

1327 BRADY

1327 EAST BRADY STREET
MILWAUKEE, WISCONSIN

BUILDOUT PACKAGE - PHASE II

11/18/2019

DBA PROJECT #: 1908-001

OWNER:

JENO CATALDO

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ARCHITECT:

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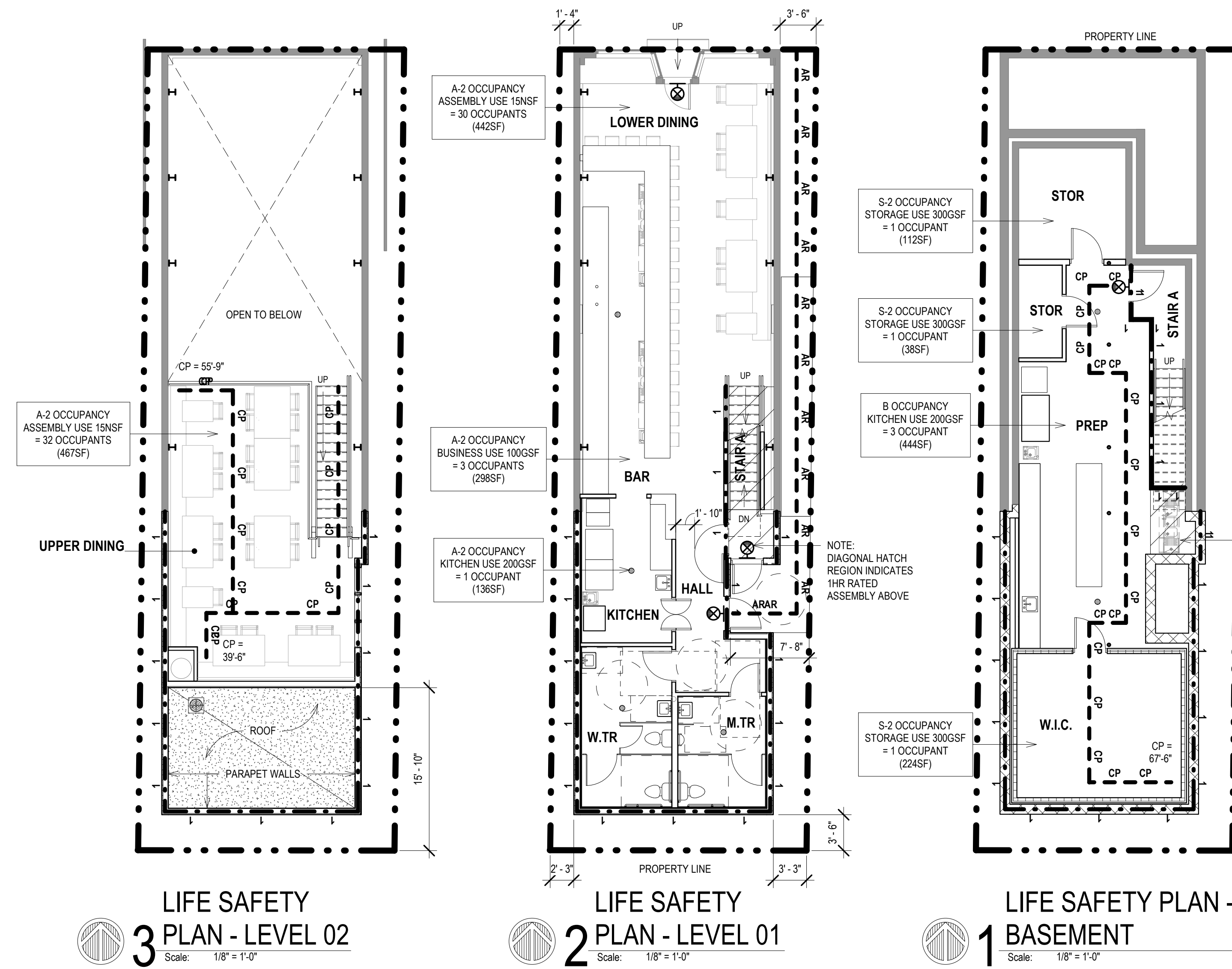
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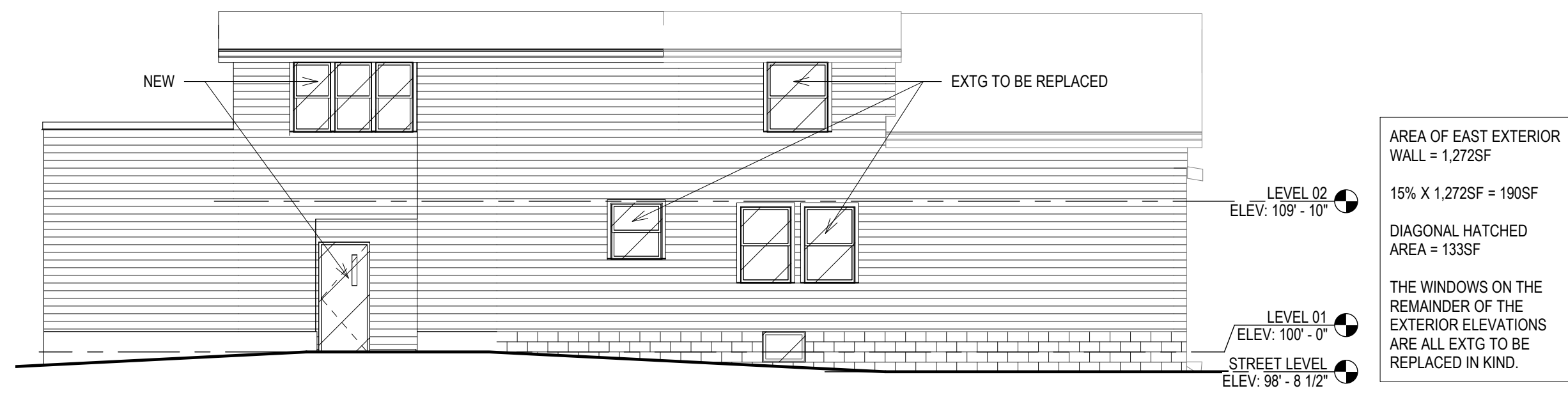
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LIFE SAFETY
3 PLAN - LEVEL 02
Scale: 1/8" = 1'-0"

LIFE SAFETY
2 PLAN - LEVEL 01
Scale: 1/8" = 1'-0"

LIFE SAFETY PLAN -
1 BASEMENT
Scale: 1/8" = 1'-0"



4 EAST ELEVATION - TABLE 705.8
Scale: 1/8" = 1'-0"

CODE PLAN KEY

XX	EXIT WIDTH PROVIDED	AR	AR	ACCESSIBLE ROUTE
FEC	FIRE EXTINGUISHER - 75 FEET - SEE SPECIFICATIONS FOR FIRE EXTINGUISHER TYPE.	CP	CP	COMMON PATH OF TRAVEL
		TD	TD	TRAVEL DISTANCE
		1	1	ONE HOUR RATED FIRE PARTITION

CODE SUMMARY

APPLICABLE CODES
BUILDING: 2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362
2015 INTERNATIONAL EXISTING BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 366
ACCESSIBLE: 2010 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
ENERGY: 2015 IECC INTERNATIONAL ENERGY CONSERVATION CODE WITH WISCONSIN AMENDMENTS SPS 363
MECHANICAL: 2015 INTERNATIONAL MECHANICAL CODE WITH WISCONSIN AMENDMENTS SPS 364
FUEL: 2015 IFGC INTERNATIONAL FUEL GAS CODE WITH WISCONSIN AMENDMENTS SPS 365
PLUMBING: 2014 WISCONSIN PLUMBING CODE SPS 381-387
ELECTRICAL: 2011 NFPA 70 NATIONAL ELECTRICAL CODE WITH WISCONSIN AMENDMENTS SPS 316
FIRE: 2009 INTERNATIONAL FIRE CODE ADOPTED PER MILWAUKEE CODE OF ORDINANCES (MCO-214-3)

WISCONSIN ENROLLED COMMERCIAL BUILDING CODE (WECBC) 302, OCCUPANCY CLASSIFICATION:

EXISTING	PROPOSED
BASEMENT: S-2	B AND S-2 (PARTIAL CHANGE IN OCCUPANCY)
LEVEL 01: M	A-2 (CHANGE IN OCCUPANCY)
LEVEL 02: N/A	A-2 (ADDITION)
NON-SEPARATED FULLY SPRINKLERED	

IEBC 2015 -
IEBC 2015 506.2 CHANGE OF OCCUPANCY:
CHANGES OF OCCUPANCY SHALL COMPLY WITH PROVISIONS OF CHAPTER 10.
IEBC 705.2) ALTERATIONS AFFECTING AN AREA CONTAINING A PRIMARY FUNCTION:
WHERE AN ALTERATION AFFECTS THE ACCESSIBILITY TO A, OR CONTAINS AN AREA OF, PRIMARY FUNCTION, THE ROUTE TO THE PRIMARY FUNCTION AREA SHALL BE ACCESSIBLE. THE ACCESSIBLE ROUTE TO THE PRIMARY FUNCTION AREA SHALL INCLUDE TOILET FACILITIES AND DRINKING FOUNTAINS SERVING THE AREA OF PRIMARY FUNCTION.

IEBC 2015) TABLE 1012.4 MEANS OF EGRESS HAZARD CATEGORIES:
HIGHER HAZARD CATEGORY (LOWER NUMBER)
M=3 CHANGE TO A-2-3, B-4, AND S-2-5, CATEGORY EQUAL OR LESSER HAZARD
IEBC 2015) 1012.4.2 MEANS OF EGRESS FOR CHANGE OF USE TO EQUAL OR LESSER HAZARD CATEGORY:
WHEN A CHANGE OF OCCUPANCY CLASSIFICATION IS MADE TO AN EQUAL OR LESSER HAZARD CATEGORY, EXISTING ELEMENTS OF THE MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 905 FOR THE NEW OCCUPANCY CLASSIFICATION. NEWLY CONSTRUCTED OR CONFIGURED MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 10 OF THE IBC. (905.1 DIRECTS TO 805)

IEBC 2015) 1012.4.3 EGRESS CAPACITY:
EGRESS CAPACITY SHALL MEET OR EXCEED THE OCCUPANT LOAD AS SPECIFIED IN THE IBC FOR THE NEW OCCUPANCY.
IEBC 2015) TABLE 1012.5 HEIGHTS AND AREAS HAZARD CATEGORIES:
HAZARD CATEGORY (LOWER NUMBER)
M=3 CHANGE TO A-2-2, CATEGORY CHANGES TO A HIGHER HAZARD
M=3 CHANGE TO B-4 AND S-2-4, CATEGORY CHANGES TO A LESSER HAZARD

IEBC 2015) 1012.5.1 HEIGHT AND AREA FOR CHANGE TO HIGHER HAZARD CATEGORY:
WHEN A CHANGE OF OCCUPANCY IS MADE TO A HIGHER HAZARD CATEGORY, THE HEIGHT AND AREA OF THE EXISTING BUILDING SHALL COMPLY WITH CHAPTER 5 OF THE IBC FOR THE NEW CLASSIFICATION.
IEBC 2015) TABLE 1012.6 EXPOSURE OF EXTERIOR WALLS HAZARD CATEGORIES:
HIGHER CATEGORY (LOWER NUMBER)
M=2 CHANGE TO A-2-3, B-3, AND S-2-4, CATEGORY CHANGES TO A LESSER HAZARD

IEBC 2015) 1012.6.2 EXTERIOR WALL RATING FOR CHANGE OF OCCUPANCY TO AN EQUAL OR LESSER HAZARD CATEGORY:
WHEN A CHANGE OF OCCUPANCY IS MADE TO AN EQUAL OR LESSER HAZARD CATEGORY AS SHOWN IN TABLE 1012.6, EXISTING EXTERIOR WALLS, INCLUDING OPENINGS SHALL BE ACCEPTED.
IEBC 2015) 1101.1 SCOPE:
AN ADDITION TO A BUILDING SHALL COMPLY WITH THE INTERNATIONAL CODES AS ADOPTED FOR NEW CONSTRUCTION WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ANY REQUIREMENTS OF THOSE CODES OR OF THESE PROVISIONS, EXCEPT AS REQUIRED BY THIS CHAPTER, WHERE AN ADDITION IMPACTS THE EXISTING BUILDING, THAT PORTION SHALL COMPLY WITH THE CODE.

IEBC 1106.1 MINIMUM REQUIREMENTS OF ENERGY CONSERVATION:
ADDITIONS TO EXISTING BUILDINGS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE IECC OR IRC AS THEY RELATE TO NEW CONSTRUCTION.
IBC 2015 -
TABLE 504.3 (HEIGHT), TABLE 504.4 (STORIES), AND TABLE 506.2 (AREA):
ASSEMBLY A-2, CONSTRUCTION TYPE VB - 2 ALLOWABLE STORY (60 FEET) AT 24,000SF
ASSEMBLY B, CONSTRUCTION TYPE VB - 3 ALLOWABLE STORY (60 FEET) AT 36,000SF
STORAGE S-2, CONSTRUCTION TYPE VB - 3 ALLOWABLE STORIES (60 FEET) AT 54,000SF

ACTUAL BUILDING HEIGHT AND AREA:

BASEMENT (1,134SF)			
EXISTING BUILDING - S-2	186SF	ADDITION - S-2	312SF
EXISTING BUILDING - B	378SF	ADDITION - B	258SF
LEVEL 01 (1,488SF)			
EXISTING BUILDING - A-2	910SF	ADDITION - A-2	578SF
LEVEL 02 (520SF)			
EXISTING BUILDING - A-2	0SF	ADDITION - A-2	520SF
TOTAL	3,142SF W/ BASEMENT		

APPROXIMATELY 23'-8" IN HEIGHT, 2 STORY

IEBC 2015) 508.3 NON-SEPARATED OCCUPANCIES:
NONSEPARATED OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1. THE REQUIREMENTS OF THIS CODE SHALL APPLY TO EACH PORTION OF THE BUILDING BASED ON THE OCCUPANCY CLASSIFICATION OF THAT SPACE. IN ADDITION, THE MOST RESTRICTIVE PROVISIONS OF CHAPTER 9 THAT APPLY TO THE NON-SEPARATED OCCUPANCIES SHALL APPLY TO THE TOTAL NONSEPARATED OCCUPANCY AREA.

