

File Number 241339. A substitute ordinance relating to the Second Amendment to the General Planned Development, known as Arena Master Plan to allow changes to the zoning standards for Block 3 located on the north side of West State Street, west of North Vel R. Phillips Avenue, in the 4th Aldermanic District

File Number 241340. A substitute ordinance relating to the change in zoning from General Planned Development known as Arena Master Plan to a Detailed Planned Development known as Block 3 - Arena Master Plan, Phase 2 to allow the construction of a multi-story hotel on the eastern portion of 430 West State Street, located on the north side of West State Street, west of North Vel R. Phillips Avenue, in the 4th Aldermanic District



File Number 241339 and File Number 241340. Context.





File Number 241339 and File Number 241340. Consistency with Comprehensive Plan.



## Downtown Plan

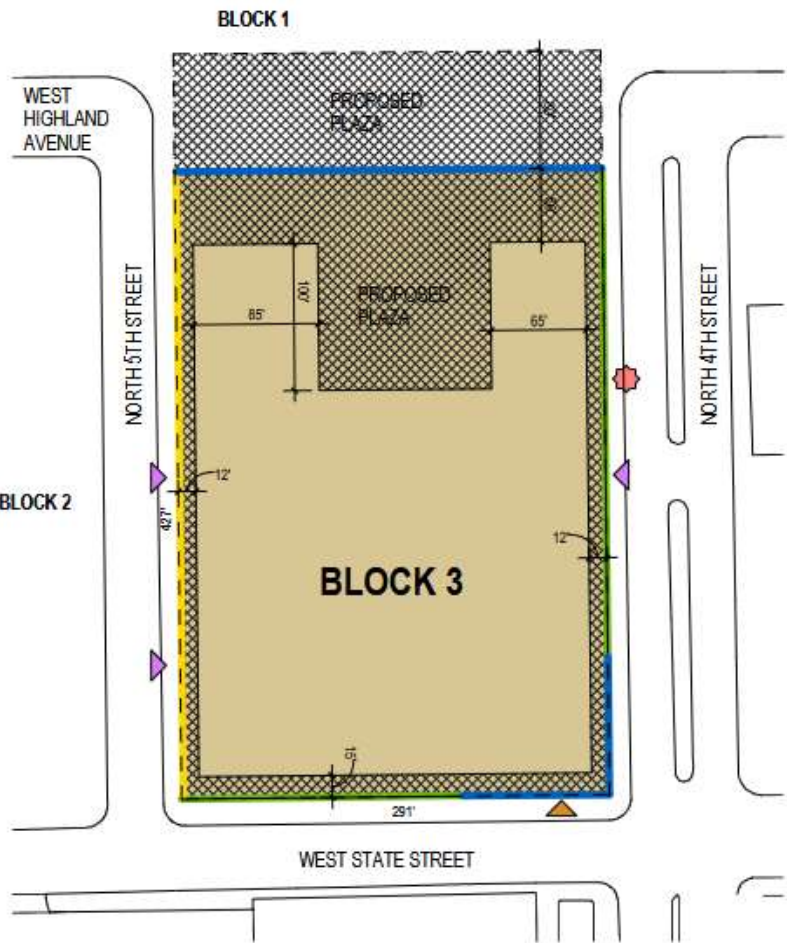
- Adopted in 1999. Updated in 2010 and 2023.
- The Downtown Area Plan supports the redevelopment of the Deer District with high density mixed-use development.
- The plan encourages buildings to engage the public realm and promote walkability with attractive well-designed facades fronting streets and public spaces.
- The proposed Detailed Planned Development is **consistent** with the comprehensive plan.

# File Number 241339. Current GPD Block 3 Diagram

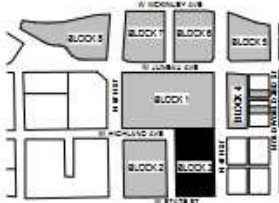
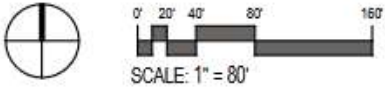
Previously approved CSM for Block 3



SITE STATISTICS
<b>BUILDING HEIGHT:</b> MIN 4 STORIES, MAX 20 STORIES
<b>GROSS LAND AREA:</b> 144,135 SF
<b>MAX LAND COVERED BY PRINCIPAL BUILDINGS:</b> 86%
<b>LAND DEVOTED TO LANDSCAPED OPEN SPACE AND PLAZAS:</b> MIN 0% - MAX 50%
<b>MAX AMOUNT OF LAND DEVOTED TO PARKING DRIVES AND PARKING STRUCTURES:</b> 40%
<b>MAX DWELLING UNIT DENSITY</b> 150 SF / UNIT
<b>MAX SF DEVOTED TO NON-RESIDENTIAL USES:</b> 900,000 SF
<b>PROPOSED NUMBER OF BUILDINGS:</b> 1-3 BUILDINGS
SEE SHEET A100 FOR OVERALL SITE PLAN



LEGEND
--- PROPERTY LINE
SETBACK RANGE
BUILDING AREA
FUTURE BUILDING AREA
--- SETBACK, MINIMUM
HIGH ACTIVATION GROUND FLOOR GLAZING: 75% (50% FOR RESIDENTIAL)
MEDIUM ACTIVATION GROUND FLOOR GLAZING: 50%
LOW ACTIVATION NO GLAZING REQUIREMENT
VEHICULAR ACCESS
PEDESTRIAN ACCESS
TURNER HALL SPECIAL FEATURE



