

**DESCRIPTION:**  
 LOTS 38 AND 39, THE NORTH 20 FEET OF LOT 37, AND THE SOUTH 0.50 FEET OF LOT 40 OF BLOCK B IN HATHAWAY'S SUBDIVISION OF THE NORTH PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 22 EAST IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.  
 CONTAINING 12,086 SQUARE FEET, 0.277 ACRES

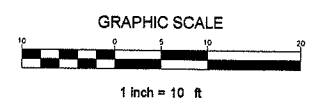
- GENERAL NOTES:**
- BOUNDARY BASED ON BEST AVAILABLE DATA. SHOULD BE VERIFIED BY RECORDED DOCUMENTS.
  - EASEMENTS, IF ANY, ARE NOT SHOWN. EASEMENT RECORDED DOCUMENTS NOT PROVIDED.
  - PROJECT BENCHMARK: NORTHERNMOST 1ST FLOOR BUILDING ENTRANCE OF 1818 NORTH JACKSON STREET, ELEV.: 32.78'
  - ELEVATIONS ARE REFERENCED TO THE CITY OF MILWAUKEE LOCAL DATUM.
  - ALL BEARINGS REFERENCED TO THE CENTERLINE OF NORTH JACKSON STREET, ASSUMED DUE NORTH.

**TOPOGRAPHIC SURVEY**  
**JACKSON STREET**  
**CONDOMINIUMS**  
**1668-1672 N. JACKSON ST., CITY OF MILWAUKEE, WISCONSIN**

DRAWN BY: J.A.C.  
 CHECKED BY: M.L.W.  
 DATE: 06/08/06  
 JOB NUMBER: S06092R0T

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 WE STRIKE 12:00PM (12/24)  
 12:00PM (12/24)  
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 MILWAUKEE AREA 259-1151

UNDERGROUND SERVICE AND UTILITY INFORMATION IS SHOWN AS AVAILABLE FROM THE OFFICE OF MANAGEMENT AND PLANNING, CITY OF MILWAUKEE, AND FROM THE CITY OF MILWAUKEE'S RECORDS. THE LOCATION OF EXISTING UTILITIES ESTABLISHED AT THE TIME OF THIS SURVEY IS NOT GUARANTEED BY LIS. THE LOCATION OF EXISTING UTILITIES ESTABLISHED AT THE TIME OF THIS SURVEY IS NOT GUARANTEED BY LIS. THE LOCATION OF EXISTING UTILITIES ESTABLISHED AT THE TIME OF THIS SURVEY IS NOT GUARANTEED BY LIS.