IEBC 2015) TABLE 601, CONSTRUCTION TYPE:
TYPE VB - FIRE RESISTANCE RATINGS FOR ALL BUILDING ELEMENTS 0 HOURS.

IEBC 2015) TABLE 602, FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE:
LESS THAN 10 = 1HR
EQUAL OR GREATER THAN 10 = 0HR
NEW EXTERIOR WALLS REQUIRED TO BE 1HR RATED

IEBC 2015) TABLE 705.8, MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION:
LESS THAN 3 FEET = NOT PERMITTED
EQUAL TO 3 BUT LESS THAN 5 FEET = WITH SPRINKLERS, 15% ALLOWABLE AREA

IEBC 2015) 705.11 PARAPETS:
A PARAPET NEED NOT BE PROVIDED ON AN EXTERIOR WALL WHERE ANY OF THE FOLLOWING CONDITIONS EXIST:
EXCEPTION 4: ONE-HOUR FIRE-RESISTANCE-RATED EXTERIOR WALLS THAT TERMINATE AT THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB, PROVIDED:
4.1 WHERE THE ROOF/CEILING FRAMING ELEMENTS ARE PARALLEL TO THE WALLS, SUCH FRAMING AND ELEMENTS SUPPORTING SUCH FRAMING SHALL NOT BE LESS THAN 1HR RATED CONSTRUCTION FOR A WIDTH OF 10 FEET MEASURED FROM THE INTERIOR SIDE OF THE WALL.
4.2 WHERE ROOF/CEILING FRAMING ELEMENTS ARE NOT PARALLEL TO THE WALL, THE ENTIRE SPAN OF SUCH FRAMING AND ELEMENTS SUPPORTING SUCH FRAMING SHALL NOT BE OF LESS THAN 1HR RATED CONSTRUCTION.
4.3 OPENINGS IN THE ROOF SHALL BE LOCATED WITHIN 10 FEET OF THE 1HR RATED EXTERIOR WALL MEASURED FROM THE INTERIOR SIDE OF THE WALL.
4.4 THE ENTIRE BUILDING SHALL BE PROVIDED WITH NOT LESS THAN A CLASS B ROOF COVERING. (ONLY ADDITION APPLICABLE).

IEBC 2015) 708.3 FIRE RESISTANCE RATING OF FIRE PARTITIONS:
FIRE PARTITIONS SHALL HAVE A FIRE RESISTANCE RATING OF NOT BE LESS THAN 1HR.

IEBC 2015) 713.4, SHAFT ENCLOSURES FIRE-RESISTANCE RATING:
NOT TO BE LESS THAN 1 HOUR FIRE RESISTANCE RATING WHEN CONNECTING LESS THAN FOUR STORIES.

IEBC 2015) TABLE 803.11, INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY:
INTERIOR EXIT STAIRWAYS, RAMP, EXIT PASSAGEWAYS - CLASS A FOR A-2, B FOR B AND S-2
CORRIDORS, ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMP - CLASS A FOR A-2, B FOR B AND S-2
ROOMS AND ENCLOSED SPACES - CLASS C FOR A-2, B AND S-2

IBC 2015) TABLE 1004.1.2, MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT:
ACCESSORY STORAGE AREAS, MECHANICAL 300 GROSS SF/PERSON
ASSEMBLY WITHOUT FIXED SEATS (UNCONCENTRATED) 15 NET SF/PERSON
BUSINESS USE 100 GSF/PERSON
KITCHEN USE 200 GSF/PERSON

ACTUAL FLOOR AREA PER OCCUPANT:

BASEMENT	3 OCCUPANTS
STORAGE AREAS	3 OCCUPANTS
KITCHEN	3 OCCUPANTS
LEVEL 01	
ASSEMBLY A-2	30 OCCUPANTS
BUSINESS	3 OCCUPANTS
KITCHEN	1 OCCUPANT
LEVEL 02	
ASSEMBLY A-2	32 OCCUPANTS
TOTAL OCCUPANTS =	72 OCCUPANTS

IEBC 2015) 1005.3, MINIMUM REQUIRED EGRESS:
STAIR WIDTH = 0.3 INCHES PER OCCUPANT (MINIMUM 44 INCHES UNLESS OCCUPANT LOAD LESS THAN 50 PEOPLE, 36 INCHES - 1011.2 EXCEPTION 1)
OTHER EGRESS COMPONENTS = 0.2 INCHES PER OCCUPANT (MINIMUM 44 INCHES 1020.2)

BASEMENT LEVEL:
6 OCCUPANTS X 0.3 INCHES = 36 INCHES
6 OCCUPANTS X 0.2 INCHES = 44 INCHES

LEVEL 01:
34 OCCUPANTS X 0.2 INCHES = 44 INCHES

LEVEL 02:
32 OCCUPANTS X 0.3 INCHES = 36 INCHES
32 OCCUPANTS X 0.2 INCHES = 44 INCHES

IEBC 2015) 1006.2, COMMON PATH OF EGRESS TRAVEL:
THE COMMON PATH OF EGRESS SHALL NOT EXCEED 75 FEET FOR OCCUPANCY A-2 AND 100 FEET FOR OCCUPANCIES B AND S-2 WHERE THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM.

IEBC 2015) TABLE 1006.3.1, NUMBER OF EXITS AND CONTINUITY:
MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD OF 1-500 PER STORY IS 2 EXITS PER STORY.

IEBC 2015) TABLE 1006.3.2(2), STORIES WITH ONE EXIT OR ACCESS TO ONE EXIT FOR OTHER OCCUPANCIES:
FIRST STORY ABOVE OR BELOW GRADE PLANE:
A - MAXIMUM OCCUPANT LOAD OF 49 WITH MAXIMUM COMMON PATH OF EGRESS TRAVEL 75 FEET
B - MAXIMUM OCCUPANT LOAD OF 49 WITH MAXIMUM COMMON PATH OF EGRESS TRAVEL 100 FEET
S - MAXIMUM OCCUPANT LOAD OF 29 WITH MAXIMUM COMMON PATH OF EGRESS TRAVEL 100 FEET

IEBC 2015) TABLE 1017.2, EXIT ACCESS TRAVEL DISTANCE:
MAXIMUM EXIT ACCESS TRAVEL DISTANCE WITH SPRINKLER SYSTEM FOR OCCUPANCY A-2 IS 250 FEET, B IS 300 FEET, AND FOR OCCUPANCY S-2 IS 400 FEET.

IEBC 2015) 1109.2 TOILET AND BATHING FACILITIES:
EACH TOILET ROOM AND BATHING ROOM SHALL BE ACCESSIBLE.

IEBC 2015) TABLE 2902.1, MINIMUM SANITARY FIXTURES:
INTERNATIONAL PLUMBING CODE 410.1 DRINKING FOUNTAIN APPROVAL - WHERE DRINKING FOUNTAINS ARE REQUIRED, WATER COOLERS OR BOTTLED WATER DISPENSER SHALL BE PERMITTED BY SUBSTITUTION.

ASSEMBLY GROUP A-2

1 WATER CLOSET/URINAL 1 PER 75	ACTUAL - 72 (36 MALE / 36 FEMALE)
1 LAVATORY PER 200 OCCUPANTS	WATER CLOSETS - 0.48 MALE AND FEMALE REQUIRED
1 DRINKING FOUNTAIN PER 500 OCCUPANTS	LAVATORIES - 0.18 MALE AND FEMALE REQUIRED
1 SERVICE SINK	DRINKING FOUNTAINS - 0.15 REQUIRED
	SERVICE SINK - 1 REQUIRED

B AND S-2 - SAME OCCUPANTS AS A-2
ACTUAL NUMBER OF FIXTURES PROVIDED
WATER CLOSETS / URINALS MALE / FEMALE - 2 PROVIDED
LAVATORIES MALE - 1 PROVIDED
LAVATORIES FEMALE - 2 PROVIDED
DRINKING FOUNTAINS - SUBSTITUTIONS
SERVICE SINK - 1 SERVICE SINK PROVIDED

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REVISIONS:

NO.	DATE	DESCRIPTION

SCALE	VARIES
PROJECT NUMBER	1908-001
SET TYPE	BUILDOUT PACKAGE - PHASE II
DATE ISSUED	11/18/2019
SHEET NUMBER	T000

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GENERAL NOTES TO ALL CONTRACTORS:

PROJECT MANAGEMENT AND COORDINATION

COORDINATE CONSTRUCTION TO ENSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. CONDUCT PROGRESS MEETINGS AT PROJECT SITE AS NEEDED. NOTIFY OWNER AND ARCHITECT OF MEETING DATES AND TIMES. REGULAR ATTENDANCE OF EACH SUBCONTRACTOR OR OTHER ENTITY CONCERNED WITH CURRENT PROGRESS OR INVOLVED WITH PLANNING OR COORDINATION OF FUTURE ACTIVITIES.

SUBMITTAL PROCEDURES

COORDINATE EACH SUBMITTAL WITH FABRICATION, PURCHASING, TESTING, DELIVERY, OTHER SUBMITTALS, AND RELATED ACTIVITIES THAT REQUIRE SEQUENTIAL ACTIVITY. ARCHITECT WILL REVIEW EACH ACTION SUBMITTAL. MARK AS APPROPRIATE TO INDICATE ACTION TAKEN, AND RETURN COPIES LESS THOSE RETAINED. COMPLIANCE WITH SPECIFIED REQUIREMENTS REMAINS CONTRACTOR'S RESPONSIBILITY. SUBMIT SCHEDULE WITHIN 7 DAYS AFTER DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK. REVISE THE SCHEDULE AFTER EACH MEETING OR ACTIVITY WHERE REVISIONS HAVE BEEN MADE. FOR EQUIPMENT DATA, INCLUDE RATED CAPACITIES, DIMENSIONS, WEIGHTS, REQUIRED CLEARANCES, AND FURNISHED SPECIALTIES AND ACCESSORIES. SUBMIT PROJECT-SPECIFIC INFORMATION DRAWN TO SCALE. SUBMIT SAMPLES FINISHED AS SPECIFIED AND IDENTICAL WITH THE MATERIAL PROPOSED.

TEMPORARY FACILITIES AND CONTROLS

OWNER WILL PAY USE CHARGES FOR TEMPORARY UTILITIES. USE WATER AND ELECTRIC POWER FROM EXISTING SYSTEM WITHOUT METERING AND WITHOUT PAYMENT OF USE CHARGES. AT EARLIEST FEASIBLE TIME, WHEN ACCEPTABLE TO OWNER, CHANGE OVER FROM USE OF TEMPORARY SERVICE TO USE OF PERMANENT SERVICE. ENGAGE APPROPRIATE LOCAL UTILITY COMPANY TO INSTALL TEMPORARY SERVICE OR CONNECT TO EXISTING SERVICE. WHERE UTILITY COMPANY PROVIDES ONLY PART OF THE SERVICE, PROVIDE THE REMAINDER. PROVIDE TEMPORARY TOILETS, WASH FACILITIES, AND DRINKING-WATER FIXTURES. COMPLY WITH REGULATIONS AND HEALTH CODES FOR TYPE, NUMBER, LOCATION, OPERATION, AND MAINTENANCE OF FIXTURES AND FACILITIES. PROVIDE TEMPORARY ENVIRONMENTAL CONTROLS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, EROSION AND SEDIMENT CONTROL, DUST CONTROL, NOISE CONTROL, AND POLLUTION CONTROL. PROVIDE TEMPORARY BARRICADES, WARNING SIGNS, AND LIGHTS TO PROTECT THE PUBLIC AND CONSTRUCTION PERSONNEL FROM CONSTRUCTION HAZARDS. ENCLOSE CONSTRUCTION AREAS WITH FENCES WITH LOCKABLE ENTRANCE GATES. TO PREVENT UNAUTHORIZED ACCESS. PROVIDE TEMPORARY FIRE PROTECTION UNTIL PERMANENT SYSTEMS SUPPLY FIRE-PROTECTION NEEDS. COMPLY WITH NFPA. PROVIDE FIELD OFFICES, STORAGE TRAILERS, AND OTHER SUPPORT FACILITIES AS NECESSARY FOR THE WORK. COLLECT WASTE DAILY AND, WHEN CONTAINERS ARE FULL, LEGALLY DISPOSE OF WASTE OFF-SITE. HANDLE HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE MATERIALS IN SEPARATE CLOSED WASTE CONTAINERS. DISPOSE OF MATERIAL ACCORDING TO APPLICABLE LAWS AND REGULATIONS. PROVIDE TEMPORARY ENCLOSURES FOR PROTECTION OF CONSTRUCTION AND WORKERS FROM INCLEMANT WEATHER AND FOR CONTAINMENT OF HEAT. INSTALL PROJECT IDENTIFICATION AND OTHER SIGNS IN TO INFORM THE PUBLIC AND PERSONS SEEKING ENTRANCE TO PROJECT. REMOVE TEMPORARY FACILITIES AND CONTROLS BEFORE SUBSTANTIAL COMPLETION. PERSONNEL REMAINING AFTER SUBSTANTIAL COMPLETION WILL BE PERMITTED TO USE PERMANENT FACILITIES, UNDER CONDITIONS ACCEPTABLE TO OWNER.

EQUIPMENT

UNLESS OWNER AUTHORIZES USE OF PERMANENT HEATING SYSTEM, PROVIDE VENTED, SELF-CONTAINED HEATERS WITH THERMOSTATIC CONTROL. GASOLINE-BURNING AND SALAMANDER-TYPE HEATING UNITS ARE PROHIBITED. USE OF GASOLINE-BURNING SPACE HEATERS, OPEN-FLAME HEATERS, OR SALAMANDER-TYPE HEATING UNITS IS PROHIBITED. HEATING AND COOLING: PROVIDE TEMPORARY HEATING AND COOLING REQUIRED FOR CURING MATERIALS OR FOR PROTECTING INSTALLED CONSTRUCTION FROM ADVERSE WEATHER. USE EQUIPMENT THAT WILL NOT HAVE A HARMFUL EFFECT ON COMPLETED INSTALLATIONS OR ELEMENTS BEING INSTALLED.