File Number 241339. Amended GPD Block 3 Diagram

## SITE STATISTICS

**BUILDING HEIGHT:**  
MIN 4 STORIES, MAX 20 STORIES

**GROSS LAND AREA:**  
144,135 SF

**MAX LAND COVERED BY PRINCIPAL BUILDINGS:**  
86%

**LAND DEVOTED TO LANDSCAPED OPEN SPACE  
AND PLAZAS:**  
MIN 0% - MAX 50%

**MAX AMOUNT OF LAND DEVOTED TO PARKING  
DRIVES AND PARKING STRUCTURES:**  
40%

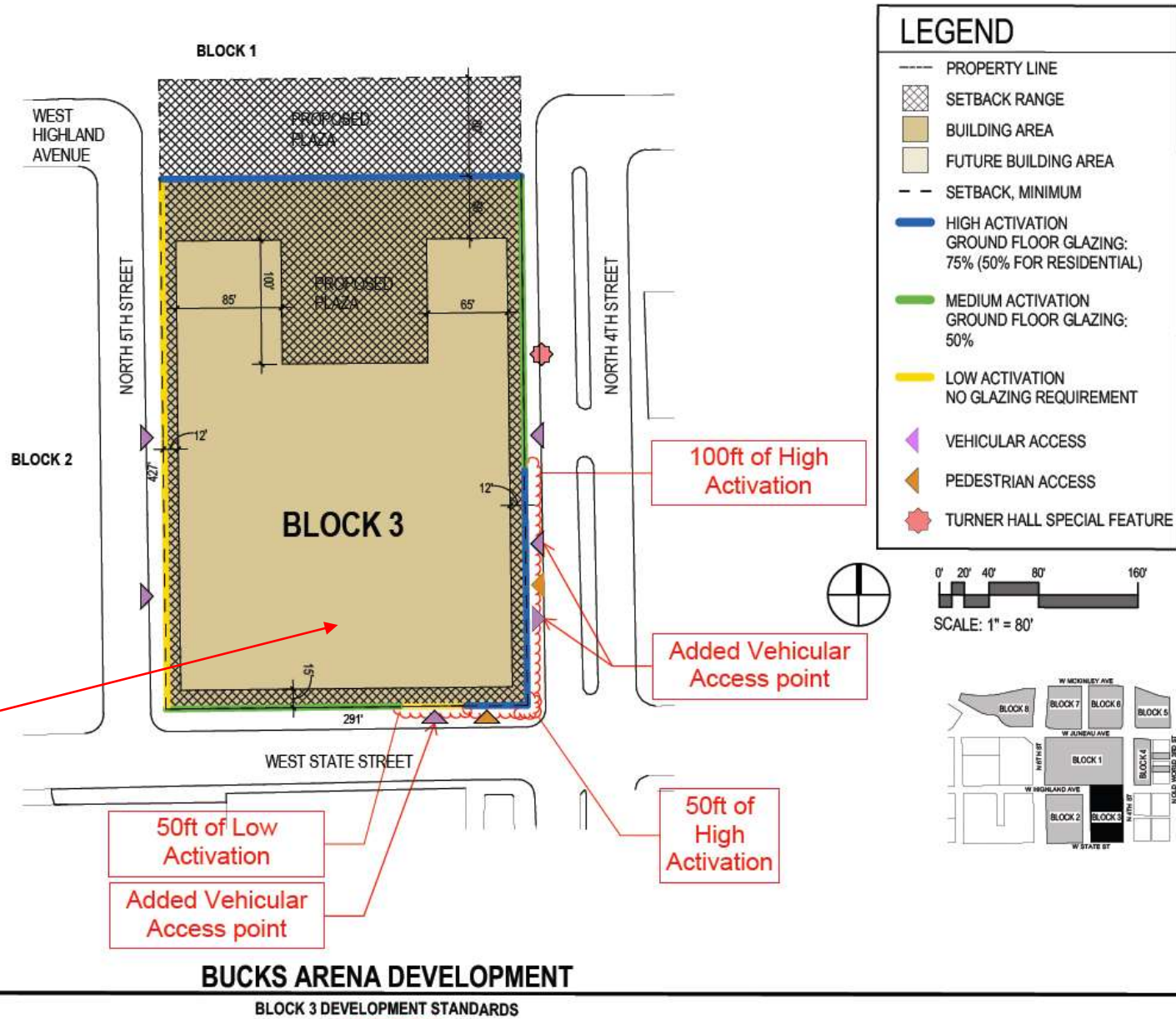
**MAX DWELLING UNIT DENSITY**  
150 SF / UNIT

**MAX SF DEVOTED TO NON-RESIDENTIAL USES:**  
900,000 SF

**PROPOSED NUMBER OF BUILDINGS:**  
1-4 BUILDINGS

**SEE SHEET A100 FOR OVERALL SITE PLAN**

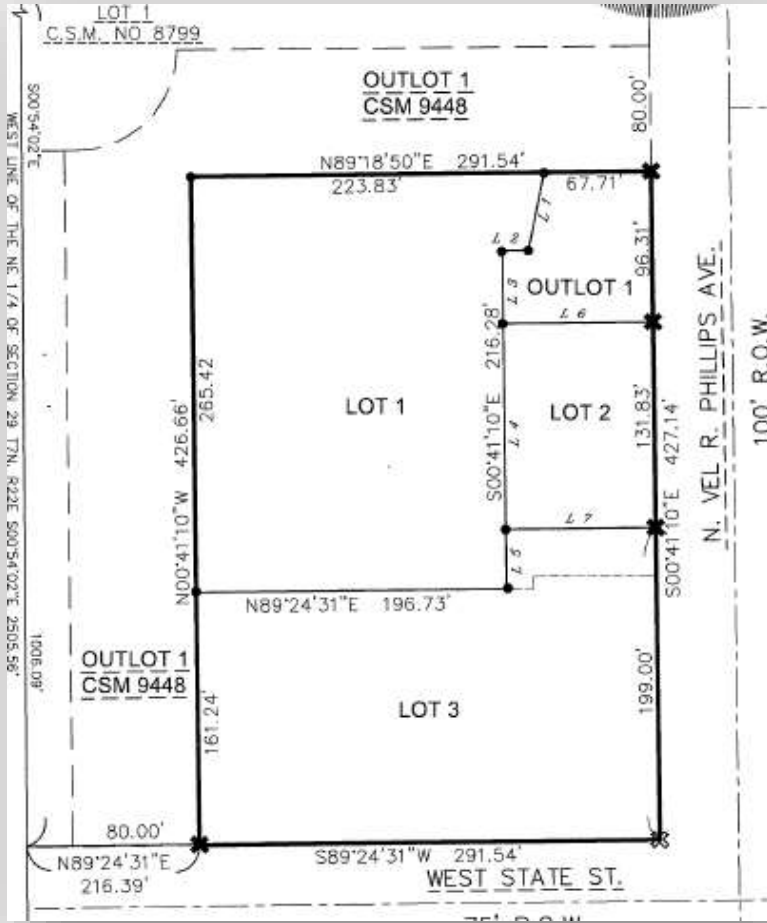
Pending CSM to divide 430 W.  
State St. into 2 Lots





# File Number 241339. Amended GPD Block 3 Proposed Parcel Layout

Previously approved CSM for Block 3



Pending CSM to divide 430 W. State St. into 2 Lots



# OUR COMMITMENT TO YOU

Long-Term Partnership with the City of Milwaukee

The Moxy: A Natural and Promised Next Phase

Commitment to Milwaukee's Growth and Vitality

NCG Hospitality's Positive Track Record

Privately Funded, Properly Zoned

Delivering on Our Promises



**MOXY MILWAUKEE**



MOXY MILWAUKEE





**WHO IS NCG HOSPITALITY**

**RUGGED HANDS  
REFINED BY...**

**...THE GENTLE  
TOUCH OF  
HOSPITALITY**



**MOXY MILWAUKEE**

# WHO IS NCG HOSPITALITY

Founded in 1980, we're a family-owned,  
Wisconsin based company

Operating 29 hotels across 6 states, under  
Marriott, Hilton, and Hyatt franchises

