHEDULE COMMENTS

101.	ADD \$500 PER LOCATION FOR ART FEE, LEVEL 5 WALL FINISH
102.	SET ON TOP OF WALL BASE, TYPICAL - USED ON OUTSIDE CORNERS THROUGHOUT THE PROJECT UNLESS NOTED OTHERWISE. COLORS VARY - TO COORDINATE WITH ADJACENT WALL PAINT.
103.	

MATERIAL SCHEDULE

CODE	DESCRIPTION	MANUFACTURER	PRODUCT #	COLOR	FINISH	SIZE	COMMENTS
A							
ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	ULTIMA SQUARE TEGULAR 1516" GRID	WHITE		24"X24"X1"	GENERAL
ACT-2	ACOUSTICAL CEILING TILE	ARMSTRONG	MINERAL FIBER, KITCHEN ZONE, SQUARE TEGULAR, VINYL COATED	WHITE		24"X24"X1"	WET LOCATION
ACT-3	ACOUSTICAL CEILING TILE	ARMSTRONG	MINERAL FIBER, CIRRRUS, SQUARE TEGULAR, 1516" GRID	STONE GREY GS		24"X24"X1"	CAFETERIA
C							
CG-1	CORNER GUARD	INPRO	VINYL TAPE ON	MONTEREY 0110		1.5" X 1.5" X 84"	102
CG-2	CORNER GUARD	INPRO	VINYL TAPE ON	CRYSTAL JADE 0187		1.5" X 1.5" X 84"	102
CG-3	CORNER GUARD	INPRO	VINYL TAPE ON	ENGLISH GREEN 0125		1.5" X 1.5" X 84"	102
CG-4	CORNER GUARD	INPRO	VINYL TAPE ON	BUOYANT BLUE 0132		1.5" X 1.5" X 84"	102
CG-5	CORNER GUARD	INPRO	VINYL TAPE ON	BRITITANY BLUE 0135		1.5" X 1.5" X 84"	102
CG-6	CORNER GUARD	INPRO	VINYL TAPE ON	SHIPROCK 0280		1.5" X 1.5" X 84"	102
CPT-1	CARPET	INTERFACE	STEP REPEAT SR899 1388602500	IRON 104940		50CM X 50CM	
CPT-2	CARPET	INTERFACE	AERIAL AE315 163230AK00	TAUPE/LEAF 105819		25CM X 1M	GREEN
CPT-3	CARPET	INTERFACE	AERIAL AE315 163230AK00	MIST/AQUAMARINE 105817		25CM X 1M	TEAL
CPT-4	CARPET	INTERFACE	AERIAL AE315 163230AK00	GRANITE/AZUR 105816		25CM X 1M	BLUE
CPT-5	CARPET	INTERFACE	AERIAL AE315 163230AK00	SMOKE/IRIS 105815		25CM X 1M	PURPLE
CPT-6	CARPET	INTERFACE	AERIAL AE315 163230AK00	INK/MAGENTA 105814		25CM X 1M	MAGENTA
CPT-7	CARPET	INTERFACE	AERIAL AE315 163230AK00	SMOKE 104674		25CM X 1M	NEUTRAL
CT-1	CERAMIC TILE	CROSSVILLE	COLOR BLOX	I SEE THE MOON		3X3 MOSAIC	
CT-2	CERAMIC TILE	CROSSVILLE	SHADES	CLAY	HONED	12X24	
CT-3	CERAMIC TILE	CROSSVILLE	COLOR BY NUMBERS	ELEVENTH HOUR		4"X8"	GREEN
CT-4	CERAMIC TILE	CROSSVILLE	SWATCHES	BRIGHTANT DEDUCTION SEA ICE		3"X12"	SKY BLUE
CT-5	CERAMIC TILE	CROSSVILLE	COLOR BY NUMBERS	LUCKY THIRTEEN		4"X8"	TEAL
CT-6	CERAMIC TILE	CROSSVILLE	SWATCHES	BRIGHTANT DEDUCTION COBALT		3"X12"	BLUE
CT-7	CERAMIC TILE	CROSSVILLE	COLOR BY NUMBERS	20/20 VISION		4"X8"	PURPLE
CT-8	CERAMIC TILE	CROSSVILLE	SWATCHES	BRIGHTANT DEDUCTION MULBERRY		3"X12"	PINK
CT-9	CERAMIC TILE	CROSSVILLE	SWATCHES	BRIGHTANT DEDUCTION SMOKESTACK		3"X12"	DK GREY
CTB-1	CERAMIC TILE BASE	CROSSVILLE	SHADES	HAZE	HONED	6X24	
D							
DWC-1	DIGITAL WALLCOVERING	KOROSEAL	DIGITAL SURFACES, TYPE II, CLASS A, WHITE SUBSTRATE CANVAS	WHITE		SEE ELEV'S (S2)	101
DWC-2	DIGITAL WALLCOVERING	KOROSEAL	DIGITAL SURFACES, TYPE II, CLASS A, WHITE SUBSTRATE CANVAS	WHITE		SEE ELEV'S (S2)	101
DWC-3	DIGITAL WALLCOVERING	KOROSEAL	DIGITAL SURFACES, TYPE II, CLASS A, WHITE SUBSTRATE CANVAS	WHITE		SEE ELEV'S (S2)	101
DWC-4	DIGITAL WALLCOVERING	KOROSEAL	DIGITAL SURFACES, TYPE II, CLASS A, WHITE SUBSTRATE CANVAS	WHITE		SEE ELEV'S (S2)	101
DWC-5	DIGITAL WALLCOVERING	KOROSEAL	DIGITAL SURFACES, TYPE II, CLASS A, WHITE SUBSTRATE CANVAS	WHITE		SEE ELEV'S (S2)	101
DWC-6	DIGITAL WALLCOVERING	KOROSEAL	DIGITAL SURFACES, TYPE II, CLASS A, WHITE SUBSTRATE CANVAS	WHITE		SEE ELEV'S (S2)	101
DWC-7	DIGITAL WALLCOVERING	KOROSEAL	DIGITAL SURFACES, TYPE II, CLASS A, WHITE SUBSTRATE CANVAS	WHITE		SEE ELEV'S (S2)	101
F							
FRP-1	FIBERGLASS REINFORCED PANEL	NUNO	LITE LINER PANEL AND TRIMS	SILVER		PEBBLED	
G							
GT-1	GROUT	BOSTIK	TRUCOLOR	FRENCH GRAY H142			FLOOR AND BASE TILE
GT-2	GROUT	BOSTIK	TRUCOLOR	DELOREAN GRAY H160			WALL TILE
L							
LAM-1	LAMINATE	FORMICA		WHITE T2WILL 9285-58		MATTE	HORIZONTAL SURFACES
LAM-2	LAMINATE	PIONITE		OILED CHERRY WC421SD			VERTICAL SURFACES
LAM-3	LAMINATE	NEVAMAR		CALM DISTINCTION VA6001T			
LAM-4	LAMINATE			BLACK			
P							
PT-1	PAINT	SHERWIN WILLIAMS		ACCESSIBLE BEIGE SW7036			WALLS
PT-2	PAINT	SHERWIN WILLIAMS		GREAT GRNEN SW8430			GREEN ACCENT
PT-3	PAINT	SHERWIN WILLIAMS		PEACOCK PLUME SW0020			TEAL ACCENT
PT-4	PAINT	SHERWIN WILLIAMS		BLUE CRUISE SW7606			BLUE ACCENT
PT-5	PAINT	SHERWIN WILLIAMS		PURPLE PASSAGE SW6551			PURPLE ACCENT
PT-6	PAINT	SHERWIN WILLIAMS		RUBY SHADE SW6572			PINK ACCENT
PT-7	PAINT	SHERWIN WILLIAMS		FORWARD FUSHIA SW6842			MAGENTA ACCENT, LEVEL 5 WALL FINISH
PT-8	PAINT	SHERWIN WILLIAMS		TONY TAUPE SW7038			MED NEUTRAL
PT-9	PAINT	SHERWIN WILLIAMS		VIRTUAL TAUPE SW7039			DK NEUTRAL ACCENT
PT-10	PAINT	SHERWIN WILLIAMS		HIGH REFLECTIVE WHITE SW7757			CEILINGS
PT-11	PAINT	SHERWIN WILLIAMS		DOVETAIL SW7018			DOOR FRAMES
PT-12	PAINT	SHERWIN WILLIAMS		BLACK FOX SW7020			HANDRAILS
PT-13	PAINT	SHERWIN WILLIAMS	MATCH SOH PANTONE COLOR, 347U PRIMARY (368U SECONDARY)	(GREEN)			RECEPTION WALL
R							
RB-1	RESILIENT BASE	TARKETT		BURNT UMBER 63		4" X COIL	
RF-1	RESILIENT FLOOR	MOHAWK GROUP	METAL C0059	ON THE LINE 859		18"X36"	
RF-2	RESILIENT FLOOR	MOHAWK GROUP	METAL C0059	YOGUE VIOLET 464		18"X36"	
RF-3	RESILIENT FLOOR	MOHAWK GROUP	METAL C0059	BLUE		18"X36"	
RF-4	RESILIENT FLOOR	MOHAWK GROUP	METAL C0059	TEMPO TEAL 556		18"X36"	
RF-5	RESILIENT FLOOR	MOHAWK GROUP	METAL C0059	LEMON LIME 631		18"X36"	
RF-6	RESILIENT FLOOR	ALTRO	ALTRO CLASSIC 25	TRUFFLE X2545		6' X ROLL X 25MM	
RF-7	RESILIENT FLOOR	TARKETT	MICROTONE, HAMMERED STAIR TREAD AND RISER	LUNAR EXPLORER			
S							
SD-1	SIGNAGE DIMENSIONAL LETTERS		METAL LETTER PAINTED, STUD MOUNTED	WHITE		8" X 1" THICK	
SD-2	SIGNAGE DIMENSIONAL LETTERS		METAL LETTER PAINTED, STUD MOUNTED	WHITE		3" X 1/2" THICK	
SP-1	SIGNAGE PAINT	STENCILLEASE.COM	FOOTBALL FIELD STENCIL KIT - NUMBERS 1,2,3,4	WHITE PAINT - PT-1		42"WX72" HIGH	CHANGE CHARACTER PER FLOOR, TOP OF NUMERAL TO TERMINATE AT 76" AFF
SS-1	SOLID SURFACE	CORIAN	METAL SURFACE PAINTED	ANTARCTICA			
SS-2	SOLID SURFACE	LG	METAL SURFACE PAINTED				WINDOW SILLS
ST-1	STAIN						MATCH EXISTING DOORS
T							
TEX-1	TEXTILES AND FABRIC	ANZEA		SHIKI SILK		54"	BENCH SEAT
TEX-2	TEXTILES AND FABRIC	TBD		ALLOW \$78 PER LINEAR YARD MATERIAL		52"	BENCH BACK
TS-1	TRANSITION STRIP	TARKETT	SLIMLINE	BURNT UMBER 63			
TP-1	TOILET PARTITION	ASI ACCURATE PARTITIONS	SOLID PLASTIC	CHARCOAL 9237			
V							
VCT-1	VINYL COMPOSITION TILE	ARMSTRONG	STANDARD EXCELON, IMPERIAL TEXTURE	FIELD GRAY 51927		12"X12"	
VCT-2	VINYL COMPOSITION TILE	ARMSTRONG	STANDARD EXCELON, IMPERIAL TEXTURE	LITTLE GREEN APPLE 51866		12"X12"	
VCT-3	VINYL COMPOSITION TILE	ARMSTRONG	STANDARD EXCELON, IMPERIAL TEXTURE	COLORADO STONE 57506		12"X12"	
VCT-4	VINYL COMPOSITION TILE	ARMSTRONG	STANDARD EXCELON, IMPERIAL TEXTURE	CARIBBEAN BLUE 51821		12"X12"	
VCT-5	VINYL COMPOSITION TILE	ARMSTRONG	STANDARD EXCELON, IMPERIAL TEXTURE	VIOLET BLOOM 51818		12"X12"	
VCT-6	VINYL COMPOSITION TILE	ARMSTRONG	STANDARD EXCELON, IMPERIAL TEXTURE	SHOCKING 57514		12"X12"	
W							
WD-1	WOOD		MATCH LAM-2 CONFIRM WITH ARCHITECT				
WDV-1	WOOD VENEER		MATCH LAM-2 CONFIRM WITH ARCHITECT				
WT-1	WINDOW TREATMENT	MECHO SHADE	MANUAL ROLLER SHADE	3% OPENNESS, CHARCOAL			
WT-2	WINDOW TREATMENT	MINI BLINDS	1" ALUMINUM MINI BLINDS, CORDLESS	CHARCOAL			



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SHEET INFORMATION

PROJECT MANAGER **WT**

PROJECT NUMBER **319396-01**

MATERIAL SCHEDULE

A120



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PROJECT MANAGER **TW**

PROJECT NUMBER **319396-01**

1ST AND 2ND FLR FINISH PLANS

A121

KEYNOTES PER SHEET

1026-01	CG-1
1026-02	CG-2
1026-03	CG-3
1026-04	CG-4

- SHEET NOTES - FINISHES**
- REFER TO FINISH PLAN TO IDENTIFY ALL EXISTING AREAS WHERE NEW FINISHES ARE SCHEDULED. AT SUCH LOCATIONS, REMOVE ALL CURRENT FINISH MATERIALS AND PREPARE THE SURFACES FOR NEW FINISHES.
 - REPAIR, PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION, OR DAMAGED AS AN EXISTING CONDITION. MAKE APPEAR NEW, MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES.
 - PREPARE ALL FLOOR SURFACES SMOOTH AND LEVEL FOR NEW FINISH.
 - PLUG AND PATCH ALL ABANDONED FLOOR PENETRATIONS FLUSH WITH ADJACENT FLOOR.
 - REPAIR ALL DEMO SCARS SMOOTH FOR NEW FINISHES.
 - PATCH, REPAIR AND SKIM WALL SMOOTH AT LOCATION OF REMOVED WALL BASE.
 - PATCH GYPSUM BOARD AT LOCATIONS WHERE OUTLETS AND THERMOSTATS HAVE BEEN REMOVED IN EXISTING WALLS TO REMAIN.
 - PATCH ALL WALLS WHERE MILLWORK OR SHELVING HAVE BEEN REMOVED. PREPARE SMOOTH FOR NEW FINISHES. ACCENT PAINT AND DIGITAL WALL COVERING LOCATIONS TO BE A LEVEL 5 FINISH.
 - SKIM COAT SURFACES WHERE WALL COVERING HAS BEEN REMOVED.
 - PREPARE ALL EXISTING WALL SURFACES SMOOTH FOR NEW PAINT.
 - PATCH AND REPAIR FINISHES TO AS-NEW CONDITION AT MAIN ENTRANCE INTO SUITE.
 - EXISTING FINISHES FOR ELEVATOR LOBBY TO REMAIN. PATCH AND REPAIR ANY DAMAGE DUE TO DEMOLITION AND CONSTRUCTION. MATCH EXISTING CONDITIONS.
 - REPAIR EXISTING BUILDING STANDARD BLINDS AT PERIMETER WINDOWS AS REQUIRED. PROVIDE BUILDING STANDARD BLINDS AT ALL PERIMETER WINDOWS.
 - PATCH AND REPAIR EXISTING PERIMETER CONVECTORS FOR NEW PAINT. ELECTROSTATIC PAINT CONVECTORS SHALL MATCH EXISTING FOR AS-NEW APPEARANCE. PROVIDE NEW COVERS AS REQUIRED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING AND WAXING ALL LINOLEUM AND VCT.
 - ALL BASE TO BE RB-1 UNLESS NOTED OTHERWISE.
 - ALL WALLS TO BE PAINTED PT-1 UNLESS NOTED OTHERWISE.
 - EXPOSED CEILINGS AND SOFFITS UNLESS OTHERWISE NOTED TO BE PT-10.
 - FINISH ALL TRIM WORK AND MOULDINGS TO MATCH BUILDING STANDARD. CONFIRM WITH ARCHITECT.
 - REFINISH ALL EXISTING AND REUSED DOORS TO MATCH BUILDING STANDARD. CONFIRM WITH ARCHITECT.
 - REFINISH ALL EXISTING AND REUSED WOOD DOOR FRAMES AND SIDELITE/BORROWED LITE FRAMES TO MATCH BUILDING STANDARD CONFIRM WITH ARCHITECT.
 - PAINT HOLLOW METAL DOOR FRAMES PT-11
 - PAINT METAL HANDRAILS PT-12
 - PROVIDE FULL HEIGHT 1/4" X 1/4" METAL WALLCOVERING TUCK STRIP CHANNEL AT ALL OUTSIDE OR EDGE TERMINATION OF WALLCOVERINGS.
 - FURNITURE IS SHOWN ON PLAN FOR REFERENCE ONLY.

- FINISH TAG REMARKS**
- STENCILED NUMBER - CHANGE CHARACTER PER FLOOR. SEE MATERIAL SCHEDULE FOR DETAILS.
 - PROVIDE CORNER GUARDS AT OUTSIDE CORNERS. COLORS VARY TO COORDINATE WITH ADJACENT WALL COLOR. SEE FINISH PLAN FOR CORNER GUARD COLORS.
 - USE TS-1 AT FLOORING TRANSITION.
 - CG-1 TYPICAL ALL OUTSIDE CORNERS UNO.
 - RUN FRP TO CEILING SET ON TOP OF BASE. EXTEND PANEL OUT 36" FROM BOTH CORNERS WITH SINK BASIN UNO. INCLUDE ALL EDGE TRIM PIECES.
 - INCLUDE CORNER GUARDS - MATCH EACH TO ADJACENT WALL COLOR.
 - CT-2 WAINSCOTTING ON ALL WALLS EXCEPT FOR THOSE WITH ACCENT TILE. TO BE (3) FULL TILES HIGH SET ON TOP OF BASE.
 - SAWTOOTH TRANSITION BETWEEN THE TWO DIFFERENT FLOORING COLORS.
 - ADD WT-1 TO ALL EXTERIOR WINDOWS.
 - WALL TILE AT DRINKING FOUNTAIN TO BE RUN FULL HEIGHT.

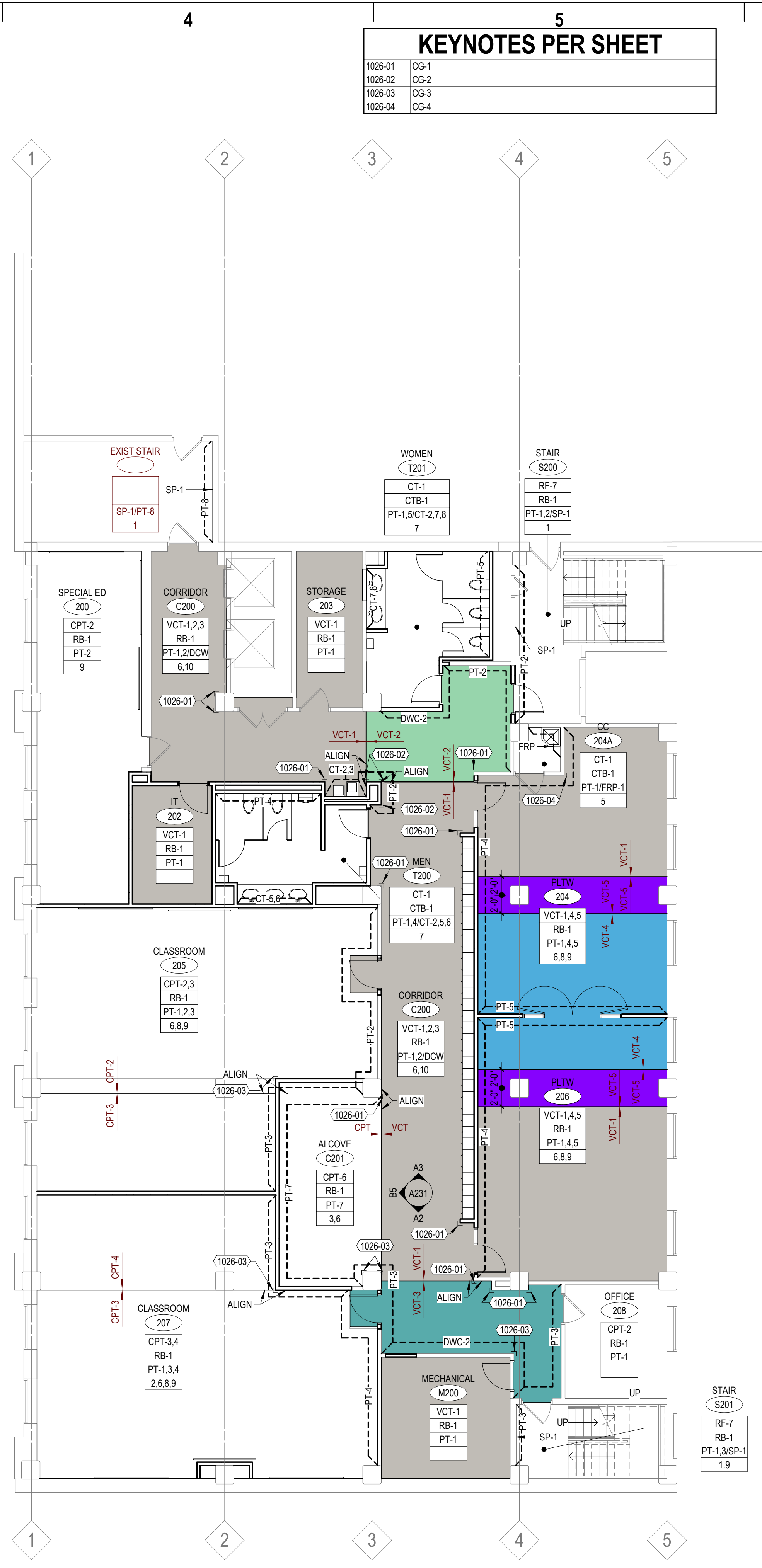
- FINISH PLAN SYMBOLS**
- FLOOR FINISH TAG
 - BASE REFER TO SHEET SERIES A120 FOR ROOM TAG REMARKS
 - WALL REFER TO SHEET SERIES A120 FOR ROOM TAG REMARKS
 - REMARKS REFER TO SHEET SERIES A120 FOR ROOM TAG REMARKS
 - EXTENT OF MATERIAL AT ACCENT WALL
 - INSTALLATION DIRECTION FOR PATTERN
 - MATERIAL TRANSITION, SEE SHEET A120 FOR MATERIAL SCHEDULE
 - MOVEMENT JOINT

FLOOR FINISH LEGEND

RF-1	VCT-1
RF-2	VCT-2
RF-3	VCT-3
RF-4	VCT-4
RF-5	VCT-5
RF-6	



1 1ST FLR FINISH PLAN
1/8" = 1'-0"



2 2ND FLR FINISH PLAN
1/8" = 1'-0"

KEYNOTES PER SHEET
1026-03 CG-3

SHEET NOTES - FINISHES

- REFER TO FINISH PLAN TO IDENTIFY ALL EXISTING AREAS WHERE NEW FINISHES ARE SCHEDULED. AT SUCH LOCATIONS, REMOVE ALL CURRENT FINISH MATERIALS AND PREPARE THE SURFACES FOR NEW FINISHES.
- REPAIR, PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION, OR DAMAGED AS AN EXISTING CONDITION. MAKE APPEAR NEW, MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES.
- PREPARE ALL FLOOR SURFACES SMOOTH AND LEVEL FOR NEW FINISH.
- PLUG AND PATCH ALL ABANDONED FLOOR PENETRATIONS FLUSH WITH ADJACENT FLOOR.
- REPAIR ALL DEMO SCARS SMOOTH FOR NEW FINISHES.
- PATCH, REPAIR AND SKIM WALL SMOOTH AT LOCATION OF REMOVED WALL BASE.
- PATCH GYPSUM BOARD AT LOCATIONS WHERE OUTLETS AND THERMOSTATS HAVE BEEN REMOVED IN EXISTING WALLS TO REMAIN.
- PATCH ALL WALLS WHERE MILLWORK OR SHELVING HAVE BEEN REMOVED. PREPARE SMOOTH FOR NEW FINISHES. ACCENT PAINT AND DIGITAL WALL COVERING LOCATIONS TO BE A LEVEL 5 FINISH.
- SKIM COAT SURFACES WHERE WALL COVERING HAS BEEN REMOVED.
- PREPARE ALL EXISTING WALL SURFACES SMOOTH FOR NEW PAINT.
- PATCH AND REPAIR FINISHES TO AS-NEW CONDITION AT MAIN ENTRANCE INTO SUITE.
- EXISTING FINISHES FOR ELEVATOR LOBBY TO REMAIN. PATCH AND REPAIR ANY DAMAGE DUE TO DEMOLITION AND CONSTRUCTION. MATCH EXISTING CONDITIONS.
- REPAIR EXISTING BUILDING STANDARD BLINDS AT PERIMETER WINDOWS AS REQUIRED. PROVIDE BUILDING STANDARD BLINDS AT ALL PERIMETER WINDOWS.
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- FURNITURE IS SHOWN ON PLAN FOR REFERENCE ONLY.