SELECTIVE DEMOLITION

REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE BEGINNING SELECTIVE DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION. COMPLY WITH ANSISASSE A10.6 AND NFPA 241.

FIELD CONDITIONS

CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSE WILL BE MAINTAINED BY OWNER AS FAR AS PRACTICAL. BEFORE SELECTIVE DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.

HAZARDOUS MATERIALS

IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER BEFORE START OF THE WORK. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE IS NOT PERMITTED. UTILITY SERVICE: MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.

EXAMINATION

VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING SELECTIVE DEMOLITION OPERATIONS. REVIEW RECORD DOCUMENTS OF EXISTING CONSTRUCTION. OWNER DOES NOT GUARANTEE THAT EXISTING CONDITIONS ARE SAME AS THOSE INDICATED IN RECORD DOCUMENTS. SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF CONFLICT. PROMPTLY SUBMIT A WRITTEN REPORT TO ARCHITECT. SURVEY OF EXISTING CONDITIONS: RECORD EXISTING CONDITIONS BY USE OF MEASURED DRAWINGS. BEFORE SELECTIVE DEMOLITION OR REMOVAL OF EXISTING BUILDING ELEMENTS THAT WILL BE REPRODUCED OR DUPLICATED IN FINAL WORK, MAKE PERMANENT RECORD OF MEASUREMENTS, MATERIALS, AND CONSTRUCTION DETAILS REQUIRED TO MAKE EXACT REPRODUCTION.

UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

MEP DEMO AND NEW CONSTRUCTION IS PERFORMED BY DESIGN-BUILD CONTRACTORS. EXISTING SERVICES/SYSTEMS TO BE REMOVED, RELOCATED, OR ABANDONED: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED. ARRANGE TO SHUT OFF INDICATED UTILITIES WITH UTILITY COMPANIES. IF SERVICES/SYSTEMS ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE TEMPORARY SERVICES/SYSTEMS THAT BYPASS AREA OF SELECTIVE DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICE/SYSTEMS TO OTHER PARTS OF BUILDING. DISCONNECT, DEMOLISH, AND REMOVE FIRE-SUPPRESSION SYSTEMS, PLUMBING, AND HVAC SYSTEMS, EQUIPMENT, AND COMPONENTS INDICATED TO BE REMOVED. PIPING TO BE REMOVED: REMOVE PORTION OF PIPING INDICATED TO BE REMOVED AND CAP OR PLUG REMAINING PIPING WITH SAME OR COMPATIBLE PIPING MATERIAL. EQUIPMENT TO BE REMOVED: DISCONNECT AND CAP SERVICES AND REMOVE EQUIPMENT. DUCTS TO BE REMOVED: REMOVE PORTION OF DUCTS TO BE REMOVED AND PLUG REMAINING DUCTS WITH SAME OR COMPATIBLE DUCTWORK MATERIAL. REFRIGERANT: REMOVE REFRIGERANT FROM MECHANICAL EQUIPMENT TO BE SELECTIVELY DEMOLISHED ACCORDING TO 40 CFR 82 AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.

PREPARATION

SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT SELECTIVE DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. TEMPORARY SHORING: PROVIDE AND MAINTAIN SHORING, BRACINGS, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.

SELECTIVE DEMOLITION PROCEDURES FOR SPECIFIC MATERIALS

CONCRETE: DEMOLISH IN SMALL SECTIONS. USING POWER-DRIVEN SAW, CUT CONCRETE TO A DEPTH OF AT LEAST 3/4 INCH (19 MM) AT JUNCTURES WITH CONSTRUCTION TO REMAIN. DISLODGE CONCRETE FROM REINFORCEMENT AT PERIMETER OF AREAS BEING DEMOLISHED, CUT REINFORCEMENT, AND THEN REMOVE REMAINDER OF CONCRETE. CUT CONCRETE FULL DEPTH AT JUNCTURES WITH CONSTRUCTION TO REMAIN AND AT REGULAR INTERVALS USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS. MASONRY: DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS. CONCRETE SLABS-ON-GRADE: SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED, THEN BREAK UP, CRUSH & SALVAGE FOR REUSE IN THE PROJECT.

DISPOSAL OF DEMOLISHED MATERIALS

GENERAL: REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS. DISPOSAL: TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.

CUTTING AND PATCHING

DO NOT CUT STRUCTURAL MEMBERS WITHOUT PRIOR WRITTEN APPROVAL OF ARCHITECT. FOR PATCHING, PROVIDE MATERIALS WHOSE INSTALLED PERFORMANCE WILL EQUAL OR SURPASS THAT OF EXISTING MATERIALS. FOR EXPOSED SURFACES, PROVIDE OR FINISH MATERIALS TO VISUALLY MATCH EXISTING ADJACENT SURFACES TO THE FULLEST EXTENT POSSIBLE.

EXAMINATION AND PREPARATION

EXAMINE SUBSTRATES AND CONDITIONS FOR COMPLIANCE WITH MANUFACTURER'S WRITTEN REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, SURFACES THAT ARE SOUND, LEVEL, AND PLUMB; SUBSTRATES WITHIN INSTALLATION TOLERANCES; SURFACES THAT ARE SMOOTH, CLEAN, AND FREE OF DELETERIOUS SUBSTANCES; AND APPLICATION CONDITIONS WITHIN ENVIRONMENTAL LIMITS. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. PREPARE SUBSTRATES AND ADJOINING SURFACES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS, INCLUDING, BUT NOT LIMITED TO, FILLER AND PRIMER APPLICATION. WHERE DRAWINGS INDICATE DIMENSIONS OF EXISTING CONSTRUCTION VERIFY BY FIELD MEASUREMENT. WHERE FABRICATED PRODUCTS ARE TO BE FITTED TO OTHER CONSTRUCTION VERIFY DIMENSIONS BY FIELD MEASUREMENT BEFORE FABRICATING AND, WHEN POSSIBLE, ALLOW FOR FITTING AND TRIMMING DURING INSTALLATION. INSTALLATION COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR INSTALLATION. ANCHOR EACH PRODUCT SECURELY IN PLACE, ACCURATELY LOCATED AND ALIGNED. CLEAN EXPOSED SURFACES AND PROTECT FROM DAMAGE. IF APPLICABLE, PREPARE SURFACES FOR FIELD FINISHING. COMPLY WITH NFPA 70 FOR INSTALLATION OF ELECTRICALLY OPERATED EQUIPMENT AND ELECTRICAL COMPONENTS AND MATERIALS.

PRODUCTS

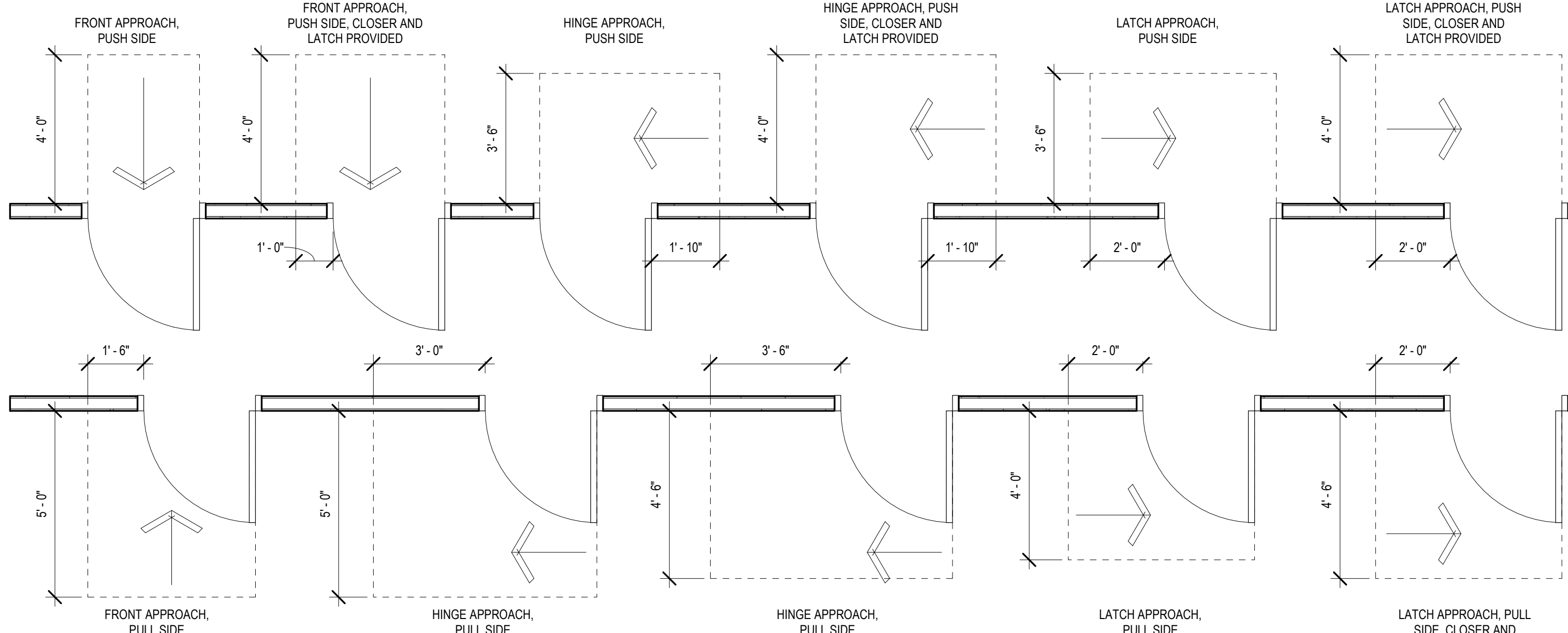
PROVIDE PRODUCTS THAT COMPLY WITH THE CONTRACT DOCUMENTS, ARE UNDAMAGED, AND ARE NEW AT THE TIME OF INSTALLATION. PROVIDE PRODUCTS COMPLETE WITH ACCESSORIES, TRIM, FINISH, AND OTHER DEVICES AND COMPONENTS NEEDED FOR A COMPLETE INSTALLATION AND THE INTENDED USE AND EFFECT. WHERE A SINGLE PRODUCT IS NAMED AS THE "BASIS-OF-DESIGN" AND NO OTHER MANUFACTURERS ARE NAMED, PROVIDE THE NAMED PRODUCT OR COMPLY WITH PROVISIONS FOR "COMPARABLE PRODUCT SUBMITTAL" TO OBTAIN APPROVAL FOR USE OF A PRODUCT OF ANOTHER MANUFACTURER. WHERE A PRODUCT IS DESCRIBED WITH REQUIRED CHARACTERISTICS, PROVIDE A PRODUCT THAT COMPLIES WITH THOSE CHARACTERISTICS. WHERE COMPLIANCE WITH PERFORMANCE REQUIREMENTS IS SPECIFIED, PROVIDE PRODUCTS THAT COMPLY AND ARE RECOMMENDED IN WRITING BY THE MANUFACTURER FOR THE APPLICATION. WHERE COMPLIANCE WITH CODES, REGULATIONS, OR STANDARDS, IS SPECIFIED, SELECT A PRODUCT THAT COMPLIES WITH THE CODES, REGULATIONS, OR STANDARDS REFERENCED.

CLEANING

CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.