Over 1,200 team members

Our Culture – Rooted in core values of Growth,  
Fun, Trust, Responsibility

Award winning history



2x Hilton Lifetime  
Achievement  
Award Winner



6x Marriott  
Partnership  
Circle Award  
Winner



**MOXY MILWAUKEE**  
INTRO





# WHO REALLY IS NCG HOSPITALITY



MOXY MILWAUKEE



# THE DEER DISTRICT OPPORTUNITY

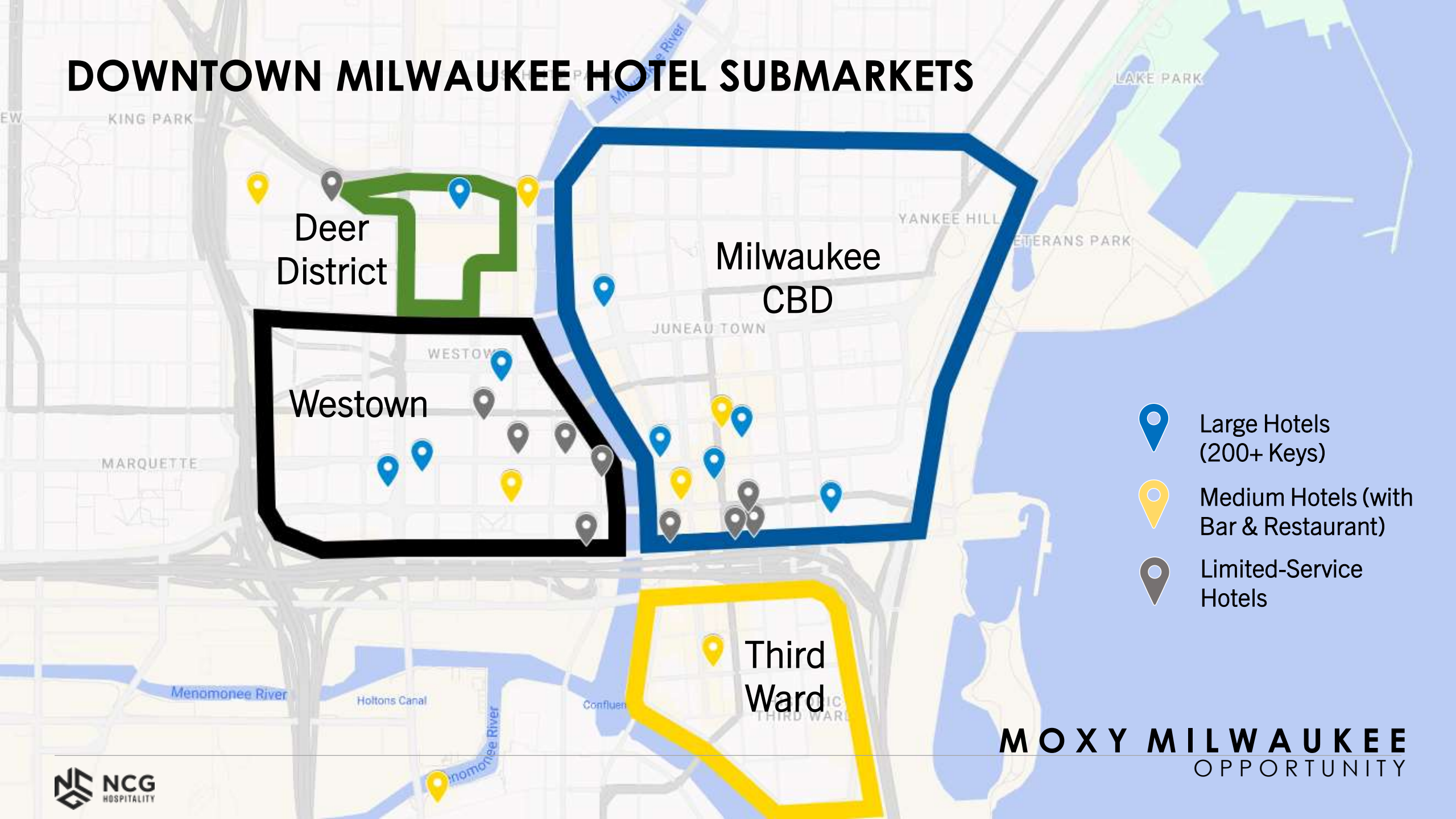
fiserv forum

THE TRADE THE TRADE

fiserv forum



# DOWNTOWN MILWAUKEE HOTEL SUBMARKETS





# THE OPPORTUNITY – MILWAUKEE'S DOWNTOWN HOTELS

## Large Hotels (200+ Keys)



9 Hotels

2,838 Keys

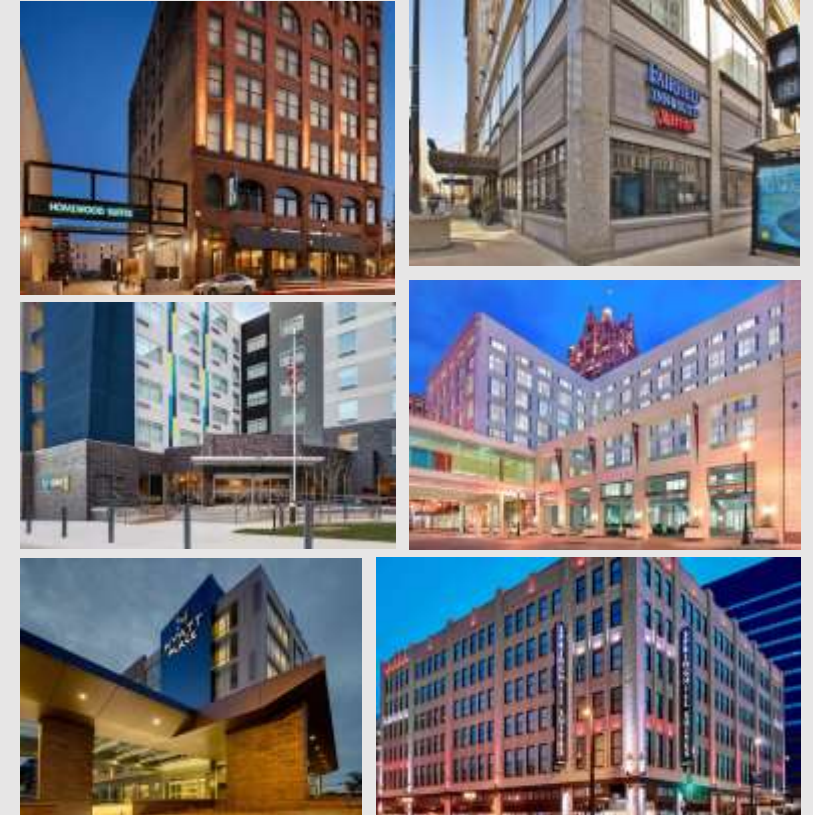
## Medium Hotels (With Bar and Restaurant)



