



February 7, 2025

Milwaukee County Department of Administrative Services
633 W Wisconsin Ave
Milwaukee, WI 53203
Attn: Celia Benton

SUBJECT: Bucks Block Five
MMSD Facilities

Property Owner:

The Milwaukee Metropolitan Sewerage District (District) has reviewed the request to make improvements over District facilities at the subject location. Those improvements include excavation, grading, pavement installation, storm sewers, landscaping, lighting, and other associated appurtenances. The plans are titled Block Five Mixed-Use Development, labeled as Progress Documents Not for Construction, dated 2/14/2025. Selected plan sheets and maintenance vehicle layout and turning diagrams were received via email on February 6, 2025.

The District approves the installation with the following District requirements and conditions for the proposed build-over of our facilities:

- The Owner agrees that the existing lease continues or upon sale of the property will be replaced by a permanent easement granted by successor owner for no additional consideration. This is a mandatory condition of this permission letter and the County agrees that it shall be a part of any purchase/sale agreement of the property.
- The Owner understands that District maintenance activities require access with passenger vehicles, box trucks, dump trucks and cranes. The pavement design and the access paths provided can accommodate the sizes of maintenance vehicles including turning movements and boom swing radius. The District will not be responsible for any damage to the pavement or landscaping by vehicle access or turning movements.
- The eastern portion of turf area will be designed to support loading from placement of the removable 8 ft X 14 ft trash rack cover for maintenance activities. The District will use cribbing to support the cover to avoid damage to the turf.
- Bollards shown on the plans will have the ability for District staff to remove as needed for access using District locks.
- The existing ground elevations may not be altered beyond what was detailed in the plans.



- The Owner will ensure that the District's trash rack structure, monitoring manhole, inline storage system dropshaft and air vent manhole are accessible to the District at all times, and construction work around District facilities do not cause damage to District facilities. Owner and any successor owner shall be liable to the District for any resulting damage.
- The Owner will provide a drivable surface (gravel or crushed stone or similar) for District vehicles to the site at all times. This includes providing the ability to enter the site at any time. If locks are installed around the construction site, the District's locks will be daisy chained to the contractor's lock. If the District lock is out of the chain so that the District is not able to access the site, the chain or lock will be cut off to allow access. No reimbursement will be made by the District.
- The Owner will notify the District prior to work on or near District facilities. Please contact Michael Lee at (414) 617-1429 at least seven working days prior to work commencing. An onsite meeting with the Owners representative and the general contractor is required prior to starting work to familiarize all parties with District facilities and the requirements of the build-over.
- Failure to follow the terms set forth may result in permission revocation.
- This permission is based on the plans referenced above. If there are any substantive changes, a new review and approval must be requested, and this permission letter becomes null and void.

Any changes as stated above, please contact me as soon as possible at 414-225-2059 or GHottinger@mmsd.com and let me know if you have any questions.

Sincerely,

Gregory A. Hottinger, PE
Engineering Planning Manager

cc: Mike Oates, EUA (email)
John Donoghue, J. Jeffers & Co (email)
Doug Nysse, Colliers (email)
Ryan Birschbach, Kapur (email)
Dawn Schmidt, City of Milwaukee (email)
Greg Patin, City of Milwaukee (email)
Kristin Connelly, City of Milwaukee (email)

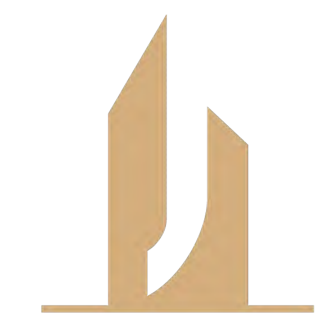


N. DOCTOF 18



milwaukee | madison | green bay | denver | atlanta

E



J. JEFFERS & CO.

PROJECT INFORMATION

BLOCK FIVE
MIXED-USE
DEVELOPMENT

D



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

C

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN

B

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER MO

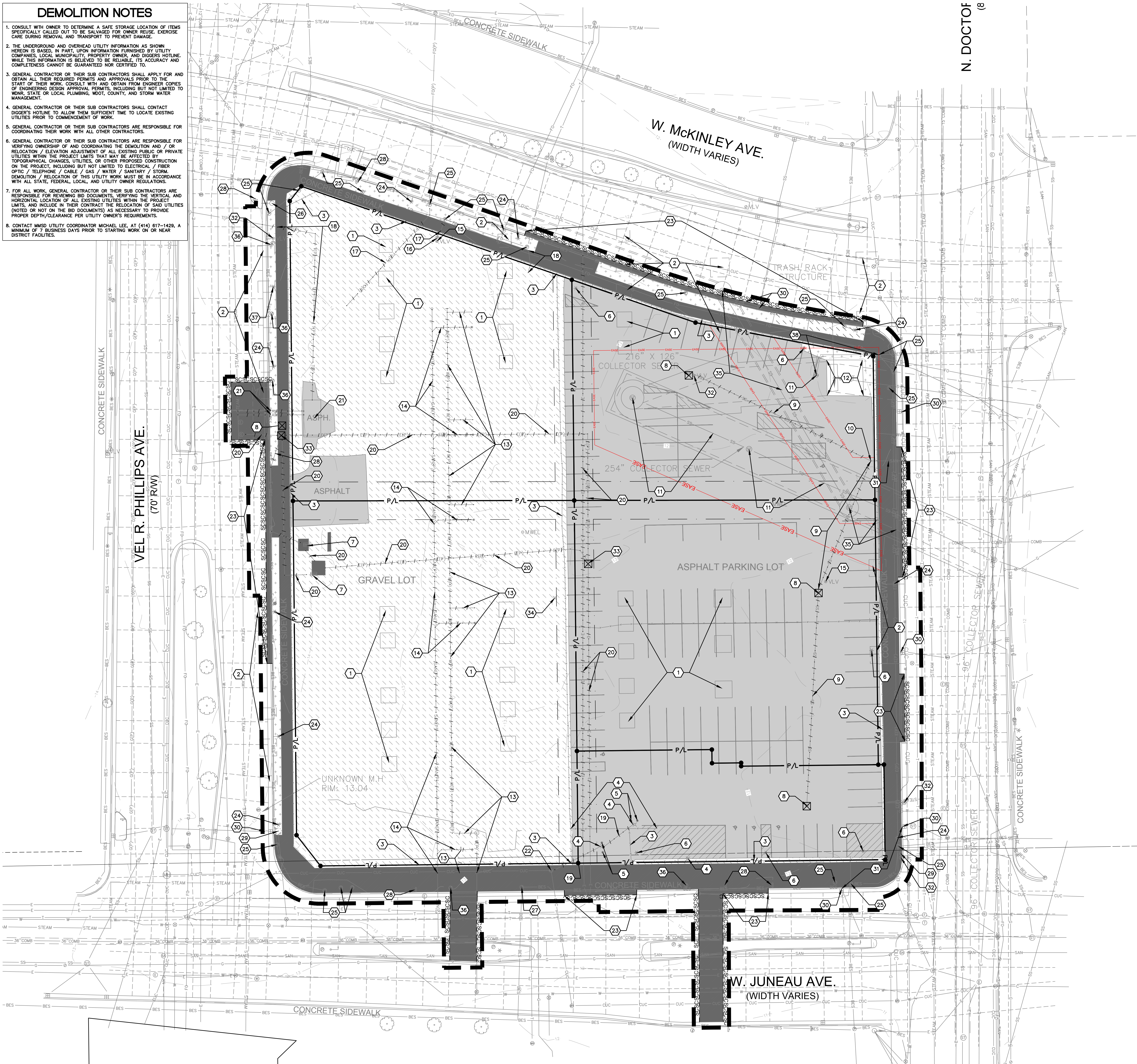
A

PROJECT NUMBER 123654

EXISTING SITE
CONDITIONS

C100

© 2024 Epstein Uhen Architects, Inc.



Scale: 0 10 20 40
Scale: 1" = 20'

DIGGERSHOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

KEY INDEX

PROJECT LIMITS
PROPERTY LINE
EASEMENT LINE

VEGETATION TO BE REMOVED & DISPOSED OFFSITE. IF SUITABLE FOR REUSE, TOPSOIL TO BE STOCKPILED. UNUSED & UNSUITABLE TOPSOIL TO BE REMOVED OFFSITE. TOPSOIL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.

ASPHALT PAVEMENT & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OFFSITE. PAVEMENT & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.

CONCRETE & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OFFSITE. CONCRETE & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.

GRAVEL MATERIAL TO BE REMOVED & DISPOSED OFFSITE. IF SUITABLE FOR REUSE, GRAVEL TO BE STOCKPILED. UNUSED GRAVEL MATERIAL TO BE REMOVED OFFSITE. GRAVEL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.

SAWCUT FULL DEPTH

DENOTES UTILITIES TO BE ABANDONED & REMOVED.

DENOTES UTILITIES TO BE ABANDONED IN PLACE.

CAUTION
KNOWN UTILITY AND POTENTIAL CONFLICT EXIST

UTILITY STRUCTURE
REMOVAL/ABANDONMENT

EXISTING PIER - COLUMN REMOVED TO 3' BELOW GRADE WITH FOOTING AND PILING STILL IN PLACE. REMOVE AS NECESSARY FOR BUILDING CONSTRUCTION.

EXISTING PIER - COLUMN AND FOOTING REMOVED. PILING STILL IN PLACE. REMOVE AS NECESSARY FOR BUILDING CONSTRUCTION.

REMOVE & DISPOSE OF EXISTING CHAIN-LINK FENCE INCLUDING POSTS & FOOTINGS

REMOVE & DISPOSE OF EXISTING CHAIN-LINK FENCE GATE INCLUDING POSTS, FOOTINGS, CONTRACTOR, PEDESTALS, AND ASSOCIATED ELECTRONICS.

REMOVE & DISPOSE OF EXISTING BOLLARD

REMOVE & DISPOSE OF EXISTING LIGHT POLES. REFER TO SITE ELECTRICAL PLANS.