CLOSEOUT PROCEDURES

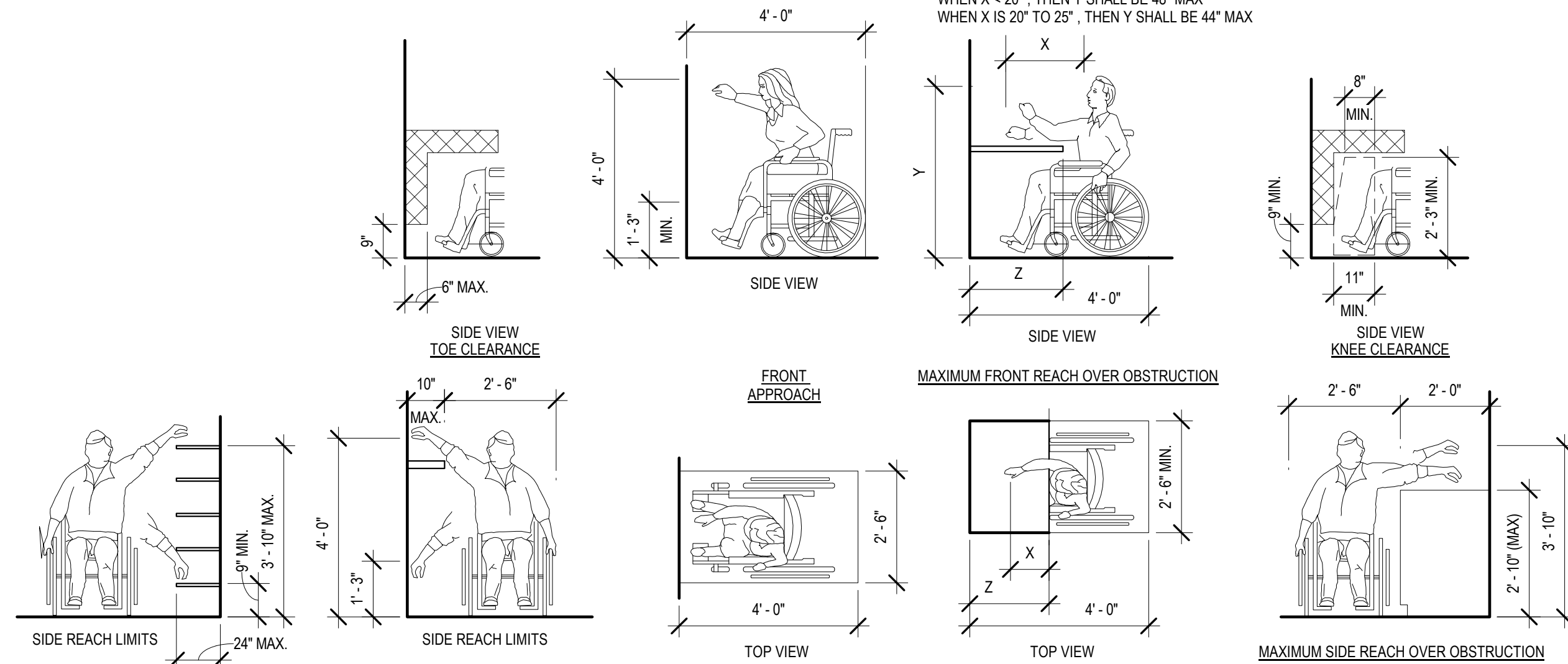
REQUEST SUBSTANTIAL COMPLETION INSPECTION ONCE THE FOLLOWING ARE COMPLETE. ADVISE OWNER OF PENDING INSURANCE CHANGE-OVER REQUIREMENTS. SUBMIT RECORD DRAWINGS AND SPECIFICATIONS, MAINTENANCE MANUALS, WARRANTIES, AND SIMILAR RECORD INFORMATION. DELIVER SPARE PARTS, EXTRA MATERIALS, AND SIMILAR ITEMS. CHANGE OVER LOCKS AND TRANSMITS KEYS TO OWNER. COMPLETE STARTUP TESTING OF SYSTEMS AND INSTRUCTION OF OPERATION AND MAINTENANCE PERSONNEL. REMOVE TEMPORARY FACILITIES AND CONTROLS. COMPLETE FINAL CLEANUP, TOUCH UP, REPAIR, AND RESTORE MARKED, EXPOSED FINISHES. OBTAIN FINAL INSPECTIONS FROM AUTHORITIES HAVING JURISDICTION. OBTAIN RECORD OF OCCUPANCY. ON RECEIPT OF ARCHITECT FOR INSPECTION, ARCHITECT WILL REQUEST WITH INSPECTION OR ADVISE CONTRACTOR OF UNFULFILLED REQUIREMENTS. ARCHITECT WILL PREPARE THE CERTIFICATE OF SUBSTANTIAL COMPLETION AFTER INSPECTION OR ADVISE CONTRACTOR OF ITEMS THAT MUST BE COMPLETED OR CORRECTED BEFORE THE CERTIFICATE WILL BE ISSUED. ARRANGE FOR EACH INSTALLER OF EQUIPMENT THAT REQUIRES OPERATION AND MAINTENANCE TO PROVIDE INSTRUCTION TO OWNER'S PERSONNEL. REQUEST INSPECTION FOR CERTIFICATION OF FINAL ACCEPTANCE. ONCE THE FOLLOWING ARE COMPLETE, SUBMIT A COPY OF THE SUBSTANTIAL COMPLETION INSPECTION LIST STATING THAT EACH ITEM HAS BEEN COMPLETED OR OTHERWISE RESOLVED FOR ACCEPTANCE. SUBMIT FINAL METER READINGS FOR UTILITIES. A RECORD OF STORED FUEL, AND SIMILAR DATA AS OF THE DATE OF SUBSTANTIAL COMPLETION. ARCHITECT WILL RESPECT THE WORK ON NOTICE THAT THE WORK HAS BEEN COMPLETED. ON COMPLETION OF REINSPECTION, ARCHITECT WILL PREPARE A CERTIFICATE OF FINAL ACCEPTANCE. IF THE WORK IS INCOMPLETE, ARCHITECT WILL ADVISE CONTRACTOR OF THE WORK THAT IS INCOMPLETE OR OBLIGATIONS THAT HAVE NOT YET BEEN FULFILLED.



3 MANEUVERING CLEARANCES AT DOORS

Scale: 3/8" = 1'-0"

X SHALL BE 17" TO 25"; Z SHALL BE > X
WHEN X < 20", THEN Y SHALL BE 48" MAX
WHEN X IS 20" TO 25", THEN Y SHALL BE 44" MAX



2 ADA REACH RANGES - FOR REFERENCE ONLY

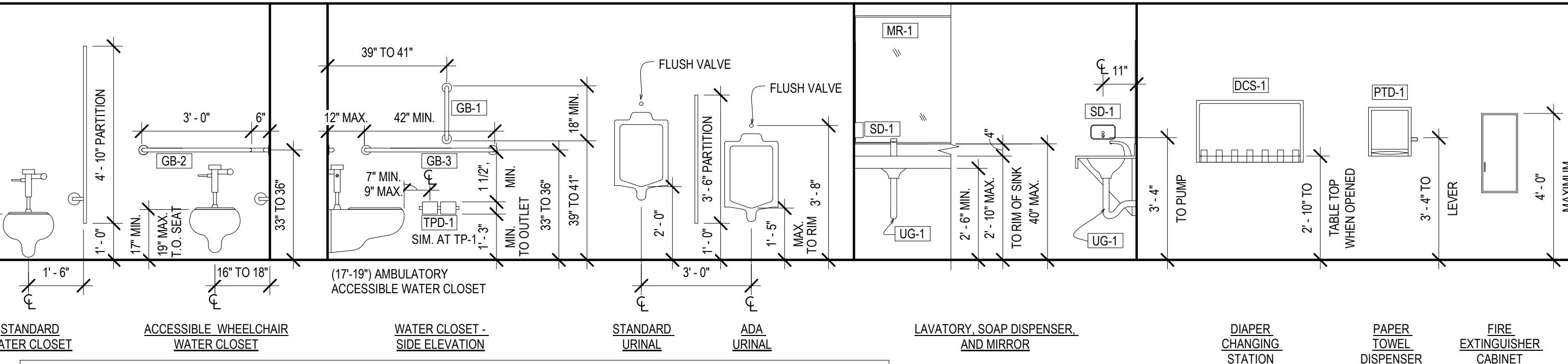
Scale: 3/8" = 1'-0"

DRAWING SYMBOLS KEY

	EXTERIOR ELEVATION REFERENCE REFER TO SHEET NUMBER INDICATED INSIDE OF SYMBOL
	INTERIOR ELEVATION REFERENCE REFER TO SHEET NUMBER INDICATED INSIDE OF SYMBOL
	DETAIL REFERENCE REFER TO SHEET NUMBER INDICATED IN BOTTOM OF SYMBOL
	SECTION REFERENCE REFER TO SHEET NUMBER INDICATED IN BOTTOM OF SYMBOL
	ROOM NAME ROOM NAME/NUMBER REFERENCE REFER TO ROOM FINISH SCHEDULE
	DOOR REFERENCE REFER TO DOOR SCHEDULE
	INTERIOR WALL TYPE REFERENCE REFER TO INTERIOR PARTITION TYPES
	ELEVATION REFERENCE
	COLUMN GRID REFERENCE
	NEW WORK KEY NOTE REFERENCE REFER TO NEW WORK KEY NOTES
	DEMOLITION KEY NOTE REFERENCE REFER TO DEMOLITION KEY NOTES
	REVISION REFERENCE REFER TO TITLE BLOCK
	WINDOW TYPE REFERENCE REFER TO WINDOW TYPE ELEVATIONS
	CEILING HEIGHT REFERENCE

ABBREVIATION KEY:

AB	AIR BARRIER	GALV	GALVANIZED	QT	QUARRY TILE
ACT	ACOUSTICAL CEILING TILE	GB	GRAB BAR	QT B	QUARRY TILE BASE
ADJ	ADJACENT	GFI	GROUND FAULT INTERRUPTER	R	RISER
A.F.F.	ADJACENT FINISHED FLOOR	GFRC	GLASS FIBER REINFORCED CONCRETE	RAD	RADIUS
ALUM	ALUMINUM	GL	GLASS MASONRY UNIT	RCP	REFLECTED CEILING PLAN
AP	ACCESS PANEL	GMU	GLASS MASONRY UNIT	RD	ROOF DRAIN
AWP	ACOUSTICAL WALL PANEL	G	GROUT	REC	RECESSED
BL	BORROWED LIGHT	GROM	GROMMET	RECD	RECEIVED
BLKG	BLOCKING	GT	GLASS TILE	REFER	REFERENCE
BULD	BULK HEAD	GWB	Gypsum WALL BOARD	REQD	REQUIRED
B.O.	BOTTOM OF	H	HOSE BIBB	RF	RESILIENT FLOOR SYSTEMS
BRG	BEARING	HD	ELECTRIC HAND DRYER	RF-WB	RESILIENT FLOOR WALL BASE
BRZ	BRONZE	HM	HOLLOW METAL DOORS AND FRAMES	RO	ROUGH OPENING
CH	COAT HOOK	HP	HIGH POINT	RS	ROUGH OPENING
CHKBD	CHALKBOARD	HPC	HIGH PERFORMANCE COATINGS	RVL	REVEAL
CL	CONTROL/CONSTRUCTION JOINT	HR	HOUR	SA	SMOKE ALARM
CLG	CENTER LINE	IAW	INTERIOR ARCHITECTURAL WOODWORK	SC	SEALED CONCRETE
CLR	CLEARANCE / CLEAR	INSUL	INSULATION	SCD	SUN CONTROL DEVICE
CMU	CONCRETE MASONRY UNIT	IWP	IMPACT WALL PROTECTION	SCHED	SCHEDULE
COMP	CAST-IN-PLACE CONCRETE	JAN	JANITOR	SD	SOAP DISPENSER
CONT	CONTINUOUS	JNT	JOINT	SP	SUBFLOOR
CONTR	CONTRACTOR	JST	JOIST	SHTG	SHEATHING
CORR	CORRIDOR	LF	LINEAR FOOT	SIM	SIMILAR
CPT	CARPET	LL	LIVE LOAD	SND	SANITARY NAPKIN DISPENSER
CRK	CORK	LMC	LINEAR METAL CEILING	SNV	SANITARY NAPKIN VENDER
CS	COPING SYSTEM	LP	LOW POINT	SOD	SECTIONAL OVERHEAD DOOR
CT	CERAMIC TILE	LVR	LOUVER	SO FT	SQUARE FOOT
CTB	CERMIC TILE BASE	LWC	LINEAR WOOD CEILING	SSF	SOLID SURFACE FABRICATION
CW	CURTAIN WALL SYSTEM	MAS	MASONRY	SSG	STRUCTURAL SILICONE GLAZED
DCS	DIAPER CHANGING STATION	MAT	MATERIAL	SST	STAINLESS STEEL
DIM	DIAPHRAM	MB	MOISTURE BARRIER	ST	STONE
DL	DEAD LOAD	MCH	MECHANICAL / ELECTRICAL / PLUMBING	STA	STONE TILE BASE
DR	DOOR	MET	METAL	STC	SOUND TRANSMISSION CLASS
DS	DOWN SPOUT	MIR	MIRROR	STL	STEEL
DWG	DRAWING	MKBD	MARKER BOARD	STOR	STORAGE
EIFS	EXTERIOR INSULATION FINISH SYSTEM	MO	MASONRY OPENING	SUSP	SUSPENDED
EL	ELEVATION	MFP	MANUFACTURED METAL PANEL	T	TREAD
ELEC	ELECTRICAL	MPC	METAL PAN CEILING	TB	TOILET & BATH ACCESSORIES
ELEV	ELEVATOR	MR	MOISTURE RESISTANT	TER	TERRAZZO
EQ	EQUAL	MTD	MOUNTED	T&G	TONGUE & GROOVE
EQUIP	EQUIPMENT	NTS	NOT TO SCALE	T.O.	TOP OF
EIFS	EXTERIOR INSULATION FINISH SYSTEM	OC	ON CENTER	TPD	TOILET PAPER DISPENSERY
EL	ELEVATION	OCD	OVERHEAD COILING DOOR	TR	TOILET ROOM
ELEV	ELEVATOR	OCG	OVERHEAD COILING GRILLE	TWF	THROUGH WALL FLASHING
EST	ESTIMATE	OFD	OVERHEAD FABRIC DOOR	TYP	TYPICAL
EWS	EXTERIOR WALL SYSTEM	OFI	OWNER FURNISHED CONTRACTOR INSTALLED	UG	UNDER LAVATORY GUARD
EXJ	EXPANSION JOINT	OFI	OWNER FURNISHED CONTRACTOR INSTALLED	UNO	UNLESS NOTED OTHERWISE
EXP	EXPOSED CONSTRUCTION	PC	PRECAST CONCRETE	VDS	VISUAL DISPLAY SURFACES
EXTG	EXISTING	PLAM	PLASTIC LAMINATE	VEST	VESTIBULE
FD	FLOOR DRAIN	PPT	PRESSURE TREATED WOOD	VNR	VENEER
FDN	FOUNDATION	PREFIN	PREFINISHED	VTR	VENT THROUGH ROOF
FE	FIRE EXTINGUISHER	PRT	PARTITION	WC	WALL COVERING
FEP	FINISHED END PANEL	PS	FRIGNITION SCREEN	WD	WOOD
FF	FINISHED FLOOR	P-S	CLOSET POLE AND SHELF	WDD	WINDOW
FL MAT	FLOOR MAT AND FRAME	PT	PAINT	WL	WIND LOAD
FLR	FLOOR	PTD	PAPER TOWEL DESPENSER	WDP	WOOD PANEL
FR	FRAME			WP	WATER PROOFING
FRP	FIBERGLASS REINFORCED POLYESTER			WRC	WAST RECEPTICAL
FSTOP	FIRESTOPPING			WT	WINDOW TREATMENT
FTG	FOOTING				
FWS	FOUNDATION WALL SYSTEM				



GENERAL NOTES:
 1. LIGHT SWITCHES, ELECTRICAL OUTLETS, AND OTHER ENVIRONMENTAL CONTROLS SHALL BE MOUNTED NO HIGHER THAN 4'-0" U.L.O. & NO LOWER THAN 1'-3" ABOVE FINISHED FLOOR. IF THE CONTROL IS MOUNTED ABOVE A COUNTER OR OTHER OBSTRUCTION, WHICH IS BETWEEN 20" 25" IN DEPTH, THEN THE MAXIMUM MOUNTING HEIGHT SHALL BE LOWERED TO 3'-8" AFF. LIGHT SWITCHES AND THERMOSTATS IN THE SAME LOCATION ARE TO ALIGN HORIZONTALLY. IF SWITCHES ARE UNABLE TO BE ALIGNED, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK. SEE GENERAL ADA REACH RANGES DIAGRAM FOR MORE INFORMATION.
 2. PROVIDE SOLID WOOD BLOCKING OR METAL STRAPPING IN WALLS FOR INSTALLATION OF ACCESSORIES.
 3. NOT ALL ACCESSORIES SHOWN ON THIS DRAWING ARE PROVIDED IN THE PROJECT.