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PROJECT INFORMATION
SEEDS OF HEALTH - HIGH SCHOOL

918 VEL R. PHILLIPS AVE MILWAUKEE, WI 53203

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12/17/2020	CONSTRUCTION DOCUMENTS

FINISH TAG REMARKS

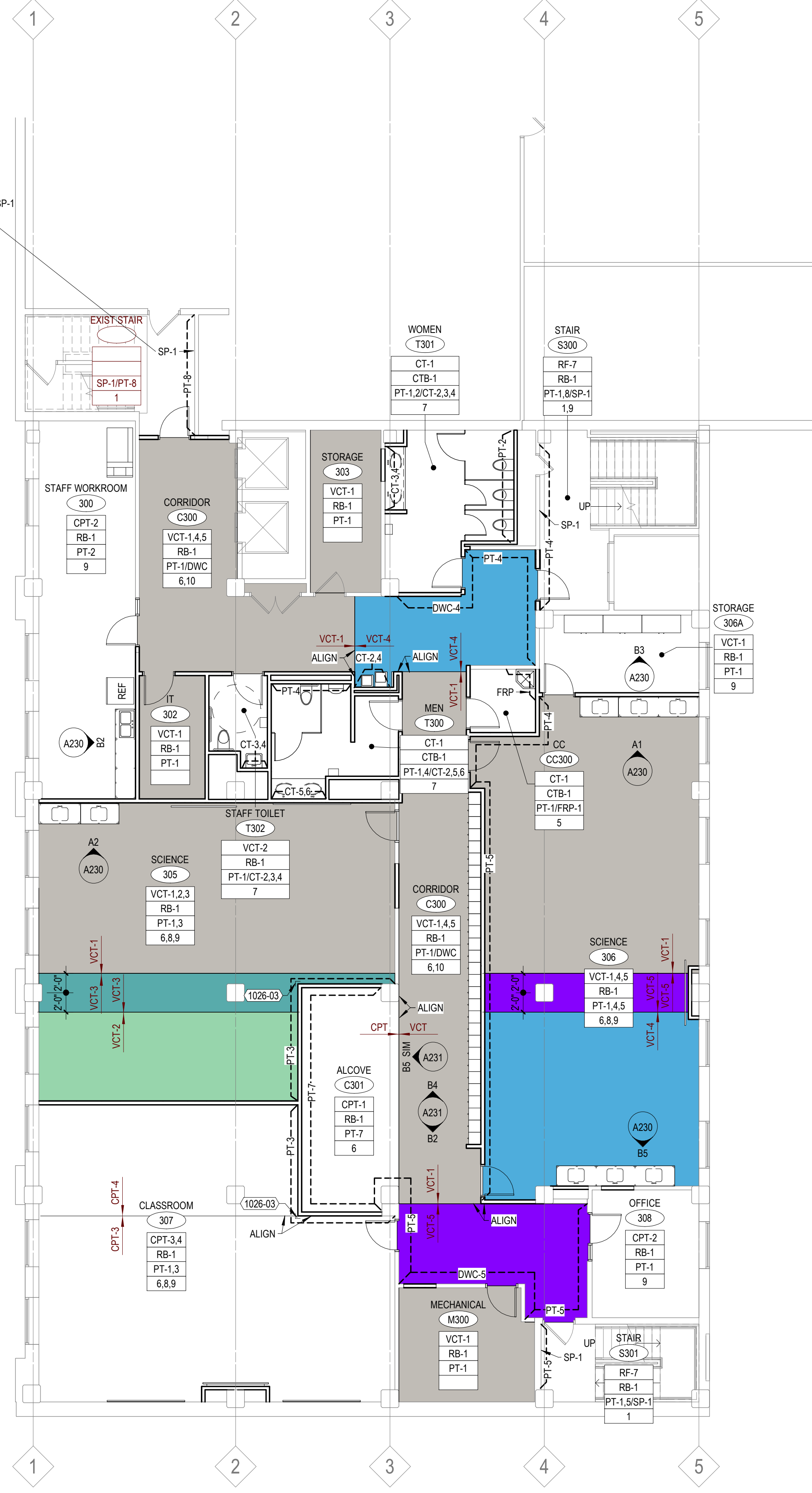
- STENCILLED NUMBER - CHANGE CHARACTER PER FLOOR. SEE MATERIAL SCHEDULE FOR DETAILS.
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- WALL TILE AT DRINKING FOUNTAIN TO BE RUN FULL HEIGHT.

FINISH PLAN SYMBOLS

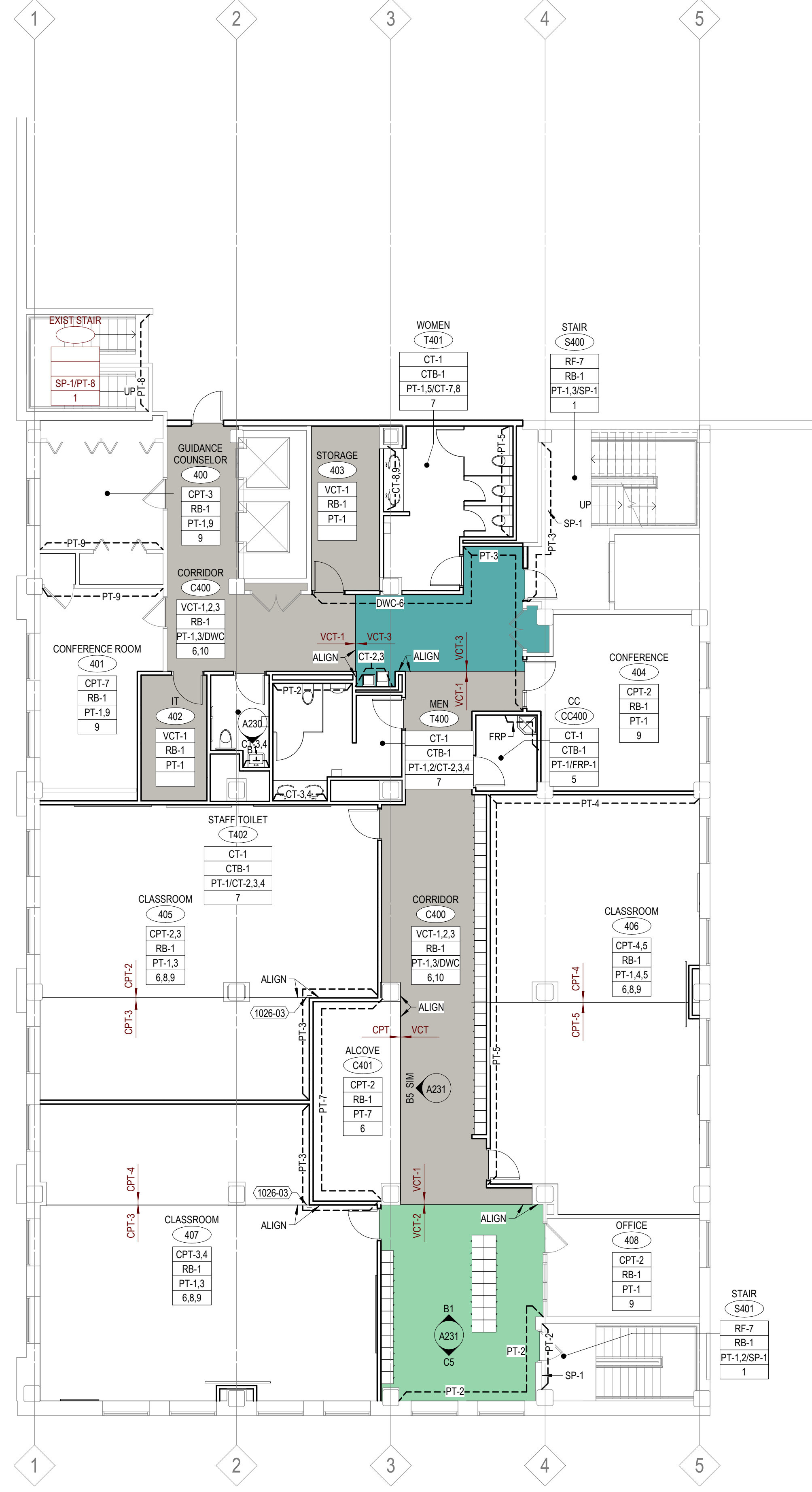
FLOOR	FINISH TAG
BASE	
WALL	
REMARKS	REFER TO SHEET SERIES A120 FOR ROOM TAG REMARKS
	EXTENT OF MATERIAL AT ACCENT WALL
	INSTALLATION DIRECTION FOR PATTERN
CPT-01	MATERIAL TRANSITION. SEE SHEET A120 FOR MATERIAL SCHEDULE
MJ	MOVEMENT JOINT

FLOOR FINISH LEGEND

RF-1	VCT-1
RF-2	VCT-2
RF-3	VCT-3
RF-4	VCT-4
RF-5	VCT-5
RF-6	



1 3RD FLR FINISH PLAN
1/8" = 1'-0"



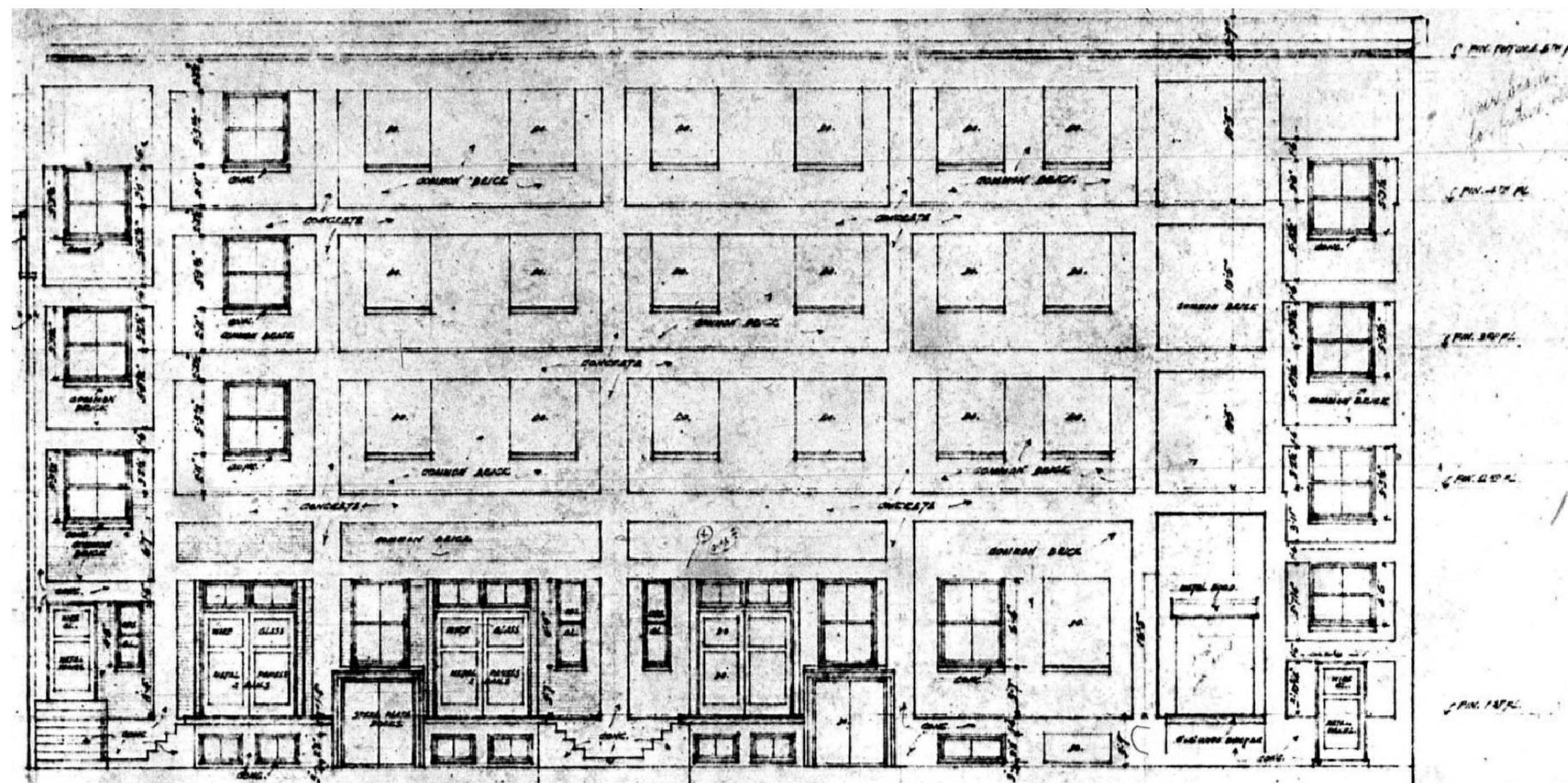
2 4TH FLR FINISH PLAN
1/8" = 1'-0"

SHEET INFORMATION

PROJECT MANAGER TW
PROJECT NUMBER 319396-01

3RD AND 4TH FLR FINISH PLANS

A122



ORIGINAL EAST ELEVATION



REPLACE WINDOW - BASIS OF DESIGN KAWNEER 451T; MATCH EXISTING MULLION SPACING

REPLACE WINDOW - BASIS OF DESIGN KAWNEER 451T; MATCH EXISTING MULLION SPACING

REPLACE DOOR WITH ALUMINUM DOOR AND FRAME - BASIS OF DESIGN KAWNEER 451T

REPLACE WINDOW - BASIS OF DESIGN KAWNEER 451T; MATCH EXISTING MULLION SPACING

2020 - CURRENT CONDITION EAST ELEVATION

SHEET NOTES - EXTERIOR ELEVATIONS

1. SEE SHEET <XXXX> FOR EXTERIOR FRAME TYPES AND DIMENSIONS.
2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
3. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TRIM TO NOT BE MITERED.
4. EXTERIOR SIGNAGE ON BUILDING TO BE COORDINATED AND VERIFIED WITH ARCHITECT, OWNER AND SIGNAGE VENDOR.
5. ALL VERTICAL INSIDE CORNERS TO HAVE 1/2" MOVEMENT JOINT.
6. MJ = INDICATES MOVEMENT JOINT - 1/2" GAP.
7. PJ = INDICATES METAL PANEL JOINT - 1/2" GAP.

KEYNOTES PER SHEET

GLAZING SCHEDULE

IG-6TL	INSULATING GLASS, TINTED, LOW-E, LAMINATED, CLEAR INTERLAYER, FULLY TEMPERED, 1" THICK
S-1Ta	FLOAT GLASS, CLEAR, FULLY TEMPERED, 1/4" THICK
S-4F	FIRE RATED SAFETY GLASS, FIRELITE PLUS, CATEGORY 2 IMPACT SAFETY RESISTANCE, 5/16" THICK



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PROJECT INFORMATION

SEEDS OF HEALTH - HIGH SCHOOL

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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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SHEET INFORMATION

PROJECT MANAGER TW

PROJECT NUMBER 319396-01

EXTERIOR ELEVATIONS

A200



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SHEET INFORMATION

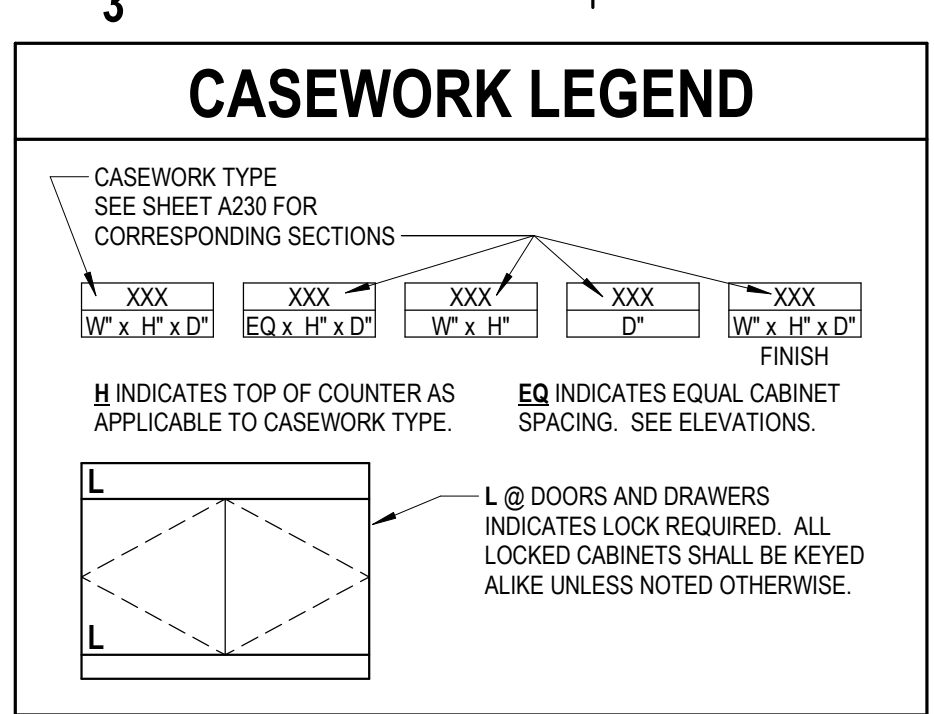
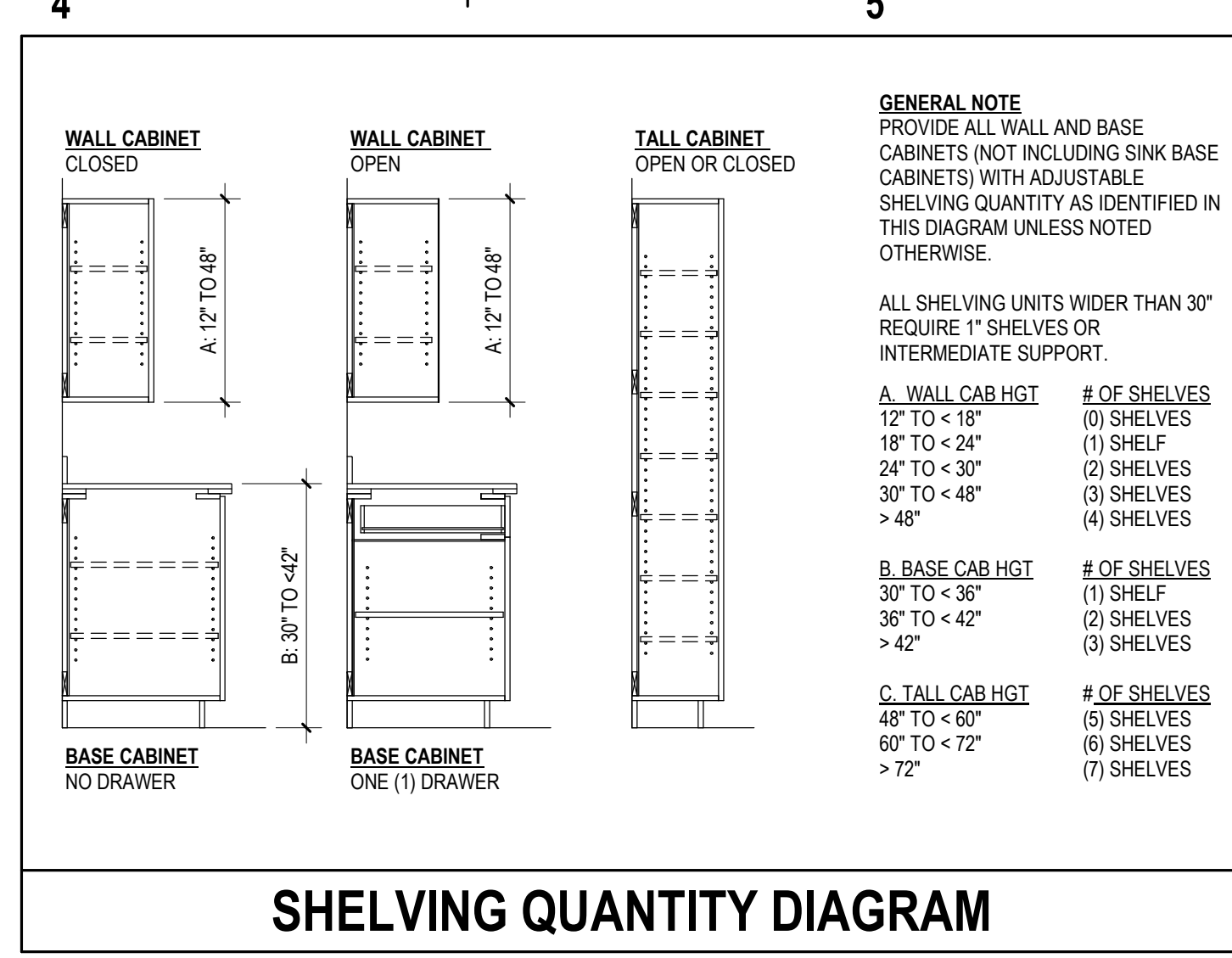
PROJECT MANAGER TW
PROJECT NUMBER 319396-01