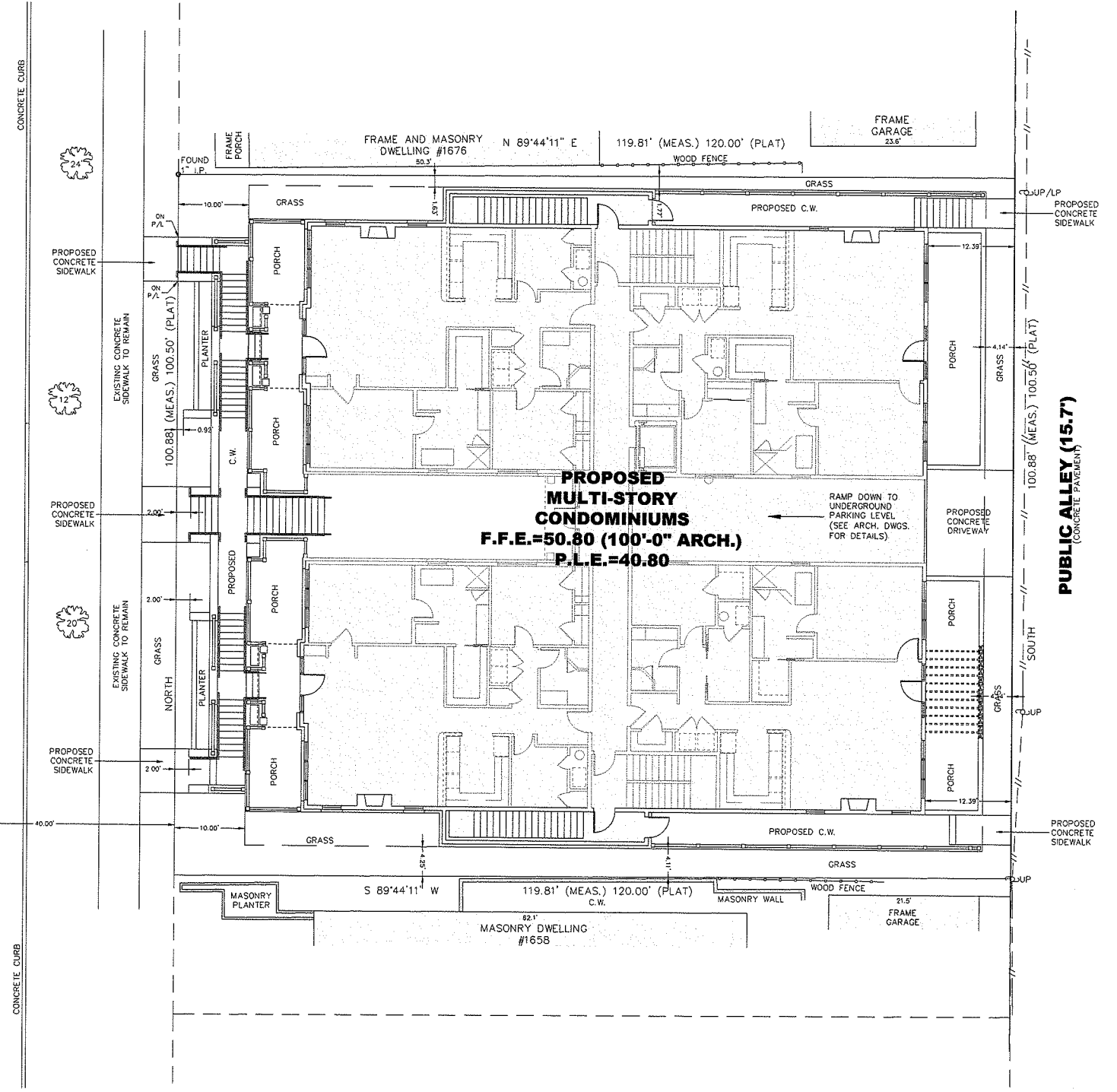


LEGEND	
<ul style="list-style-type: none"> <li>⊕ BASKETBALL HOOP (BH)</li> <li>⊙ BENCHMARK (BM)</li> <li>⊙ BOLLARD (BO)</li> <li>⊙ BUSH, SHRUB, ETC.</li> <li>⊙ CATCH BASIN ROUND (CB)</li> <li>⊙ CATCH BASIN SQUARE (CS)</li> <li>⊙ CLEAN OUT (CO)</li> <li>⊙ CURB INLET (CI)</li> <li>⊙ EVERGREEN TREE (EG)</li> <li>⊙ FIRE HYDRANT (FHY)</li> <li>⊙ FLAG POLE (FP)</li> <li>⊙ GUY WIRE (GW)</li> <li>⊙ HANDICAP</li> <li>⊙ IRON PIPE (I.P.)</li> </ul>	<ul style="list-style-type: none"> <li>⊙ LIGHT POLE</li> <li>⊙ MAIL BOX (MB)</li> <li>⊙ MANHOLE (MH)</li> <li>⊙ MONITORING WELL (MW)</li> <li>⊙ SIGN (TRAFFIC, ETC.)</li> <li>⊙ SOIL BORING (SB)</li> <li>⊙ TRAFFIC LIGHT (TL)</li> <li>⊙ DECIDUOUS TREE (TR)</li> <li>⊙ UTILITY MARKER</li> <li>⊙ UTILITY METER</li> <li>⊙ UTILITY PEDESTAL</li> <li>⊙ UTILITY POLE (UP)</li> <li>⊙ UTILITY VALVE</li> <li>⊙ WATER WELL</li> </ul>
<ul style="list-style-type: none"> <li>F/L FLOW LINE</li> <li>I.E. INVERT ELEVATION</li> <li>FND FOUND</li> <li>M/LP METAL LIGHT POLE</li> <li>CLP CONCRETE LIGHT POLE</li> <li>WLP WOOD LIGHT POLE</li> <li>M/S METAL SIGN</li> <li>GM GAS METER</li> <li>EM ELECTRIC METER</li> <li>S/S SOIL SILL ELEVATION</li> <li>EP ELECTRIC PEDESTAL</li> <li>F.F.E. FIRST FLOOR ELEVATION</li> <li>FO FLOOR OR DOOR ELEVATION</li> <li>FC FLOOR CEILING</li> <li>WV WATER VALVE</li> <li>CTP CABLE TV PEDESTAL</li> <li>WLF WETLAND FLAG</li> <li>YL YARD LIGHT</li> </ul>	<ul style="list-style-type: none"> <li>— METAL FENCE</li> <li>— WOOD FENCE</li> <li>— GUARD RAIL</li> <li>— CITY</li> <li>— UNDERGROUND CABLE TV</li> <li>— UNDERGROUND COMM.</li> <li>— UNDERGROUND CONDUIT</li> <li>— UNDERGROUND FIBER OPTIC</li> <li>— GAS SERVICE</li> <li>— OVERHEAD UTILITY LINES</li> <li>— SANITARY SEWER</li> <li>— STORM SEWER</li> <li>— UNDERGROUND TELEPHONE</li> <li>— WATER MAIN / SERVICE</li> <li>— SANITARY FORCE MAIN</li> <li>— TREE LINE</li> </ul>

JACKSON STREET CONDOS  
 TOPO



**NORTH JACKSON STREET (80' RW)**  
(CONCRETE PAVEMENT)



**DESCRIPTION:**  
 LOTS 38 AND 39, THE NORTH 20 FEET OF LOT 37, AND THE SOUTH 0.50 FEET OF LOT 40 OF BLOCK 9 IN HATHAWAY'S SUBDIVISION OF THE NORTH PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 22 EAST IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.  
 CONTAINING 12,086 SQUARE FEET, 0.277 ACRES NET

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  3. PROJECT BENCHMARK: NORTHERNMOST 1ST FLOOR BUILDING ENTRANCE OF 1818 NORTH WATER STREET, ELEV.: 32.78'
  4. ELEVATIONS ARE REFERENCED TO THE CITY OF MILWAUKEE LOCAL DATUM.
  5. ALL BEARINGS REFERENCED TO THE CENTERLINE OF NORTH JACKSON STREET, ASSUMED DUE NORTH.

**PLAT OF SURVEY SHOWING PROPOSED DEVELOPMENT**  
**NORTH JACKSON STREET**  
**CONDOMINIUMS**  
 1668-1672 N. JACKSON ST., CITY OF MILWAUKEE, WISCONSIN

DRAWN BY: J.A.C.  
 CHECKED BY: M.L.W.  
 DATE: 06/08/06  
 JOB NUMBER: S06082R0P

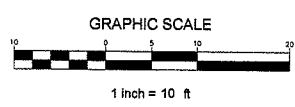
TO OBTAIN LOCATIONS OF  
 PARTICIPATING UNDERGROUND  
 FACILITIES, YOU  
 DIG IT WISCONSIN

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 855 SERVICE (632-7614)  
 DIGGERS HOTLINE 24 HOURS  
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 M.W. AREA 259-1181

NEVER REMOVE ANY POLARITY INFORMATION FROM  
 THIS SURVEY DOCUMENT. ANY INFORMATION THAT  
 IS NOT SHOWN ON THIS SURVEY DOCUMENT IS NOT  
 TO BE GUARANTEED OR CERTIFIED TO.

THE LOCATIONS OF EXISTING UTILITIES SHOWN  
 HEREON ARE BASED ON THE RECORDS OF THE  
 CITY OF MILWAUKEE. THE CITY OF MILWAUKEE  
 DOES NOT WARRANT THE ACCURACY OF THESE  
 DATA.



I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE (1) YEAR FROM DATE THEREOF.