1 MOUNTING HEIGHT STANDARDS - FOR REFERENCE ONLY

Scale: 3/8" = 1'-0"

DAN BEYER ARCHITECTS
 225 E ST. PAUL AVE, STE 303
 MILWAUKEE WI, 53202
 414-239-8267

1327 BRADY
 1327 EAST BRADY STREET
 MILWAUKEE, WISCONSIN

REVISIONS:
 SCALE: VARIES
 PROJECT NUMBER: 1908-001
 SET TYPE: BUILDOUT PACKAGE - PHASE II
 DATE ISSUED: 11/18/2019
 SHEET NUMBER: A001

GENERAL FLOOR PLAN NOTES TO CONTRACTOR

- THIS DRAWING IS FURTHER SUPPORTED BY INFORMATION CONTAINED IN THE SPECIFICATION MANUAL.
- THE STRUCTURAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INFORMATION CONTAINED IN ALL THE DRAWINGS BEFORE THE INSTALLATION OF ALL WORK.
- DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING CONSTRUCTION.
- FINISH FLOOR ELEVATIONS ARE TO THE TOP OF THE FINISHED FLOOR MATERIAL UNLESS OTHERWISE NOTED.
- CONTRACTORS SHALL JOINTLY PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACKING PLATES, WALL BLOCKING AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF CASEWORK, TOILET ACCESSORIES, PARTITIONS, MILLWORK AND ALL WORK MOUNTED OR SUSPENDED BY ALL TRADES.
- ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK IS DESIGN BUILT BY GENERAL CONTRACTOR, GC IS RESPONSIBLE FOR COORDINATING WORK OF ALL SUB CONTRACTORS.

NEW WORK PLAN LEGEND

— EXISTING, TO REMAIN
 [Hatched] MASONRY PARTITION, SEE PARTITION TYPES FOR DETAILS
 [Dashed] METAL STUD PARTITION, SEE PARTITION TYPES FOR DETAILS.

NEW WORK PLAN KEYNOTES

SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES.

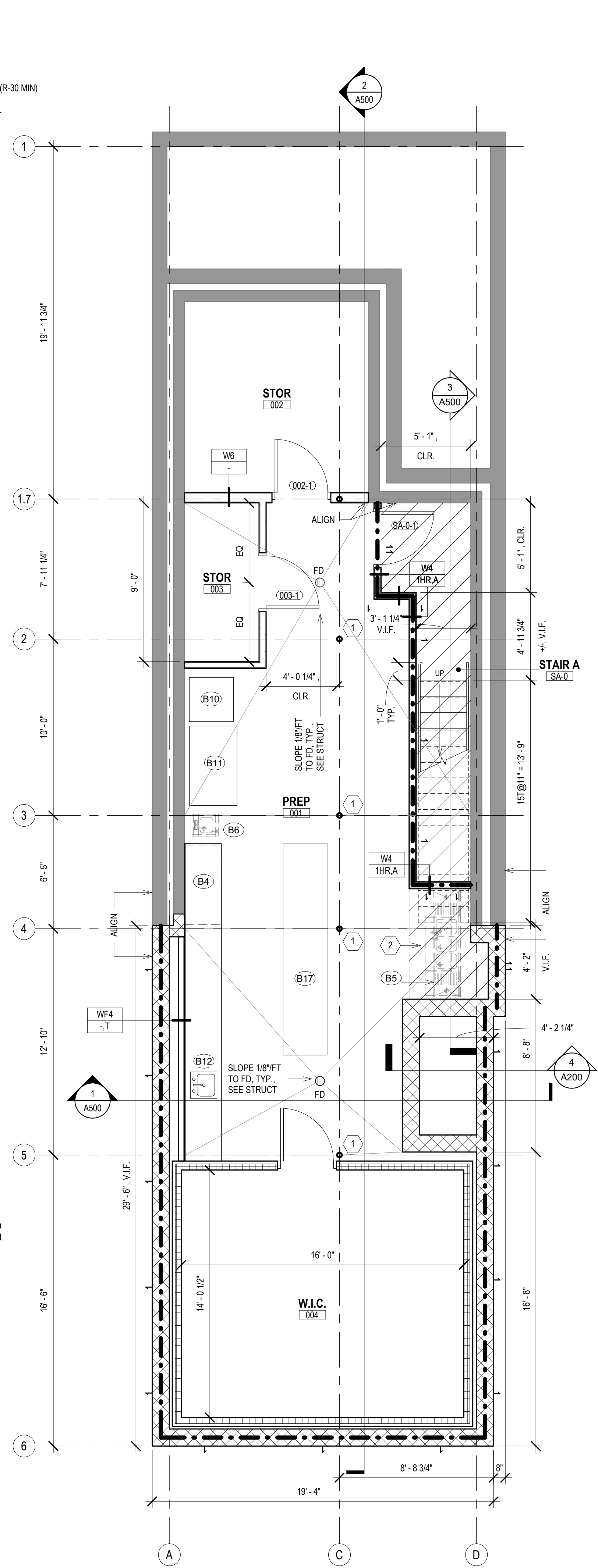
NEW WORK PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.

1	NEW STEEL COLUMN, SEE STRUCTURAL. PAINT PT-X WHERE EXPOSED.
2	DIAGONAL HATCH REGION INDICATES 1HR RATED ASSEMBLY ABOVE. SEE SECTION 3/A500.
3	ELEVATION OF LANDING TO BE 3/8" BELOW FIRST FLOOR ELEVATION.

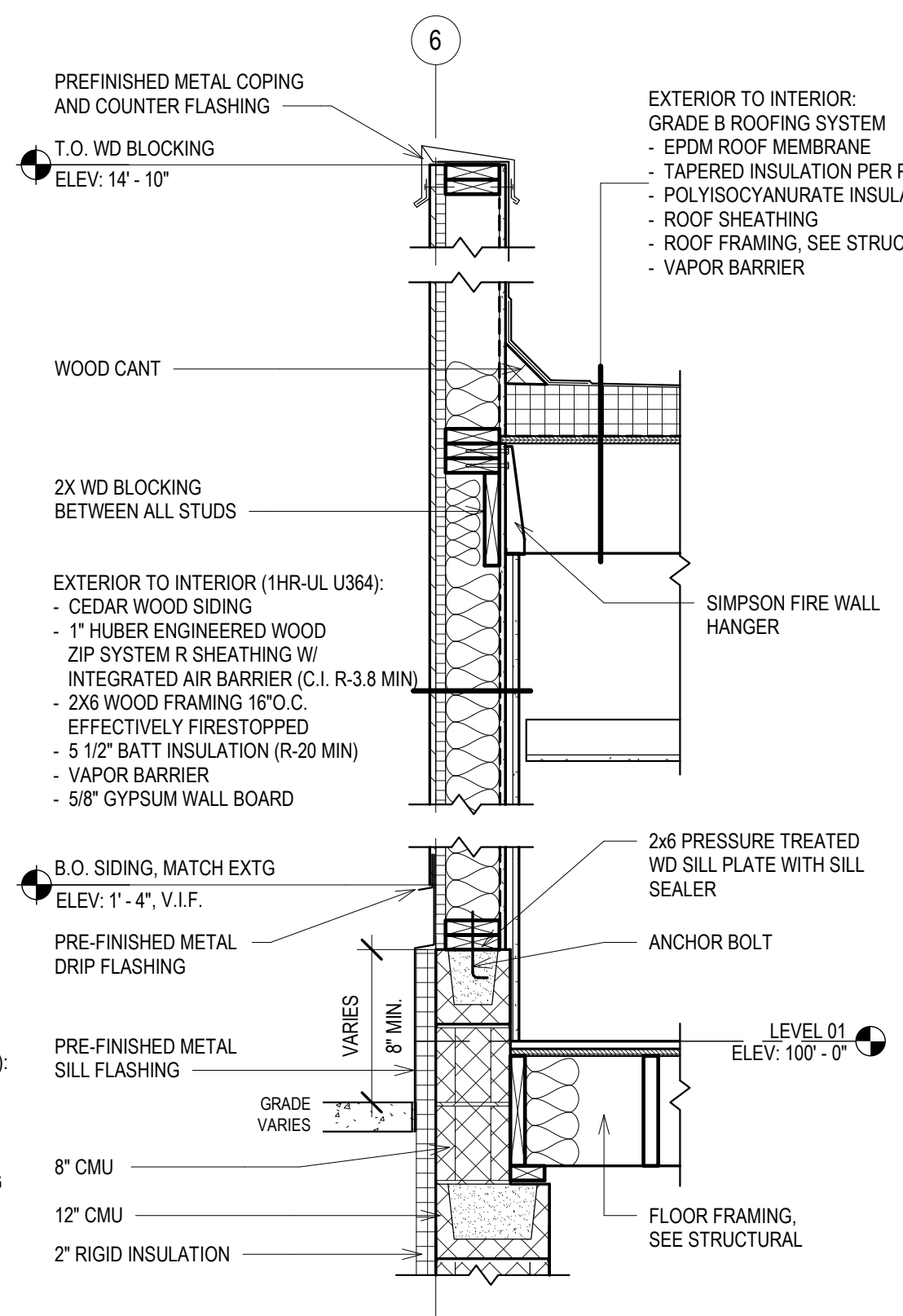
EQUIPMENT SCHEDULE

BAR, KITCHEN, AND PREP EQUIPMENT ARE SHOWN FOR CONCEPTUAL DESIGN ONLY. CONTRACTOR TO CONFIRM ACTUAL EQUIPMENT LAYOUT AND MEP NEEDS WITH OWNER.

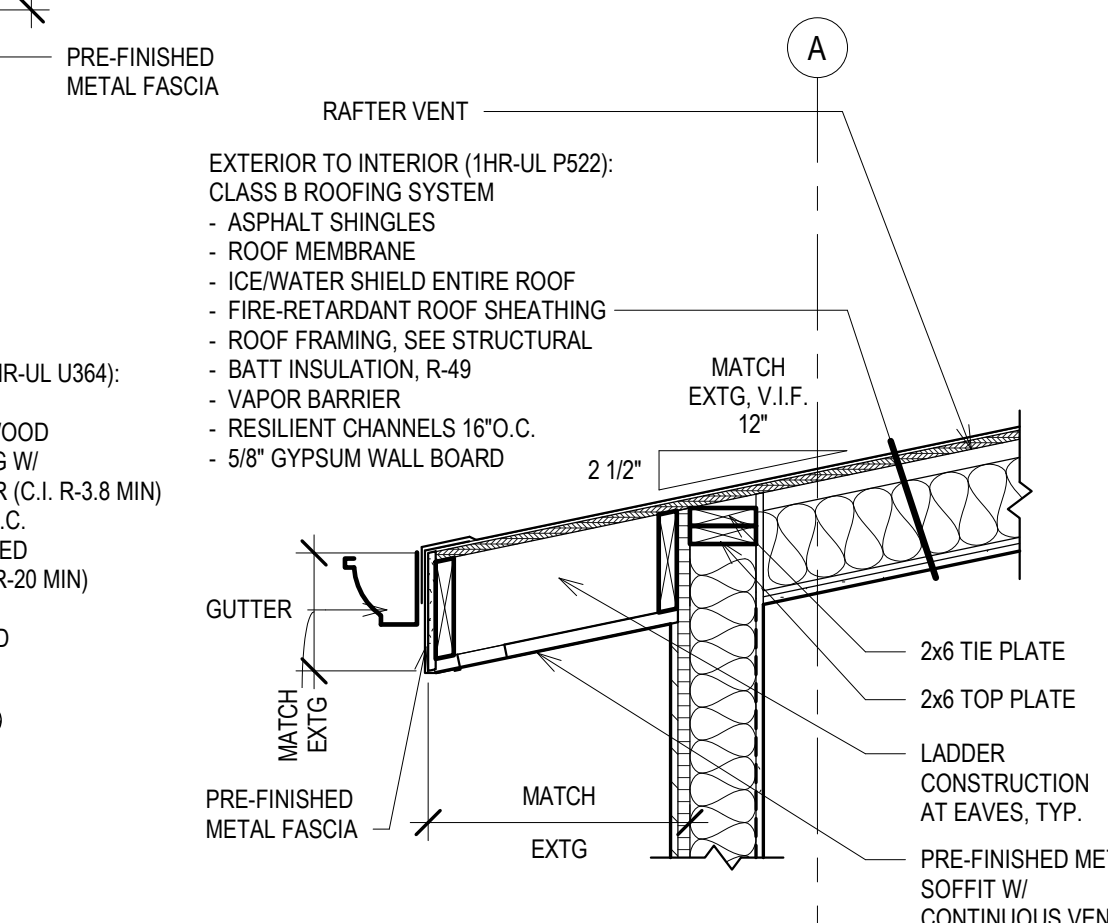
(B1) ICE BIN	(B7) SHELVING	(B13) REFRIGERATOR
(B2) DRAIN BOARD	(B8) TAP BEER DISPENSOR	(B14) GRIDDLE / OVEN
(B3) SPEED RAIL	(B9) GARBAGE	(B15) RANGE / OVEN
(B4) 3 DOOR REFRIGERATOR	(B10) ICE MACHINE	(B16) FRY
(B5) COMPARTMENT SINK	(B11) FREEZER	(B17) PREP TABLE
(B6) HAND WASH	(B12) PREP SINK	(B18) HOOD