INTERIOR ELEVATIONS AND MILLWORK DETAILS

A230

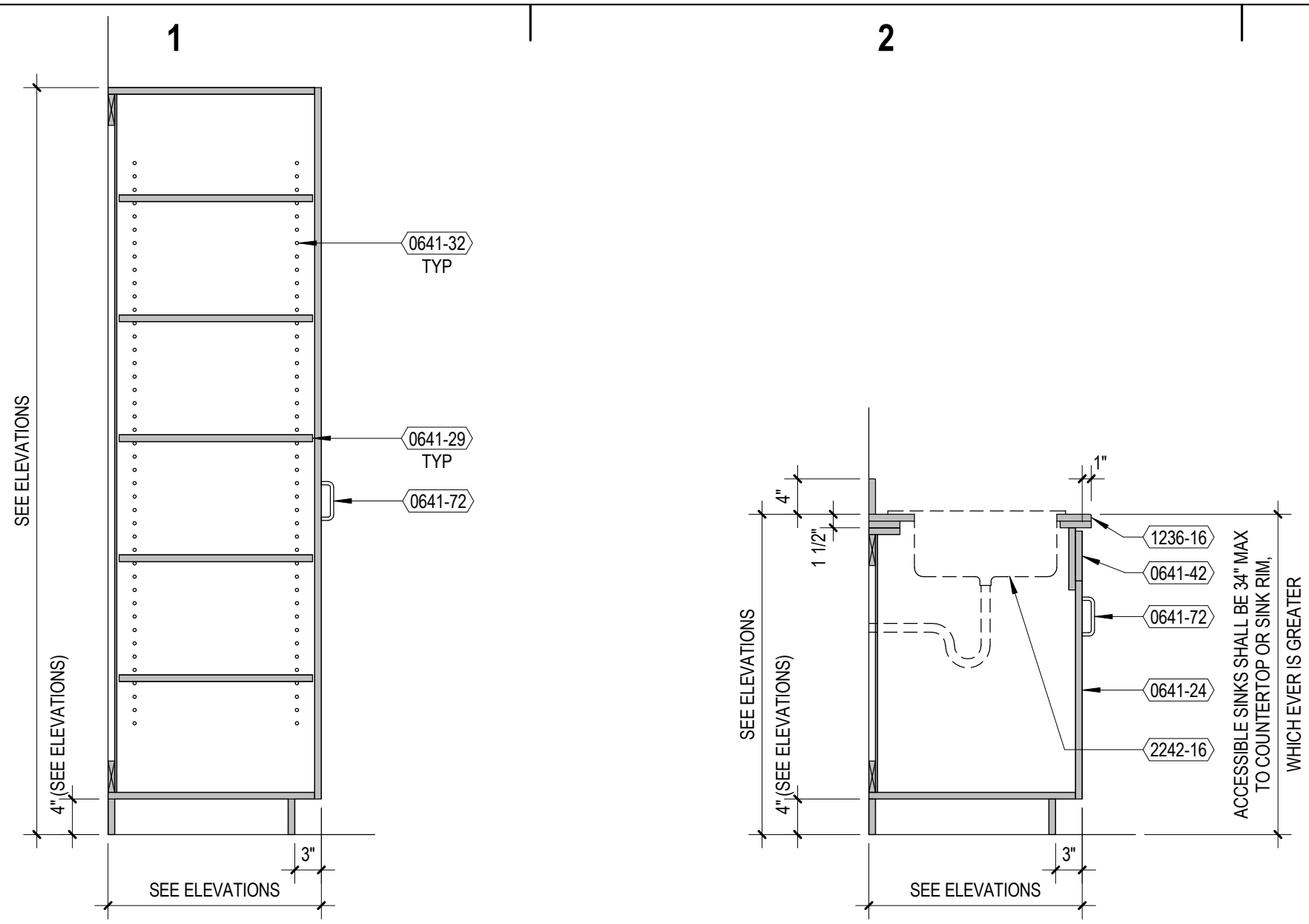
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- ### SHEET NOTES - MILLWORK
- PROVIDE PLASTIC LAMINATE FILLER STRIPS AND SCRIBE TO FIT AT ALL LOCATIONS WHERE CASEWORK MEETS ADJOINING WALL. APPLY SEALANT. PROVIDE A MINIMUM 3" WIDE FILLER AT ALL INSIDE CORNERS OF BASE, WALL, AND FULL-HGT CABINETS, UNLESS NOTED OTHERWISE.
 - HORIZONTAL SURFACES: HGS, 0.048 INCH NOMINAL THICKNESS. VERTICAL SURFACES: VGS, 0.028 INCH NOMINAL THICKNESS.
 - PROVIDE WHITE MELAMINE BOARD INTERIORS AT ALL CABINETS.
 - AT ALL EXPOSED SURFACES, MATCH FINISH MATERIAL TO CABINET FACE INCLUDING INTERIOR AND EXTERIOR CABINET DOOR FACES AND EDGES. SEE MATERIAL SCHEDULE.
 - PROVIDE GROMMETS IN CASEWORK AND COUNTERTOPS WHEREVER ELECTRICAL OR COMMUNICATIONS OUTLETS ARE INDICATED IN KNEE SPACE BELOW. VERIFY ALL LOCATIONS IN FIELD WITH OWNER PRIOR TO GROMMET INSTALLATION.
 - PROVIDE A MINIMUM 1 1/2" RADIUS AT ALL OUTSIDE CORNERS OF COUNTERS, UNLESS NOTED OTHERWISE. COORDINATE SIZE OF RADIUS WITH COUNTERTOP OVERHANG AND NOSING MATERIAL. PROVIDE 1" COUNTER OVERHANG AT ENDS AND FRONT, UNLESS NOTED OTHERWISE.
 - PROVIDE SEALANT ALONG EDGE OF CASEWORK, COUNTERTOPS, BACKSPASHES, AND SIDESPASHES WHERE THEY MEET THE WALL.
 - PROVIDE EXTERIOR GRADE PLYWOOD SUBSTRATE AT ALL LAMINATE COUNTERS ADJACENT TO SINKS.
 - PLASTIC LAMINATE FASCIA ABOVE CABINETS TO CONTINUE GRAIN DIRECTION OF DOOR BELOW, UNLESS NOTED OTHERWISE.
 - PROVIDE FINISH BASE MATERIAL AT CASEWORK FRONT AND SIDE TOEKICKS TO MATCH BASE MATERIAL OF THE ROOM. SEE MATERIAL SCHEDULE.
 - INSET SIDE TOEKICKS 1/2". SEE MILLWORK SECTIONS FOR FRONT TOEKICK RECESS.
 - PROVIDE ADJUSTABLE SHELVING AT ALL CASEWORK LOCATIONS, UNLESS NOTED OTHERWISE. SEE SHELVING QUANTITY DIAGRAM FOR QUANTITIES.
 - CABINETS WITH AN "L" ON THEM INDICATE LOCKABLE CABINETS. VERIFY LOCATION OF LOCKS WITH OWNER. VERIFY IF LOCKS ARE ALL KEYPED THE SAME OR KEYPED SEPARATELY PER UNIT WITH OWNER.
 - MILLWORK CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING OPENINGS FOR APPLIANCES WITH APPLIANCE SUPPLIER. VERIFY DIMENSIONS OF ALL ITEMS. PROVIDE PLASTIC LAMINATE BASE AND FILLER PANELS FOR UNDERCOUNTER APPLIANCES, AS REQUIRED, FOR BUILT-IN APPEARANCE.
 - 3MM EDGE PVC BANDING FOR LAMINATE CASEWORK DOORS AND DRAWER FRONTS.
 - 3MM EDGE PVC BANDING FOR LAMINATE COUNTERS.
 - 5MM EDGE PVC BANDING FOR LAMINATE CASEWORK CASE, BODY COMPONENTS AND SHELVES.



KEYNOTES PER SHEET

0641-22	DRAWER BOX
0641-24	HINGED DOOR
0641-29	ADJUSTABLE SHELF. SEE SHELVING DIAGRAM SHEET A230 FOR QTY
0641-32	1 1/2" OC HOLE FOR SHELF PIN TYP
0641-42	FIXED PNL
0641-43	REMOVABLE PNL
0641-49	DUST SHIELD ABOVE ALL DRAWERS UNLESS DIRECTLY BELOW COUNTERTOP
0641-51	FIXED APRON PNL
0641-72	WIRE PULL
1236-16	SCHED MAT COUNTERTOP WITH EASED EDGE, BACK & SIDE SPLASH WITH EASED EDGE
2242-16	UNDERMOUNT SINK WITH OFFSET TRAP, COORDINATE COUNTERTOP OPENING

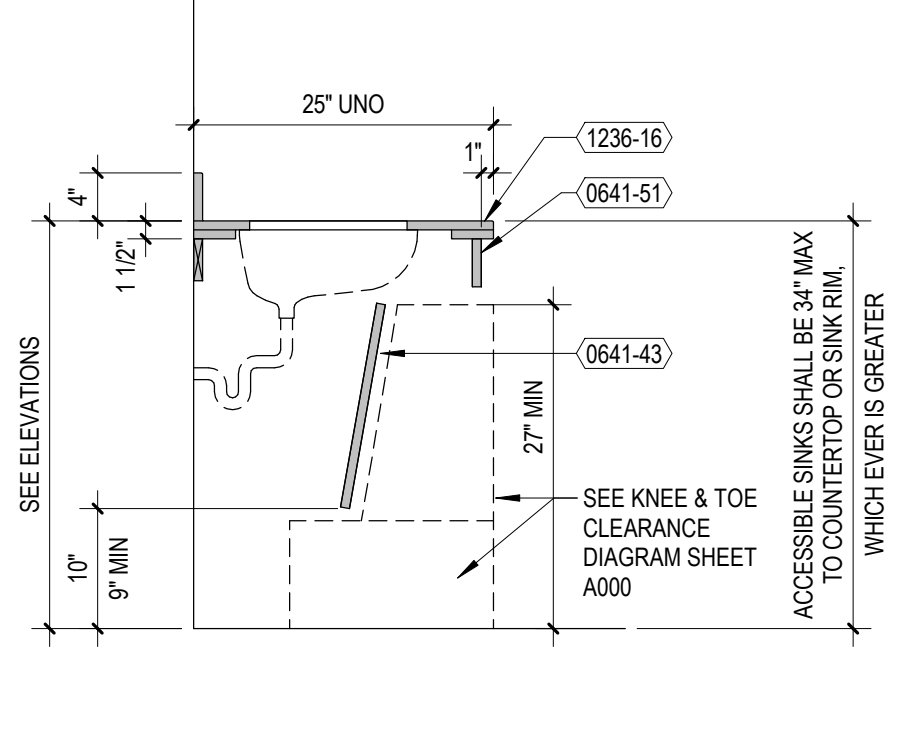


151-152 SINK

3/4" = 1'-0"

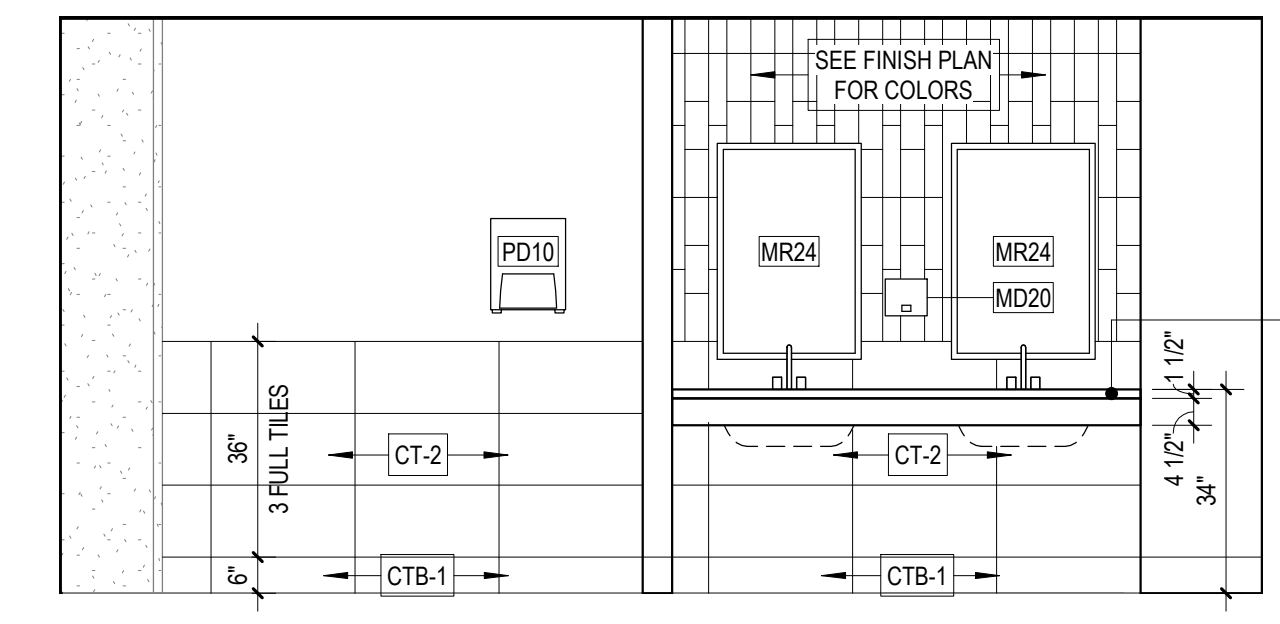
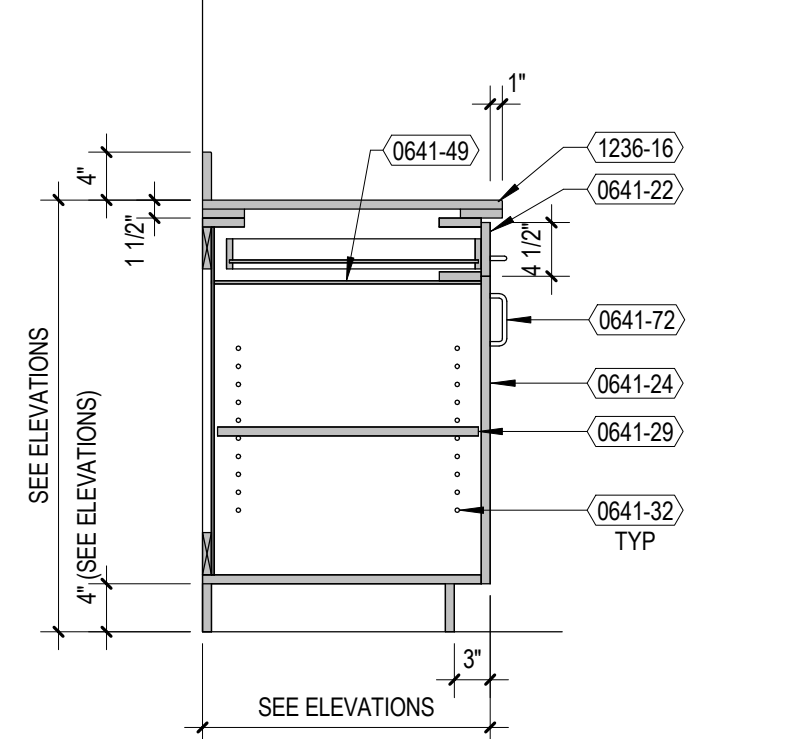
831 ACCESSIBLE LAVATORY

3/4" = 1'-0"



211-212-222 DOOR & TOP DWR

3/4" = 1'-0"



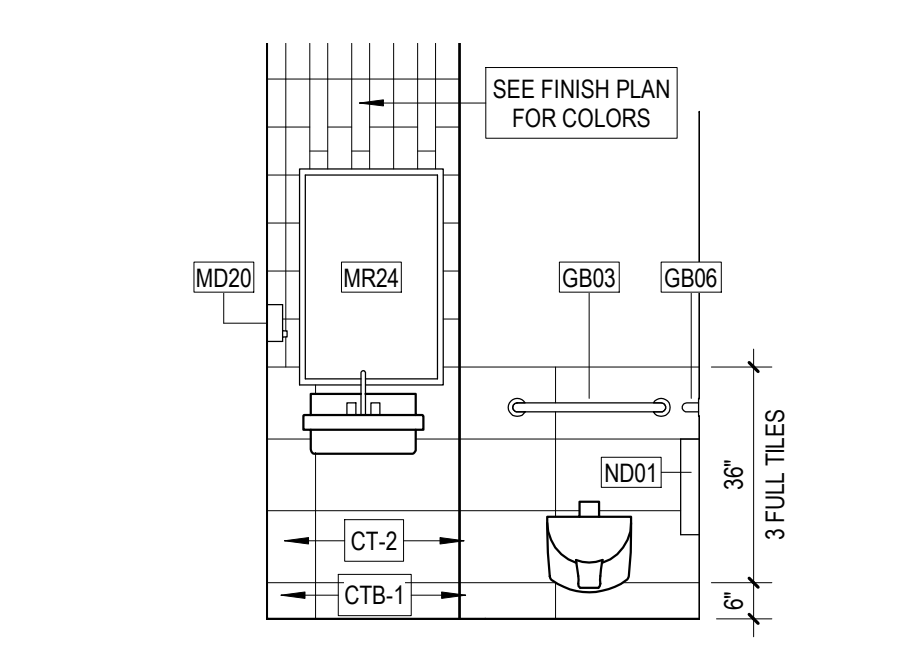
ELEVATION FOR TILE REFERENCE ONLY IN THE FOLLOWING RESTROOMS: T100, T101, T200, T201, T300, T301, T400, T401

C3 TYPICAL TILE PATTERN - SINK WALL

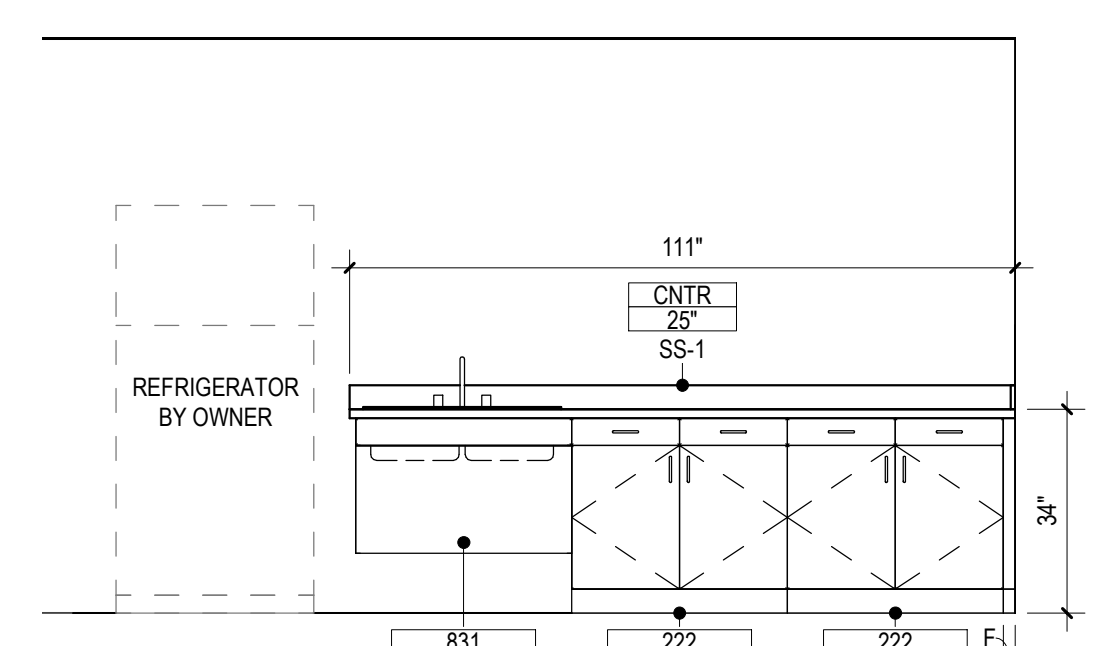
3/8" = 1'-0"

B1 TYPICAL TILE PATTERN - WET WALL

3/8" = 1'-0"

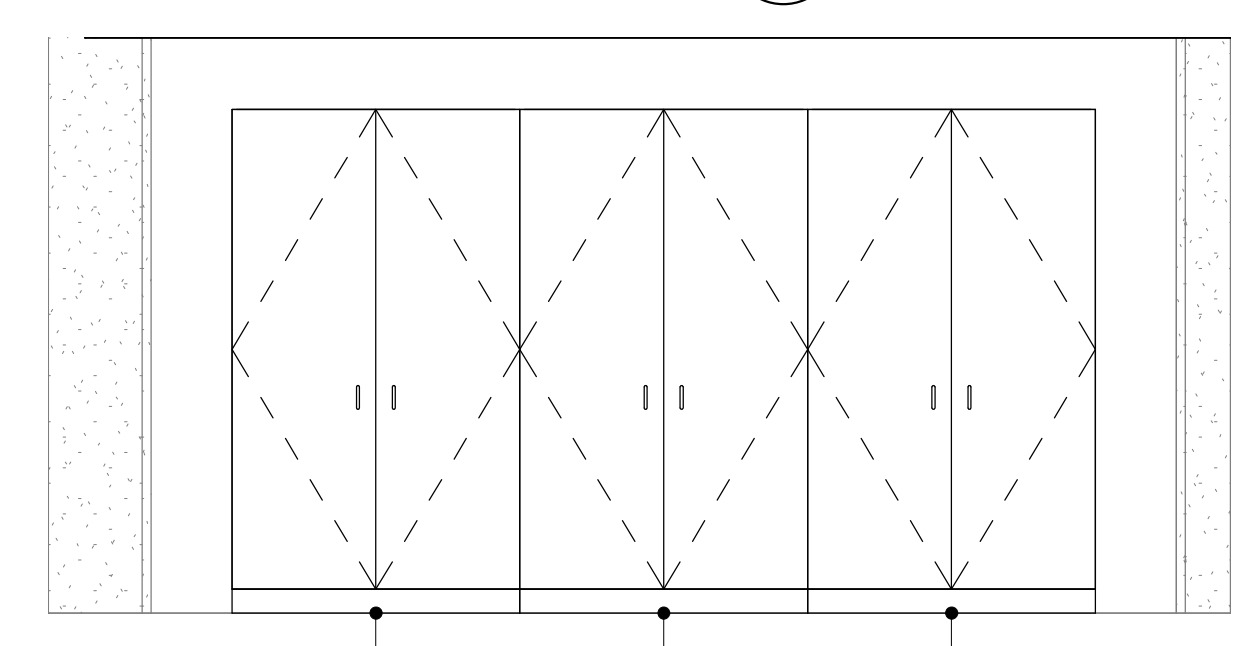


ELEVATION FOR TILE REFERENCE ONLY IN THE FOLLOWING RESTROOMS: T302 AND T402



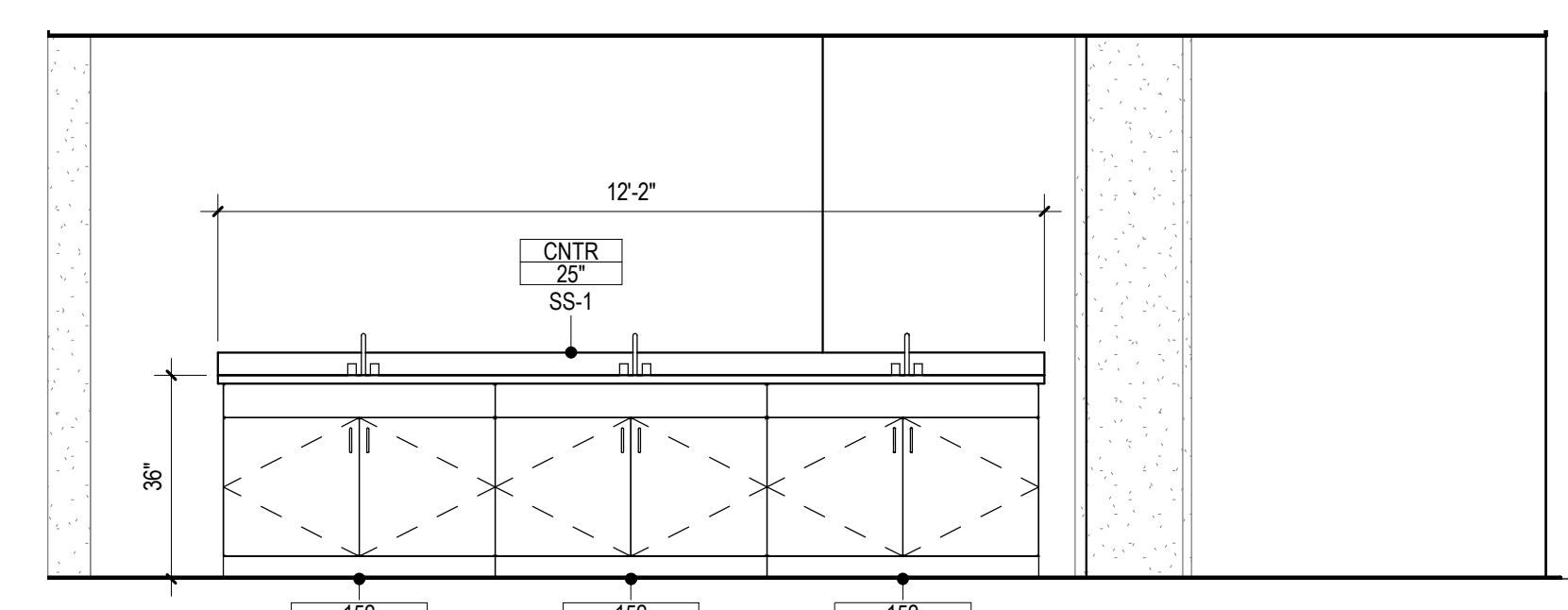
B2 STAFF WORKROOM 300 - EAST

3/8" = 1'-0"



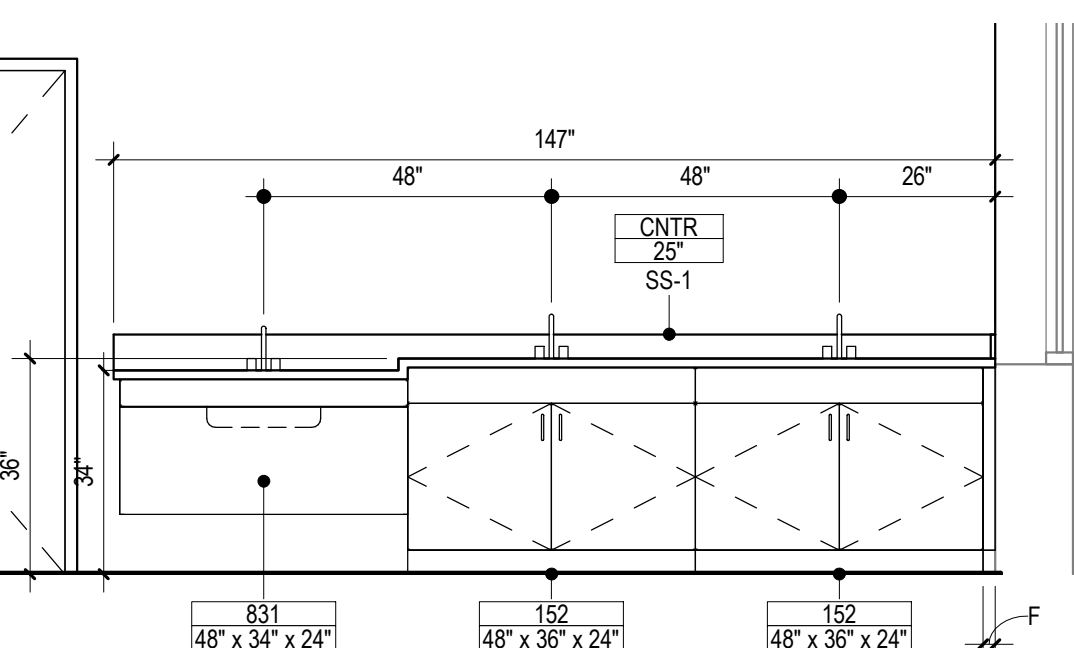
B3 STORAGE 306A - NORTH

3/8" = 1'-0"