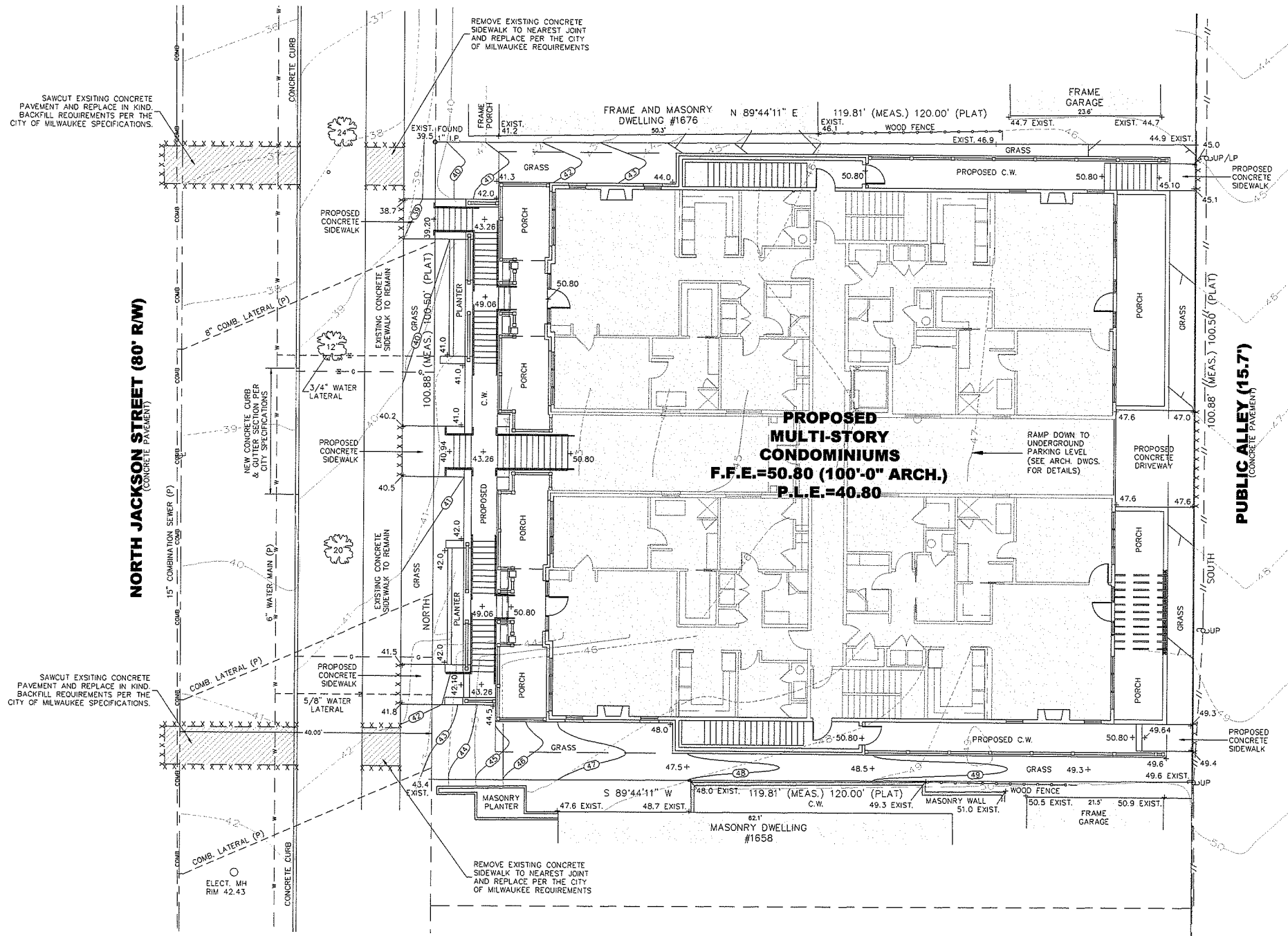
DATE: 2006  
 MARK L. WERTZ, R.L.S.  
 REGISTERED LAND SURVEYOR S-1915



LAND INFORMATION SERVICES, INC.  
ENGINEERS, SURVEYORS & CONSULTANTS  
5722 WATERTOWN PLANK ROAD  
BUILDING 65  
WATKINSON, WI 53226  
TEL: 414-362-9515 FAX: 414-362-9516

**SITE GRADING PLAN GENERAL NOTES:**

- ELEVATIONS ARE REFERENCED TO THE CITY OF MILWAUKEE LOCAL DATUM
- BEARINGS ARE REFERENCED TO THE CENTERLINE OF NORTH JACKSON STREET, ASSUMED DUE NORTH.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WILL REQUIRE PERMITTING THROUGH THE CITY OF MILWAUKEE.
- CONTRACTOR SHALL VERIFY ALL EXACT SIZE, LOCATION, AND ELEVATION OF EXISTING UTILITY WHERE A PROPOSED CONNECTION IS BEING MADE, PRIOR TO ANY UTILITY CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER.



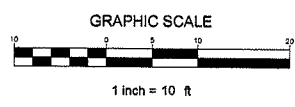
Review Set - Not for Construction

**SITE GRADING PLAN  
JACKSON STREET  
CONDOMINIUMS**

1668-1672 N. JACKSON ST., MILWAUKEE, WI

LEGEND	
XXXXXX	PROPOSED SAWCUT & MATCH EXISTING PAVEMENT
-----	EXISTING CONTOUR
59	PROPOSED CONTOUR
59.2 +	PROPOSED ELEVATION
ST	EXISTING STORM SEWER
COMB	EXISTING COMBINATION SEWER
SAN	EXISTING SANITARY SEWER
FW	EXISTING SANITARY FORCE MAIN
MS	EXISTING M.I.S. SEWER
W	EXISTING WATER MAIN
G	UNDERGROUND GAS
E	UNDERGROUND ELECTRICAL
U	OVERHEAD UTILITY LINES
TEL	UNDERGROUND TELEPHONE
COM	UNDERGROUND CABLE TV
FO	UNDERGROUND COMMUNICATIONS
ST	PROPOSED STORM SEWER
SAN	PROPOSED SANITARY SEWER
W	PROPOSED WATER MAIN/SERVICE

DRAWN BY: N.G.K.  
CHECKED BY: M.A.B.  
DATE: 08/23/06  
JOB NUMBER: C06018R0



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1-800-242-8111  
TOLL FREE  
M-F 8AM-5PM (MST/MDT)  
SCHEDULES WITH 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE  
MILWAUKEE AREA 255-1151