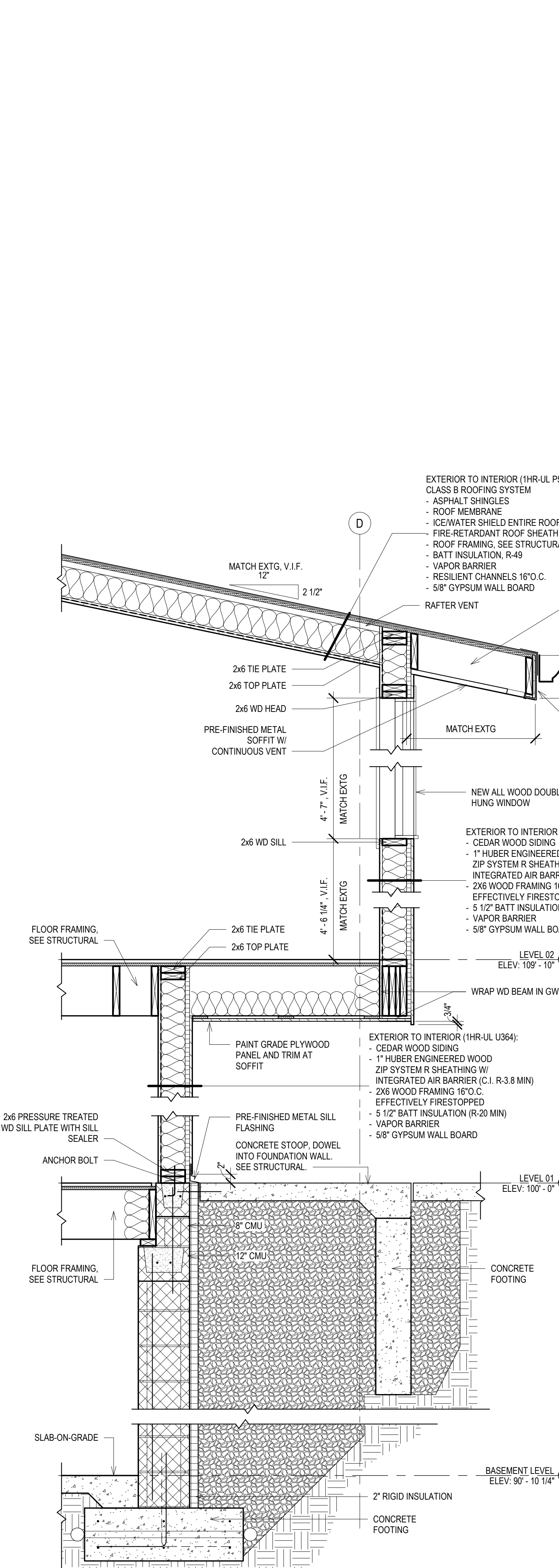
1 NEW WORK PLAN - BASEMENT
 Scale: 1/4" = 1'-0"



3 SECTION AT NEW ROOF
 Scale: 3/4" = 1'-0"



2 TYP. SECTION AT NEW
 Scale: 3/4" = 1'-0"



4 SECTION AT ENTRY
 Scale: 3/4" = 1'-0"

1327 BRADY

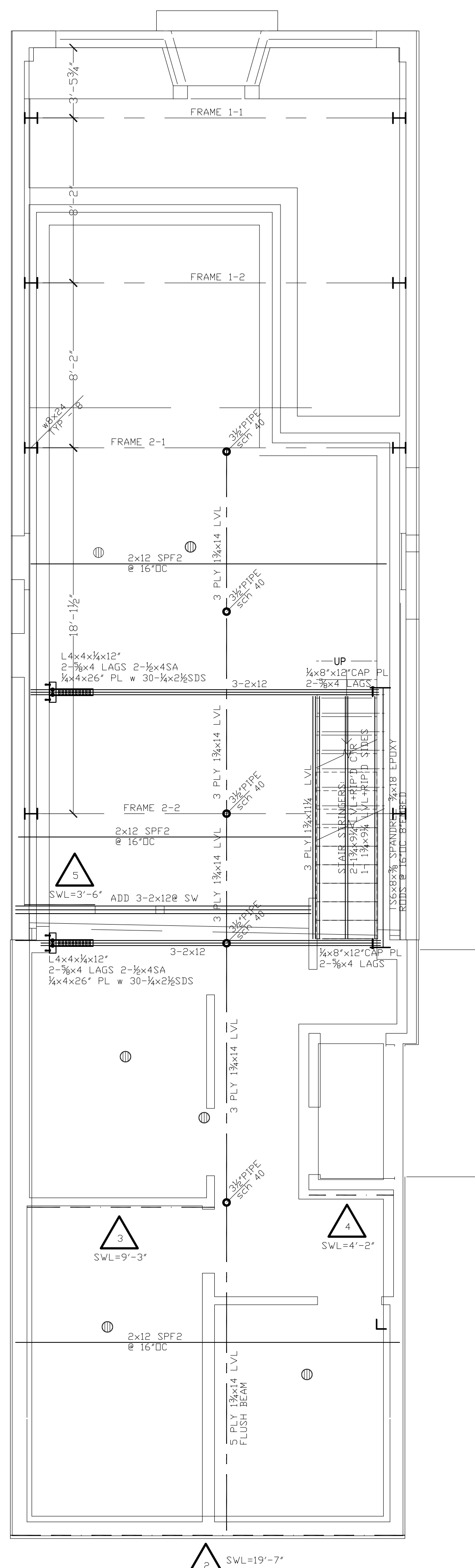
1327 EAST BRADY STREET
 MILWAUKEE, WISCONSIN

SHEET TITLE:
 NEW WORK PLAN - BASEMENT AND WALL SECTIONS

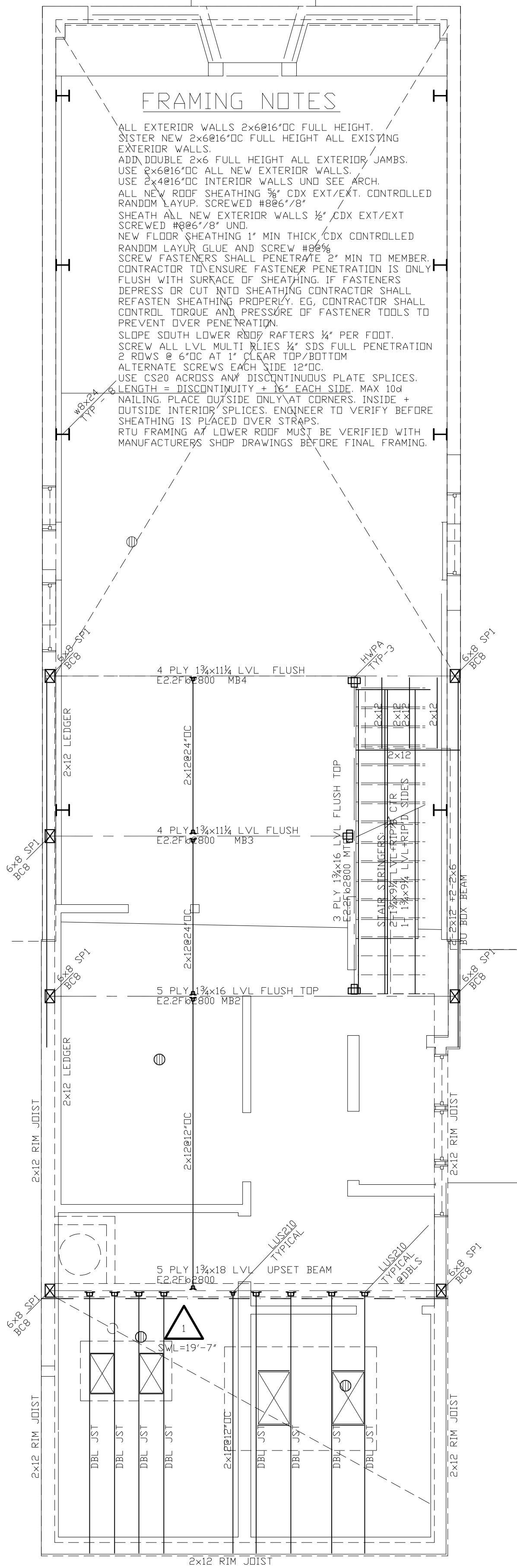
REVISIONS:

SCALE	VARIABLES
PROJECT NUMBER	1908-001
SET TYPE	BUILDOUT PACKAGE - PHASE II
DATE ISSUED	11/18/2019
SHEET NUMBER	A200

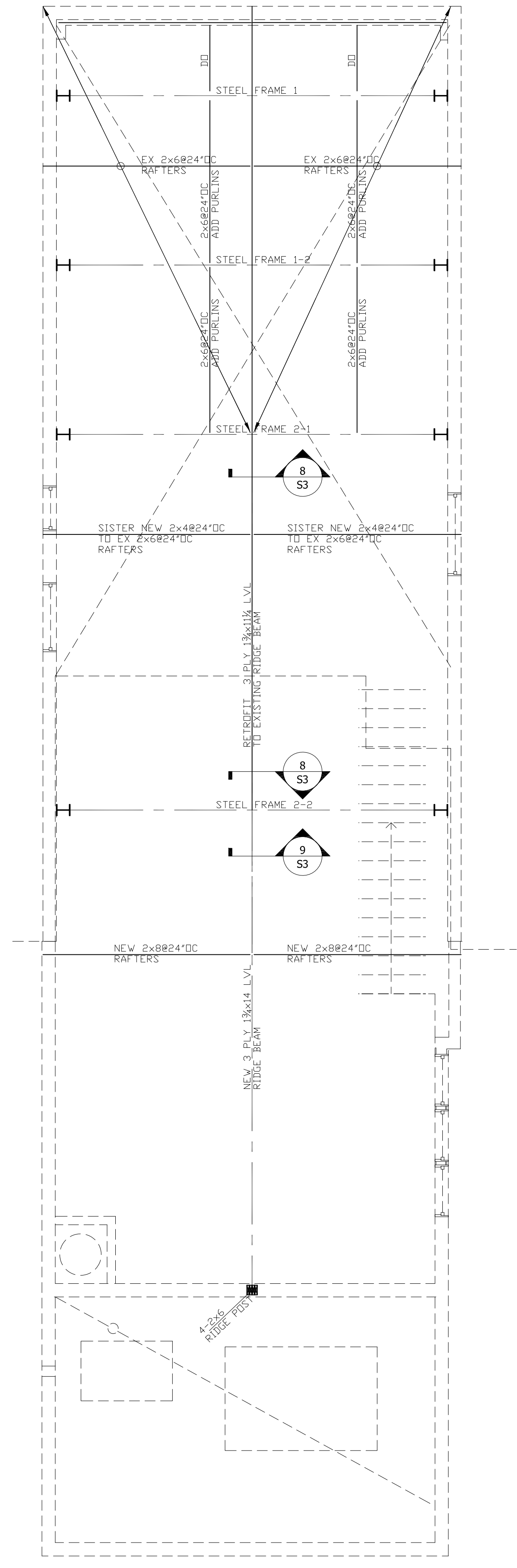
CONTRACTOR TO MAKE THOROUGH ACCOUNT OF SPECIALTY HARDWARE REQUIRED. SPECIAL ORDERS ARE REQUIRED. LEAD TIMES ARE CRITICAL. NO RE-ENGINEERING WILL BE PROVIDED FOR FAILURE TO PROPERLY PLAN AND PREPARE FOR SPECIAL HARDWARE INSTALLATION CONDITIONS. CONTRACTOR IS SOLELY RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO ANY FABRICATIONS OR CONSTRUCTION.



B FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



C SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



D ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

SHEARWALL SCHEDULE

1. SHEARWALL LENGTH 19'-7". 2x6 WALL STUDS @ 16" OC. ALL EDGES BLOCKED. SILL NAIL 16@8" OC. TOP PLATE STRUT NAIL 16@8" OC. 5/8" CDX 1 SIDE SCREWED #8@6"/8". HOLD-DOWNS CS20x36" BOTH ENDS TO DOUBLE STUD.
2. SHEARWALL LENGTH 19'-7". 2x6 WALL STUDS @ 16" OC. ALL EDGES BLOCKED. SILL NAIL 16@8" OC. TOP PLATE STRUT NAIL 16@8" OC. 5/8" CDX 1 SIDE SCREWED #8@6"/8". HOLD-DOWNS HD5A BOTH ENDS TO DOUBLE STUD.
3. SHEARWALL LENGTH 9'-3". 2x4 WALL STUDS @ 16" OC. ALL EDGES BLOCKED. SILL NAIL 2 ROWS 16@8" OC. TOP PLATE STRUT NAIL 2 ROWS 16@8" OC. 5/8" CDX 2 SIDES SCREWED #8@4"/8". HOLD-DOWNS HD5A BOTH ENDS TO DOUBLE STUD.
4. SHEARWALL LENGTH 4'-2". 2x4 WALL STUDS @ 16" OC. ALL EDGES BLOCKED. SILL NAIL 2 ROWS 16@8" OC. TOP PLATE STRUT NAIL 2 ROWS 16@8" OC. 5/8" CDX 2 SIDES SCREWED #8@4"/8". HOLD-DOWNS HD5A BOTH ENDS TO DOUBLE STUD.
5. SHEARWALL LENGTH 3'-6". 4x6 WALL STUDS @ 16" OC. ALL EDGES BLOCKED. 4x4 SILL + TOP PLATE LAGS. 5/8"x8" @ 12" OC 4 MINIMUM TOP PLATE STRUT SAME. 5/8" CDX 2 SIDES SCREWED #8@2"/8". HOLD-DOWNS HD14/55S BOTH ENDS TO 4x STUD. USE BPI BEARING PLATE UNDERSIDE TRIPLE JST. USE SET EPOXY RETRO INSTALL AT CMU EMBED 15"