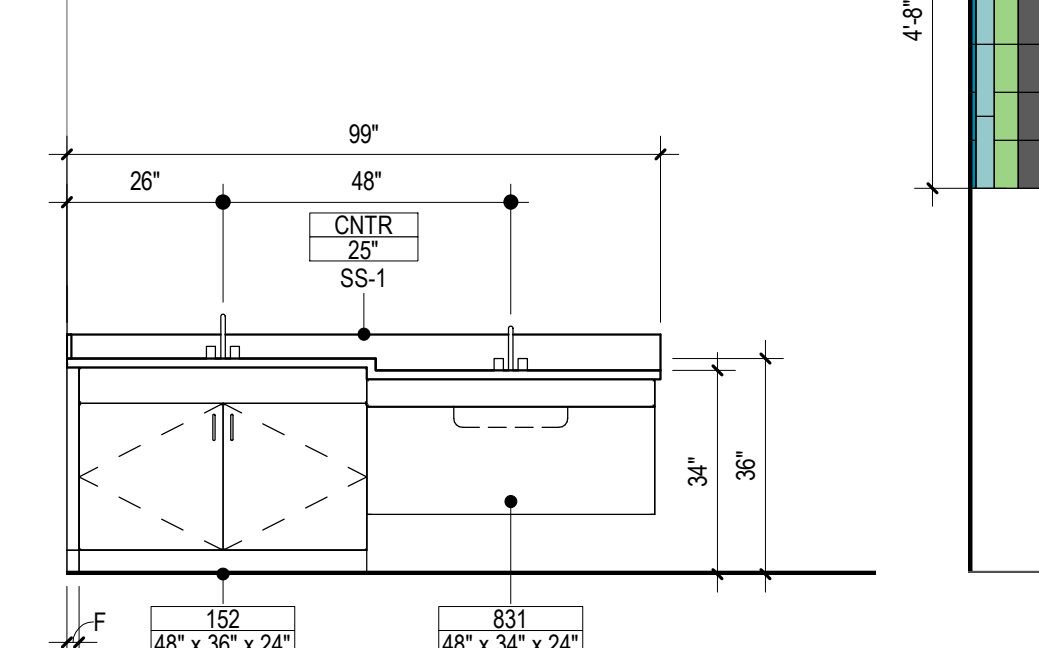
B5 SCIENCE 306 - SOUTH

3/8" = 1'-0"



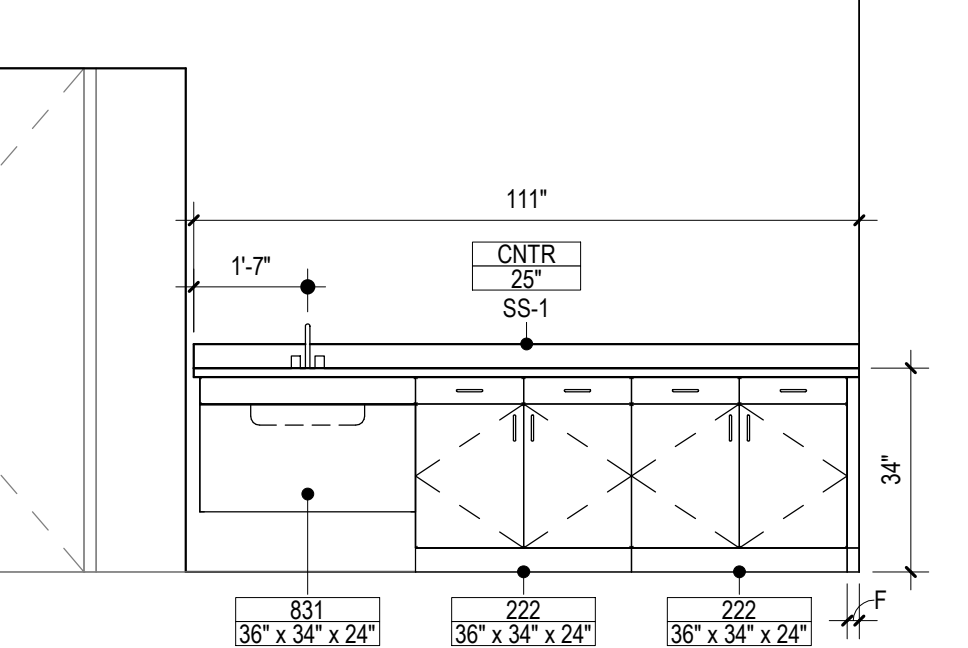
A1 SCIENCE 306 - NORTH

3/8" = 1'-0"



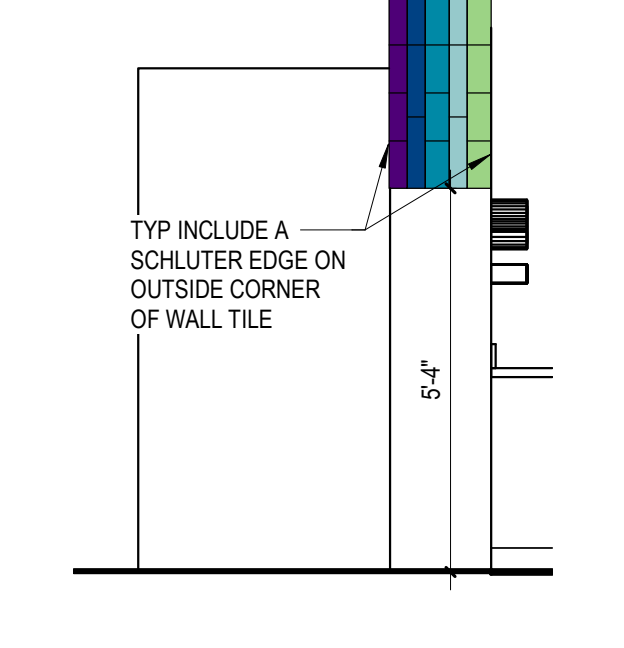
A2 SCIENCE 305 - NORTH

3/8" = 1'-0"



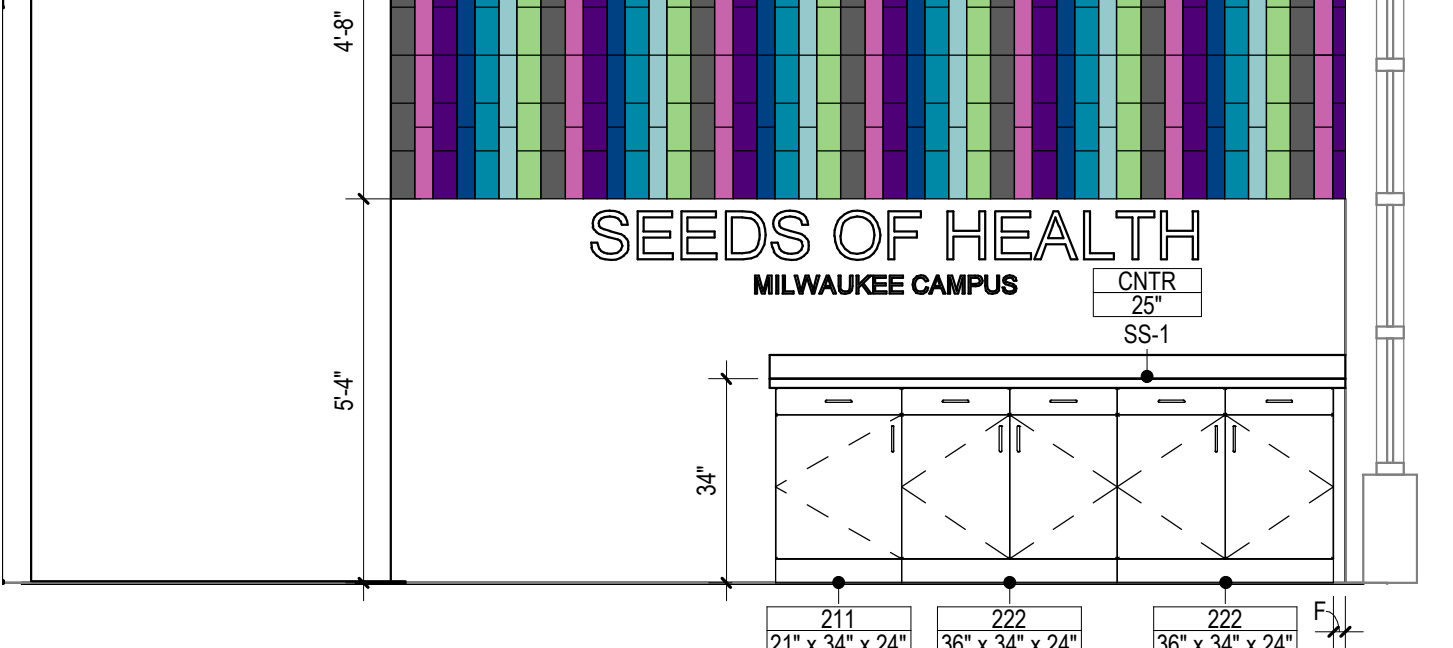
A3 WORKROOM 100A - EAST

3/8" = 1'-0"



A4 RECEPTION - WEST

3/8" = 1'-0"



A5 RECEPTION - SOUTH

3/8" = 1'-0"

1

2

3

4

5

6

D

C

B

A

D

c

B

A

1

2

3

4

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6

KEYNOTES PER SHEET



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PROJECT INFORMATION

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MILWAUKEE, WI 53203

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER TW

PROJECT NUMBER 319396-01

INTERIOR ELEVATIONS

A231

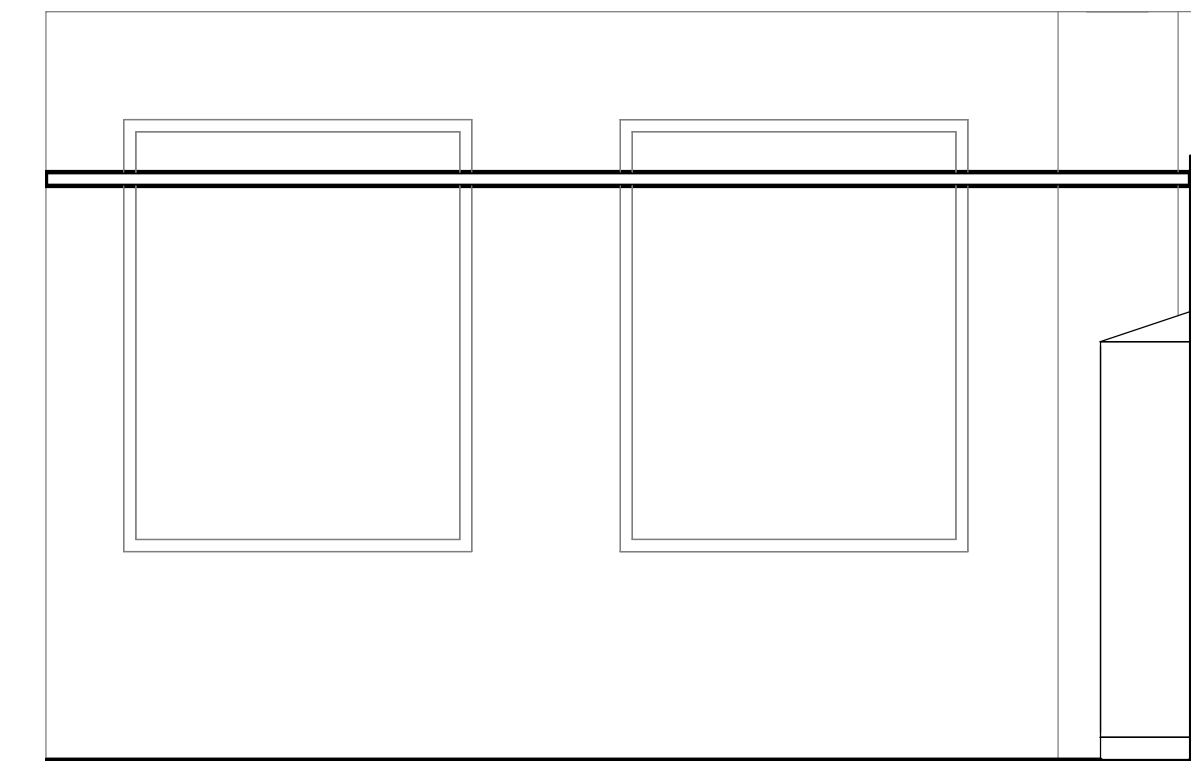
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D

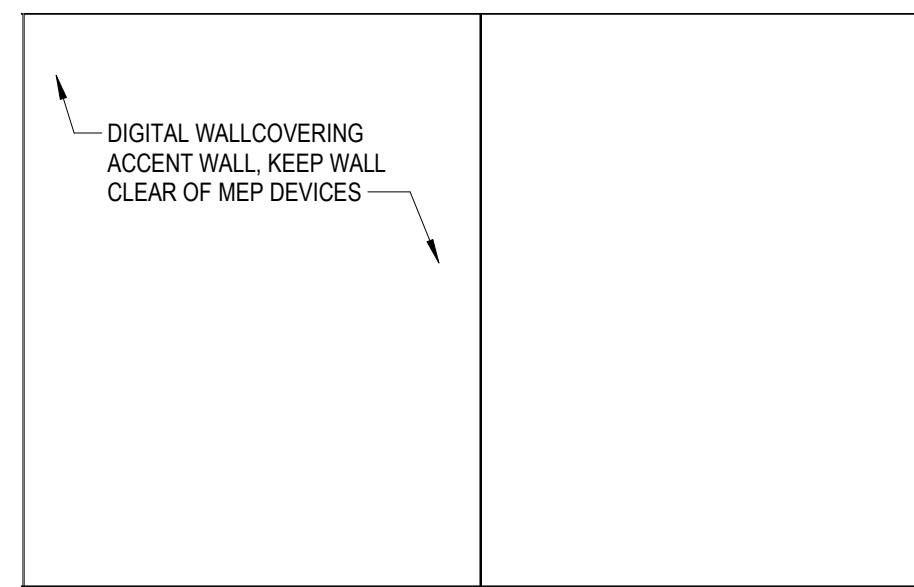
C

B

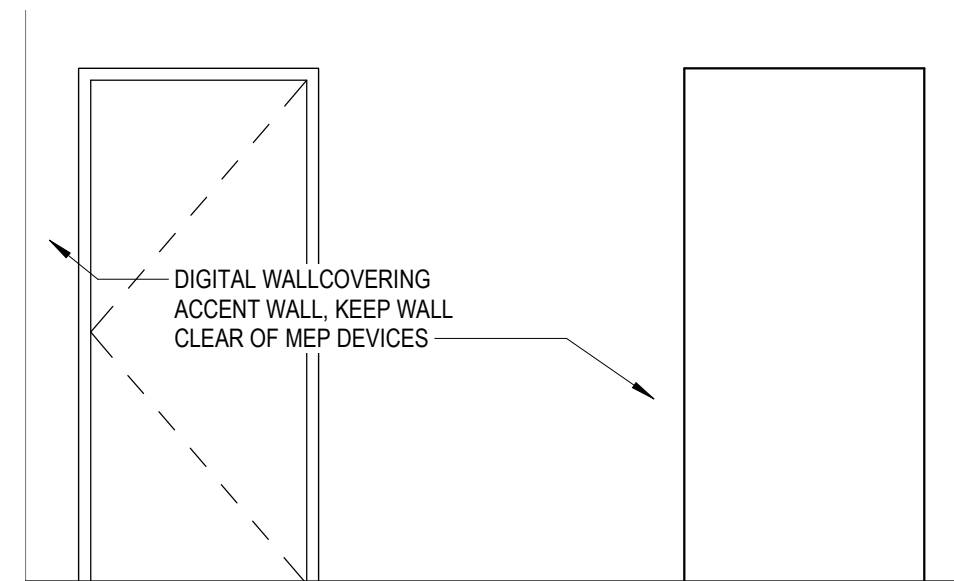
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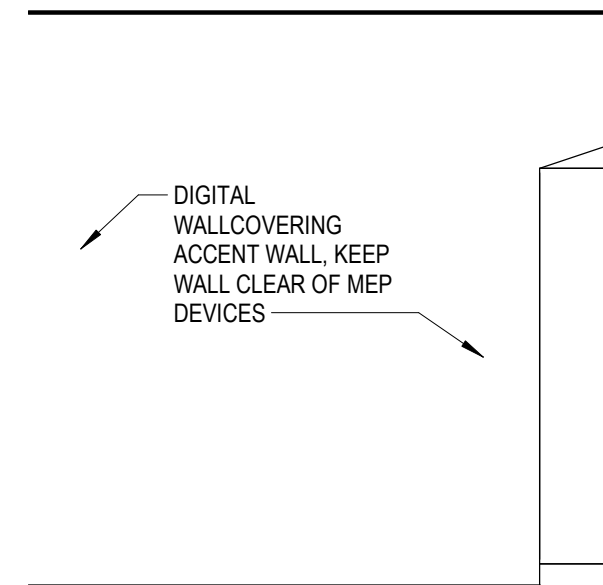
C5 CORRIDOR C400 - SOUTH
3/8" = 1'-0"



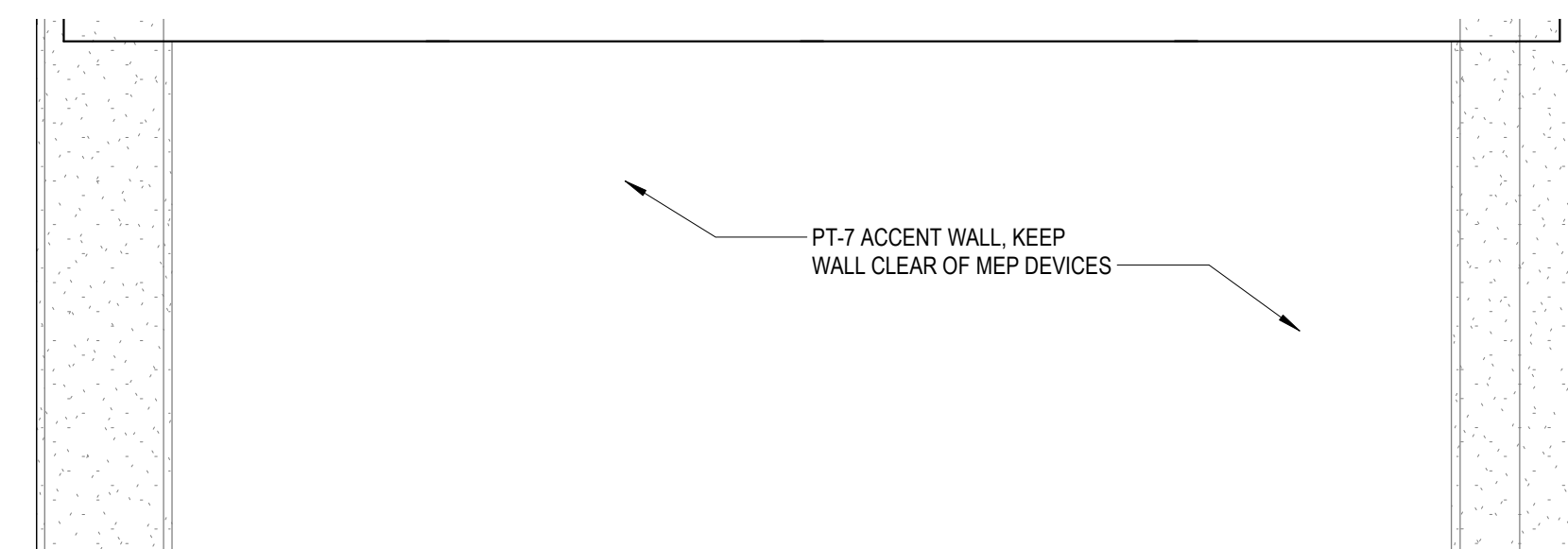
B1 CORRIDOR A400 - NORTH
3/8" = 1'-0"



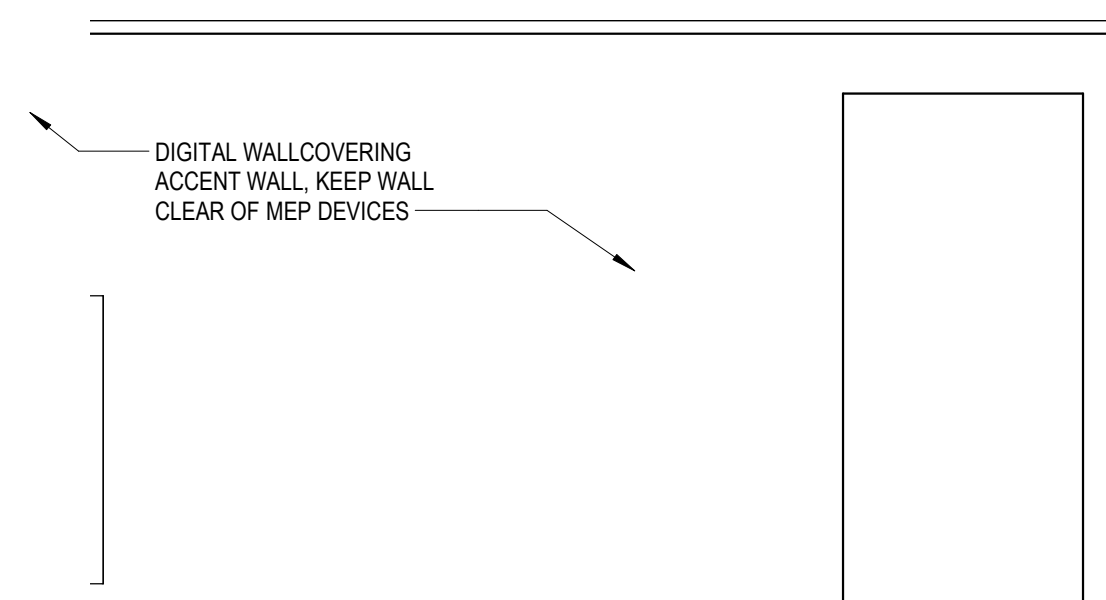
B2 CORRIDOR C300 - SOUTH
3/8" = 1'-0"



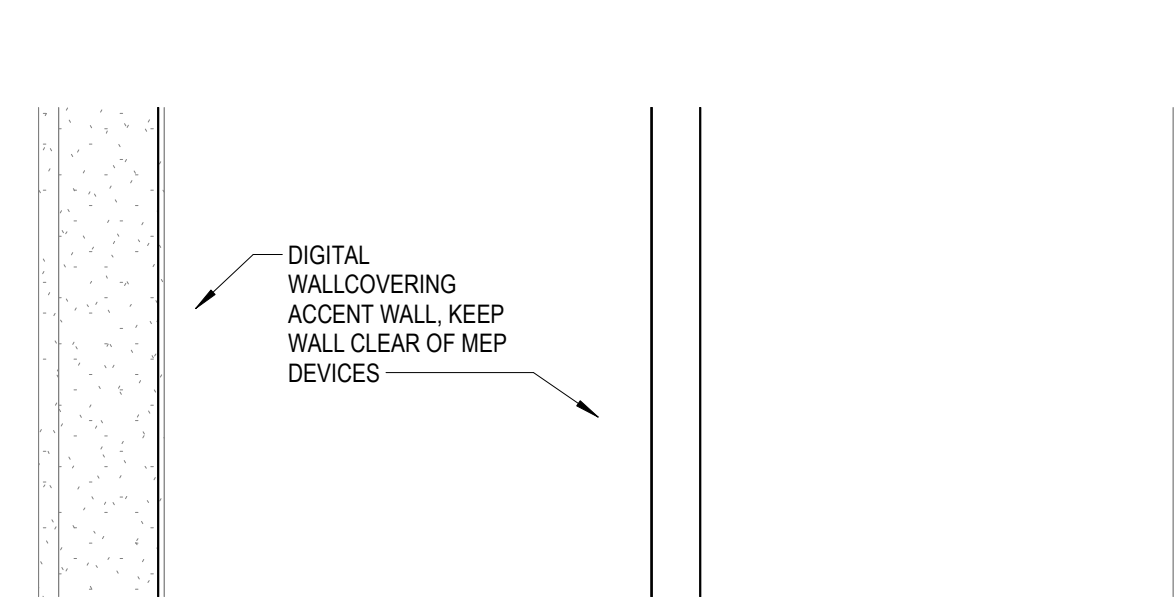
B4 CORRIDOR C300 - NORTH
3/8" = 1'-0"