7 Hotels

868 Keys

## Limited-Service Hotels



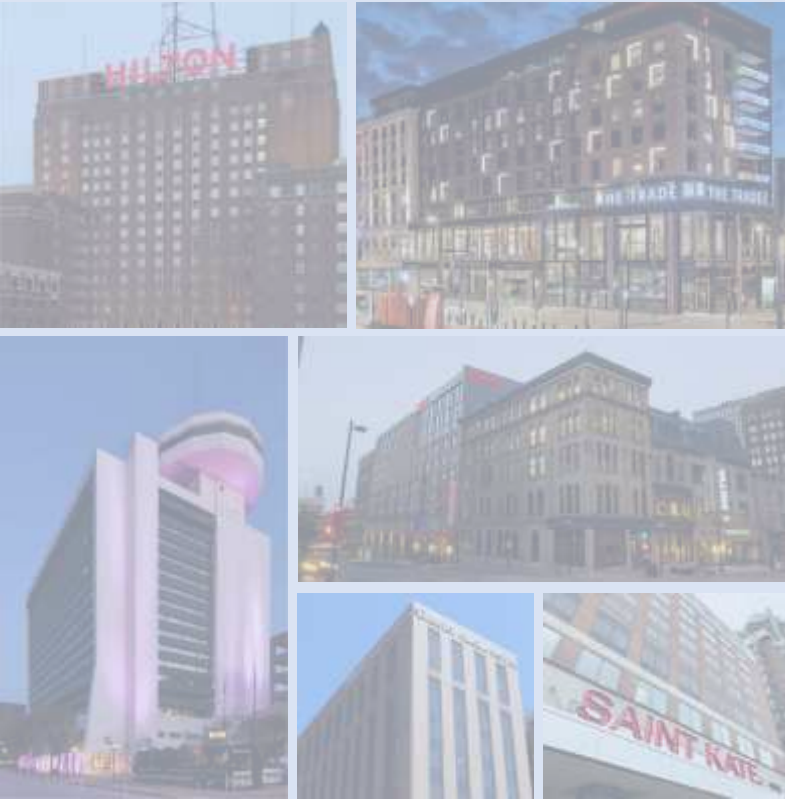
11 Hotels

1,316 Keys



# THE OPPORTUNITY – MILWAUKEE’S DOWNTOWN HOTELS

## Large Hotels (200+ Keys)



9 Hotels

2,838 Keys

## Medium Hotels (With Bar and Restaurant)



**Moxy Milwaukee**

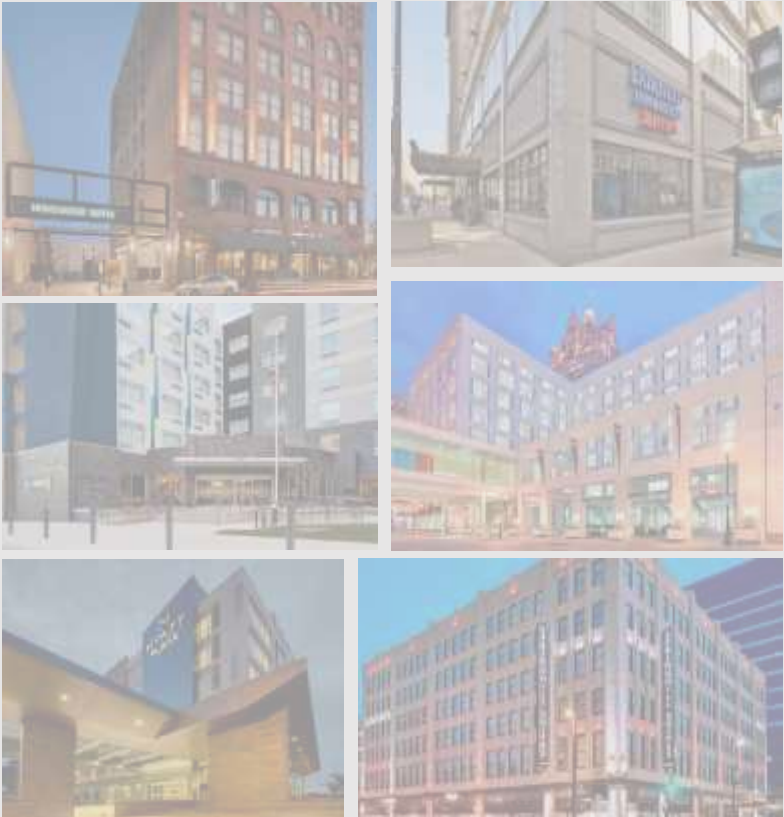
~~7~~ Hotels

~~868~~ Keys

8 Hotels

**1,024 Keys**

## Limited-Service Hotels



11 Hotels

1,316 Keys

# THE NUMBERS

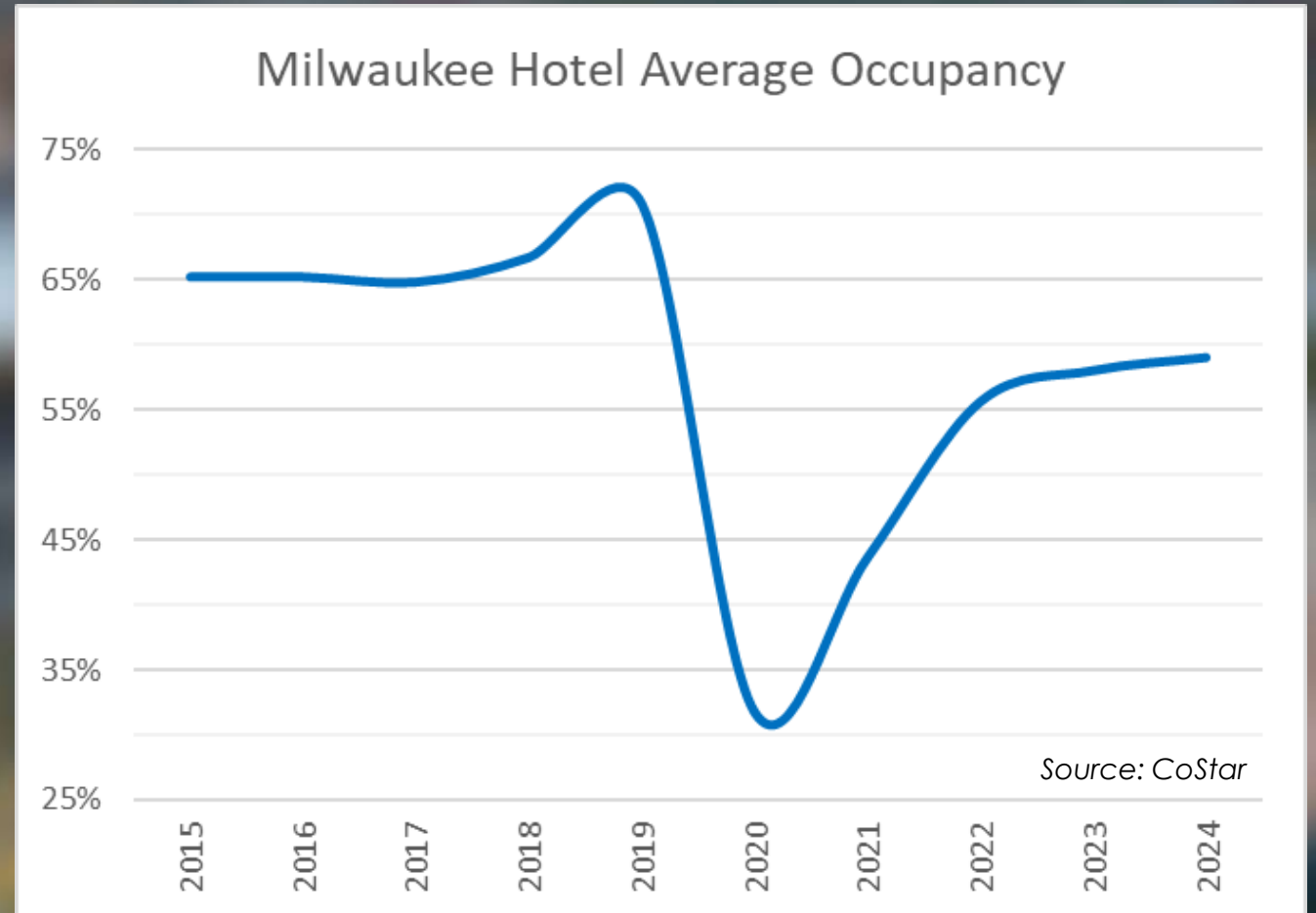
Compared to similar Midwest markets with large convention centers, Milwaukee has a healthy supply of hotel rooms

Midwest Convention Centers Comparable to the Baird Center					Source: CoStar
City	State	Largest Convention Center	Convetion Center SF	Rooms in 1mi Radius	Rooms Per 1,000 SF of Convention Space
Milwaukee	WI	Baird Center	1,300,000	5,084	3.91
Columbus	OH	Greater Columbus Convention Center	1,800,000	5,185	2.88
St. Louis	MO	America's Center	2,700,000	6,848	2.54
Detroit	MI	Huntington Place	2,400,000	5,513	2.30