3. LUMBER

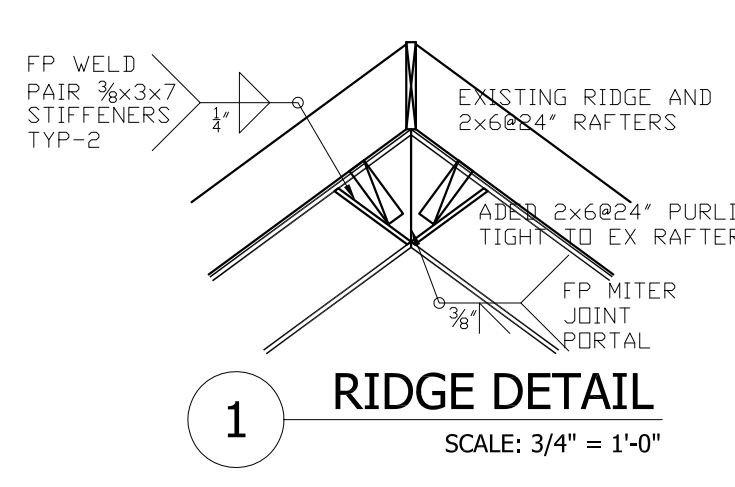
- A. PROVIDE AND INSTALL ALL LUMBER AS NOTED IN PLANS.
- B. LUMBER SHALL BE GRADED AND STAMPED WITH STRUCTURAL DESIGN VALUES AS LISTED BELOW UNO.
 1. POSTS, BUILT UP 2X POSTS, DIMENSION LUMBER SPF #2 OR BETTER
 2. JOISTS & HEADERS SP #1 OR BETTER
 3. WALL STUDS SPF #2 OR BETTER GRADE
 4. LAMINATED VENEER LUMBER LVL'S 2.2 E 2.8 FB
 5. ROOF SHEATHING 1/2" CDX EXTERIOR RATED NAILED 8D GALV. @ 6/12 CLIP ALL UNSUPPORTED EDGES.
 6. FLOOR SHEATHING 1" MIN T&G GLUED AND SCREWED #10 BUGLE HEAD @ 6/12
 7. EXTERIOR WALL SHEATHING 1/2" OSB PS-1 RATED EXTERIOR NAILED 8D @ 6/12 UNO
- C. NAILS MISSING THE INTENDED MEMBERS IN ROOF AND FLOOR SHEATHING SHALL BE REMOVED.
- D. LUMBER IN CONTACT WITH CONCRETE OF MASONRY SHALL BE PRESSURE TREATED. PROVIDE 1 LAYER OF 15" FELT UNDER ALL SILL PLATES.
- E. CONTRACTOR PROVIDE ALL BLOCKING NOTED IN PLANS. VERIFY AND PROVIDE ALL ADDITIONAL BLOCKING AS REQUIRED FOR INSTALLATION OF ARCHITECTURALS INCLUDING BATH, LIGHTING ACCESSORIES, CURTAINS, CABINETS.
- F. HARDWARE AND NOMENCLATURE NOTED IN PLANS IS "SIMPSON" G60.
- G. MODIFICATION OF HARDWARE SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.
- H. MODIFICATIONS OF HARDWARE NOTED IN PLANS SHALL MAINTAIN THE ORIGINAL QUANTITY OF FASTENERS.
- I. COORDINATE AND REVIEW WITH MECHANICALS AS REQUIRED FOR PENETRATIONS OR REINFORCEMENTS.
- J. MODIFICATIONS FOR EQUIPMENT AND LOADINGS NOT NOTED IN PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.
- K. ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES SHALL BE FIRE-SAFED, REVIEWED AND APPROVED BY THE ARCHITECT.
- L. PROVIDE FOUNDATION CONTRACTOR ALL EMBED HARDWARE; REVIEW AND APPROVE ALL EMBED ITEMS PRIOR TO CONCRETE POUR.
- M. FOUNDATION SILL PLATE ANCHORS ARE 5/8" DIA. X 10" X 2" L-ANCHOR BOLTS GRADE A36 @ 24" OC UNO.
- N. FASTENERS EXPOSED TO WEATHER SHALL BE HDG OR STAINLESS STEEL.
- P. ALL BOLT OR THREADED ROD FASTENERS A325 GRADE.

4. STRUCTURAL STEEL

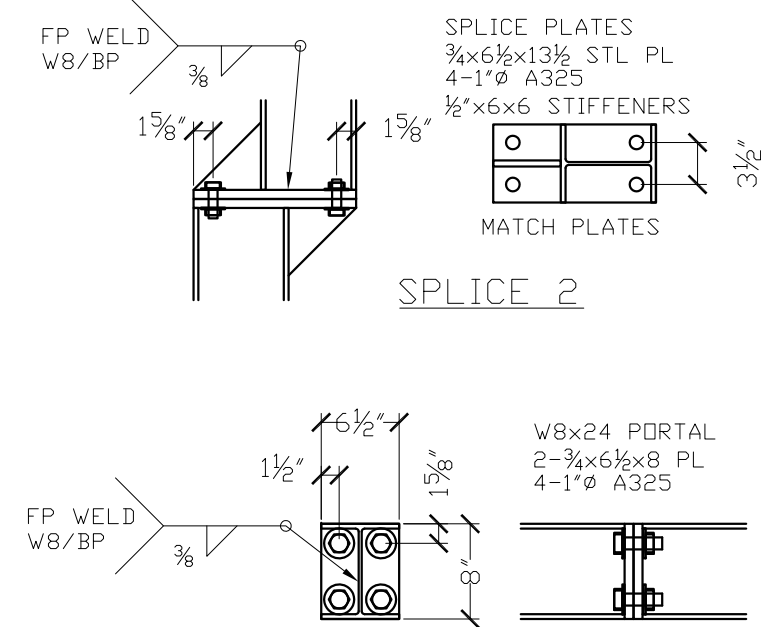
- A. FABRICATOR PROVIDE ALL HOLES, BOLTS, ANCHOR BOLTS, WASHERS, NUTS, BEARING PLATES, LINTELS, STIFFENERS, CLIP ANGLES, WELD PLATES, EMBEDMENTS, STAIRS, ETC. AS REQUIRED FOR STEEL FABRICATIONS IN THE DRAWINGS.
- B. ALL WELDING SHALL BE PERFORMED BY CURRENT CERTIFIED WELDERS. USE E70XX WELD RODS. REVIEW ALTERNATES WITH ENGINEER.
- C. ALL BOLTS, NUTS AND WASHERS SHALL CONFORM TO REQUIREMENTS OF ASTM A325.
- D. STEEL GRADES SHALL BE AS LISTED BELOW UNLESS INDICATED OTHERWISE:
 1. STEEL WIDE FLANGE COLUMNS AND BEAMS: ASTM A992 OR ASTM A572, FY=50 KSI
 2. STEEL CHANNELS, ANGLES, PLATES, EMBEDMENTS, STAIRS, S-SHAPES: ASTM A36 FY=36 KSI
 3. STEEL PIPE: ASTM A53 TYPE E OR S GRADE B.
 4. STEEL TUBES: ASTM A500 GRADE B FY=46 KSI
- E. STEEL FINISH:
 1. ALL STEEL SHALL BE CLEANED AND PREFINISHED WITH ONE COAT OF RED PRIMER.
 2. ALL FIELD WELDS SHALL BE CLEANED AND PRIMED.
- F. COORDINATE AND PROVIDE EXPEDITED LINTELS, BEARING PLATES AND FABRICATED STEEL EMBEDS AS REQUIRED TO CONCRETE / MASONRY CONTRACTOR.

REVISIONS:		
1	10 / 12 / 19	FND PERMIT
2	11 / 1 / 19	FNDN STAIR REV
3	11 / 18 / 19	BLDG PERMIT SET

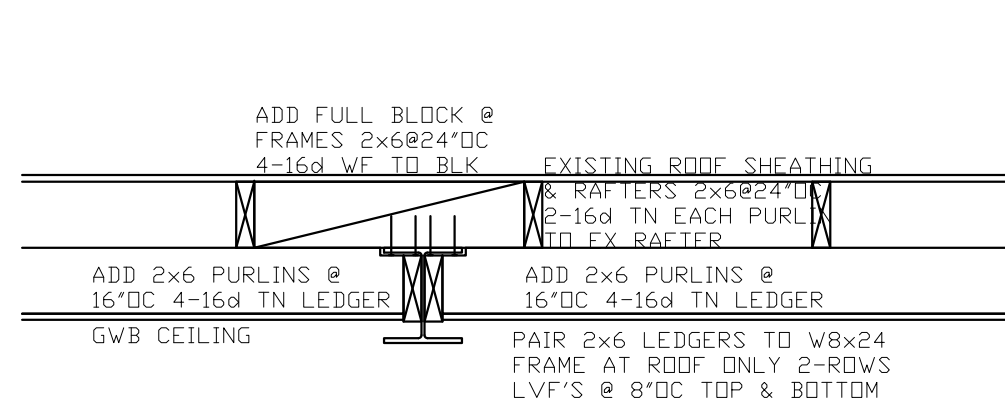
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PROJECT NUMBER	AASCEO #19053
SET TYPE	
DATE ISSUED	11 / 18 / 2019
SHEET NUMBER	S2



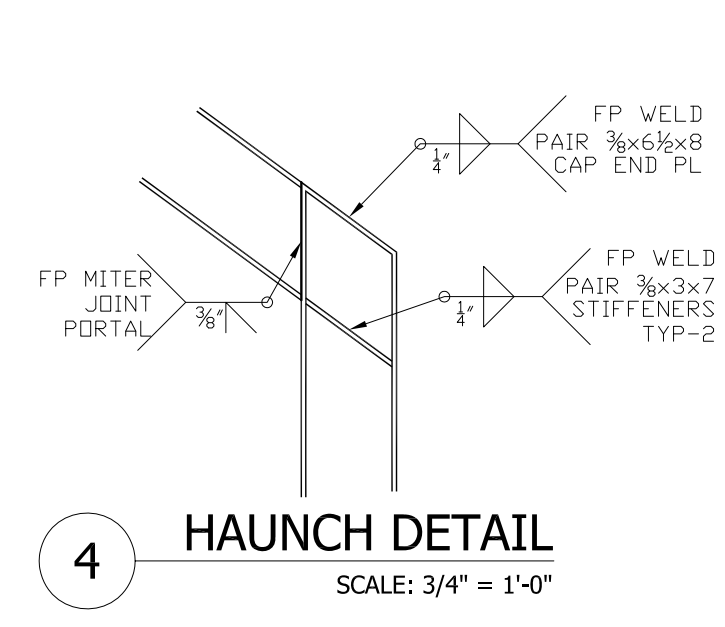
1 RIDGE DETAIL
SCALE: 3/4" = 1'-0"



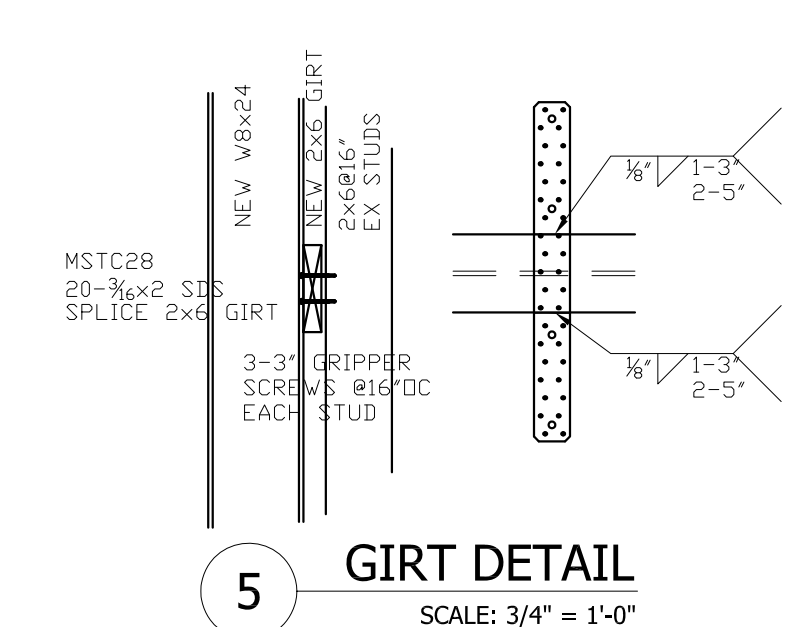
2 SPLICE DETAILS
SCALE: 3/4" = 1'-0"



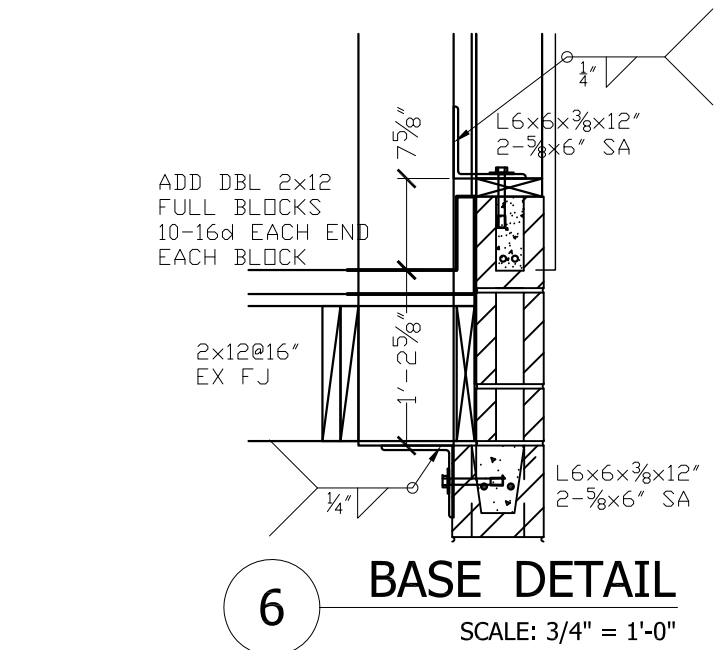
3 FRAMING DETAIL
SCALE: 3/4" = 1'-0"