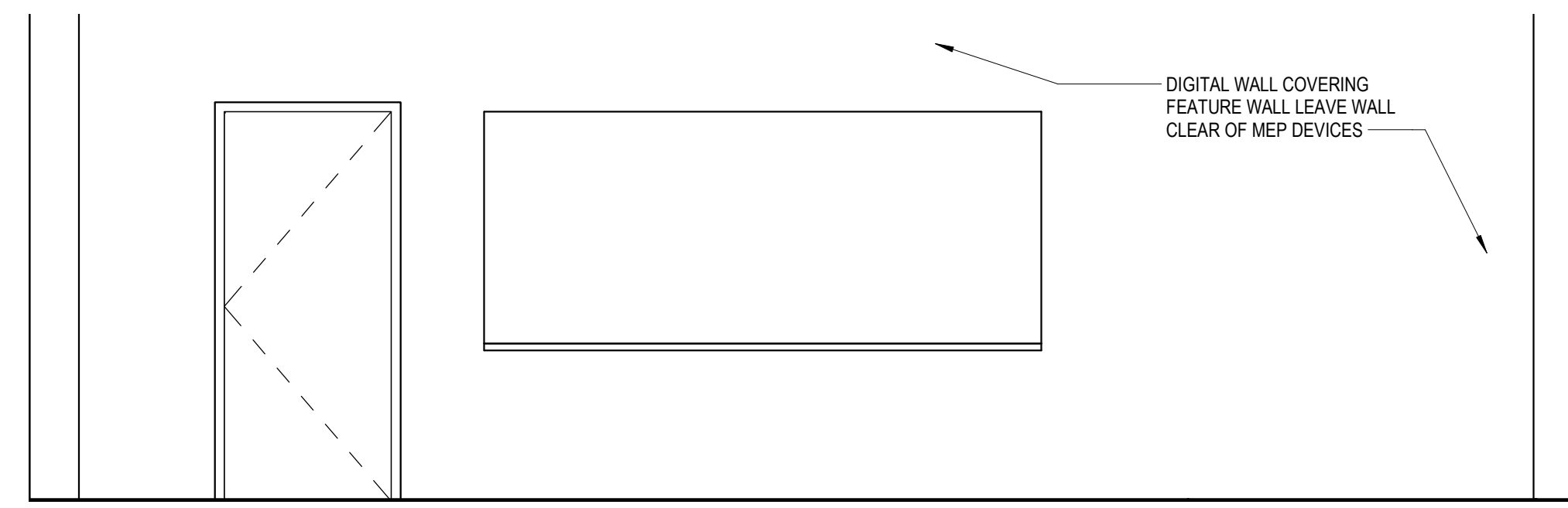
B5 ALCOVE C201
3/8" = 1'-0"



A2 CORRIDOR C200 - SOUTH
3/8" = 1'-0"



A3 CORRIDOR C200 - NORTH
3/8" = 1'-0"



A4 SERVERY
3/8" = 1'-0"

ACCESSORIES SCHEDULE

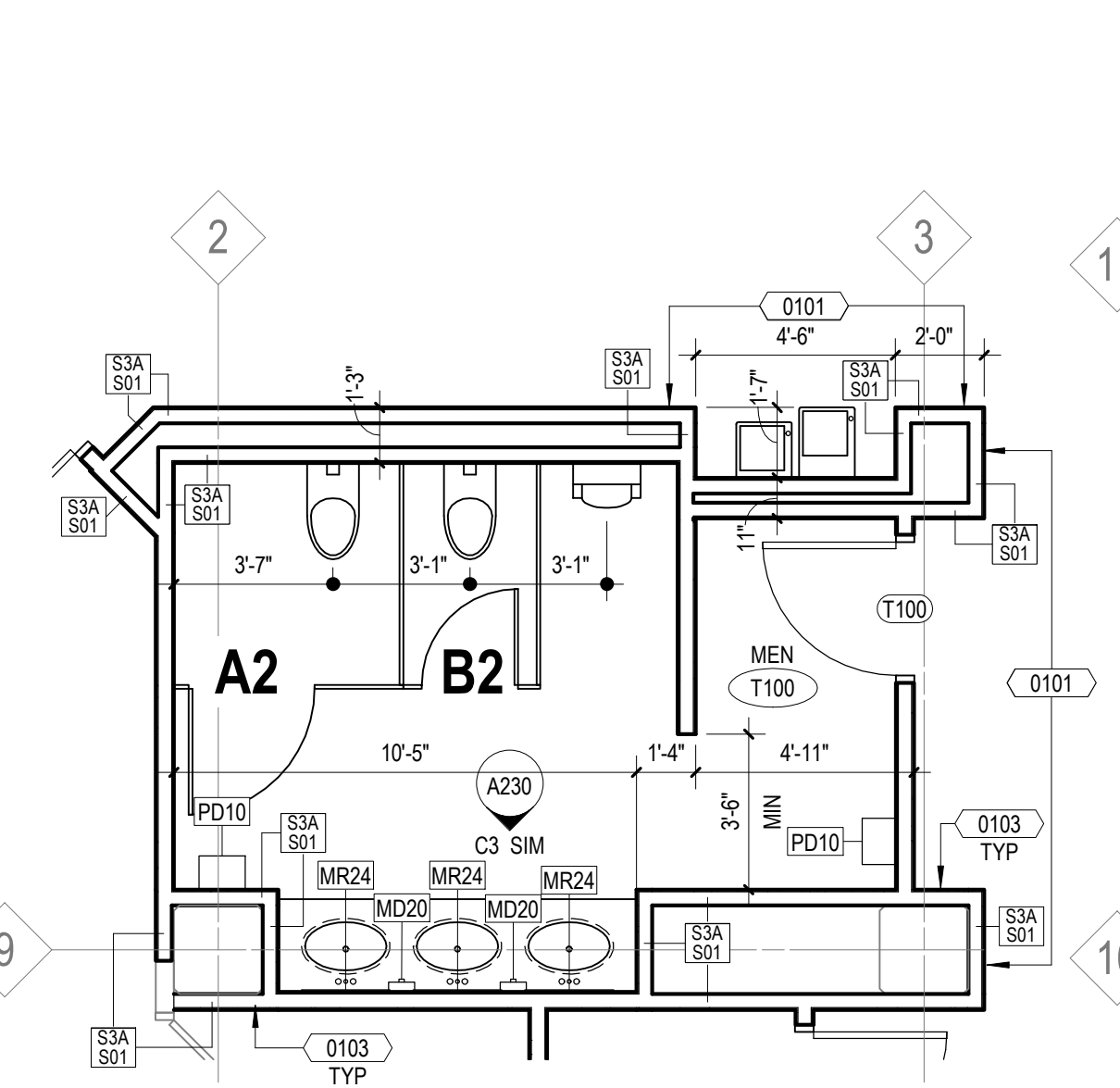
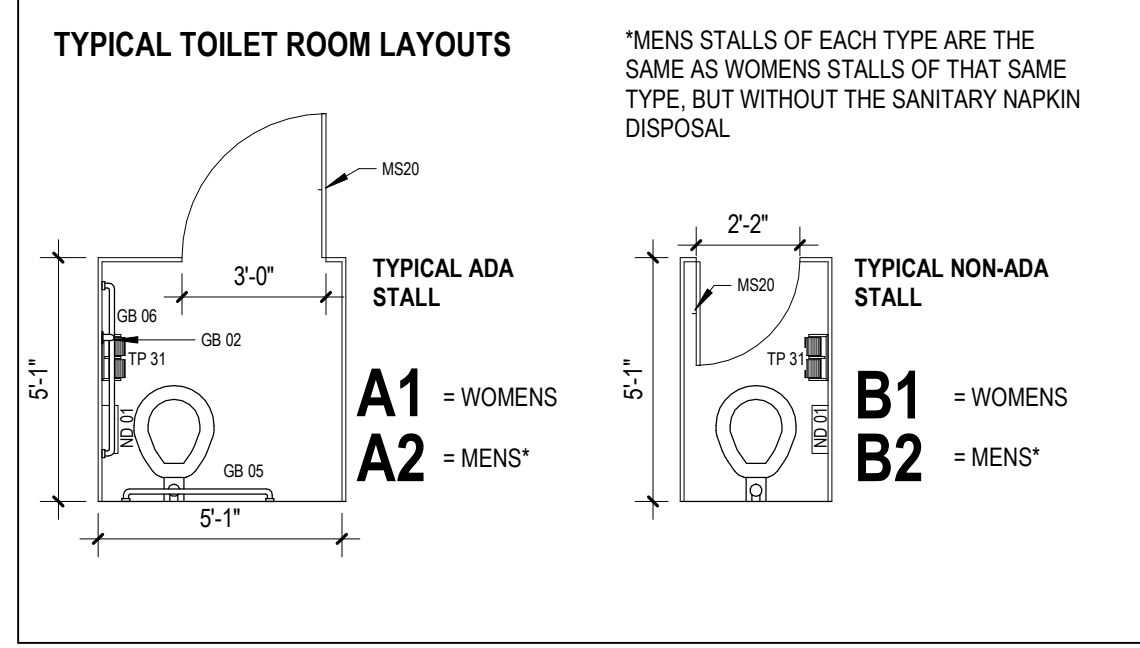
TAG	DESCRIPTION	SUPPLIED		INSTALLED	
		CONTRACTOR	OWNER	CONTRACTOR	OWNER
GB02	18" GRAB BAR STRAIGHT - VERTICAL	X		X	
GB03	24" GRAB BAR STRAIGHT	X		X	
GB05	36" GRAB BAR STRAIGHT	X		X	
GB06	42" GRAB BAR STRAIGHT	X		X	
MD20	SOAP DISPENSER SURFACE		X	X	
MR24	MIRROR WITH FRAME	X	X	X	
MS20	CLOTHES HOOK SURFACE MOUNT	X		X	
ND01	SURFACE MOUNT NAPKIN DISPOSAL	X		X	
PD10	ROLL PAPER TOWEL DISPENSER		X	X	
TP31	JUMBO DOUBLE ROLL TOILET PAPER DISPENSER		X	X	

SHEET NOTES - ENLARGED PLANS

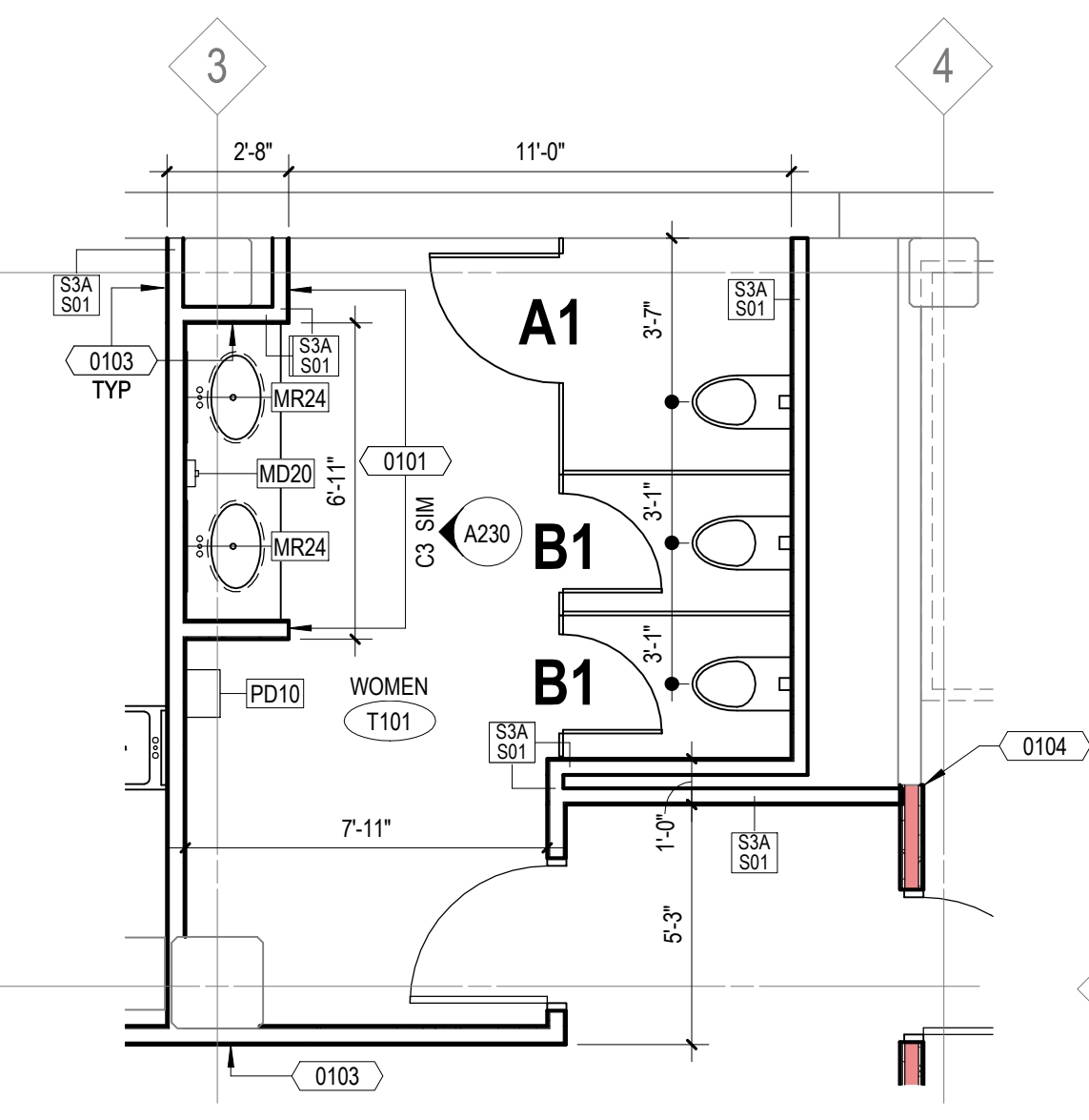
- PRIOR TO BEGINNING WORK, NOTIFY ARCHITECT IF DISCREPANCIES ARE DISCOVERED BETWEEN THE PROPOSED SCOPE OF WORK AND EXISTING CONDITIONS.
- REFER TO SHEET A000 FOR REFERENCED PARTITION TYPES. WALLS NOT TAGGED ON THESE PLANS SHALL BE PARTITION TYPE S3A-S11.
- UNLESS NOTED OTHERWISE, ALL WALLS DIRECTLY BEHIND OR ADJACENT TO PLUMBING FIXTURES SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD.
- UNLESS NOTED OTHERWISE, ALL DIMENSION STRINGS ARE TO FINISH FACE OF WALL.
- WHERE NOT INDICATED ON THE PLAN, REFER TO SHEET A000 FOR REQUIRED ACCESSIBILITY CLEARANCES AT DOOR, OPENINGS AND AROUND FIXTURES AND ACCESSORIES.
- PROVIDE BLOCKING IN WALLS AS REQUIRED FOR NEW MILLWORK, CASEWORK, DOOR BUMPERS, ACCESSORIES, EQUIPMENT, FIXTURES, AND OWNERS WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO, TELEVISIONS/MONITORS, MARKER BOARDS, TACK BOARDS AND SIGNAGE. OPEN EXISTING WALLS AS NEEDED TO INSTALL CONCEALED BLOCKING WHERE REQUIRED, AND PATCH WALLS TO MATCH EXISTING CONSTRUCTION. COORDINATE WITH OWNER ON LOCATIONS OF WALL-MOUNTED EQUIPMENT.
- COUNTERS IN RESTROOMS ARE SS-1 UNLESS NOTED OTHERWISE.
- REPAIR AND PREP RESTROOM FLOORS TO RECEIVE NEW FINISHES.

KEYNOTES PER SHEET

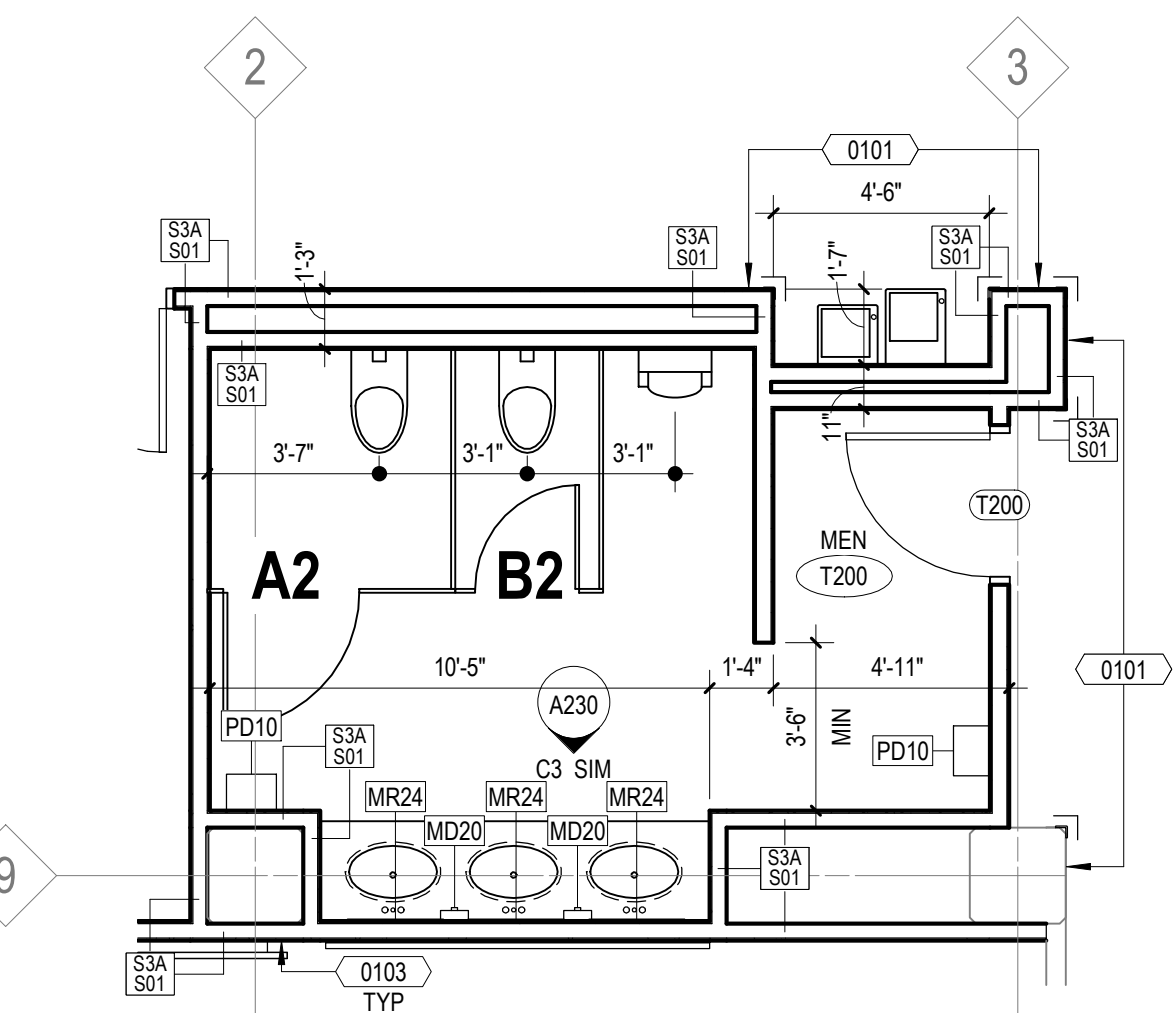
0101	ALIGN
0103	LOCATE STUD TIGHT TO COLUMN FACE
0104	ALIGN WITH EXISTING WALL FACE
0105	ALIGN WITH EXISTING COLUMN
0106	LOCATE STUD TIGHT TO WALL FACE



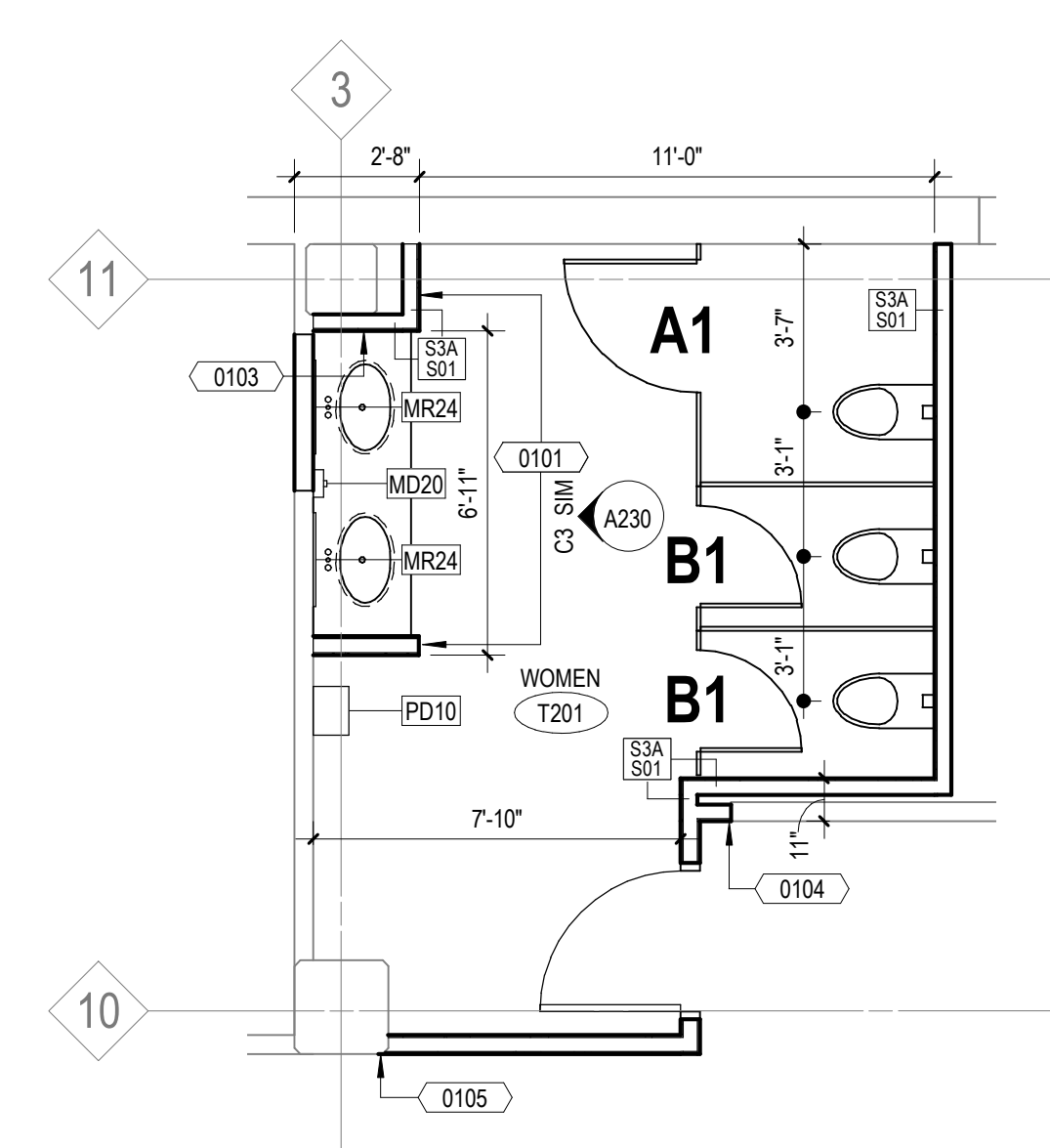
B2 T100 ENLARGED PLAN
1/4" = 1'-0"