# THE NUMBERS

Downtown Milwaukee  
Occupancy has not  
recovered to pre-  
pandemic levels



# THE HEADWINDS

“Cambria Hotel in Downtown Milwaukee is in Foreclosure”

- BizTimes, Milwaukee Business News

“Downtown Marriott Files Chapter 11 Bankruptcy”

- Milwaukee Journal Sentinel

“Downtown isn’t ready for a new convention-focused hotel”

- Peggy Williams-Smith, President & CEO Visit Milwaukee (Milwaukee Journal Sentinel)

“Iron Horse Hotel files to reorganize finances under Chapter 11 bankruptcy protection”

- Milwaukee Journal Sentinel

“The decision not to renovate all guest rooms was the result of careful evaluation of current hotel market conditions, projected room supply and demand, and the risks associated with proposed **new hotel room supply that will require significant public subsidy**”

- Greg Marcus, CEO Marcus Corp.



# THE HEADWINDS

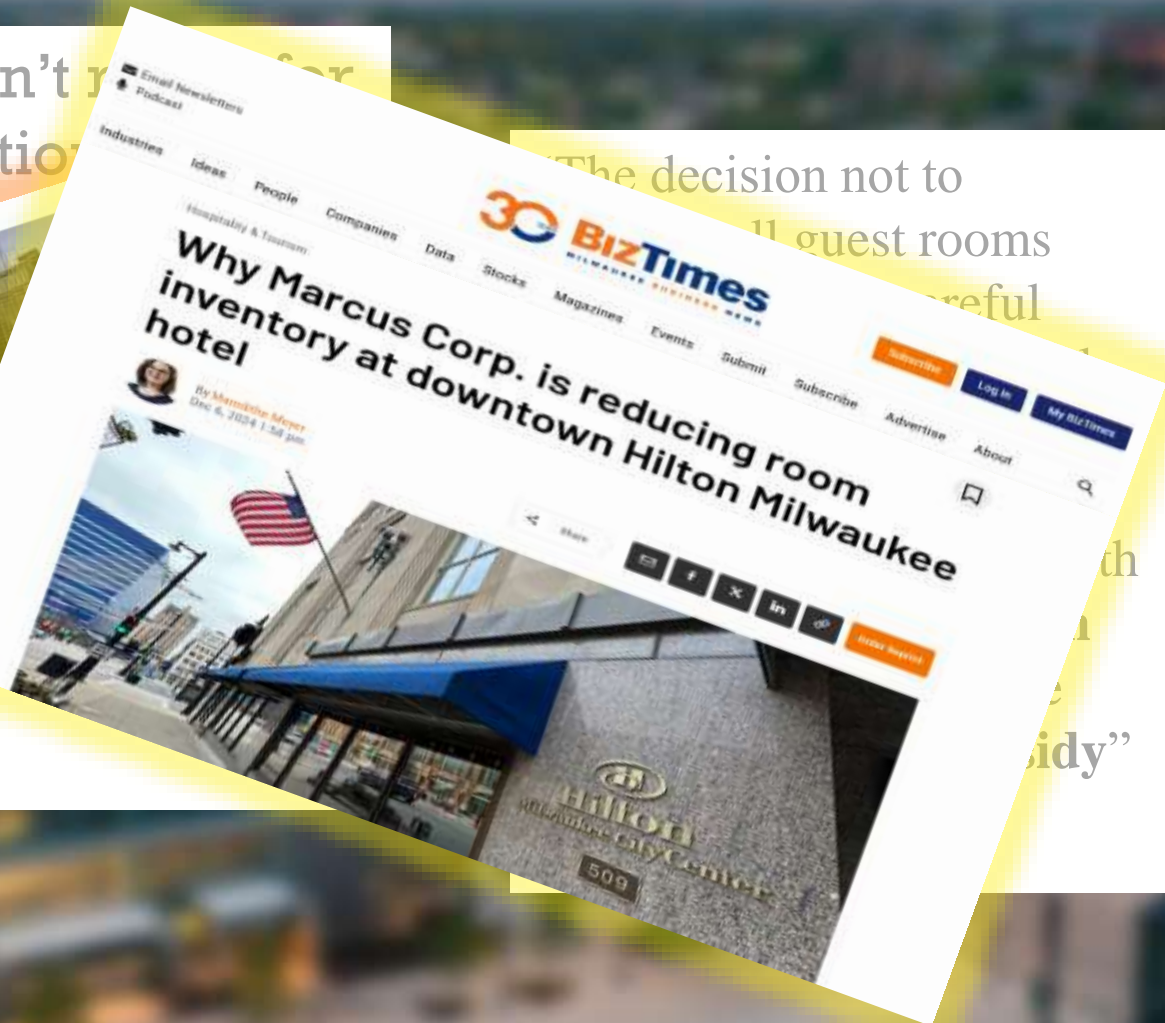
“Cambria Hotel in Downtown Milwaukee is in Foreclosure”