REMOVE & DISPOSE OF EXISTING ELECTRICAL BOXES. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER.

REMOVE & DISPOSE OF EXISTING STORM SEWER STRUCTURE.

REMOVE & DISPOSE OF EXISTING STORM SEWER PIPE.

CAP AND ABANDON EXISTING STORM SEWER PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

EXISTING MMSD DEEP TUNNEL AND STRUCTURES TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING DEEP TUNNEL VENT AND ASSOCIATED CONCRETE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

REMOVE & DISPOSE OF EXISTING WATER LINE. CAP AND ABANDON APPROXIMATELY 5' OFF PROPOSED BUILDING PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

REMOVE & DISPOSE OF EXISTING SANITARY SEWER LINE. CAP AND ABANDON APPROXIMATELY 2' OFF PROPOSED BUILDING PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

REMOVE & DISPOSE OF EXISTING VALVE.

REMOVE & DISPOSE OF EXISTING PULL BOX.

REMOVE & DISPOSE OF EXISTING FIBER OPTIC LINE. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER.

REMOVE & DISPOSE OF EXISTING TELEPHONE LINE. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER.

REMOVE & DISPOSE OF EXISTING COMMUNICATION LINE. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER.

REMOVE & DISPOSE OF EXISTING ELECTRIC LINE. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER.

REMOVE & DISPOSE OF EXISTING STEAM LINES AND ASSOCIATED STEAM VAULT. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER.

EXISTING MANHOLE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

SAWCUT CONCRETE PAVEMENT APPROXIMATELY 2' OFF THE FACE OF CURB TO PROVIDE A SMOOTH EDGE FOR INSTALLATION OF NEW CURB AND GUTTER.

EXISTING LIGHT POLE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING PULL BOX TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING TRAFFIC SIGNAL TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING PARKING METER TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING SIGN TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING HYDRANT TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING STORM STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING STORM SEWER TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING VALVE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

REMOVE & DISPOSE OF EXISTING ELECTRIC MANHOLE. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER.

REMOVE & DISPOSE OF EXISTING UTILITY PEDESTAL. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER.

EXISTING WISDOT STORM SEWER & ASSOCIATED STRUCTURES TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

REMOVE & RETURN EXISTING PARKING METER TO CITY OF MILWAUKEE. CONTRACTOR TO COORDINATE REMOVAL WITH CITY OF MILWAUKEE.

REMOVE & RETURN EXISTING LIGHT POLE TO CITY OF MILWAUKEE. CONTRACTOR TO COORDINATE REMOVAL WITH CITY OF MILWAUKEE.

MMSD ELECTRIC AND PNEUMATIC LINES SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. CONTRACTOR TO HAVE UTILITIES FIELD LOCATED BY DIGGERS HOTLINE PRIOR TO STARTING WORK.

milwaukee | madison | green bay | denver | atlanta

J. JEFFERS & CO.

PROJECT INFORMATION

**BLOCK FIVE
MIXED-USE
DEVELOPMENT**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5 OF MILWAUKEE BUCKS ARENA DEVELOPMENT - SPD

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

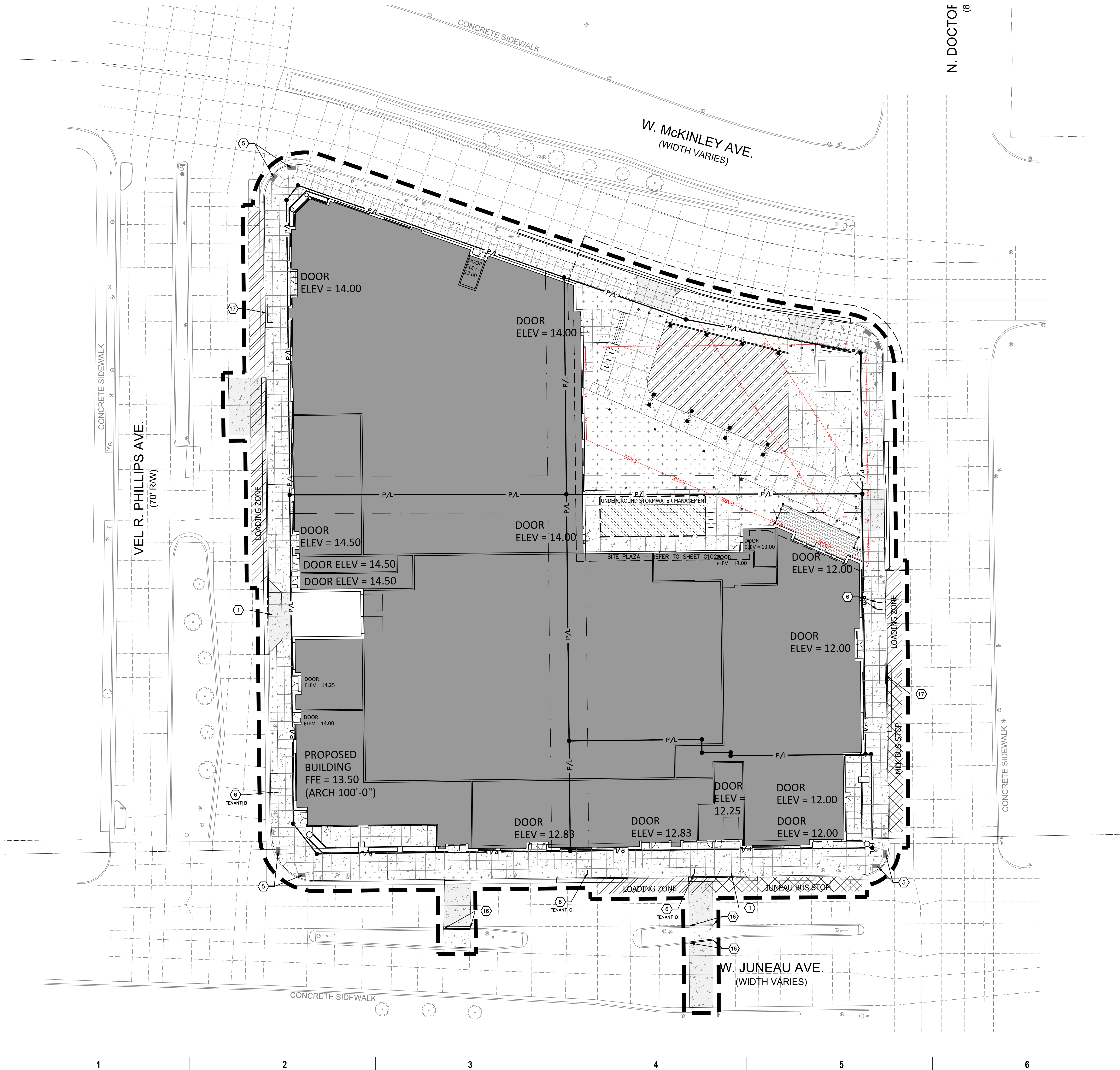
PROJECT MANAGER MO

PROJECT NUMBER 123654

**OVERALL SITE
DEMOLITION PLAN**

C101

© 2024 Epstein Uhen Architects, Inc.



Scale: 0 10 20 40
Scale: 1" = 20'

DIGGERSHOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

KEY INDEX

- PROJECT LIMITS
- PROPERTY LINE
- EASEMENT LINE
- AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
- NEW CONCRETE SLAB
- NEW HEAVY DUTY CONCRETE SLAB
- STAMPED CONCRETE
- SYNTHETIC TURF
- DOG RUN AREA
PET ARTIFICIAL TURF WITH DESIGN BUILD SPRAY IRRIGATION.
- LOW-SIDE CONCRETE CURB & GUTTER
31" BARRIER UNLESS OTHERWISE NOTED
- DEPRESSED CONCRETE CURB & GUTTER
31" DEPRESSED UNLESS OTHERWISE NOTED
- CONCRETE DRIVEWAY APRON
- 31" MOUNTABLE CURB & GUTTER
- DEPRESSED INTEGRAL CURB & GUTTER
- 10" TRANSITION FROM 31" MOUNTABLE CURB & GUTTER TO 31" BARRIER CURB & GUTTER.
- NEW ACCESSIBILITY RAMP WITH TRUNCATED DOME DETECTABLE WARNING FIELDS
- MADRAK "LOFTY" BIKE RACK OR APPROVED EQUAL. INSTALL PER MANUFACTURER DETAILS AND SPECIFICATIONS.
- REMOVABLE BOLLARDS
- 6" DIAMETER STEEL BOLLARDS.
- CONCRETE STAIRS AND HANDRAILS
- 4' HIGH DECORATIVE FENCE
- 4' HIGH BY 5' WIDE SINGLE SWING GATE
- 6" WIDE X 18" HIGH CONCRETE CURB HEAD FLUSH WITH CURB HEAD.
- LIGHT POLE. REFER TO SITE ELECTRICAL PLANS FOR MORE INFORMATION.
- LIGHTED BOLLARD. REFER TO SITE ELECTRICAL PLANS FOR MORE INFORMATION.
- GROUND UPLIGHTING. REFER TO SITE ELECTRICAL PLANS FOR MORE INFORMATION.
- MATCH CURB AND GUTTER IN KIND.
- SHARED ELECTRIC SCOOTER CORRAL
- MONUMENT SIGN REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.

euta
milwaukee | madison | green bay | denver | atlanta

J. JEFFERS & CO.
PROJECT INFORMATION
BLOCK FIVE MIXED-USE DEVELOPMENT

MILWAUKEE BUCKS

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5 OF MILWAUKEE BUCKS ARENA DEVELOPMENT - GPD