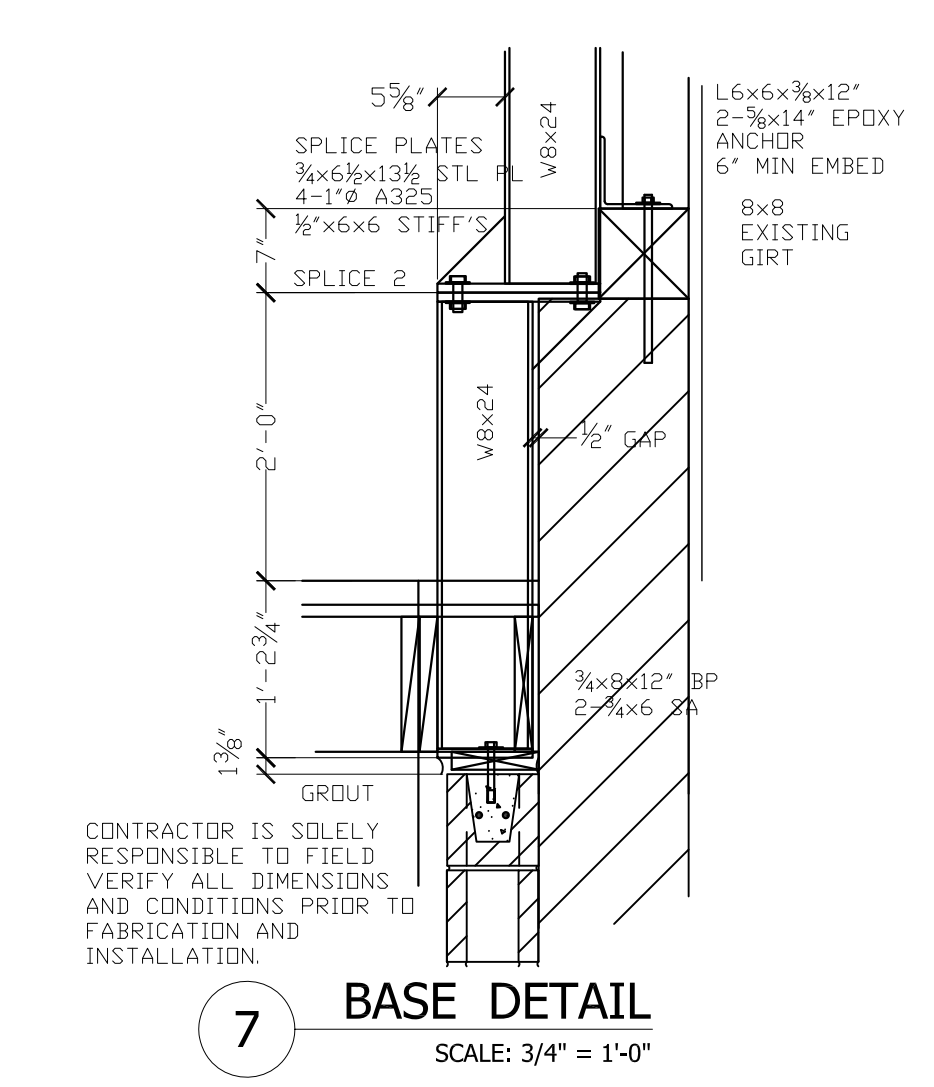
4 HAUNCH DETAIL
SCALE: 3/4" = 1'-0"



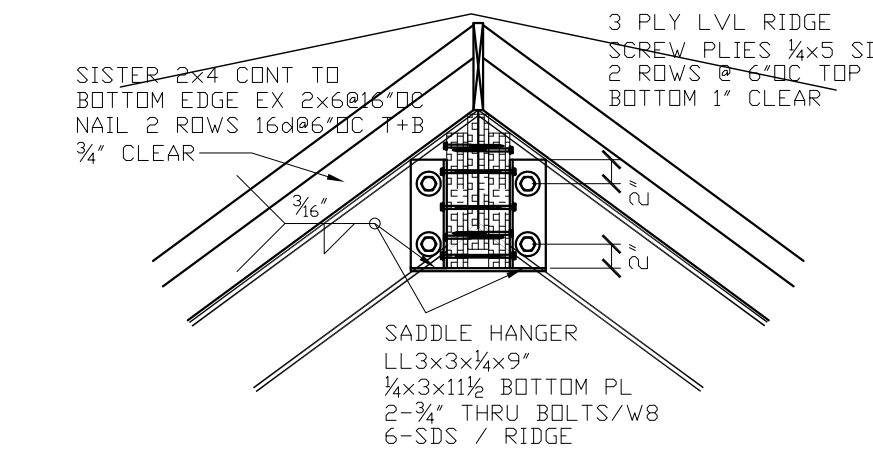
5 GIRT DETAIL
SCALE: 3/4" = 1'-0"



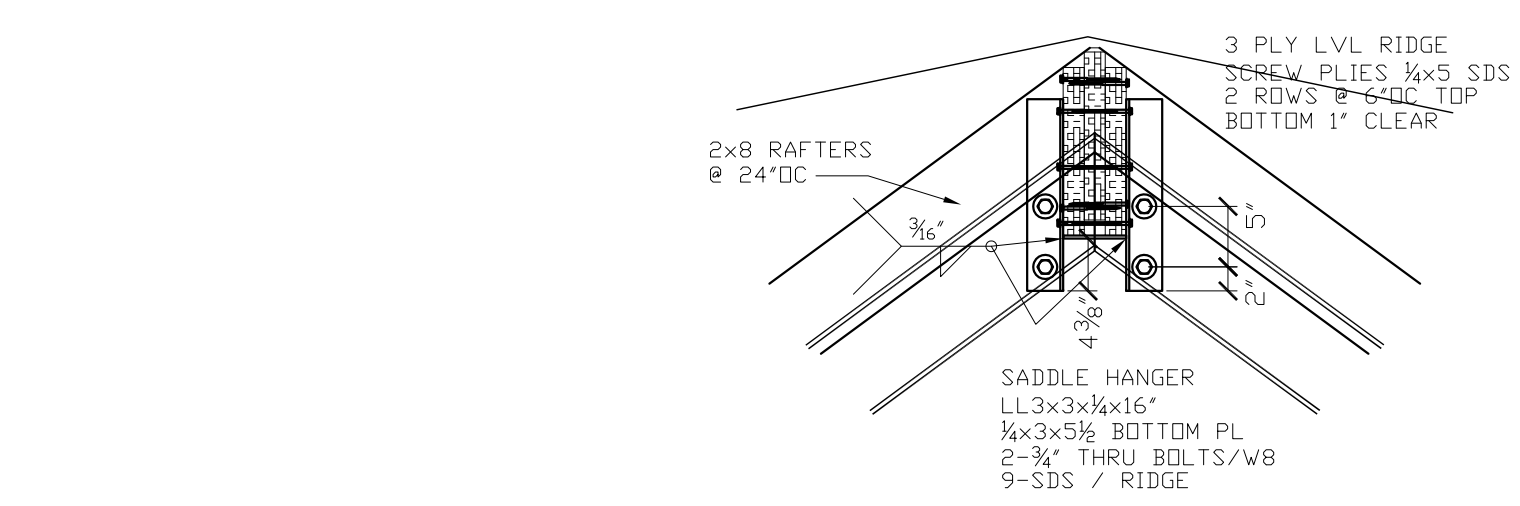
6 BASE DETAIL
SCALE: 3/4" = 1'-0"



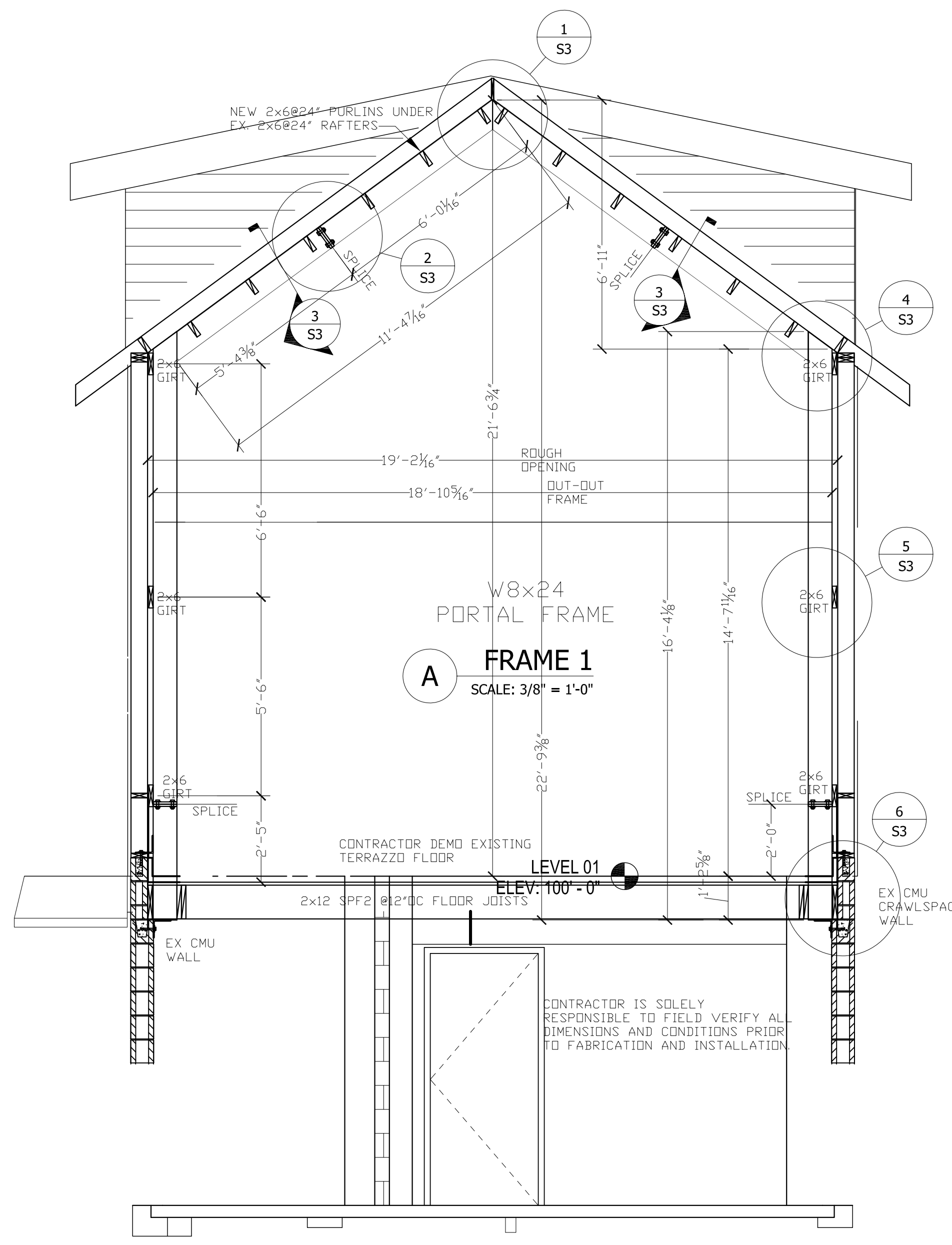
7 BASE DETAIL
SCALE: 3/4" = 1'-0"



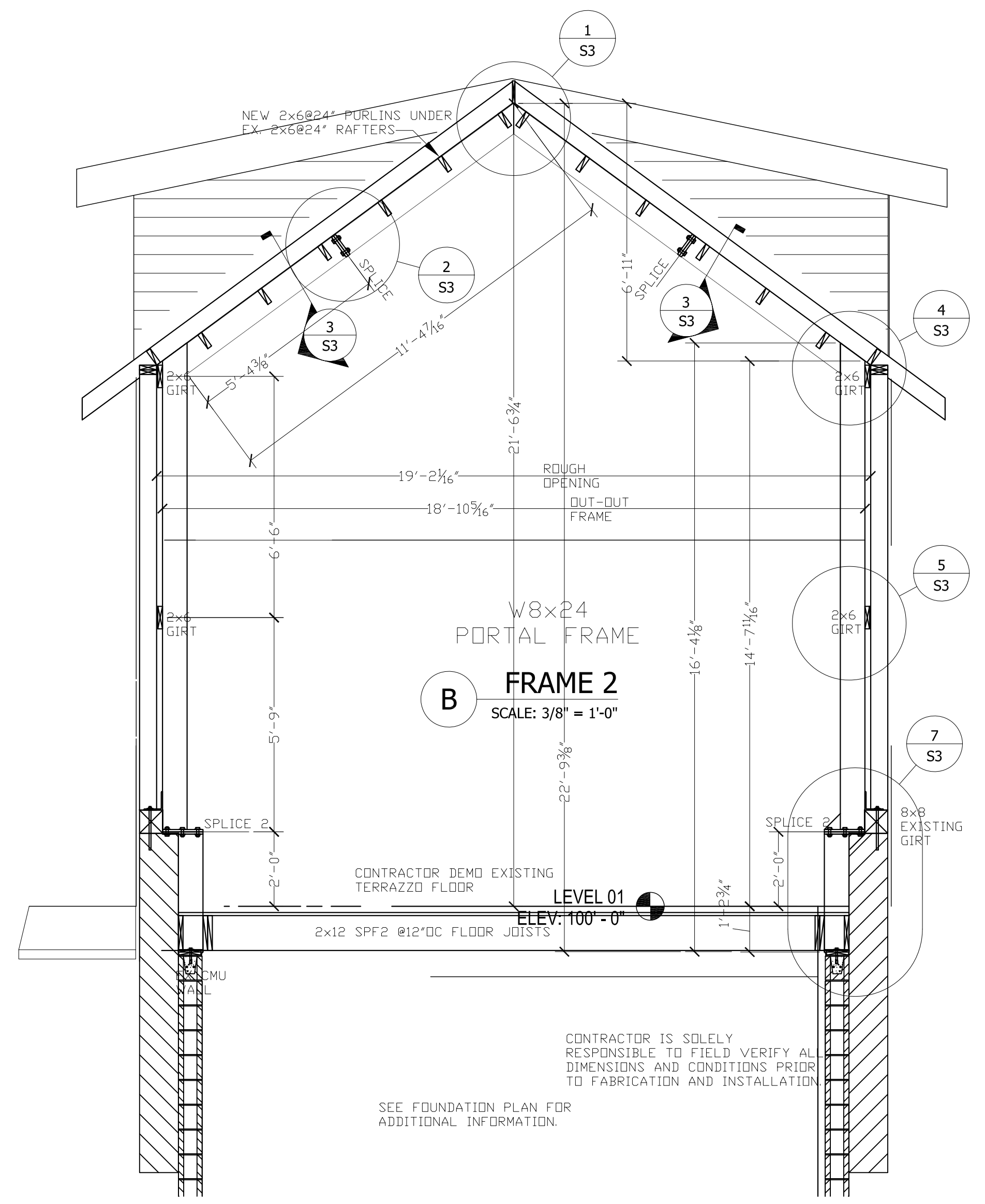
8 RIDGE DETAIL
SCALE: 3/4" = 1'-0"



9 RIDGE DETAIL
SCALE: 3/4" = 1'-0"



A FRAME 1
SCALE: 3/8" = 1'-0"



B FRAME 2
SCALE: 3/8" = 1'-0"

CONTRACTOR IS SOLELY RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO ANY FABRICATIONS OR CONSTRUCTION.

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1327 BRADY

SHEET TITLE: PORTAL FRAME ELEVATIONS & DETAILS

REVISIONS:	
1	10 / 12 / 19 FND PERMIT
2	11 / 1 / 19 FNDN STAIR REV
3	11 / 18 / 19 BLDG PERMIT SET

SCALE	VARIES
PROJECT NUMBER	AASCEO #19053
SET TYPE	
DATE ISSUED	11 / 18 / 2019
SHEET NUMBER	S3