- BizTimes, Milwaukee Business News

“Downtown isn’t ready for a new convention hotel”

“Milwaukee’s Largest Hotel To Lose 175 Rooms, Get \$40 million in tax incentives under CTA protection”

- Milwaukee Journal Sentinel



MOXY MILWAUKEE  
THE HEADWINDS

An architectural rendering of the Moxy Milwaukee hotel at dusk. The building is a multi-story structure with a modern design, featuring a mix of brick and large glass windows. The roofline is highlighted with a vibrant pink neon light. The ground floor has large glass storefronts, and the entrance area is illuminated with warm lights. In the background, a large stadium with a curved roof is visible. The sky is a deep blue with soft pink clouds. The overall scene is lively and modern.

# THE VISION

MOXY MILWAUKEE



# CASE STUDY – MADISON, WI

CAP EAST CORRIDOR – 800/900 BLOCK

THEN: 2016

NOW: 2025





# CASE STUDY – MADISON, WI

CAP EAST CORRIDOR – 800/900 BLOCK

**\$333,000,000+ in  
Assessed Value!!**

1,300+ Apartments

555,000+ SF of Office

160,000+ SF of Retail

2 Entertainment  
Venues

8 Restaurants

2 Hotels



**MOXY MILWAUKEE**  
VISION



# VISION FOR THE DEER DISTRICT

THEN: 2022

NOW: 2025





# VISION FOR THE DEER DISTRICT

FUTURE MULTI-  
FAMILY / MIXED  
USE

moxy  
HOTELS

FULL BLOCK 3 BUILD-OUT





# THE ARCHITECTURE

MOXY MILWAUKEE



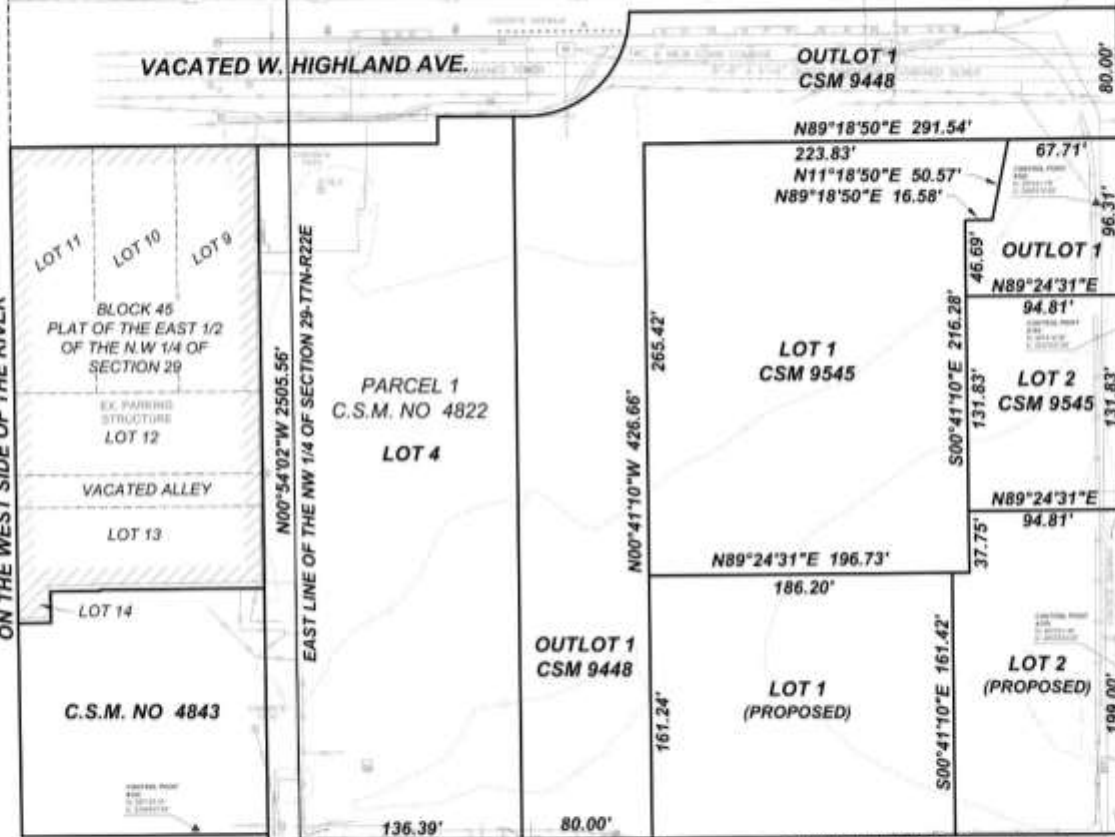
# MOXY MILWAUKEE

## SITE PLAN



N. 6TH STREET

PLAT OF THE TOWN OF MILWAUKEE  
ON THE WEST SIDE OF THE RIVER



MOXY MILWAUKEE  
BLOCK 3 CSM





LOT 1 DEVELOPMENT  
CSM 3463  
(N.I.C.)

LOT 1 DEVELOPMENT  
CSM 9545  
(N.I.C.)