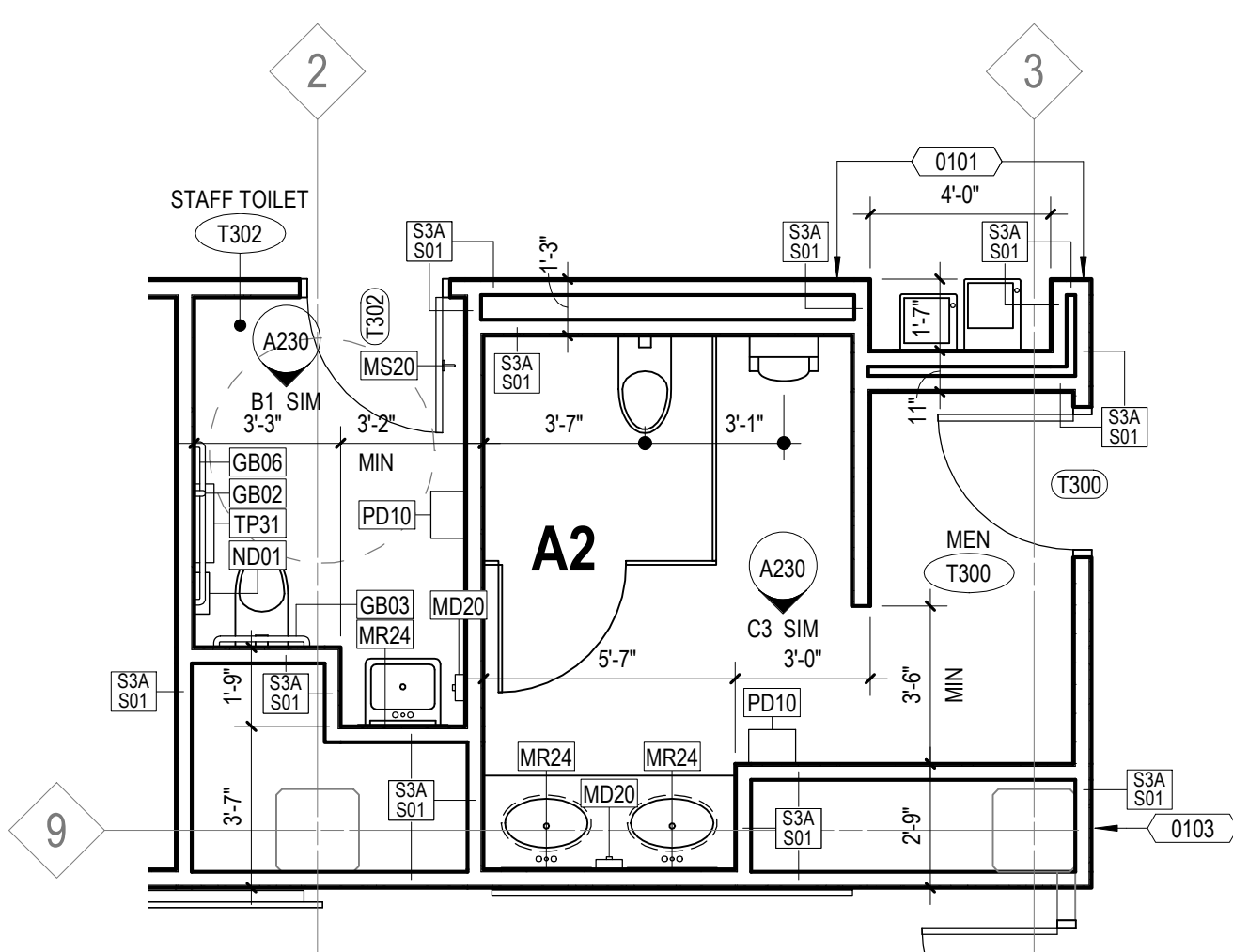
B3 T101 ENLARGED PLAN
1/4" = 1'-0"



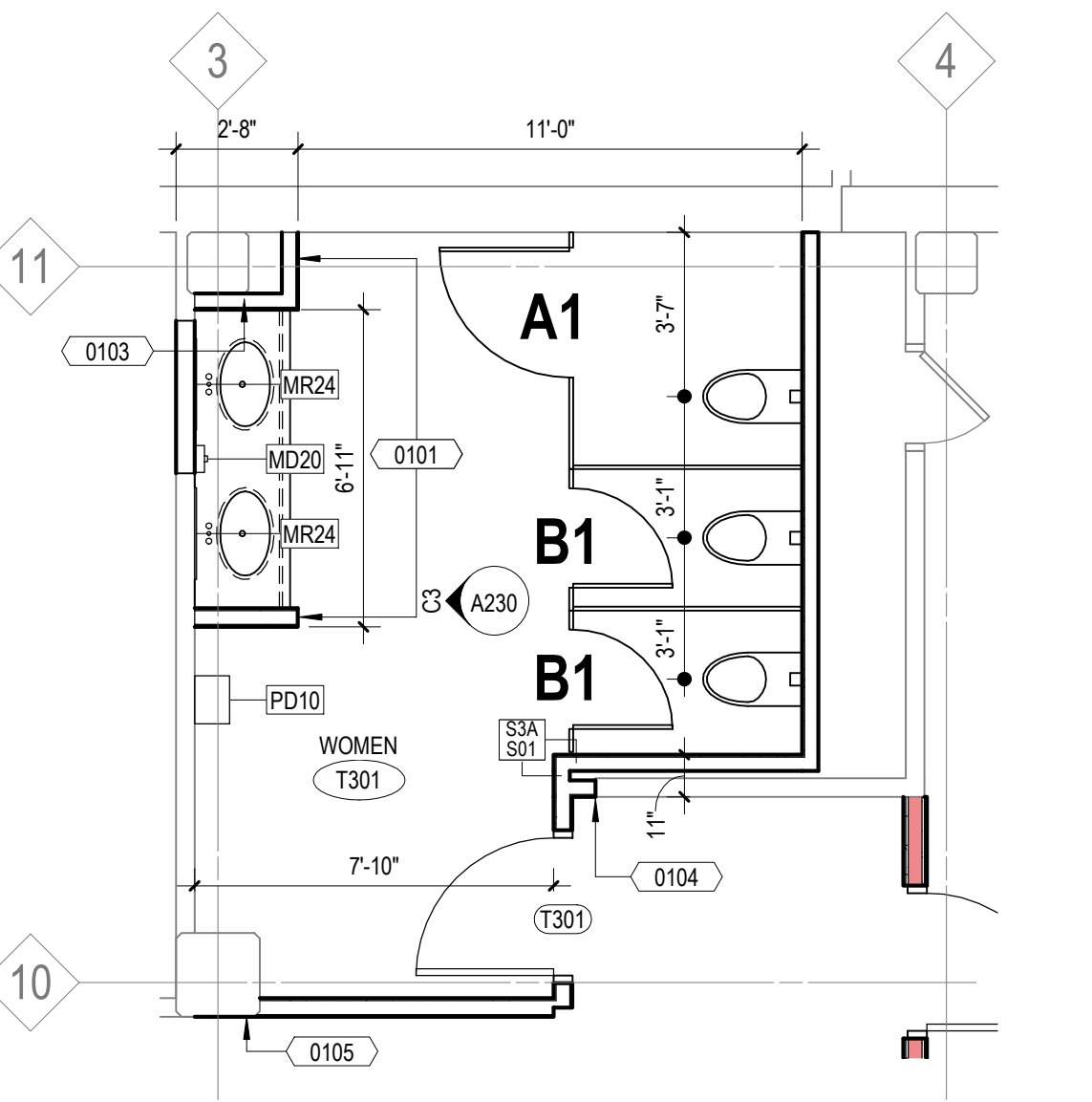
B4 T200 ENLARGED PLAN
1/4" = 1'-0"



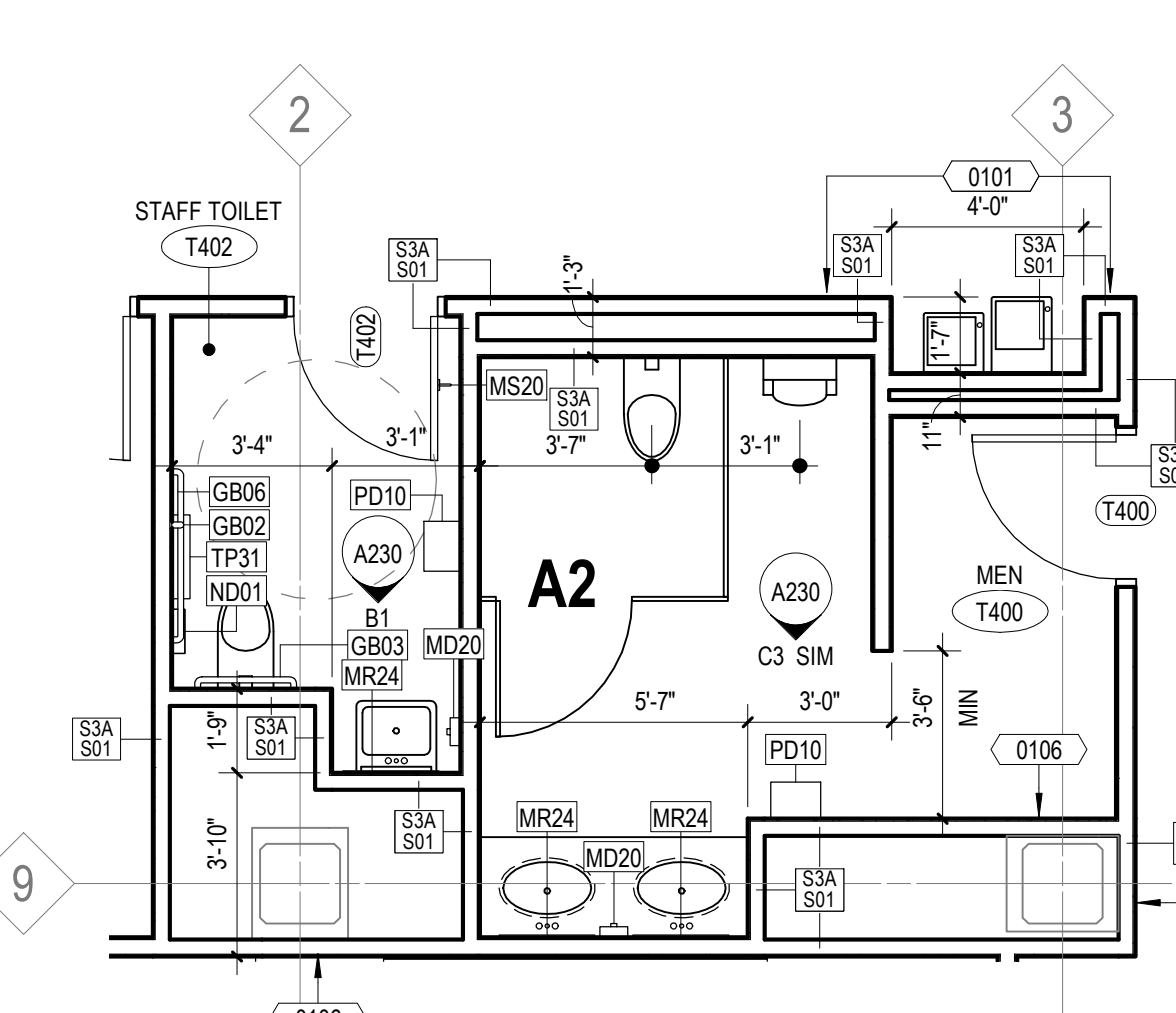
B6 T201 ENLARGED PLAN
1/4" = 1'-0"



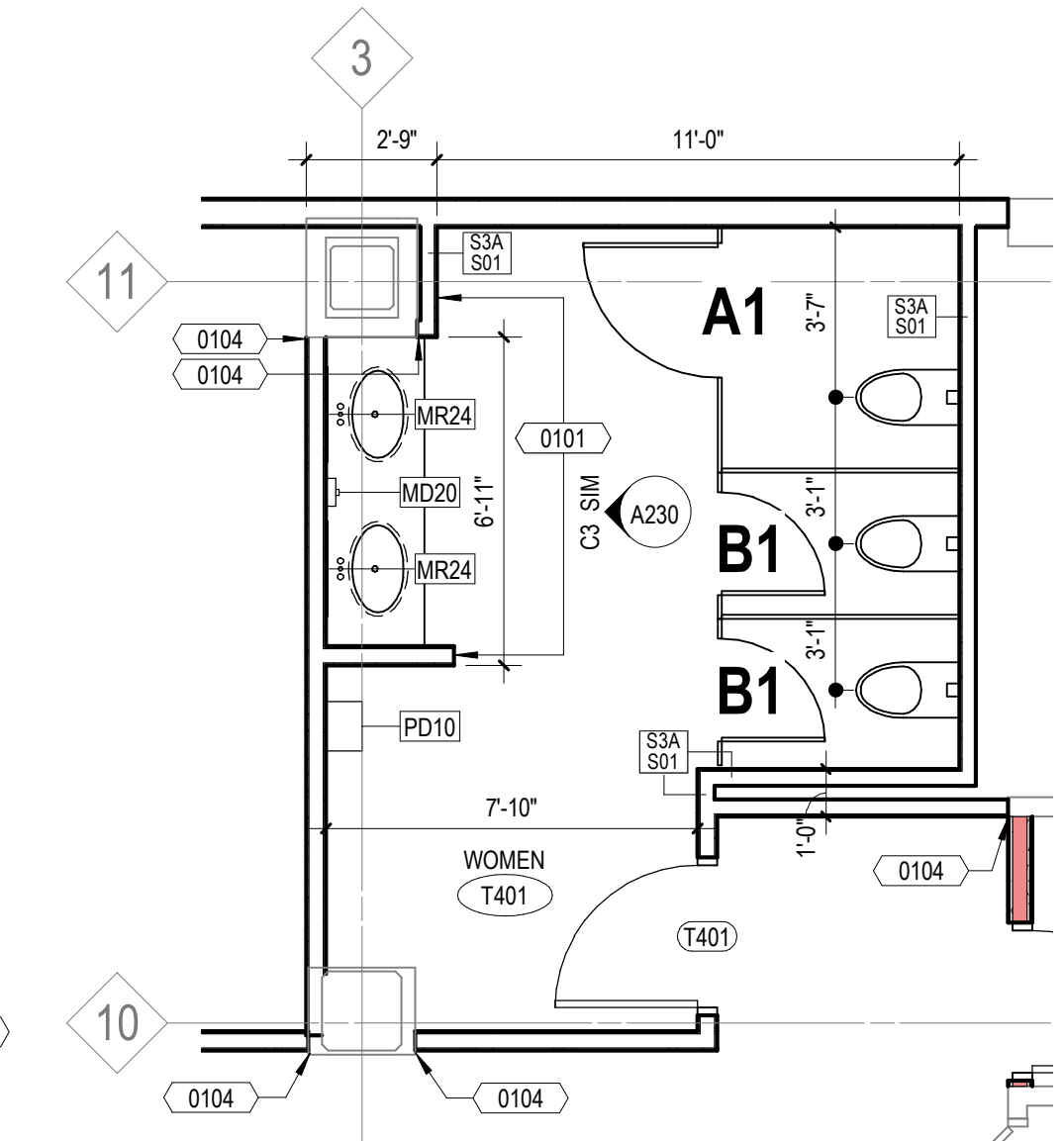
A2 T300 ENLARGED PLAN
1/4" = 1'-0"



A3 T301 ENLARGED PLAN
1/4" = 1'-0"



A4 T400 ENLARGED PLAN
1/4" = 1'-0"



A6 T401 ENLARGED PLAN
1/4" = 1'-0"



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denver 1899 Wynkoop Street, Suite 300
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303.595.4500

PROJECT INFORMATION

SEEDS OF HEALTH - HIGH SCHOOL

c 918 VEL R. PHILLIPS AVE
MILWAUKEE, WI 53203

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12/17/2020	CONSTRUCTION DOCUMENTS

SHEET INFORMATION

PROJECT MANAGER **TW**

PROJECT NUMBER **319396-01**

ENLARGED FLOOR PLANS

A400

PROJECT INFORMATION

SEEDS OF HEALTH - HIGH SCHOOL

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 MILWAUKEE, WI
 53203

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12/17/2020	CONSTRUCTION DOCUMENTS