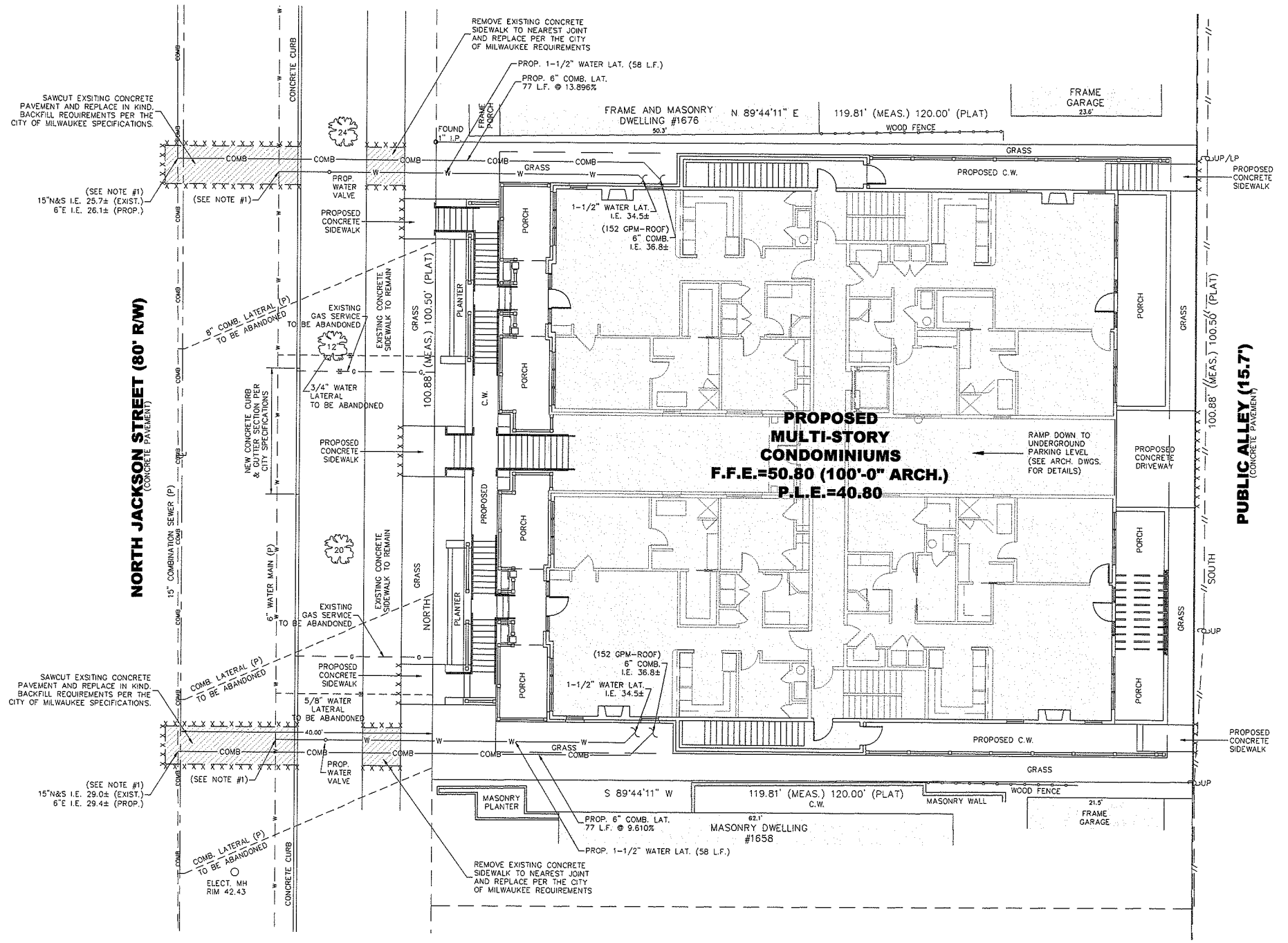
TO OBTAIN LOCATIONS OF PARTICIPATING UTILITIES, CONTACT THE UTILITIES BEFORE YOU EXCAVATE.  
THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN IS APPROXIMATE AND THE CITY OF MILWAUKEE DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF THIS INFORMATION.



**LAND INFORMATION SERVICES, INC.**  
ENGINEERS, SURVEYORS & CONSULTANTS  
9722 WATERTOWN PLANK ROAD  
BUILDING 44  
WALWATOSA, WI 53226  
TEL: 414-362-9215 FAX: 414-362-9216

**SITE UTILITY PLAN GENERAL NOTES**

- CONTRACTOR TO VERIFY EXACT SIZE, LOCATION, AND ELEVATION OF EXISTING UTILITY WHERE A CONNECTION IS BEING PROPOSED, PRIOR TO ANY UTILITY CONSTRUCTION. REPORT ANY DISCREPANCIES TO DESIGN ENGINEER. MAKE CONNECTION PER CITY OF MILWAUKEE REQUIREMENTS.
- COMBINATION AND WATER LATERAL MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND WISCONSIN ADMINISTRATIVE PLUMBING CODE, UNLESS OTHERWISE SPECIFIED ON PLANS OR SCHEDULES.
- PROPOSED WATER LATERALS SHALL HAVE A MINIMUM 6 FEET OF COVER.
- COMBINATION & WATER LATERAL MATERIALS SHALL CONFORM TO THE FOLLOWING:  
COMBINATION LATERALS - PVC - SHALL CONFORM TO TABLE 84.30-3  
WATER LATERALS - PVC - SHALL CONFORM TO TABLE 84.30-7
- ANY PIPE MATERIAL SUBSTITUTIONS MUST BE APPROVED BY LAND INFORMATION SERVICES, INC.
- EXACT SIZE AND LOCATION OF PROPOSED WATER & COMBINATION LATERALS TO BE VERIFIED BY PLUMBING CONTRACTOR.
- PIPE LENGTHS INDICATED ON THE UTILITY PLAN ARE CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- WHERE A WATER LINE CROSSES A COMBINATION SEWER, CONTRACTOR TO MAINTAIN 18" OF VERTICAL SEPARATION, MINIMUM.
- ALL INTERIOR BUILDING ROOF DRAINS SHALL BE CONNECTED TO PROPOSED COMBINATION SEWER AS INDICATED ON THE PLAN.
- (P) INDICATES PER PLAN INFORMATION, BASED ON CITY RECORDS.
- ALL UTILITIES DESIGNATED "TO BE ABANDONED", ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS.

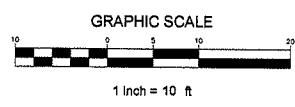


**Review Set - Not for Construction**

**SITE UTILITY PLAN**  
**JACKSON STREET**  
**CONDOMINIUMS**  
1668-1672 N. JACKSON ST., MILWAUKEE, WI

DRAWN BY: N.G.K.  
CHECKED BY: M.A.B.  
DATE: 08/23/06  
JOB NUMBER: C06018R0

LEGEND	
XXXXXX XXXX	PROPOSED SAWCUT & MATCH EXISTING PAVEMENT
---	EXISTING STORM SEWER
---	EXISTING COMBINATION SEWER
---	EXISTING SANITARY SEWER
---	EXISTING SANITARY FORCE MAIN
---	EXISTING M.I.S. SEWER
---	EXISTING WATER MAIN
---	UNDERGROUND GAS
---	UNDERGROUND ELECTRICAL
---	OVERHEAD UTILITY LINES
---	UNDERGROUND TELEPHONE
---	UNDERGROUND CABLE TV
---	UNDERGROUND COMMUNICATIONS
---	UNDERGROUND FIBER OPTIC
---	PROPOSED STORM SEWER
---	PROPOSED COMBINATION SEWER
---	PROPOSED WATER MAIN/SERVICE



**TO OBTAIN LOCATIONS OF**  
**UNDERGROUND UTILITIES**  
**CONTACT THE CITY OF MILWAUKEE**  
**UTILITIES DEPARTMENT**

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M-F 8:00AM - 5:00PM  
Saturdays 9:00AM - 12:00PM  
Sundays 12:00PM - 4:00PM  
MILWAUKEE AREA 256-1181

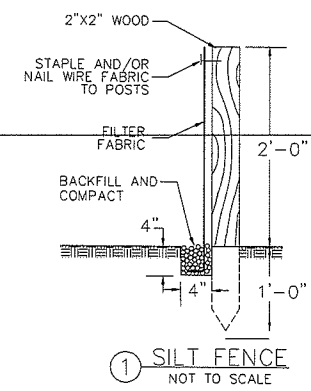
UNDERGROUND UTILITY LOCATIONS SHOWN  
ON THIS PLAN ARE APPROXIMATE AND  
NOT GUARANTEED OR Warranted.