KEY PLAN

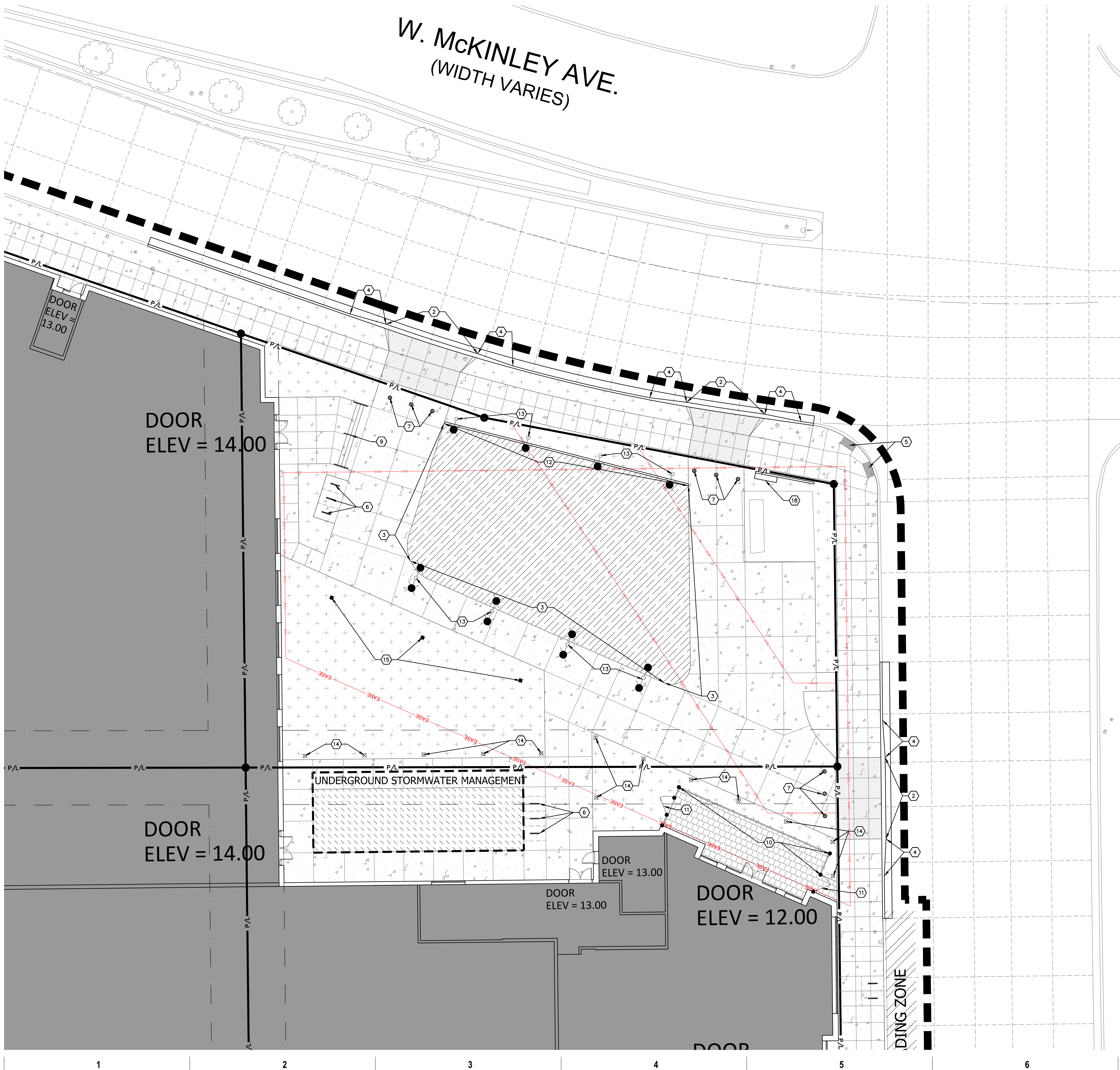
SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER MO
PROJECT NUMBER 123654

OVERALL SITE LAYOUT PLAN

C102
© 2024 Epstein Uhen Architects, Inc.



milwaukee | madison | green bay | denver | atlanta



J. JEFFERS
& CO.

PROJECT INFORMATION

BLOCK FIVE
MIXED-USE
DEVELOPMENT



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

C

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN

B

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

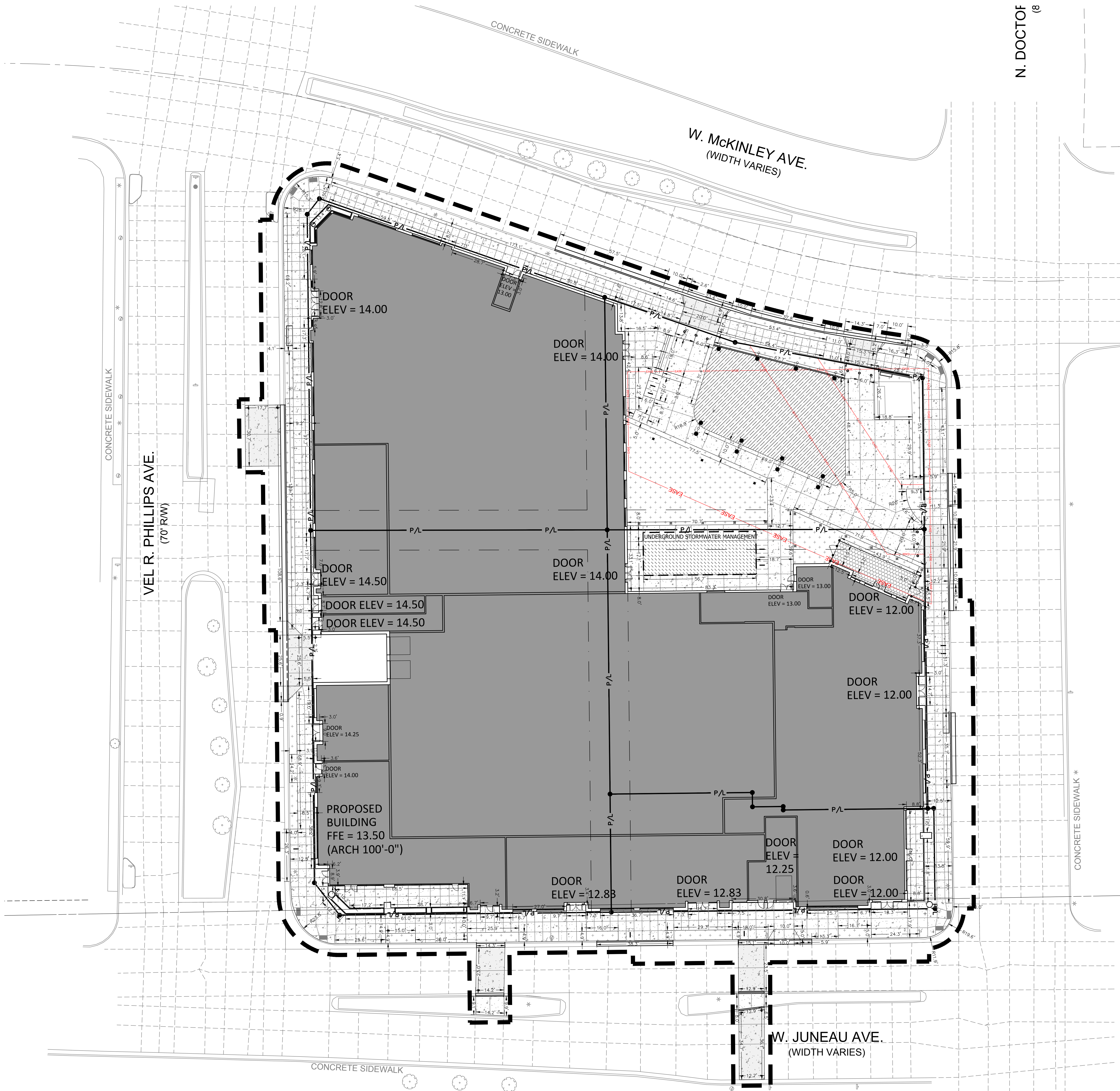
PROJECT MANAGER MO

PROJECT NUMBER 123654

SITE LAYOUT PLAN -
PLAZA

C102A

© 2024 Epstein Uhen Architects, Inc.



Scale: 0 10 20 40
Scale: 1" = 20'

DIGGERSHOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

KEY INDEX

— P/L — PROJECT LIMITS
— P/L — PROPERTY LINE
— EASE — EASEMENT LINE



PROJECT INFORMATION

**BLOCK FIVE
MIXED-USE
DEVELOPMENT**



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN

SHEET INFORMATION

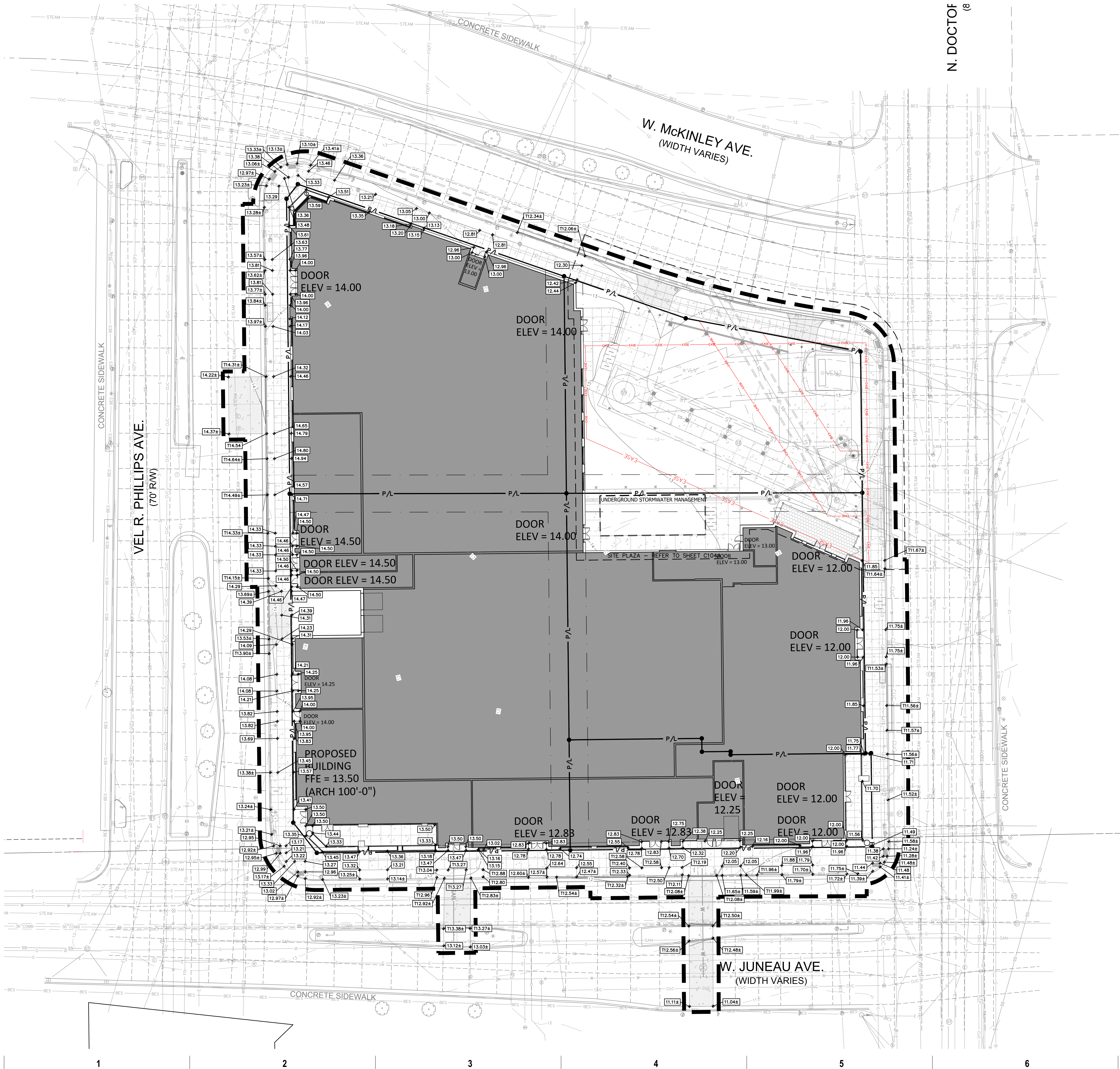
**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER	MO
PROJECT NUMBER	123654

**OVERALL SITE
GEOMETRICS PLAN**

C103



DIGGERSHOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

GRADING NOTES

GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

KEY INDEX

- PROJECT LIMITS
- PROPERTY LINE
- EASEMENT LINE
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED SPOT GRADE
- MATCH EXISTING GRADE
- PROPOSED TOP OF CURB GRADE. REFER TO SITE LAYOUT PLANS FOR MORE INFORMATION. GUTTER IS 4" BELOW TOP OF CURB UNLESS OTHERWISE NOTED.
- MATCH EXISTING TOP OF CURB GRADE. REFER TO SITE LAYOUT PLANS FOR MORE INFORMATION. GUTTER IS 4" BELOW TOP OF CURB UNLESS OTHERWISE NOTED.

euta
milwaukee | madison | green bay | denver | atlanta

J. JEFFERS & CO.
PROJECT INFORMATION
BLOCK FIVE MIXED-USE DEVELOPMENT

MILWAUKEE BUCKS

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5 OF MILWAUKEE BUCKS ARENA DEVELOPMENT - GPD

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

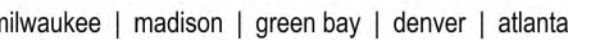
PROJECT MANAGER MO

PROJECT NUMBER 123654

OVERALL SITE GRADING PLAN

C104

© 2024 Epstein Uhen Architects, Inc.



PROJECT INFORMATION

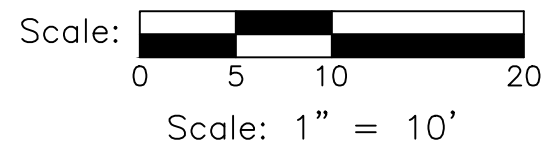
BLOCK FIVE MIXED-USE DEVELOPMENT

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN



GRADING NOTES

GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL, FIBER OPTIC / TELEPHONE CABLES / WATER, SEWER, AND GAS. DEMOLITION, RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

KEY INDEX

— PROJECT LIMITS	
— P/L — PROPERTY LINE	
— EASE — EASEMENT LINE	
— 14 — EXISTING CONTOUR MINOR	
— 15 — EXISTING CONTOUR MAJOR	
— 14 — PROPOSED CONTOUR MINOR	
— 15 — PROPOSED CONTOUR MAJOR	
⚡ T1.00	PROPOSED SPOT GRADE
⚡ T2.00#	MATCH EXISTING GRADE
⚡ T3.00	PROPOSED TOP OF CURB GR LAYOUT PLANS FOR MORE IN 6" BELOW TOP OF CURB UNL
⚡ T4.00#	MATCH EXISTING TOP OF CURB PROPOSED TOP OF MOUNTAIN REFER TO SITE PLAYOUT PLAN INFORMATION. GUTTER IS 4" CURB UNLESS OTHERWISE NO
⚡ T4.00#	

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER MO

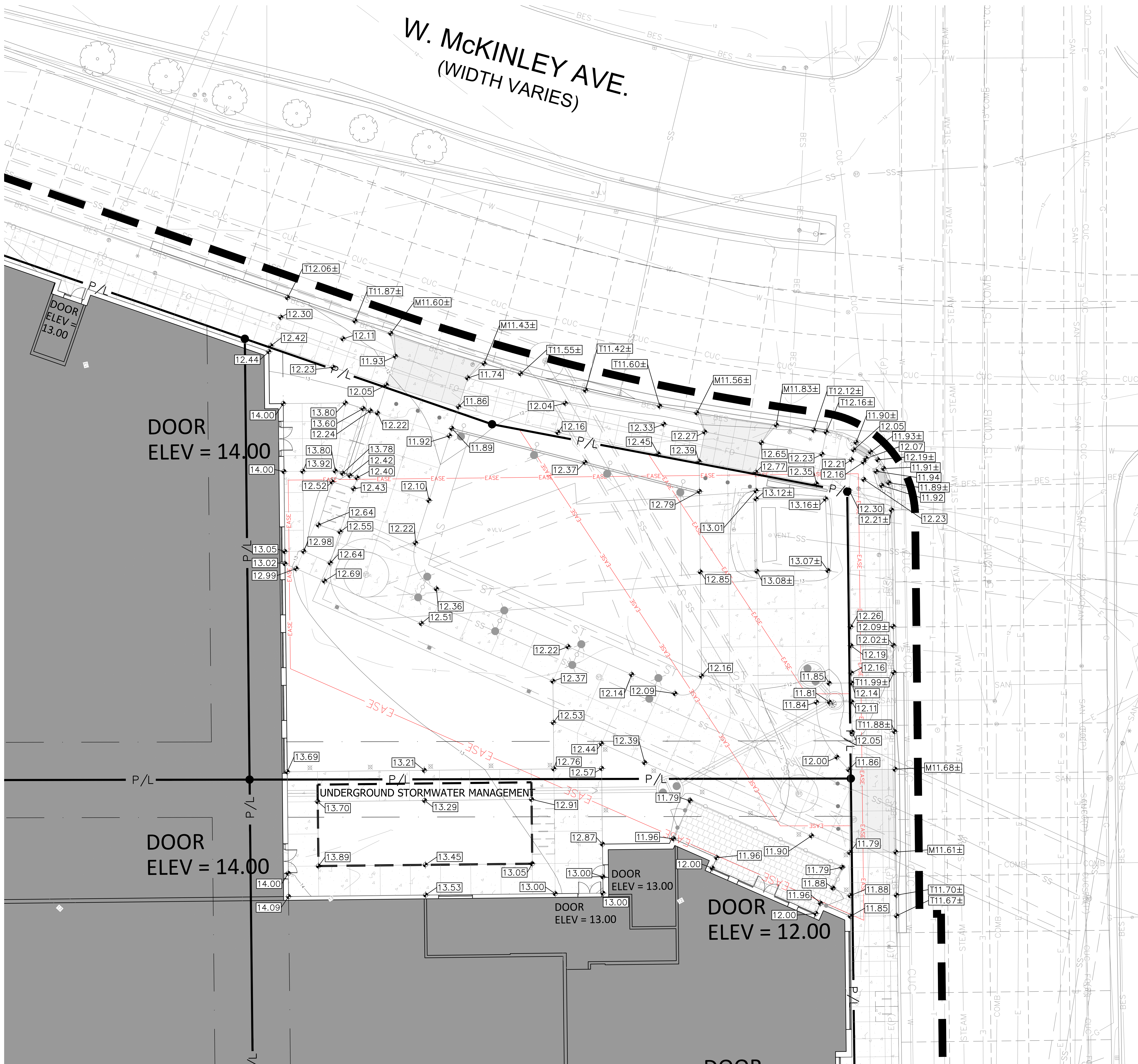
PROJECT NUMBER 123654

SITE GRADING PLAN

- PLAZA

C104A

024 Eppstein Uhen Architects, Inc.





milwaukee | madison | green bay | denver | atlanta



PROJECT INFORMATION
BLOCK FIVE
MIXED-USE
DEVELOPMENT



ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN

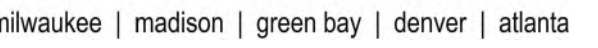
SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER MO
PROJECT NUMBER 123654

OVERALL SITE
UTILITY PLAN

C105
© 2024 Epstein Uhen Architects, Inc.