SHEET INFORMATION

PROJECT MANAGER TW
 PROJECT NUMBER 319396-01

ENLARGED PLANS

A401

D

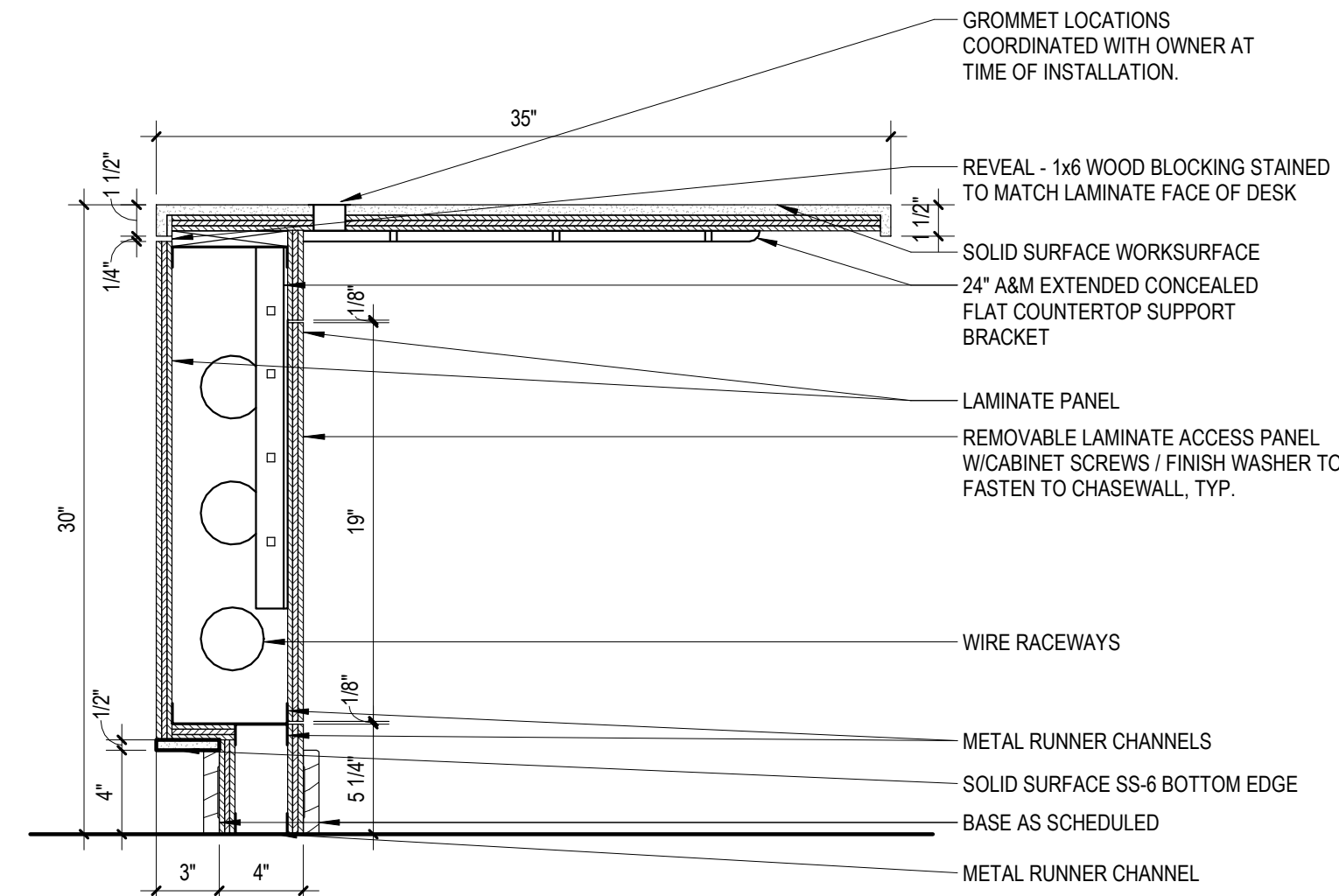
C

B

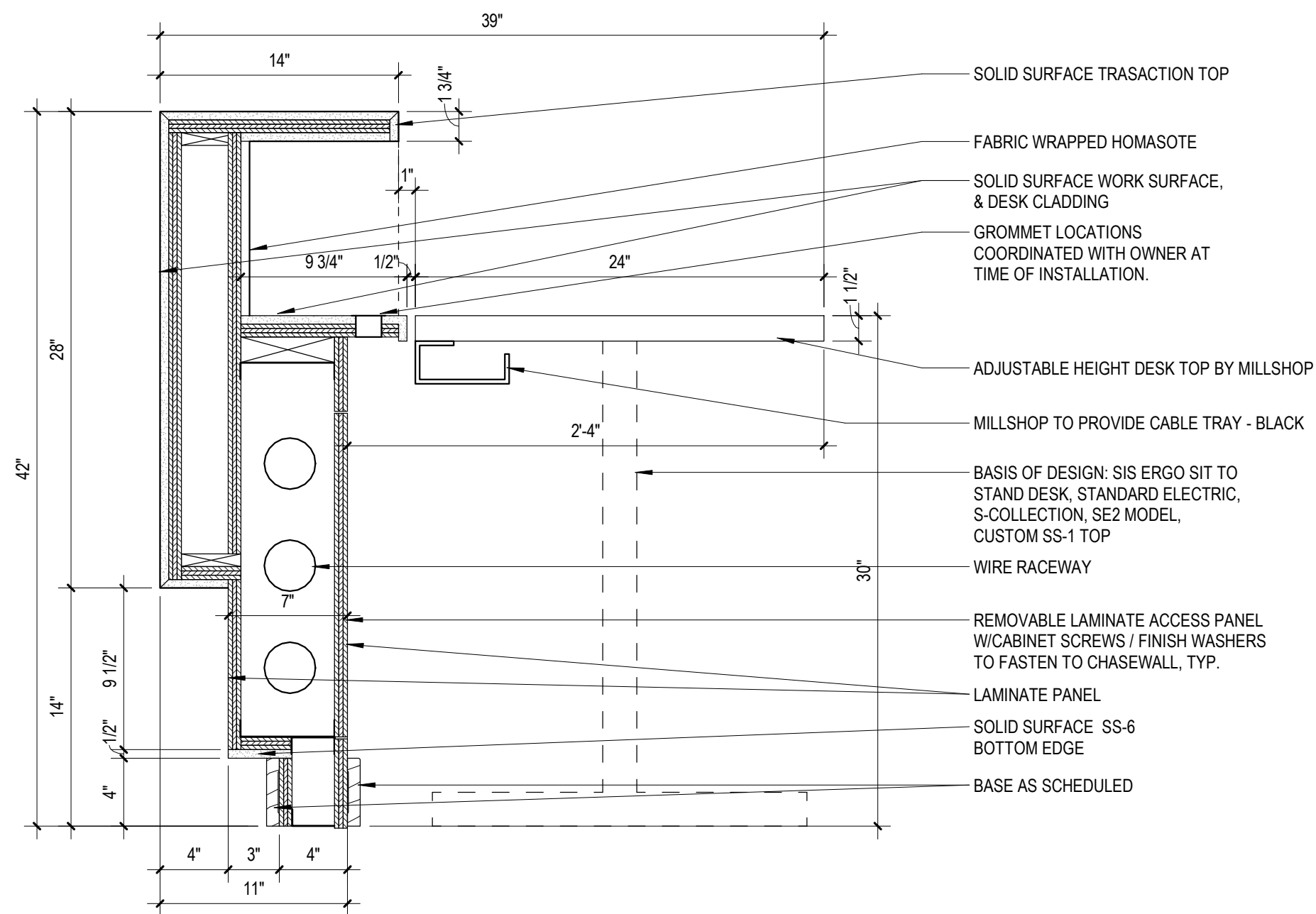
A

B

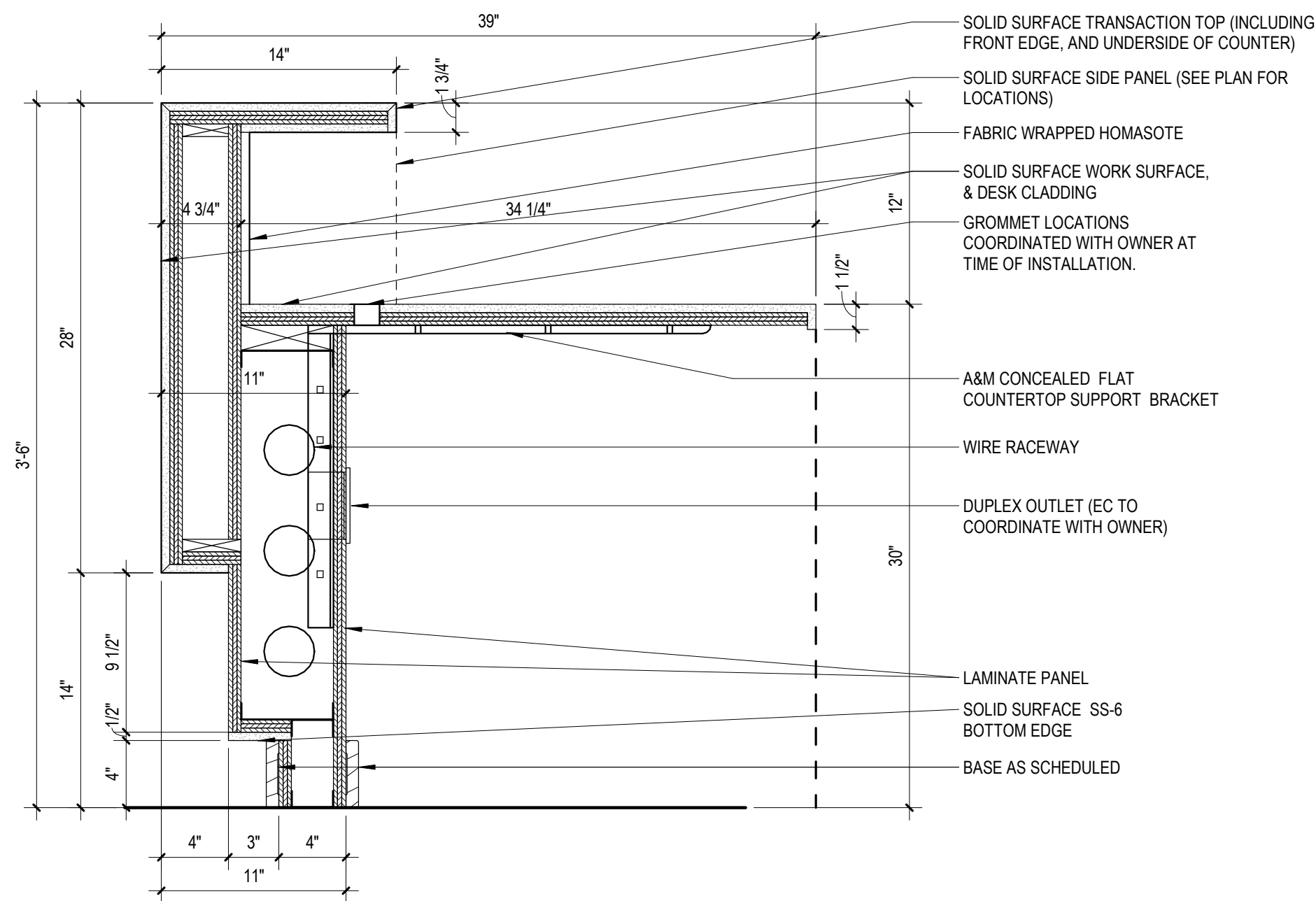
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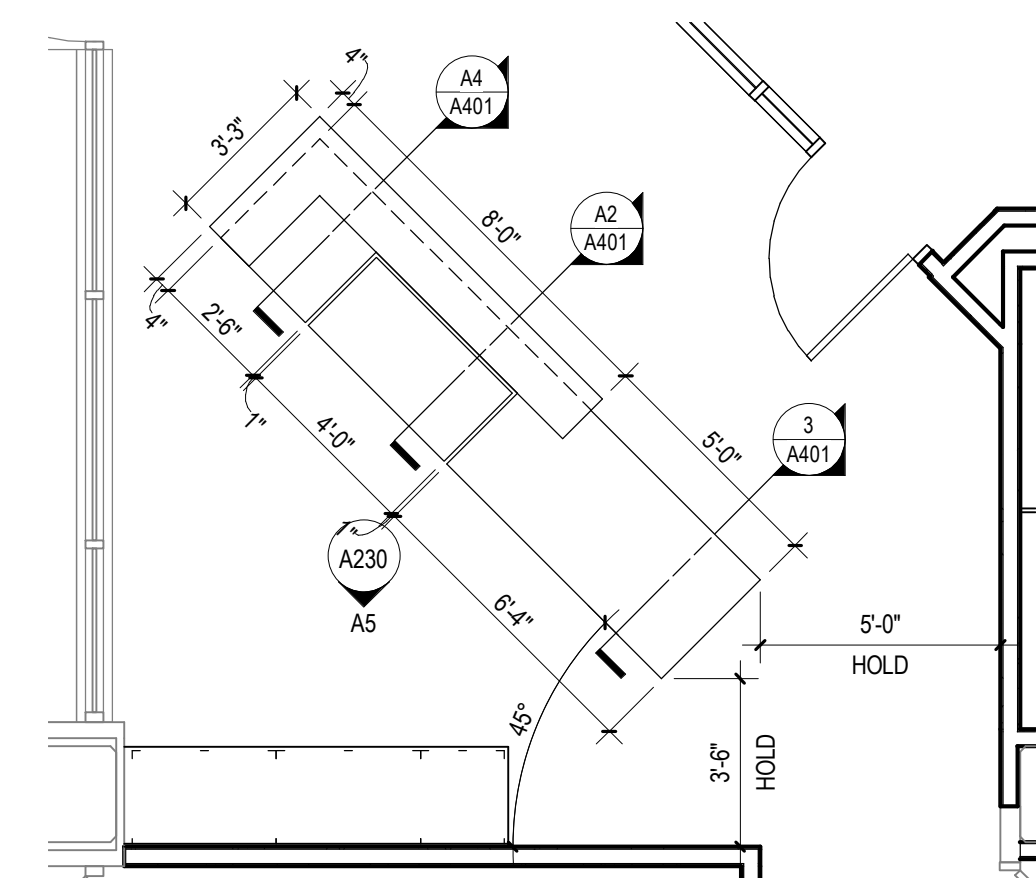
3 RECEPTION DESK - COUNTER SECTION
1 1/2" = 1'-0"



A2 RECEPTION DESK - TRANSACTION COUNTER SECTION + SIT STAND DESK
1 1/2" = 1'-0"



A4 RECEPTION DESK - TRANSACTION COUNTER SECTION + WORK COUNTER
1 1/2" = 1'-0"



A6 RECEPTION DESK PLAN
1/4" = 1'-0"



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DATE	DESCRIPTION
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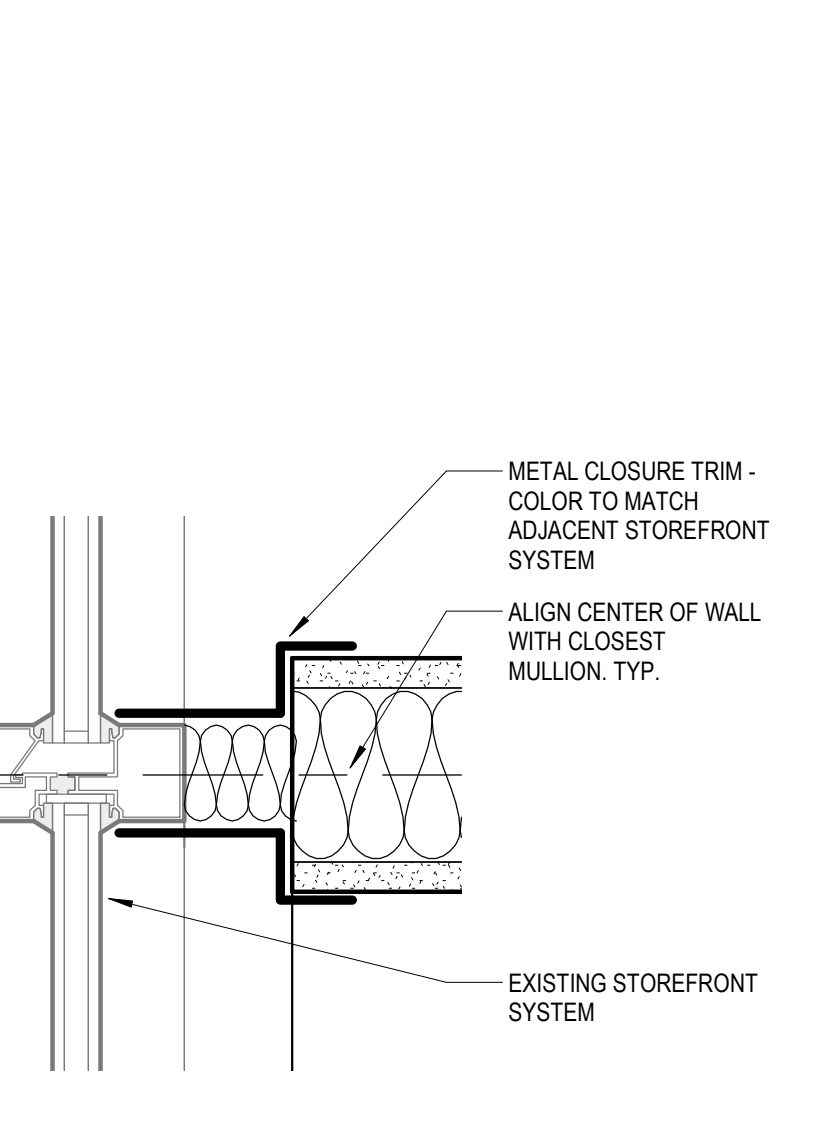
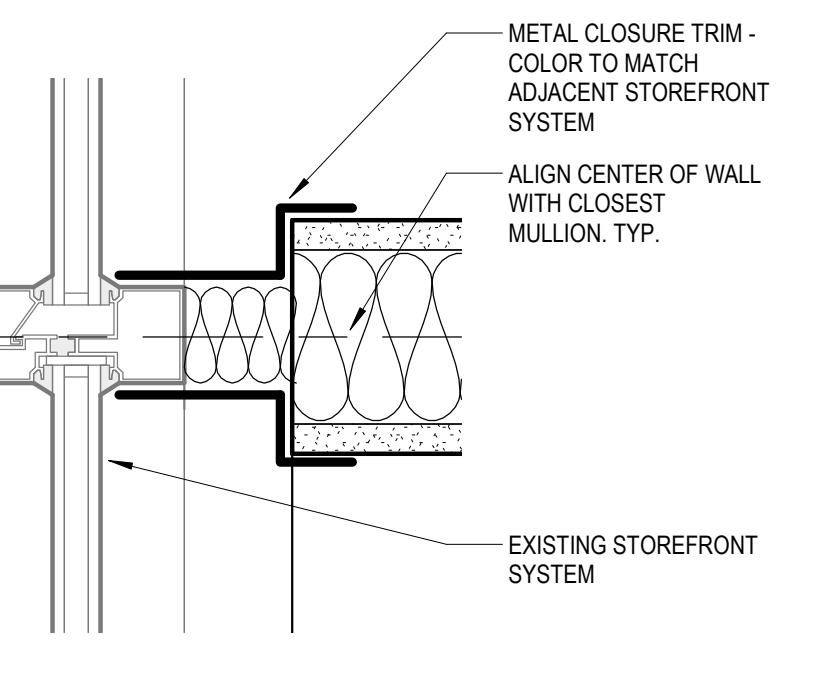
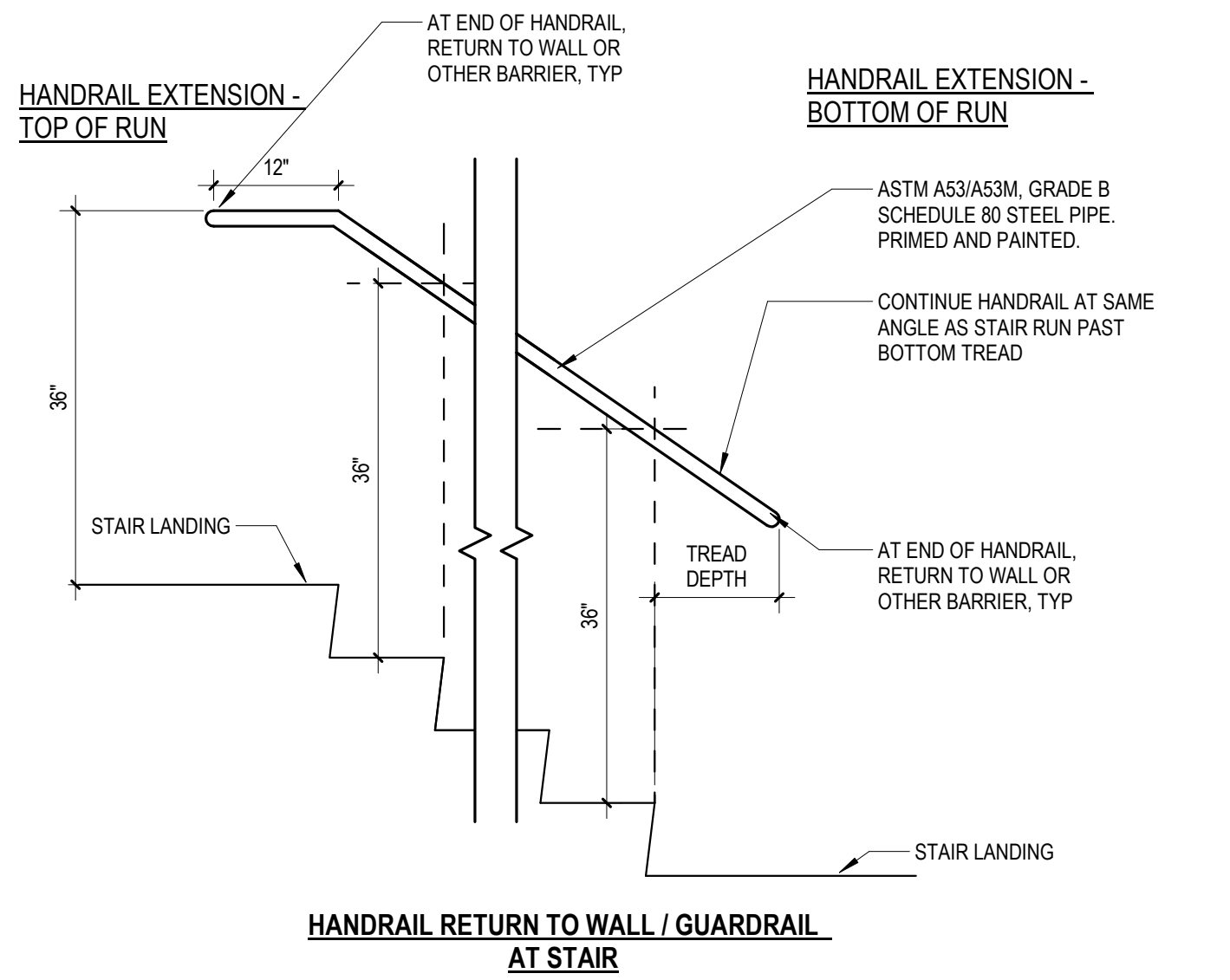
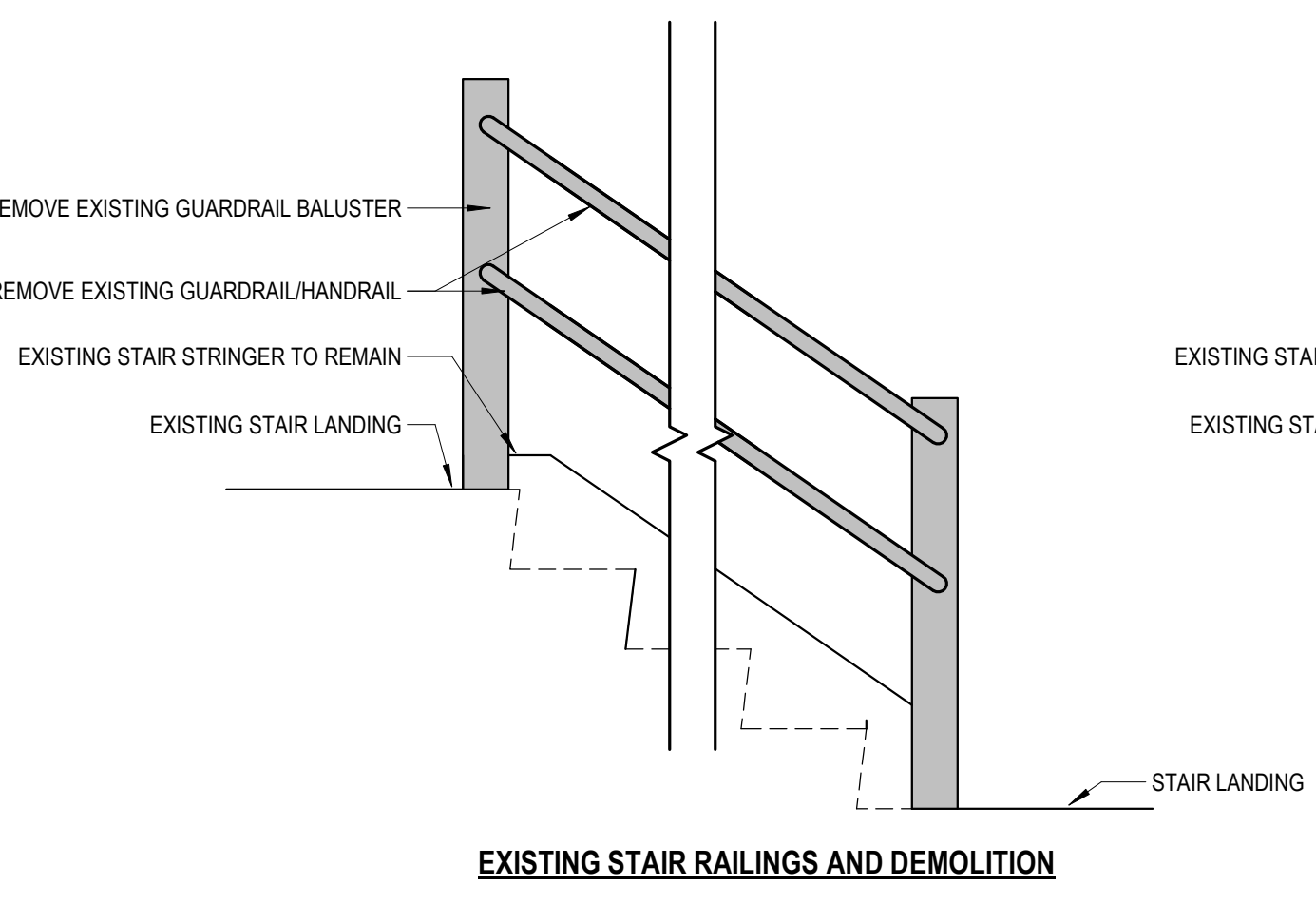
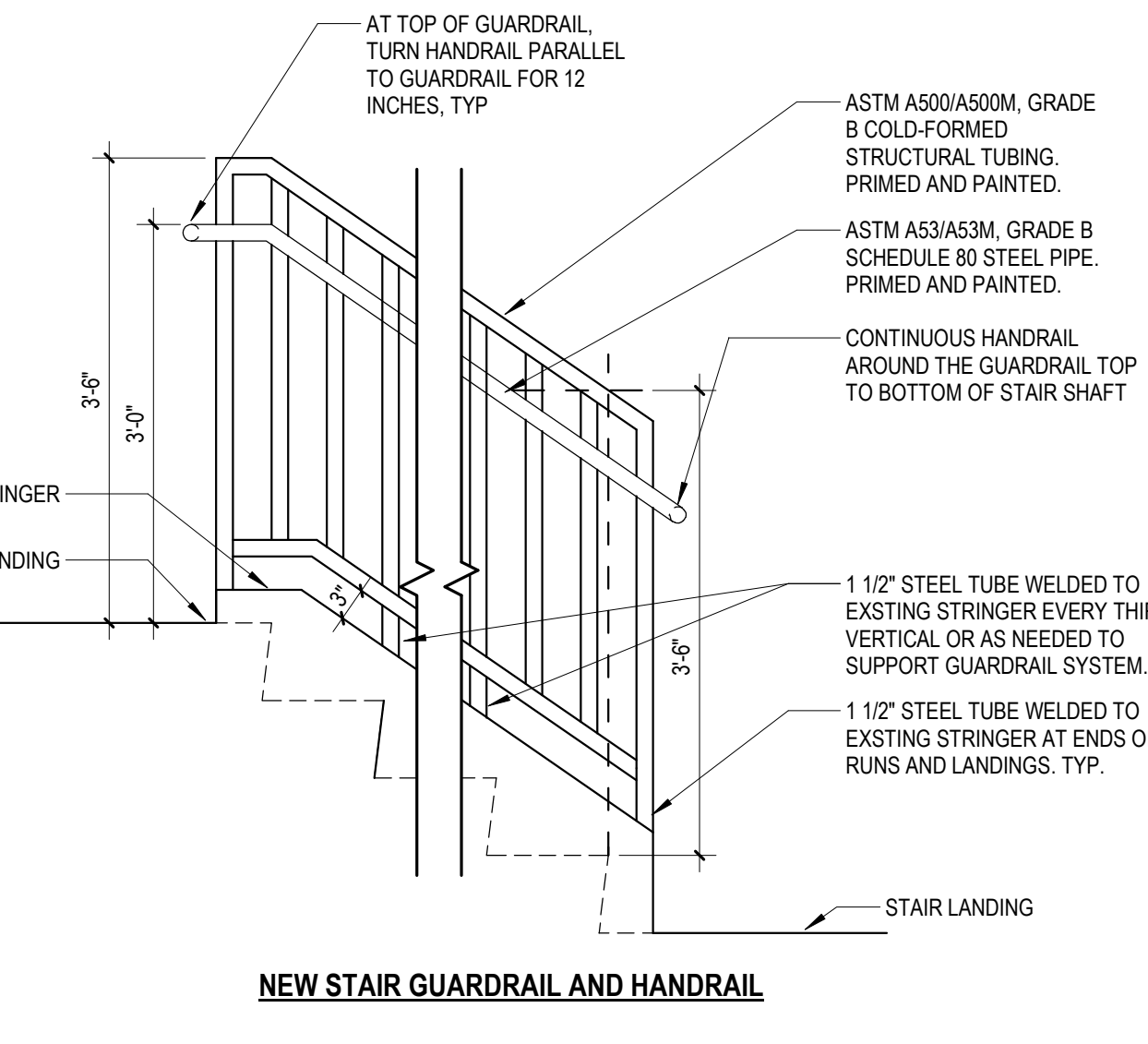
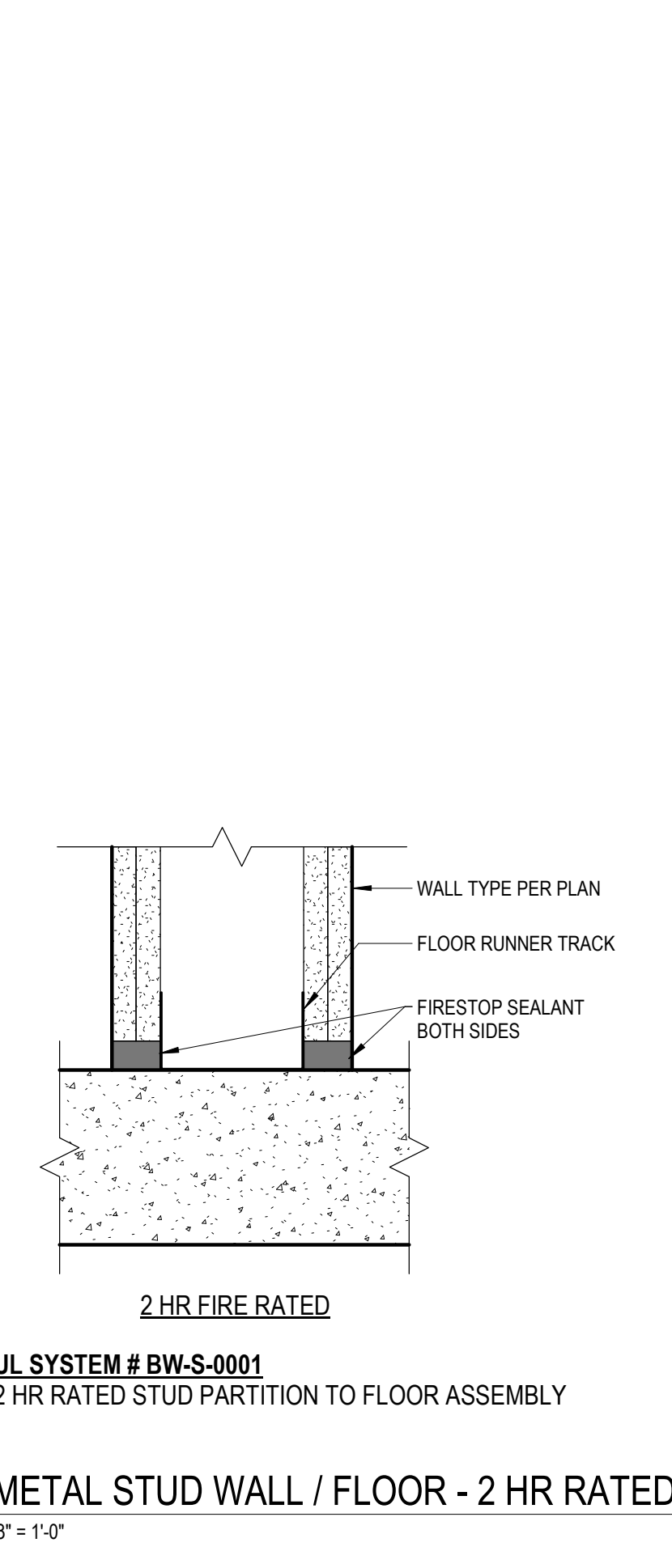
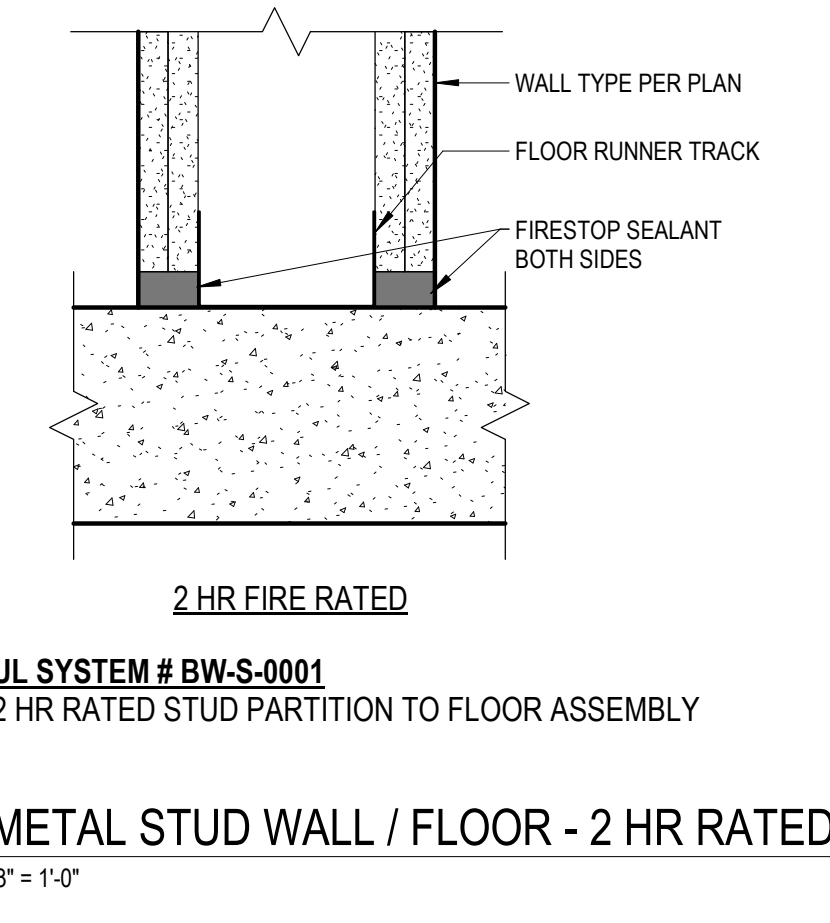
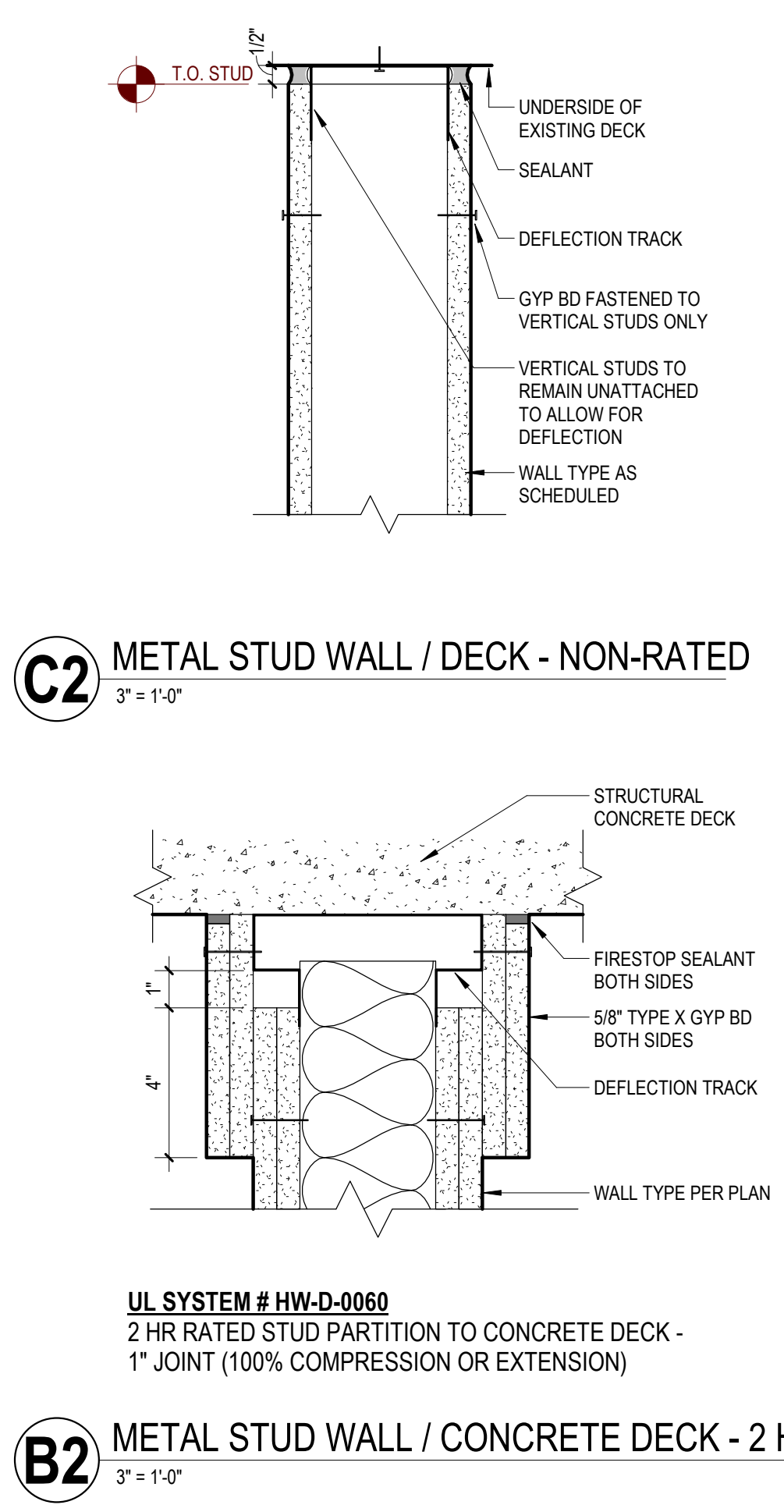
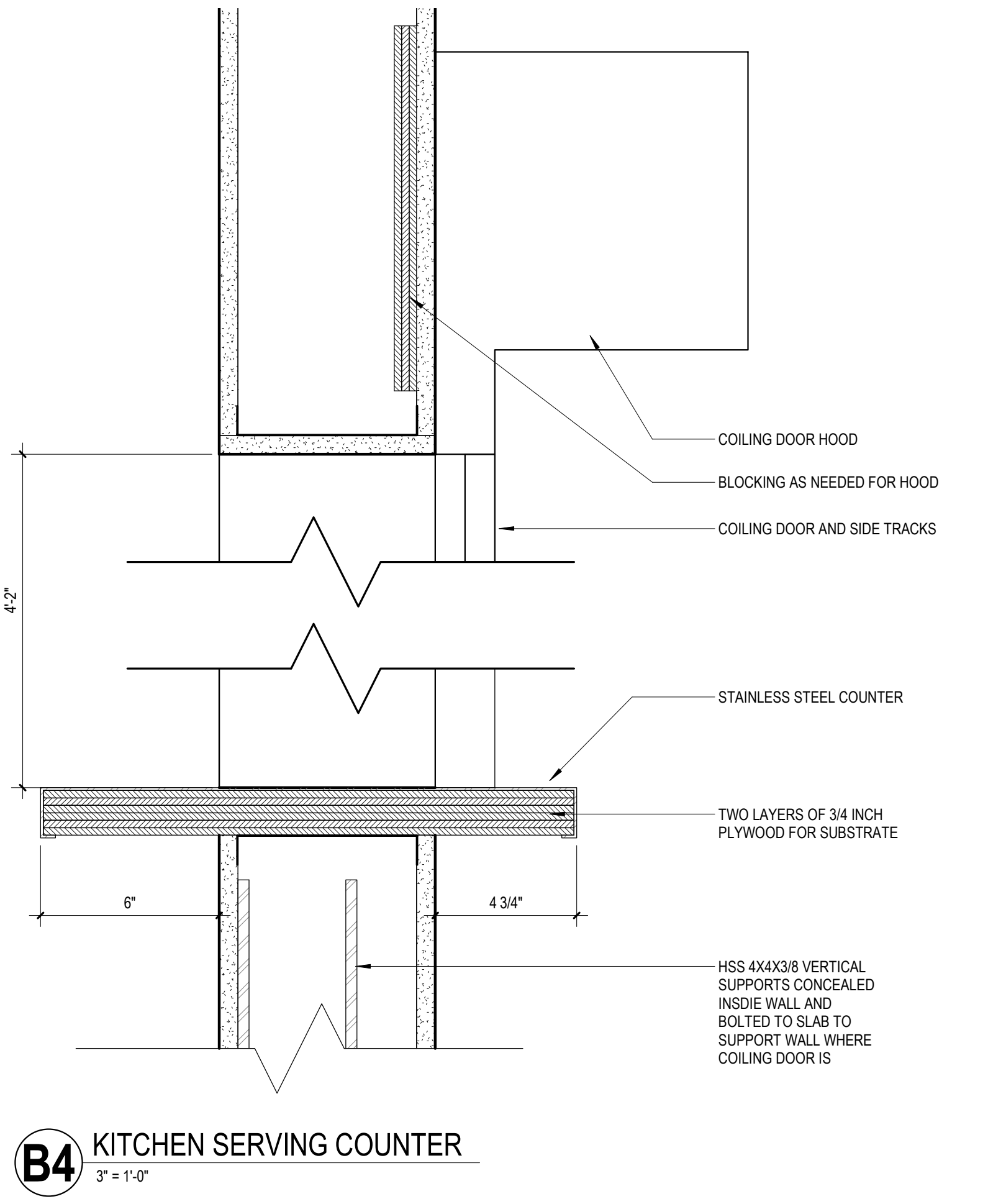
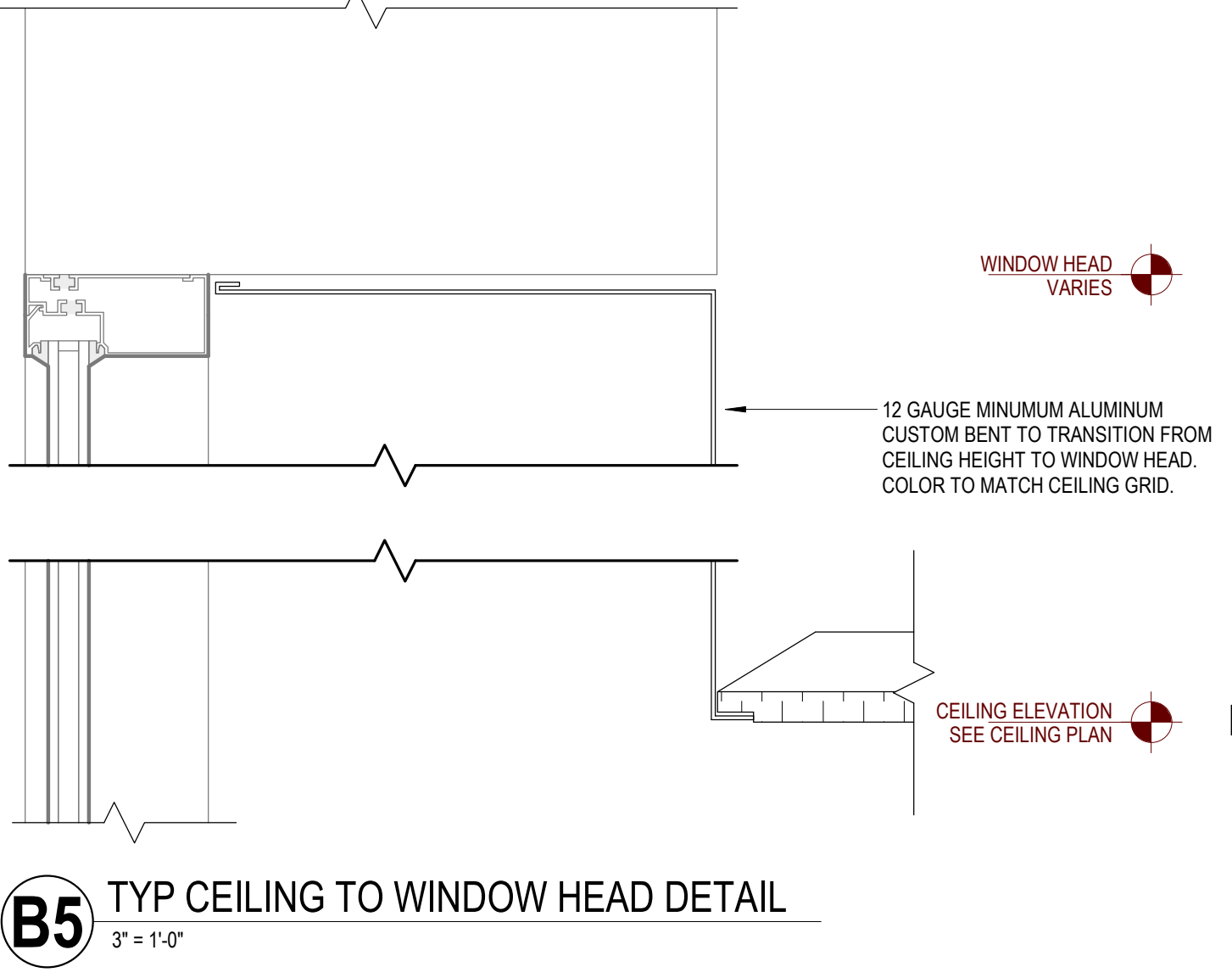
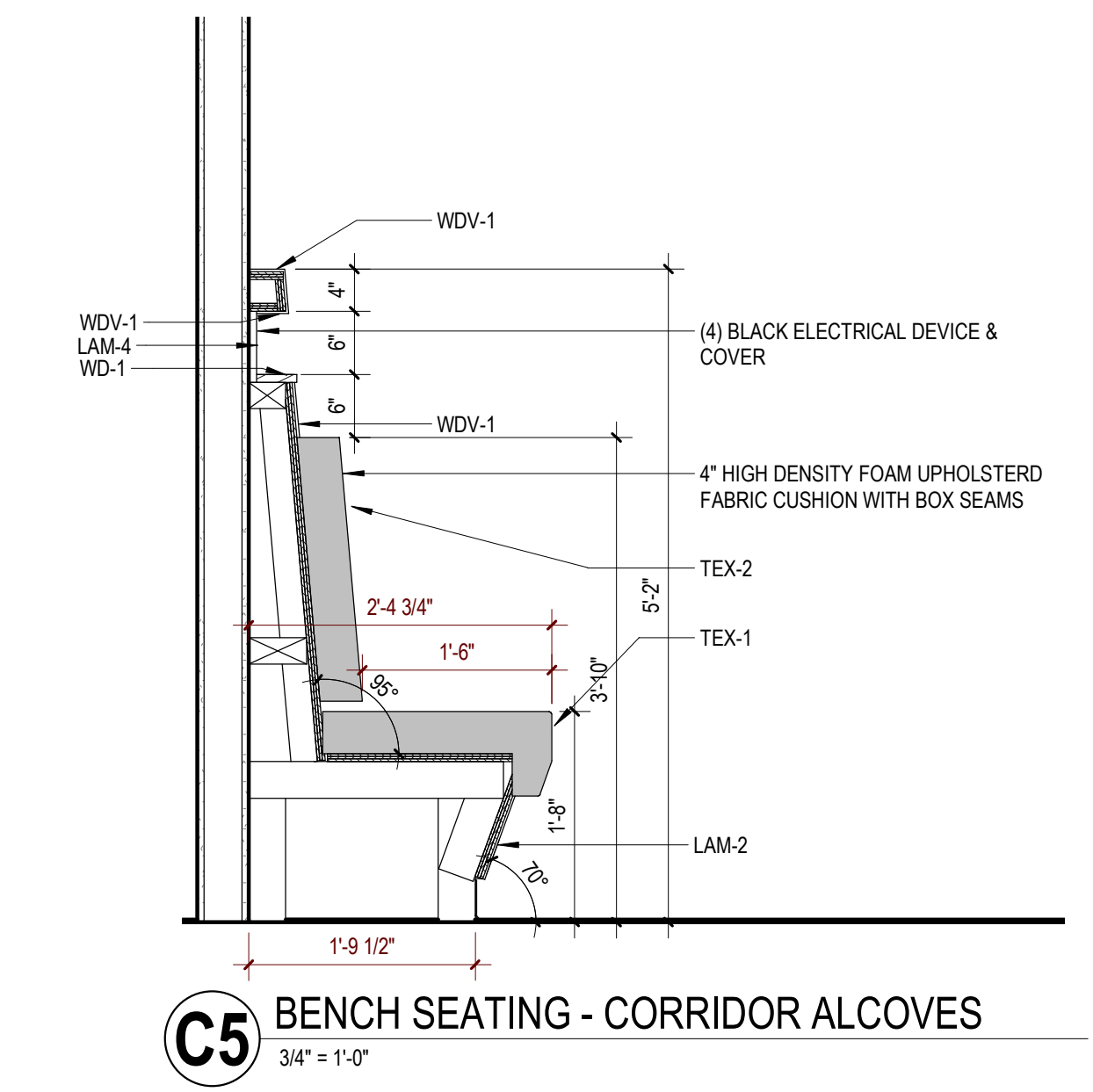
SHEET INFORMATION