THE LOCATIONS OF EXISTING UTILITIES SHOWN  
ON THIS PLAN ARE APPROXIMATE AND  
NOT GUARANTEED OR Warranted.



**SILT FENCE CONSTRUCTION SPECIFICATIONS**

1. CONSTRUCT SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON EROSION CONTROL PLAN, TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM.
2. LOCATE POSTS DOWNSLOPE OF FABRIC TO HELP SUPPORT FENCING
3. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FABRIC AT A SUPPORT POST WITH OVER LAP TO THE NEXT POST.
4. FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH - 100 LB/LIN. IN. (MINIMUM) - AND WITH A FLOW RATE OF 10 GAL./50. FT./MIN. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS REACHING A STABILITY OF 90 PERCENT USING TEST METHOD ASTM D-4355.
5. THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" X 4" TRENCH.
6. THE FILTER FABRIC SHALL BE STAPLED AND/OR NAILED TO THE UPSLOPE SIDE OF THE POSTS, USING AT LEAST 0.5 INCH STAPLES.
7. POST TO BE 2X2" PINE, 3 FEET LONG, THE MAXIMUM SPACING OF POSTS FOR NON-WOVEN SILT FENCE SHALL BE 3 FEET. (NO SUPPORT CORD IS REQUIRED FOR THE 3 FOOT POST SPACING) THE MAXIMUM POST SPACING FOR NONWOVEN FABRIC WITH SUPPORT NET AND TOP SUPPORT CORD OR FOR WOVEN FABRIC WITH SUPPORT CORD SHALL BE 8 FEET.



**EROSION CONTROL PRACTICES SCHEDULE**

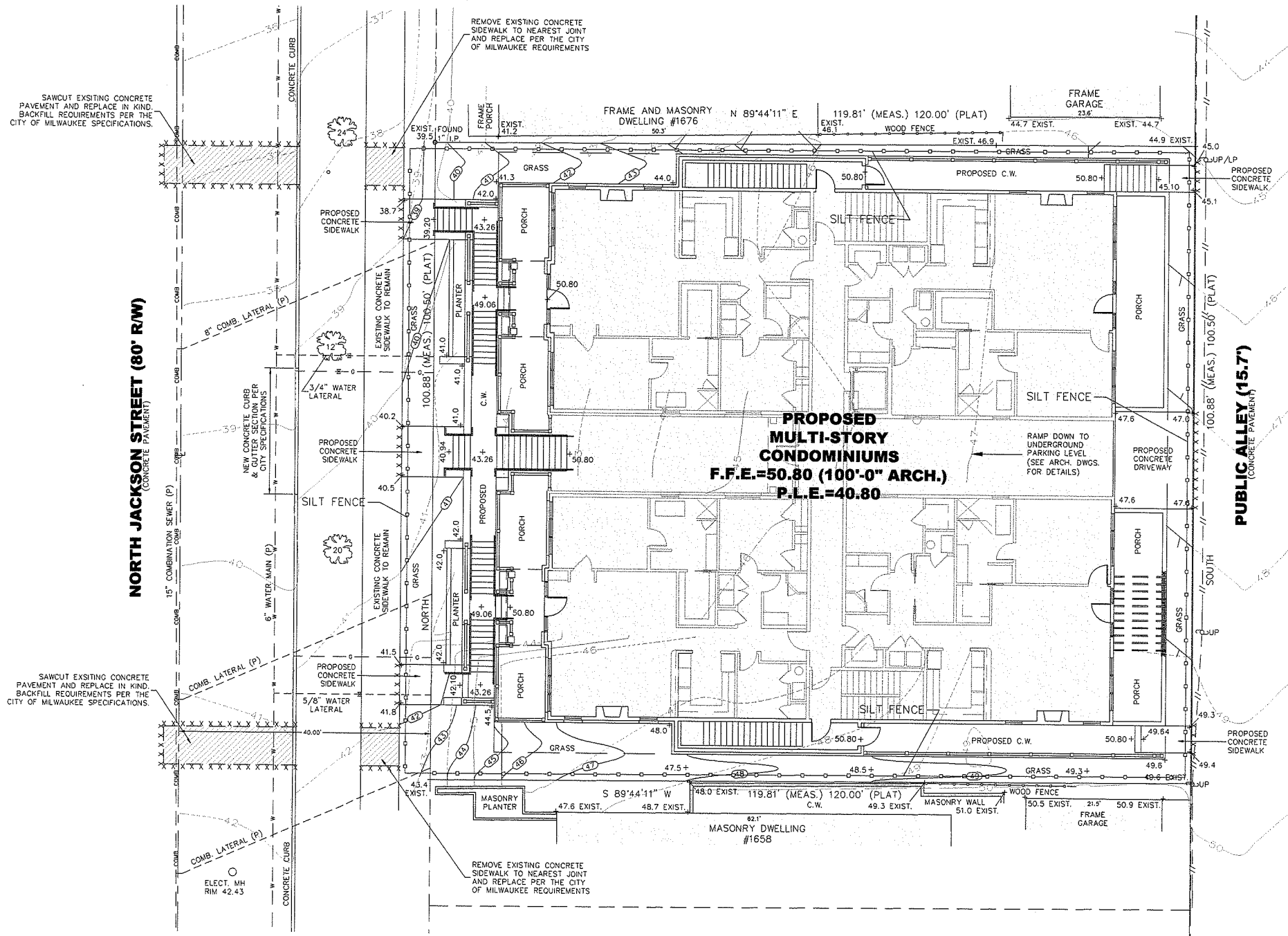
① SILT FENCE

**CONSTRUCTION SCHEDULE**

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. FLAG THE WORK LIMIT AND BUFFER AREA FOR PROTECTION.
3. INSTALL SILT FENCE.
4. EXCAVATE FOR FOUNDATION AND CONSTRUCT BUILDING.
5. BRING SERVICE UTILITIES TO BUILDING.
6. INSTALL CONCRETE FLATWORK.
7. FINAL GRADING OF SLOPES, TOPSOIL, CRITICAL SLOPES: VEGETATE AND MULCH ALL DISTURBED AREAS.
8. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
9. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
10. ESTIMATED TIME BEFORE FINAL STABILIZATION - 6 MONTHS.