**.JEFFERS
& CO.**

PROJECT INFORMATION

BLOCK FIVE MIXED-USE DEVELOPMENT



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER MO

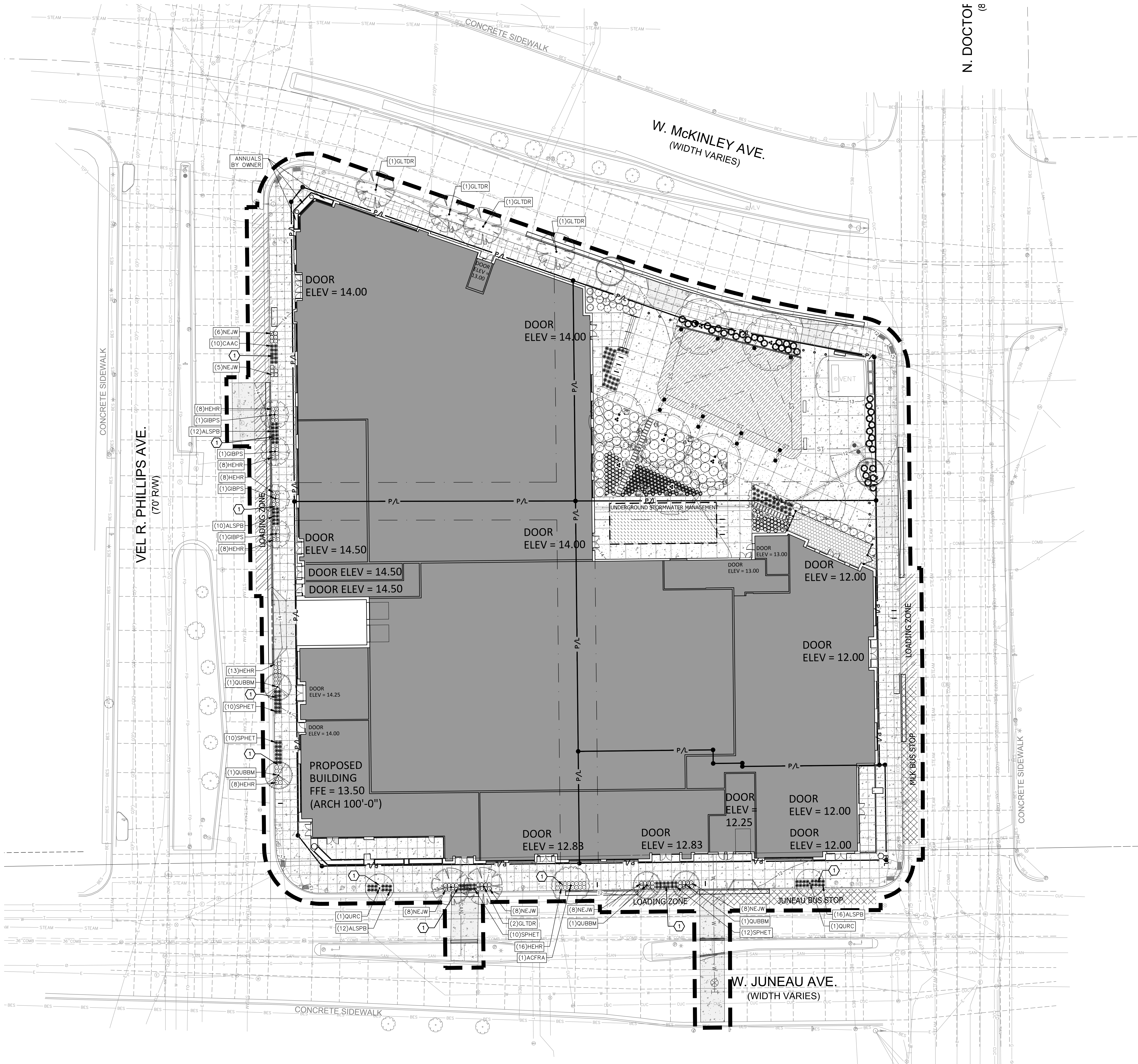
PROJECT NUMBER 123654

OVERALL SITE EROSION CONTROL PLAN

C106

2024 Eppstein Uhen Architects, Inc.

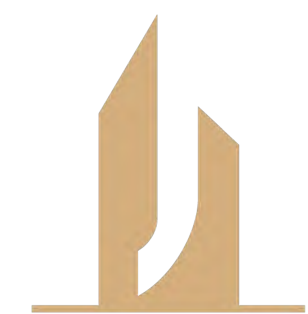




N. DOCTOF
(8)



milwaukee | madison | green bay | denver | atlanta



J. JEFFERS
& CO.

PROJECT INFORMATION

BLOCK FIVE
MIXED-USE
DEVELOPMENT

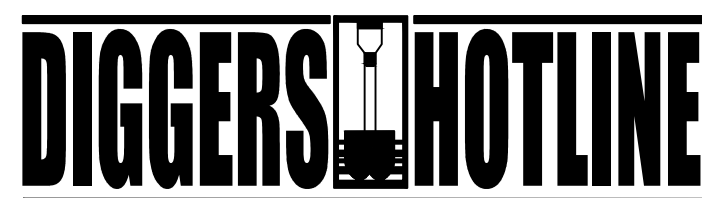
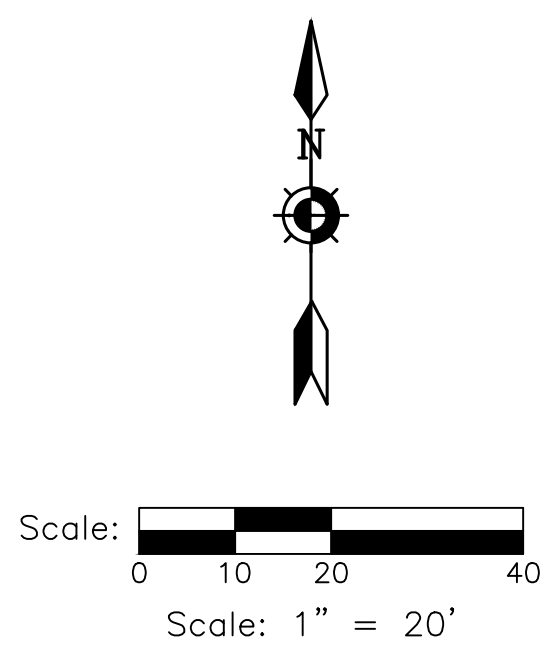


ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN



Dial 811 or (800)242-8511
www.DiggersHotline.com

HATCH LEGEND

- PROJECT LIMITS
- PROPERTY LINE
- EASEMENT LINE
- OUTCROPPING STONE ACCENTS/INFORMAL SEATING
- AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, LAWN GRASS SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
- PLANT "CODE" REFERENCES TO THE PLANT SCHEDULE
- QUANTITY OF PLANTS IN THE PLANT GROUPING
- LEADER LINE
- PLANT SYMBOL (SYMBOL VARIES)

KEY INDEX

- (1) SHREDDED HARDWOOD MULCH

6
L201

SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER MO

PROJECT NUMBER 123654

OVERALL SITE
LANDSCAPE PLAN

L101

© 2024 Epstein Uhen Architects, Inc.



Scale: 1" = 10'

DIGGERSHOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

HATCH LEGEND

- PROJECT LIMITS
- PROPERTY LINE
- EASEMENT LINE
- OUTCROPPING STONE ACCENTS/INFORMAL SEATING
- AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, LAWN GRASS SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
- PLANT "CODE" REFERENCES TO THE PLANT SCHEDULE
- QUANTITY OF PLANTS IN THE PLANT GROUPING
- LEADER LINE
- PLANT SYMBOL (SYMBOL VARIES)

KEY INDEX

1	SHREDDED HARDWOOD MULCH	6 L201
2	OUTCROPPING STONE ACCENTS/INFORMAL SEATING	7 L201
3	RECTANGULAR PRECAST CONCRETE STEPPERS	
4	COLOR- LIGHT GRANITE MAFR- UNLOCK SIZE 16"x32"x2"	
5	BENCH	
6	FENCE AROUND PATIO (SEE CIVIL AND ARCHITECTURAL DRAWINGS)	
7	HANGING LIGHT SUPPORT POLE (SEE SITE LIGHTING PLAN)	
8	REMOVABLE BOLLARDS (SEE CIVIL PLANS)	
9	RAISED PRECAST CONCRETE PLANTERS	
10	SIGN/FENCE FEATURE (SEE ARCHITECTURAL PLANS)	
11	BIKE RACKS (SEE CIVIL PLANS)	
12	BOLLARD LIGHT (SEE SITE LIGHTING PLAN)	
13	TREE UP LIGHT (SEE SITE LIGHTING PLAN)	

euta
milwaukee | madison | green bay | denver | atlanta

J. JEFFERS & CO.
PROJECT INFORMATION
BLOCK FIVE MIXED-USE DEVELOPMENT

MILWAUKEE BUCKS

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5 OF MILWAUKEE BUCKS ARENA DEVELOPMENT - GPD

KEY PLAN

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

SHEET INFORMATION

PROJECT MANAGER MO
PROJECT NUMBER 123654

SITE LANDSCAPE PLAN - PLAZA

L101A
© 2024 Epstein Uhen Architects, Inc.