POTENTIAL / PROPOSED 14-STORY  
RESIDENTIAL PROJECT (N.I.C.)

LOT 2 DEVELOPMENT  
CSM #3463  
PROJECT SITE FOR MOXY  
HOTEL

**LOT 2 DEVELOPMENT**  
**CSM 9545**  
**(N.I.C.)**

VEL R. PHILLIPS AVE

# MOXY MILWAUKEE

## ENLARGED SITE/FIRST FLOOR PLAN

1

00000000000000000000

PROPERTY LAW

1000

— **Geometric Distribution** and  
— **Binomial Distribution**



# MOXY MILWAUKEE

## SECOND FLOOR PLAN



[illegible][illegible][illegible][illegible][illegible]

# MOXY MILWAUKEE

## TYPICAL FLOOR PLAN



# MOXY MILWAUKEE

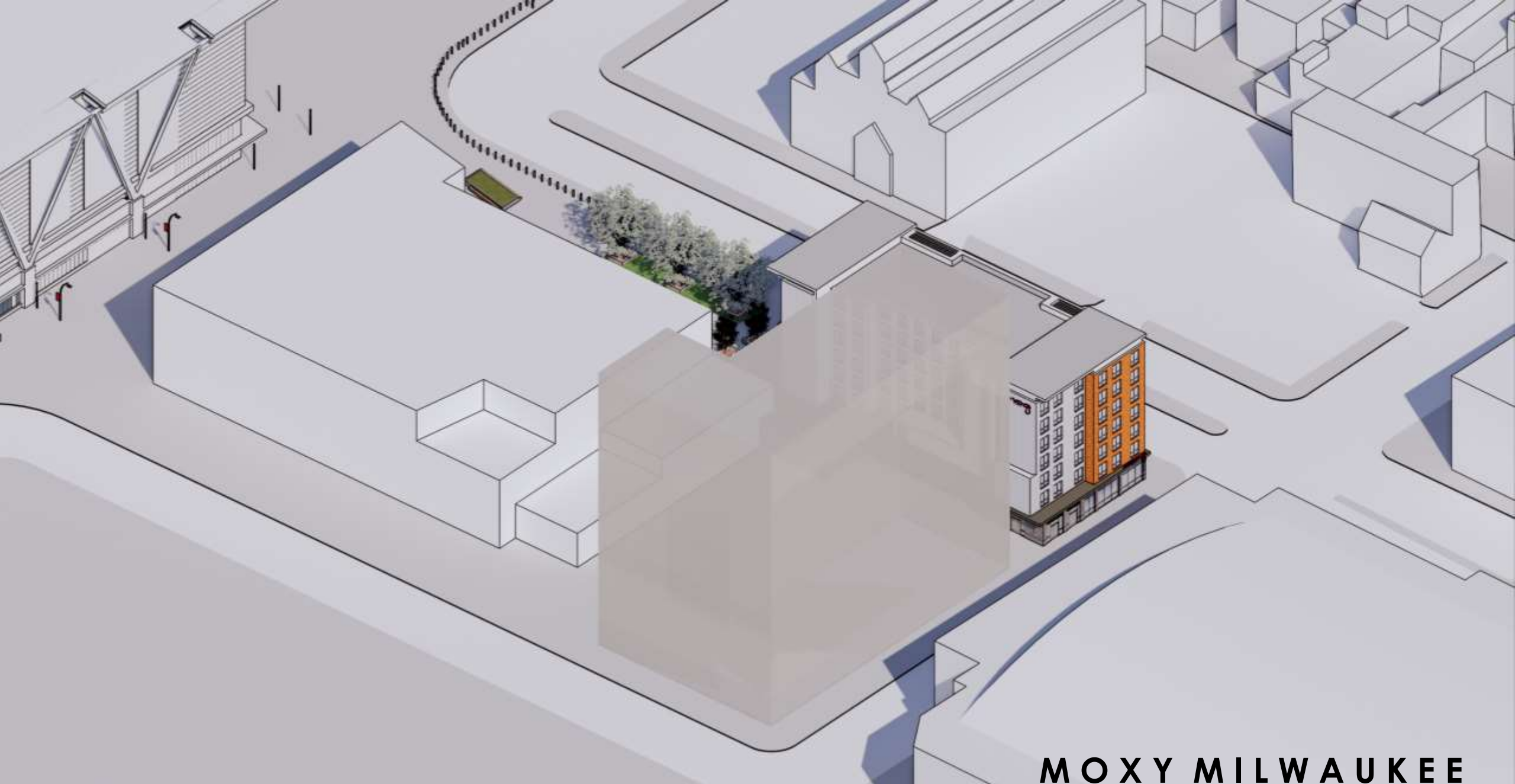
AERIAL - SOUTHEAST LOOKING NORTHWEST





# MOXY MILWAUKEE

AERIAL - NORTHEAST LOOKING SOUTHWEST



# MOXY MILWAUKEE

AERIAL - SOUTHWEST LOOKING NORTHEAST





# MOXY MILWAUKEE

AERIAL - NORTHWEST LOOKING SOUTHEAST



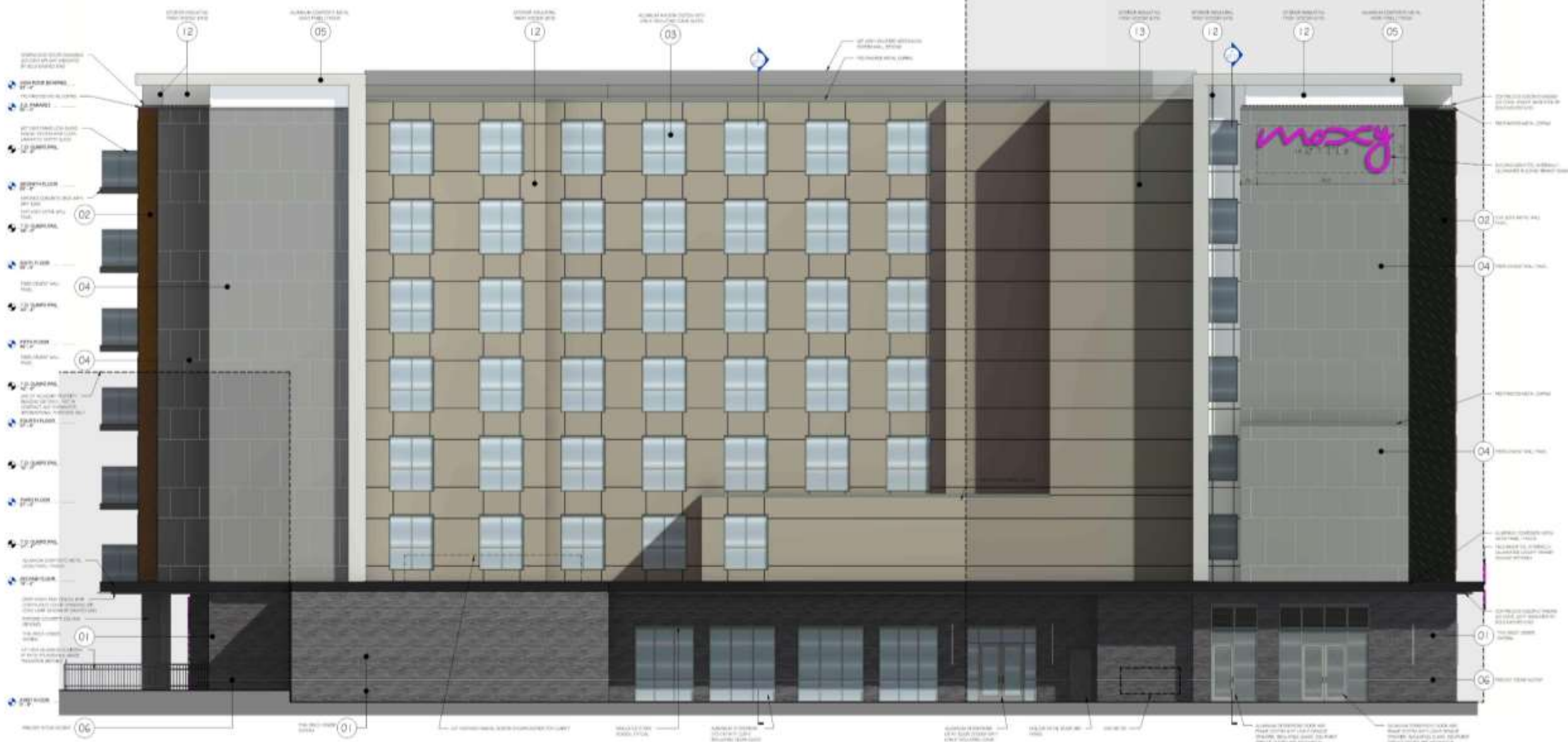
**MOXY MILWAUKEE**  
VIEW FROM NORTH LOOKING SOUTH





# MOXY MILWAUKEE

## EAST ELEVATION



# MOXY MILWAUKEE

## WEST ELEVATION





# MOXY MILWAUKEE

## SOUTH & NORTH ELEVATION(S)



**01 MSY-01**  
 MATERIAL: MASONRY  
 COLOR: TB0  
 FINISH: GLASS/SMOOTH  
 FINISH LOCATION: BUILDING BASE / FIRST FLOOR



**01 BRK-01 (INSTALLATION IMAGERY)**



**07 PERF-01**  
 MATERIAL: PERFORATED CORRUGATED METAL PANELS  
 COLOR: CLP-02  
 FINISH: TB0  
 FINISH LOCATION: 2ND AND THIRD FTH FLOORS



**08 MTL-03**  
 MATERIAL: CENTRAL FRAME (SHOW)  
 COLOR: CLP-02  
 TYPE: 1/2" METAL PLATE CHANNEL / 1/2" METAL TUBE  
 FINISH: TB0  
 FINISH LOCATION: 2ND AND THIRD FTH FLOORS



**10 BIKE RACK & TREE GRATES**



**02 MTL-01**  
 MATERIAL: TRANSLUCENT METAL PANEL  
 COLOR: TB0  
 FINISH: TB0  
 SIZE: 12" HIGH x 12" LONG  
 FINISH LOCATION: UPPER "BOOK END" (2ND AND THIRD FTH FLOORS)