**MAINTENANCE PLAN**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.



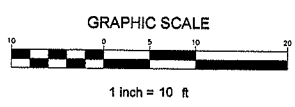
Review Set - Not for Construction

**SITE EROSION CONTROL PLAN**  
**JACKSON STREET**  
**CONDOMINIUMS**

1668-1672 N. JACKSON ST., MILWAUKEE, WI

LEGEND	
XXXXXX	PROPOSED SAWCUT & MATCH EXISTING PAVEMENT
---	EXISTING CONTOUR
59	PROPOSED CONTOUR
59.2 +	PROPOSED ELEVATION
ST	EXISTING STORM SEWER
COMB	EXISTING COMBINATION SEWER
SAN	EXISTING SANITARY SEWER
FM	EXISTING SANITARY FORCE MAIN
MIS	EXISTING M.I.S. SEWER
W	EXISTING WATER MAIN
G	UNDERGROUND GAS
E	UNDERGROUND ELECTRICAL
U	OVERHEAD UTILITY LINES
TEL	UNDERGROUND TELEPHONE
CTV	UNDERGROUND CABLE TV
COM	UNDERGROUND COMMUNICATIONS
FO	UNDERGROUND FIBER OPTIC
ST	PROPOSED STORM SEWER
SAN	PROPOSED SANITARY SEWER
W	PROPOSED WATER MAIN/SERVICE

DRAWN BY: N.G.K.  
 CHECKED BY: M.A.B.  
 DATE: 08/23/06  
 JOB NUMBER: C06018R0



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 MICH. AREA 226-1161

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITIES AND IS NOT GUARANTEED BY THE CITY OF MILWAUKEE. THE CITY OF MILWAUKEE DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF THIS INFORMATION.

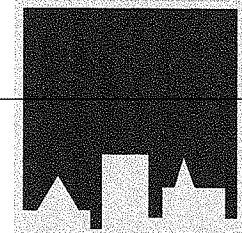
THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE PROJECT OWNER SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.









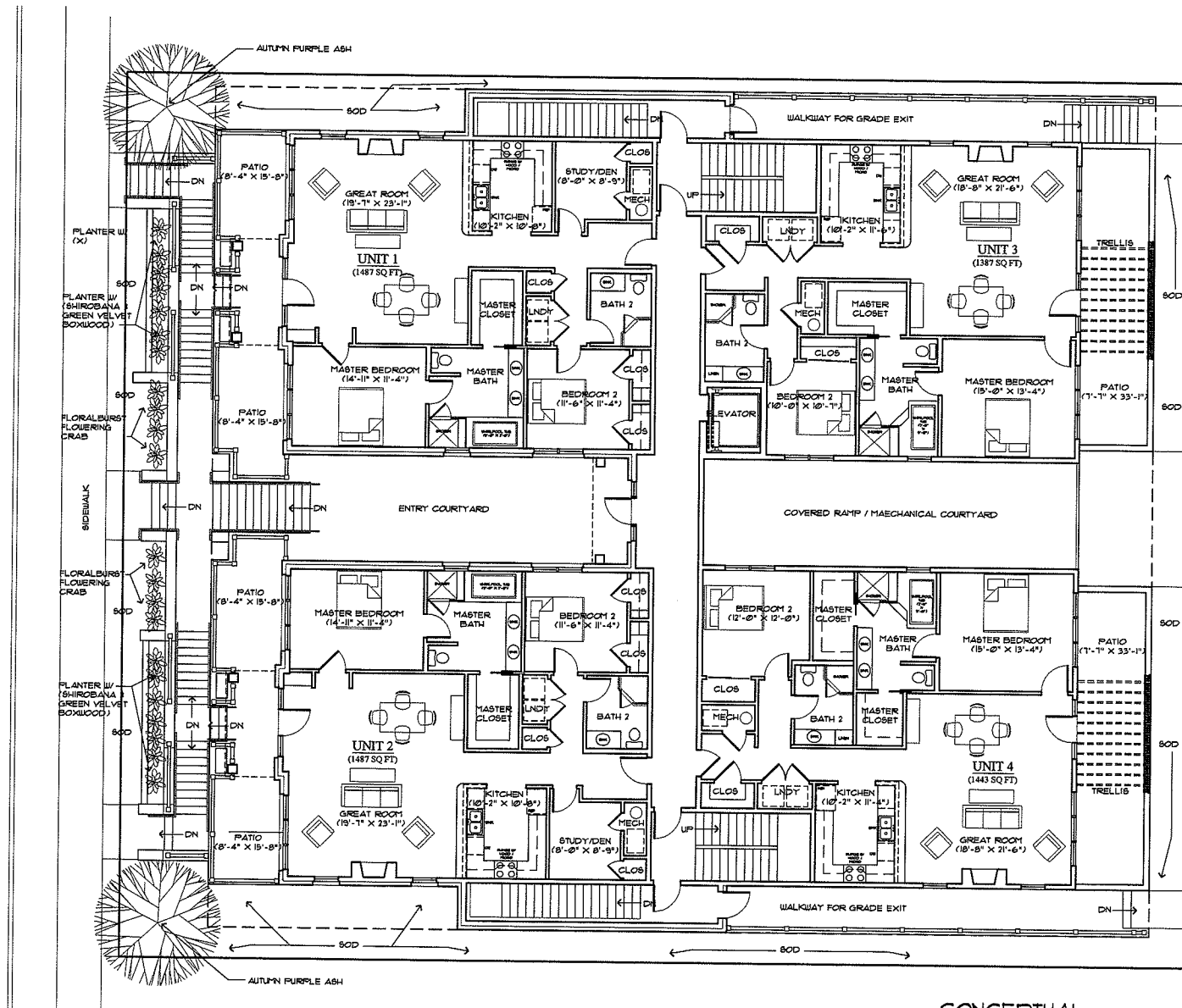


**CITYSCAPE**  
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(262) 790-5726

www.cityscapearchitecture.com

NEW BUILDING:  
**JACKSON STREET CONDOMINIUMS**  
1668 - 1672 NORTH JACKSON STREET  
MILWAUKEE, WISCONSIN



CONCEPTUAL  
FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"