PROJECT MANAGER TW

PROJECT NUMBER 319396-01

PROJECT DETAILS

A500



A1 TYP WALL TO MULLION
3/4" = 1'-0"

A2 STAIR HANDRAIL
3/4" = 1'-0"

A4 STAIR GUARDRAIL
3/4" = 1'-0"

EXISTING DOOR AND FRAME SCHEDULE

Table with columns for NUMBER, LEAF QTY, SIZE (WIDTH, HGT), DOOR (TYPE, MAT, FIN, GL), SIDELITE & TRANSOM (SIZE, SL, SL SILL, TRNS HGT, GL), FRAME (TYPE, MAT, FIN, HDWE TAG, RATING), REMARKS, and NUMBER.

NEW DOOR AND FRAME SCHEDULE

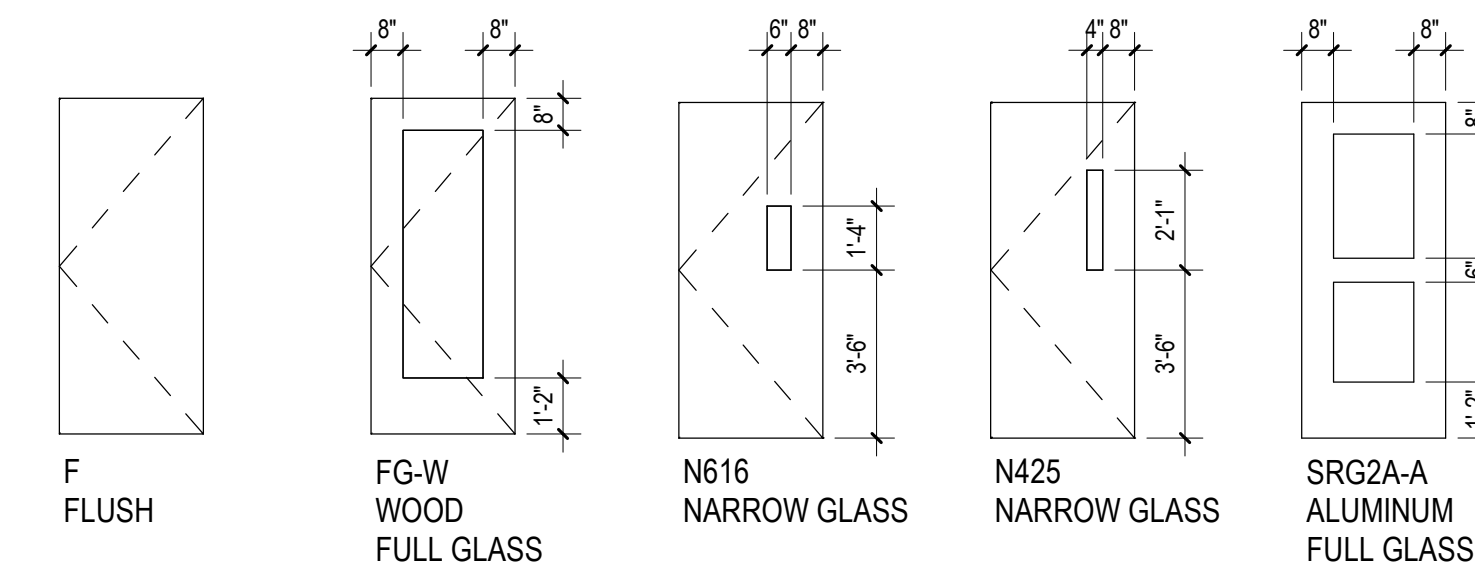
Table with columns for NUMBER, LEAF QTY, SIZE (WIDTH, HGT), DOOR (TYPE, MAT, FIN, GL), SIDELITE & TRANSOM (SIZE, SL, SL SILL, TRNS HGT, GL), FRAME (TYPE, MAT, FIN, HEAD, JAMB, SILL), HDWE TAG, RATING, REMARKS, and NUMBER.

DOOR AND FRAME SCHEDULE GENERAL NOTES AND REMARKS

Table containing GENERAL NOTES (A, B), REMARKS (1), and HARDWARE (1, 2, 3).

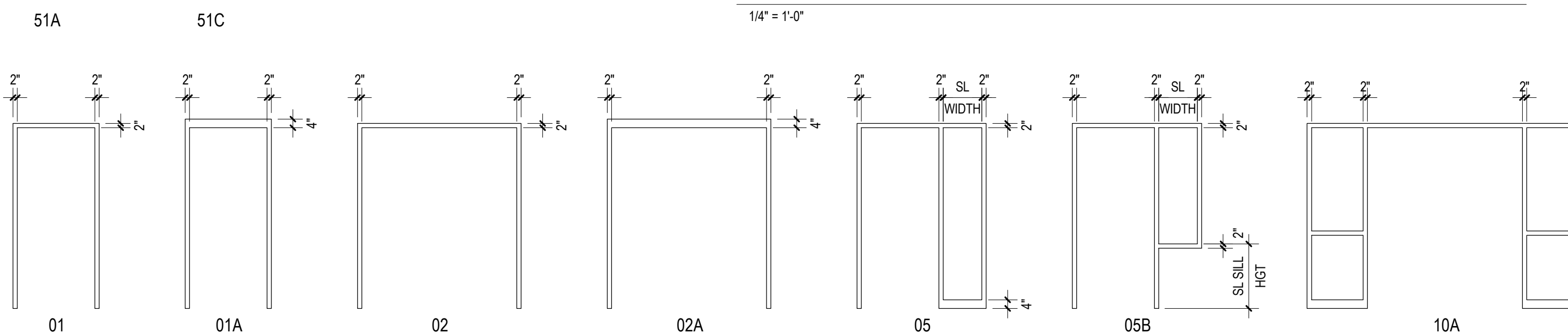
DIMENSION NOTES

WIDTH AND HEIGHT AS SCHEDULED UNLESS NOTED OTHERWISE. ADDITIONAL DIMENSIONS AS SPECIFIED.



DOOR TYPES

1/4" = 1'-0"



FRAME TYPES

1/4" = 1'-0"



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PROJECT INFORMATION
SEEDS OF HEALTH - HIGH SCHOOL

918 VEL R. PHILLIPS AVE MILWAUKEE, WI 53203

ISSUANCE AND REVISIONS

Table with columns for DATE and DESCRIPTION.

B

SHEET INFORMATION

PROJECT MANAGER TW
PROJECT NUMBER 319396-01

DOOR AND FRAME SCHEDULE

A600