**02 MTL-01 (INSTALLATION IMAGERY)**



**05 MTL-02**  
 MATERIAL: ALUMINUM COMPOSITE METAL (ACM) PANEL  
 COLOR: CLP-02  
 FINISH: TB0  
 FINISH LOCATION: VERTICAL AND UNDERSIDE OF "VERTICAL" (2ND AND THIRD FTH FLOORS)



**06 STN-01**  
 MATERIAL: CAST STONE MASONRY  
 COLOR: TB0  
 FINISH: TB0  
 FINISH LOCATION: MASONRY WINDOW HEADER, SILL & ACCENTS



**12 STILL-01**  
 MATERIAL: SYNTHETIC STONE / BRK  
 COLOR: TB0  
 FINISH LOCATION: WEST SIDE, 2ND AND THIRD FTH FLOORS



**03 WINDOW (GUESTROOM & STOREFRONT)**  
 COLOR: CLEAR ANODIZED / SILVER  
 FINISH: TB0  
 SIZE: AS SHOWN ON ELEVATIONS  
 FINISH LOCATION: THROUGHOUT



**04 FCMT-01**  
 MATERIAL: FIBER CEMENT WALL PANELS  
 COLOR: CLP-02  
 NOTE: AS SHOWN  
 FINISH: VERTICATED CONCERTE "TEXT LOOK"  
 FINISH LOCATION: 2ND AND THIRD FTH FLOORS



**09 OVERHEAD GARAGE DOORS**  
 COLOR: CLEAR ANODIZED / SILVER  
 FINISH: TB0  
 FINISH LOCATION: 1ST FLOOR REFUSE / RECYCLING ROOM



**16 GENERAL COLOR SELECTIONS**  
 MATERIAL: VARIOUS  
 COLOR: VARIOUS



**15 PORTE COCHERE PAVING**  
 COLOR: POLISHED, BEIGE AND PATTERNS  
 FINISH: TB0  
 FINISH LOCATION: ENTRANCE / PORTE COCHERE





# MOXY MILWAUKEE

## WINDOW DETAILS ARTICULATION



## MOXY MILWAUKEE

STREET VIEWS ALONG WEST STATE STREET





WEST STATE STREET / VEL R. PHILLIPS AVENUE

VEL R. PHILLIPS AVENUE AT PORTE COCHERE



**MOXY MILWAUKEE**  
ENLARGED STREET VIEWS



PATIO INSPIRATIONAL IMAGERY





**MOXY MILWAUKEE**  
VIEW FROM SOUTH LOOKING NORTH









# MILWAUKEE ARENA | DEVELOPMENT PLAN BY PHASE



Prepared by the Department of City Development Planning Division, 22 March 2016  
Source: City of Milwaukee Information & Technology Management Division

FILE: P:\GIS\_data\Project\2015 Project\15-03-05 MA Phases Map\MA Phases Map.mxd

(Development Map)

EXHIBIT A