Plant Schedule						
Code	Scientific Name	Common Name	Quantity	Spacing	Install Size	Mature Size (Height/Spread)
Canopy Trees: (Install in accordance with detail 3/L201)						
ACFRA	Acer x freemanii 'Armstrong'	Armstrong Maple	1	Per Plan	3" caliper B&B	50'-60'/15'-20'
GIBPS	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo (male)	5	Per Plan	3" caliper B&B	40'/15'
GLTDR	Gleditsia triacanthos 'Draves'	Street Keeper Honeylocust	6	Per Plan	3" caliper B&B	45'/20'
QUBBM	Quercus bicolor 'Bonnie and Mike'	Beacon Swamp White Oak	4	Per Plan	3" caliper B&B	35'/15'
QURC	Quercus robur x alba 'Crimschmidt' PP9,103	Crimson Spire Oak	2	Per Plan	2.5" caliper B&B	45'/15'
Ornamental Trees: (Install in accordance with detail 3/L201)						
BENI	Betula nigra	River Birch	7	Per Plan	16' multi-stem B&B	40'-70'/35'-50'
SYRIS	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2	Per Plan	3" caliper B&B	25'/15'
Deciduous Shrubs: (Install in accordance with detail 4/L201)						
ARME	Aronia melanocarpa var. 'Elata'	Glossy Black Chokeberry	15	Per Plan	24" tall pot	5'-7'/4'-6'
DILO	Diervilla lonicera	Dwarf Bush Honeysuckle	11	Per Plan	18" tall pot	2'-3'/4'-5'
RHARG	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	33	Per Plan	18" spread pot	2'-3'/6'-8'
Evergreen Shrubs: (Install in accordance with detail 4/L201)						
BUKO	Buxus koreana 'Green Velvet'	Green Velvet Boxwood	25	Per Plan	18" tall pot	3'-4'/4'-5'
JUCSOG	Juniperus chinensis 'Sea of Gold'	Sea of Gold Juniper	36	Per Plan	18" spread pot	3-5'/4'
JUCTR	Juniperus chinensis 'Trautman'	Trautman Juniper	3	Per Plan	6' tall B&B	12'/4'
TAMEV	Taxus x media 'Everlow'	Everlow Yew	11	Per Plan	24" spread pot	2'-3'/4'-5'
Perennials: (Install in accordance with detail 5/L201)						
ALSPB	Allium x 'Summer Peek-a-Boo'	Summer Peek-a-Boo Globe Lily	50	Per Plan	#1 cont.	8"-12"/18"-24"
CAAC	Calamagrostis x acutiflora Karl Foerster	Karl Foerster Reed Grass	10	Per Plan	#1 cont.	4'-5'/18"-24"
CAVU	Carex vulpinoidea	Fox Sedge	58	Per Plan	#1 cont.	12"-36'/6"-24"
HECI	Heuchera 'Citronelle' PP17,934	Citronelle Coralbells	95	Per Plan	#1 cont.	12"-14"/14"-18"
HEHR	Hemerocallis 'Happy Returns'	Happy Returns Daylily	69	Per Plan	#1 cont.	12"-18"/16"-24"
MAST	Matteuccia struthiopteris	Ostrich Fern	83	Per Plan	#1 cont.	24"-60"/24"-36"
NEJW	Nepeta x 'Junior Walker'	Junior Walker Catmint	43	Per Plan	#1 cont.	15"-18"/30"-36"
SPHET	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	42	Per Plan	#1 cont.	18"-24"/18"-24"
NOTE: Plant quantities indicated in the plant schedule are for convenience only. Installation contractor is responsible for verifying plant count on the landscape plan. When discrepancies between the plant schedule, labels and the landscape plan occur, the quantity drawn on the landscape plan shall be the official quantity.						

1

L201

PLANT SCHEDULE

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

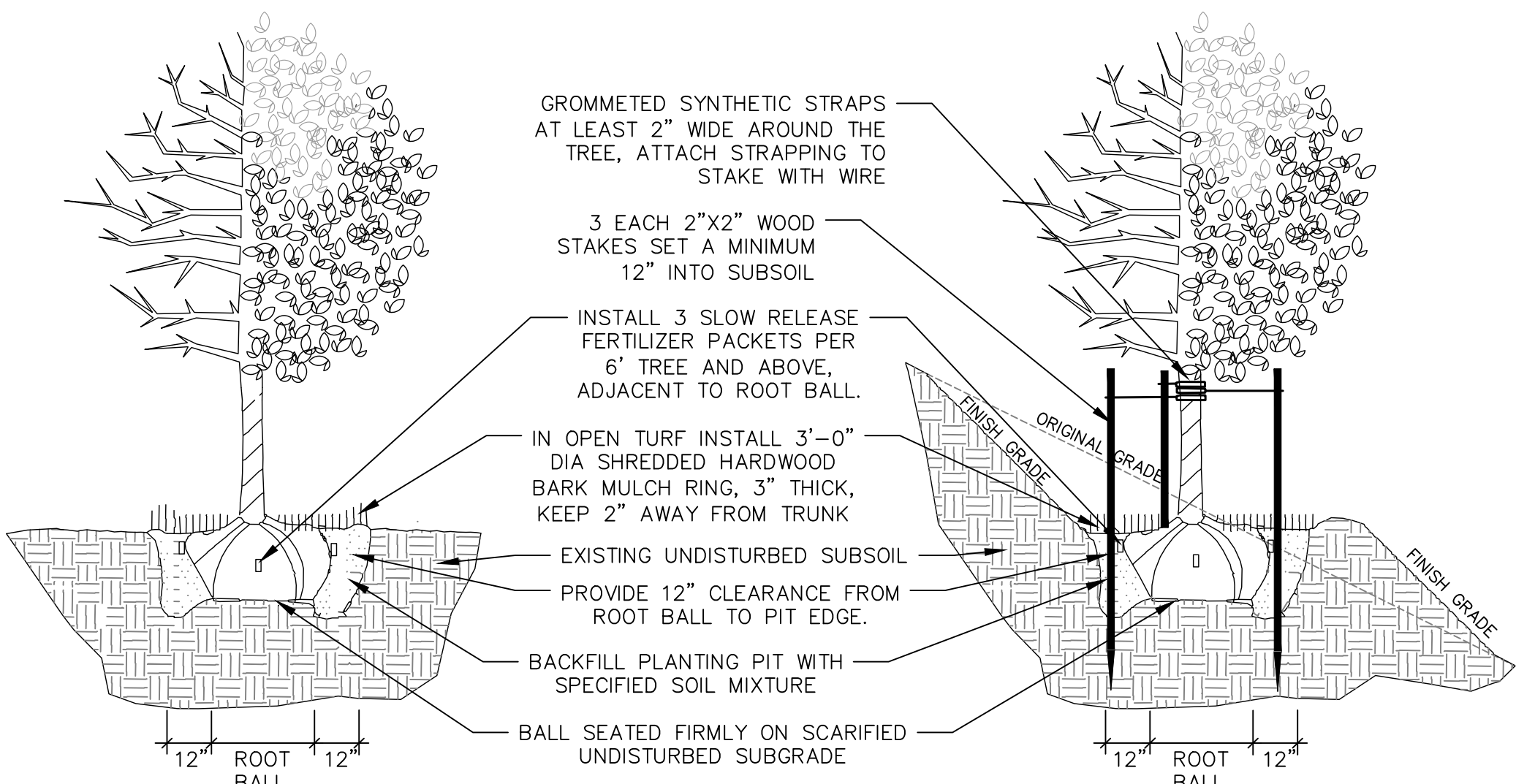
- ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES" PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
- CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
- BARK MULCH TO BE FRESHLY ACQUIRED SHREDDED HARDWOOD MULCH. DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
- ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF SHREDDED HARDWOOD MULCH OVER TYPAR PROFESSIONAL WEED FABRIC. NO WEED BARRIER FABRIC IN PERENNIAL AREAS.
- INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT SHREDDED HARDWOOD MULCH FROM SPILLING OUT OF PLANTING AREA.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
- REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
- REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
- PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
- PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
- PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
- PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
- WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
- FOR INDIVIDUAL TREES PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
- INSTALL 3" THICK SHREDDED HARDWOOD MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES, KEEP MULCH 2" AWAY FROM TRUNKS.
- STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE, ATTACH STRAPPING TO STAKE WITH WIRE. STAKE ONLY WHEN NECESSARY. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
- REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

2

L201

LANDSCAPE NOTES

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

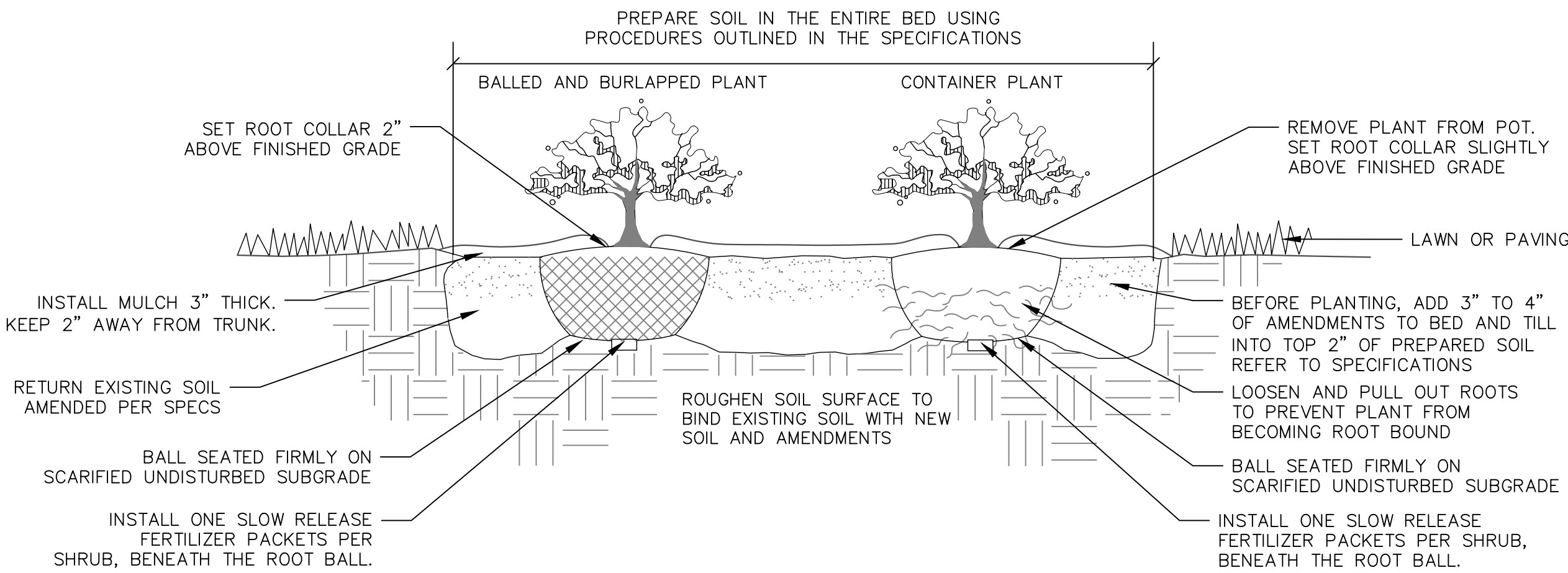


3

L201

DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE

N.T.S.