REVISIONS	

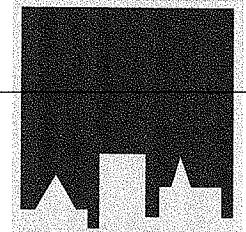
DATE AUGUST 22, 2002

JOB NO 0611

SHEET

**A1.3** OF 7



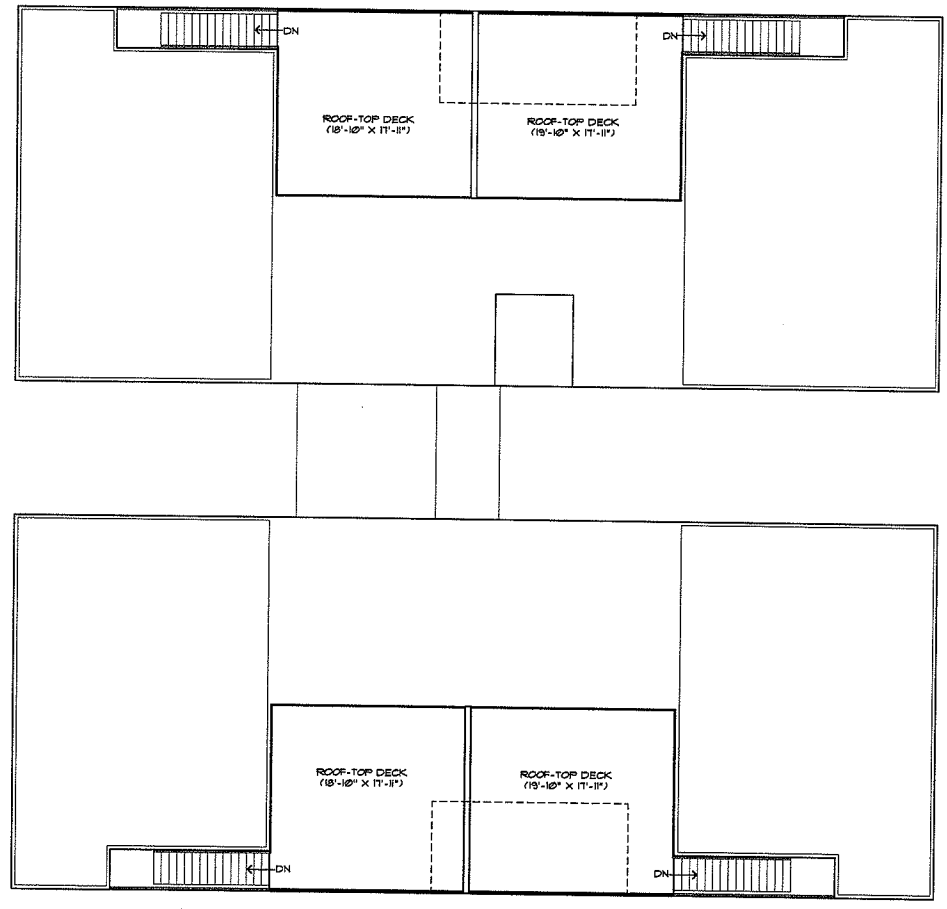


**CITYSCAPE**  
ARCHITECTURE/  
DEVELOPMENT, S.C.

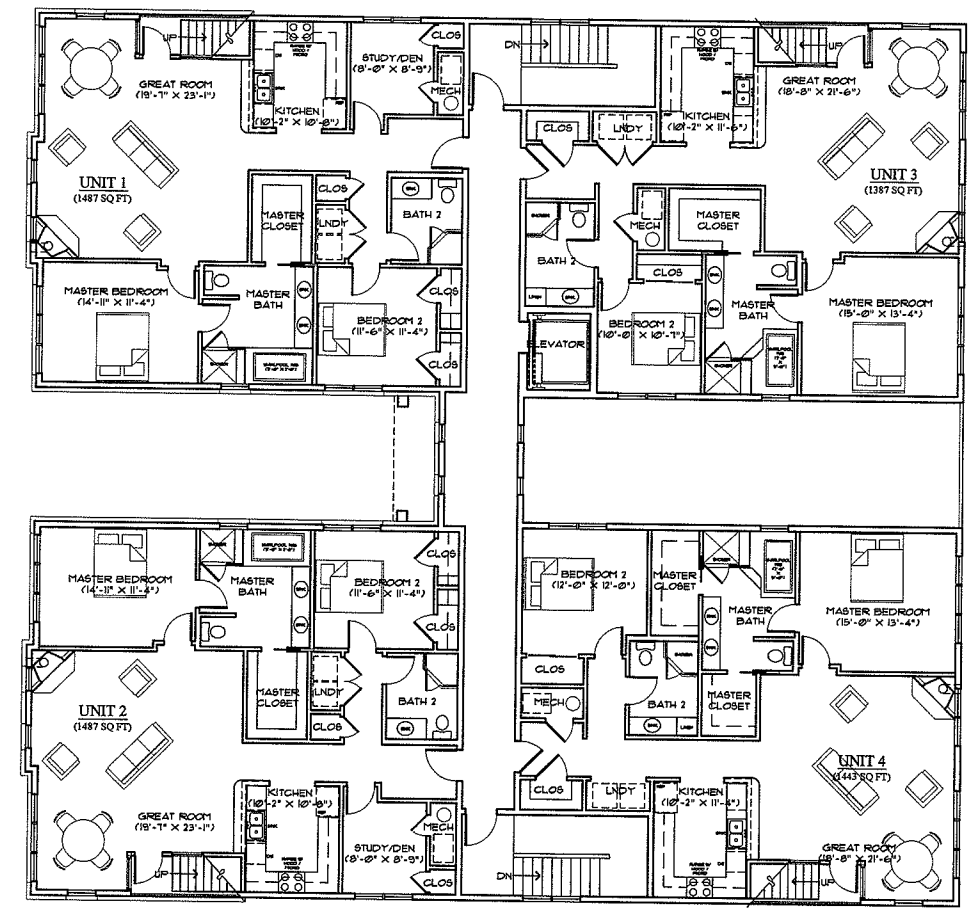
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BROOKFIELD, WI 53005  
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NEW BUILDING:  
**JACKSON STREET CONDOMINIUMS**  
1668 - 1672 NORTH JACKSON STREET  
MILWAUKEE, WISCONSIN



⊕ **CONCEPTUAL  
ROOF PLAN**  
SCALE: 1/8" = 1'-0"