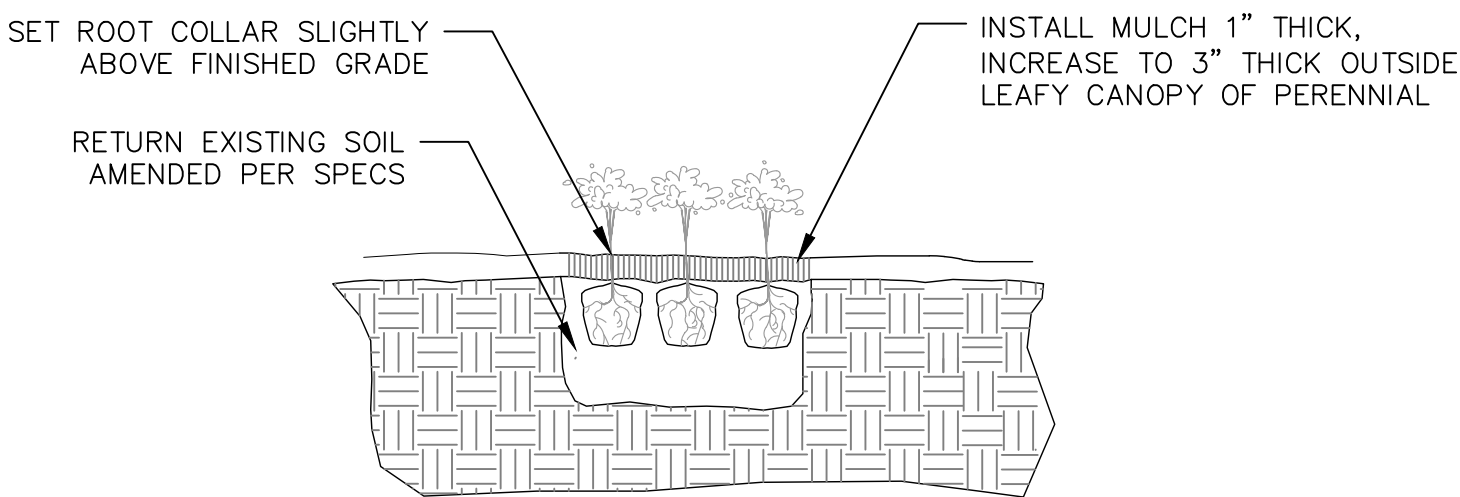


4

L201

DECIDUOUS & EVERGREEN SHRUB PLANTING

N.T.S.

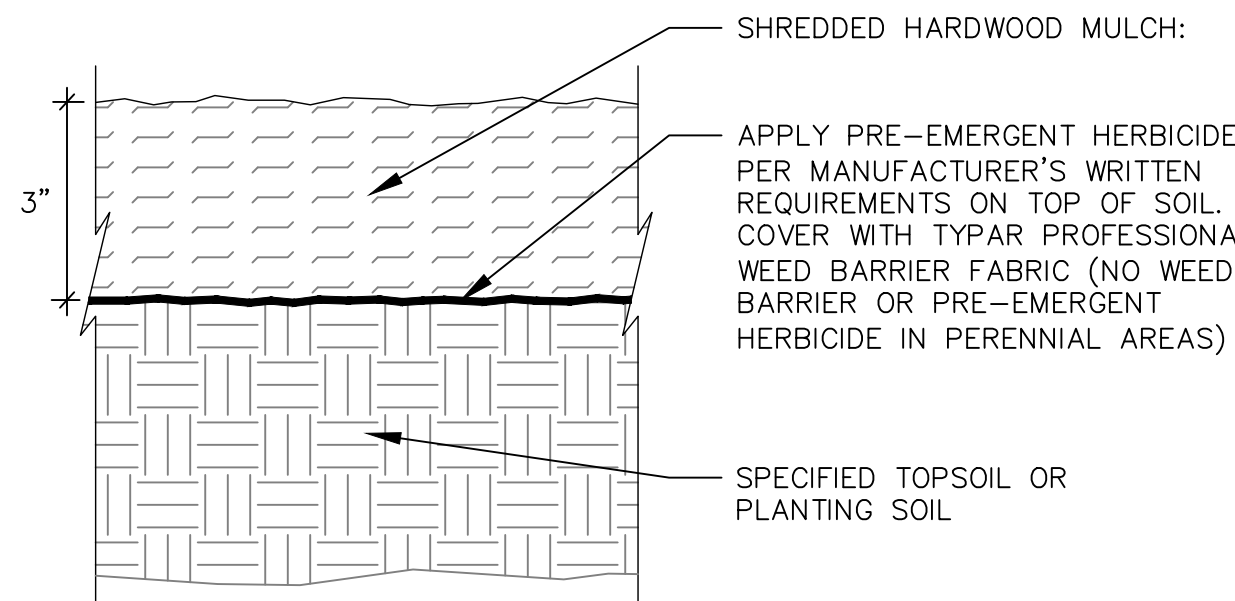


5

L201

PERENNIAL PLANTING

N.T.S.

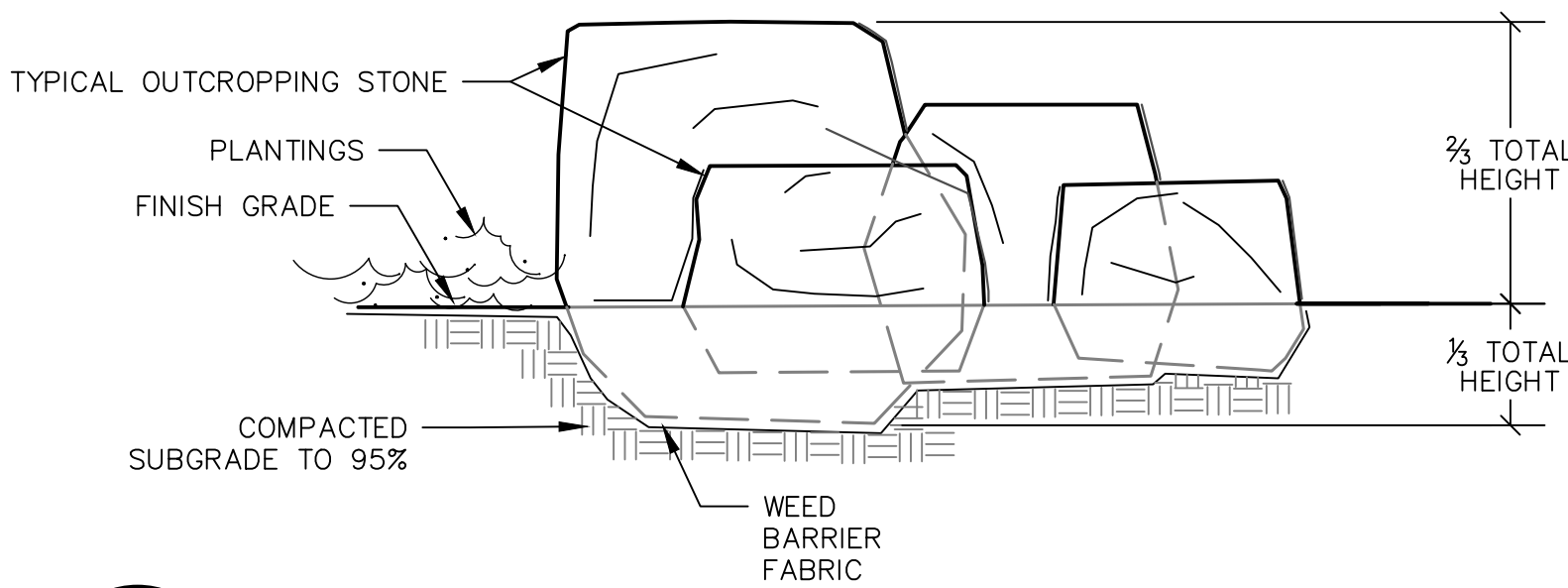


6

L201

SHREDDED HARDWOOD MULCH SECTION

N.T.S.



7

L201

TYPICAL OUTCROPPING STONE ACCENT INSTALLATION

N.T.S.