⊕ **CONCEPTUAL  
THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

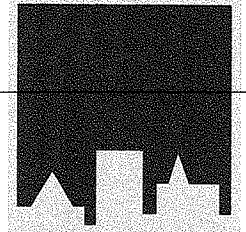
**REVISIONS**


DATE AUGUST 22, 2002

JOB NO 0611

SHEET

**A1.5** OF 7



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**EXTERIOR ELEVATIONS**

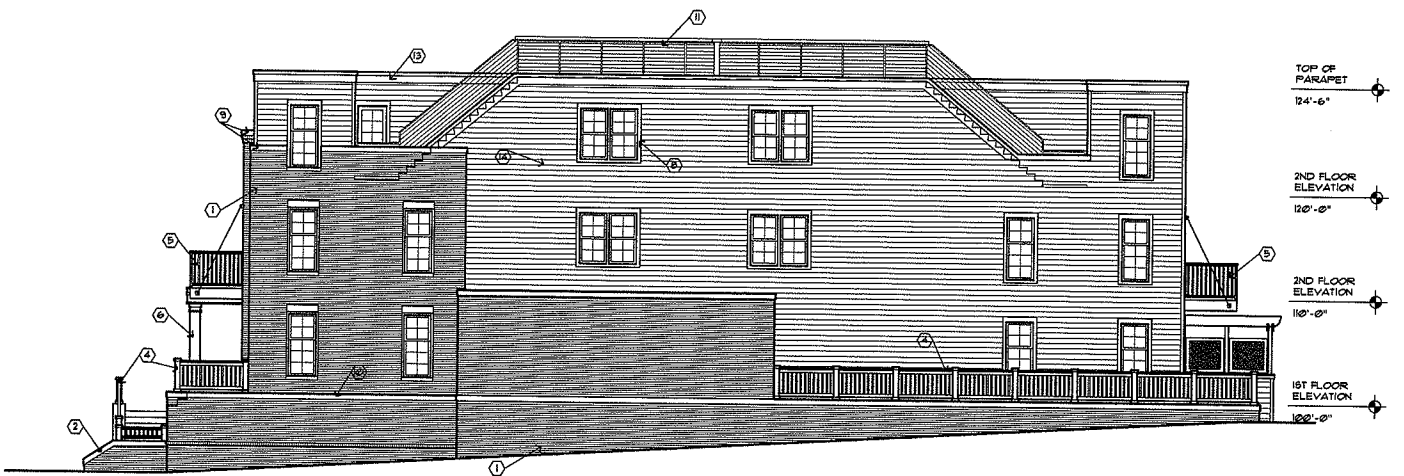
**GENERAL NOTES**

1. ALL EXTERIOR WINDOWS TO BE CLEAR INSULATED GLAZING IN PREFINISHED VINYL WINDOW SYSTEM
2. EXTERIOR DOORS WITH GLAZING ARE PRE-FINISHED EXTERIOR GLAD WITH INSULATED GLAZING

- ① BRICK VENEER
- ② CUT STONE KNEE WALL CAP
- ③ BRICK VENEER PLANTER W/ CUT STONE CAP
- ④ PYPON PCV RAILINGS AND POSTS OR PAINTED CEDAR
- ⑤ PAINTED METAL BALCONY AND RAILINGS WITH PT WOOD DECKING
- ⑥ PAINTED CEDAR COLUMNS
- ⑦ PAINTED CEDAR TRIM BALCONY W/ PRE-FINISHED ALUMINUM CAP FLASHING
- ⑧ PAINTED CEDAR WINDOW TRIM
- ⑨ CUT STONE WALL CAP
- ⑩ CUT STONE BANDING
- ⑪ PAINTED METAL GUARDRAILS WITH CABLE AT ROOF DECKS
- ⑫ ELEVATOR SHAFT BEYOND
- ⑬ CEDAR TRIM BOARD WITH PRE-FINISHED ALUMINUM CAP FLASHING
- ⑭ HARDI-PLANK SIDING (CEMENT BOARD)



**JACKSON STREET WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

NEW BUILDING:  
**JACKSON STREET CONDOMINIUMS**  
1668 - 1672 NORTH JACKSON STREET  
MILWAUKEE, WISCONSIN

**REVISIONS**

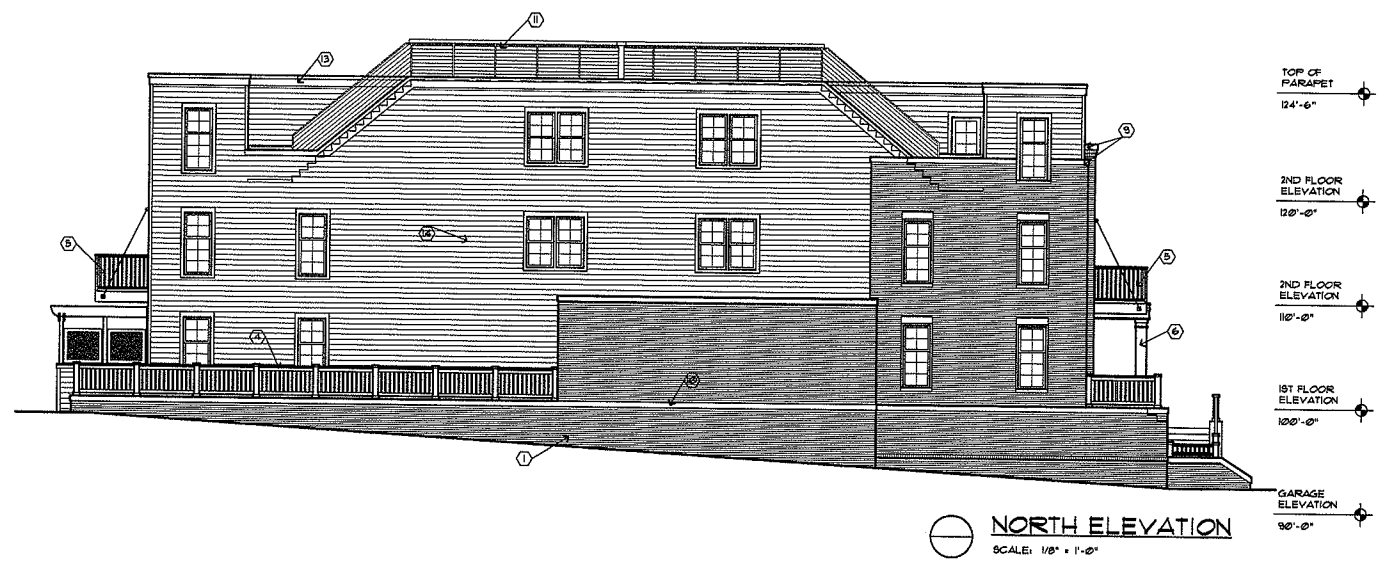
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DATE AUGUST 22, 2002

JOB NO 0611

SHEET

**A2.1** OF 7



**NEW BUILDING:**  
**JACKSON STREET CONDOMINIUMS**  
 1668 - 1672 NORTH JACKSON STREET  
 MILWAUKEE, WISCONSIN

REVISIONS


DATE AUGUST 22, 2002

JOB NO 0611

SHEET

**A2.2** OF 7