milwaukee | madison | green bay | denver | atlanta

E



PROJECT INFORMATION

BLOCK FIVE
MIXED-USE
DEVELOPMENT

D



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

C

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN

B

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER MO

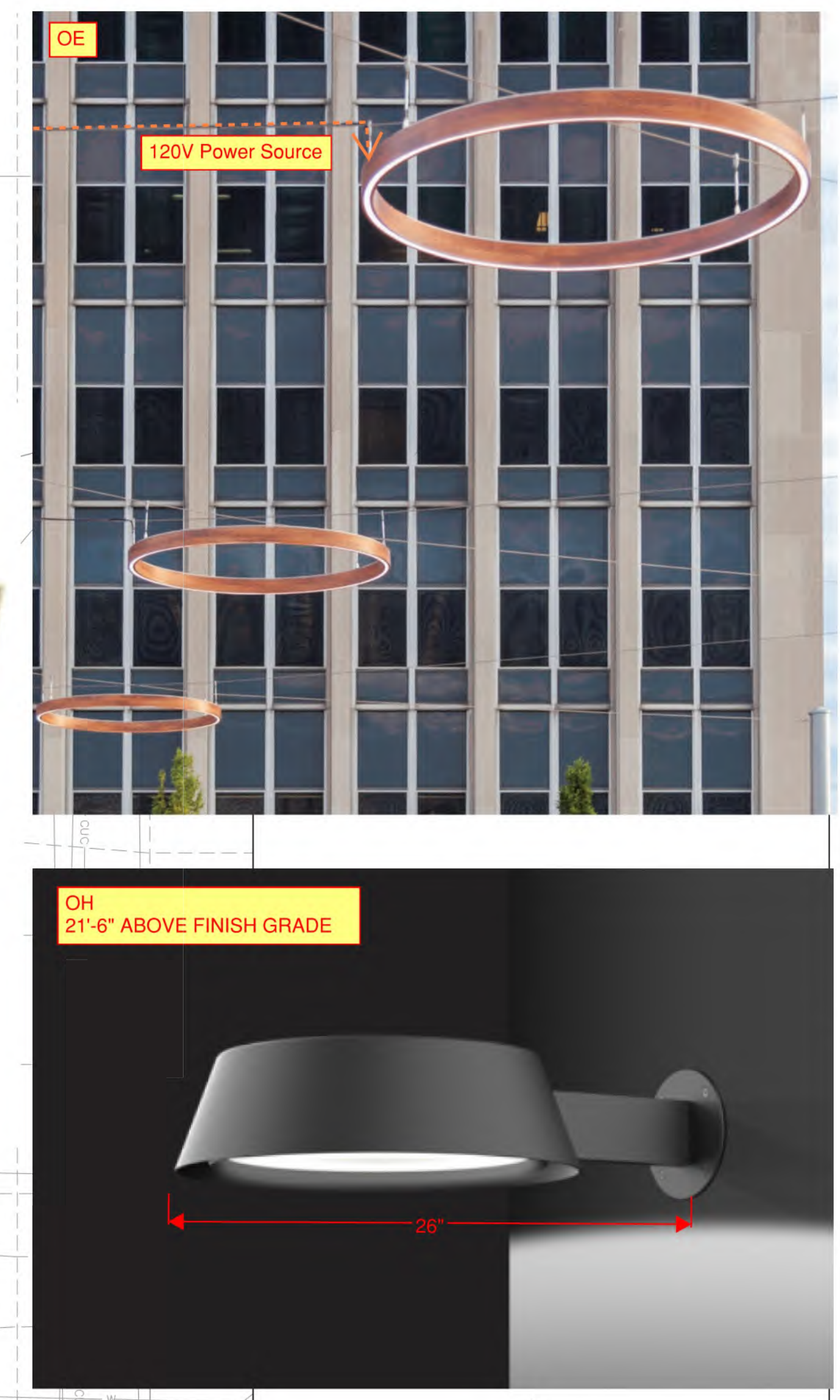
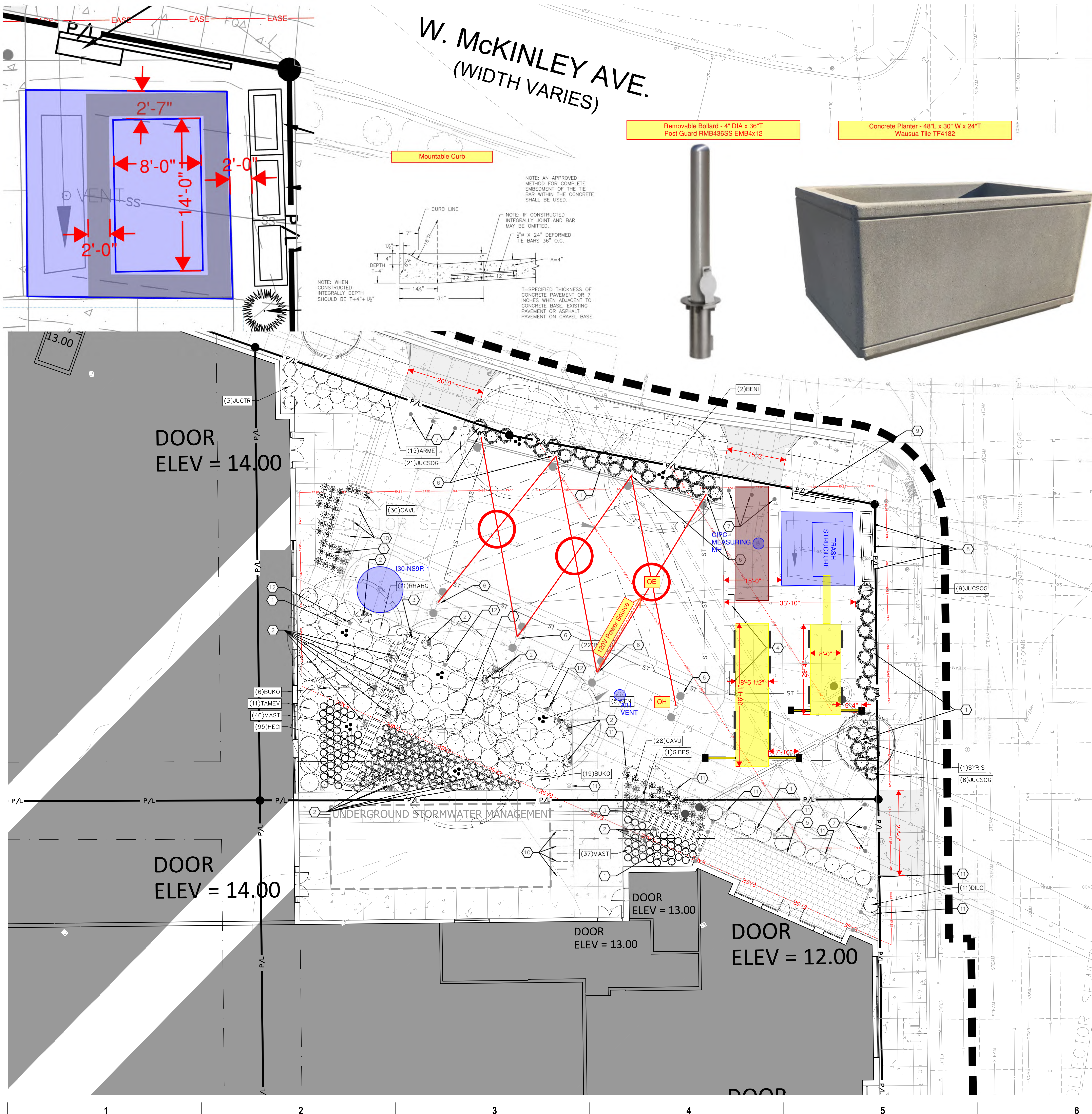
A

PROJECT NUMBER 123654

SITE LANDSCAPE
DETAILS

L201

© 2024 Epstein Uhen Architects, Inc.



DIGGERSHOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

HATCH LEGEND

- PROJECT LIMITS
- PROPERTY LINE
- EASEMENT LINE
- OUTCROPPING STONE ACCENTS/INFORMAL SEATING
- AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, LAWN GRASS SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
- PLANT "CODE" REFERENCES TO THE PLANT SCHEDULE
- QUANTITY OF PLANTS IN THE PLANT GROUPING
- LEADER LINE
- PLANT SYMBOL (SYMBOL VARIES)

KEY INDEX

1	SHREDDED HARDWOOD MULCH	6 L201
2	OUTCROPPING STONE ACCENTS/INFORMAL SEATING	7 L201
3	RECTANGULAR PRECAST CONCRETE STEPPERS	
4	TYPE - SORENO COLOR - LIGHT GRANITE MAFR - UNLOCK SIZE 16"x32"x2"	
5	BENCH	
6	FENCE AROUND PATIO (SEE CIVIL AND ARCHITECTURAL DRAWINGS)	
7	HANGING LIGHT SUPPORT POLE (SEE SITE LIGHTING PLAN)	
8	REMOVABLE BOLLARDS (SEE CIVIL PLANS)	
9	RAISED PRECAST CONCRETE PLANTERS	
10	SIGN/FENCE FEATURE (SEE ARCHITECTURAL PLANS)	
11	BIKE RACKS (SEE CIVIL PLANS)	
12	BOLLARD LIGHT (SEE SITE LIGHTING PLAN)	
13	TREE UP LIGHT (SEE SITE LIGHTING PLAN)	

euta
milwaukee | madison | green bay | denver | atlanta

J. JEFFERS & CO.
PROJECT INFORMATION

BLOCK FIVE MIXED-USE DEVELOPMENT

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

KEY PLAN

DPD ZONING SUBMITTAL FOR BLOCK 5 OF MILWAUKEE BUCKS ARENA DEVELOPMENT - GPD

KEY PLAN

SHEET INFORMATION

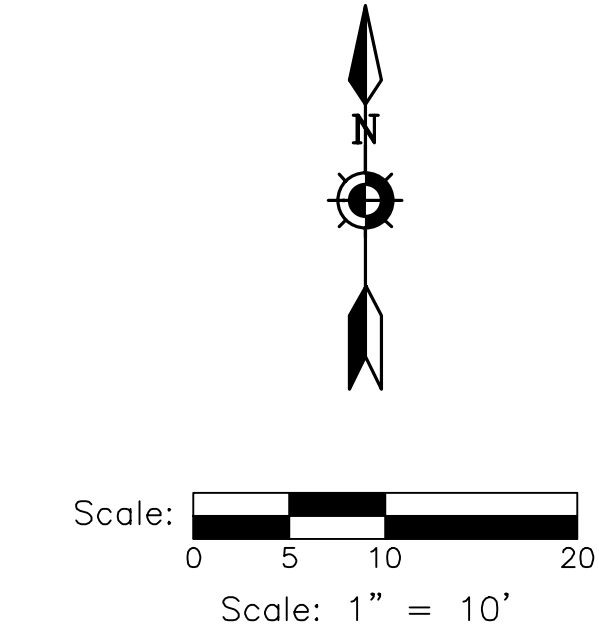
PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER MO
PROJECT NUMBER 123654

SITE LANDSCAPE PLAN - PLAZA

L101A
© 2024 Epstein Uhan Architects, Inc.





DIGGERSHOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com



milwaukee | madison | green bay | denver | atlanta



**J. JEFFERS
& CO.**

PROJECT INFORMATION

**BLOCK FIVE
MIXED-USE
DEVELOPMENT**



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

C

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN

B

SHEET INFORMATION

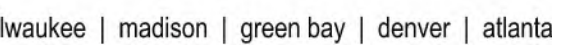
**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER MO
PROJECT NUMBER 123654

**SITE LANDSCAPE
PLAN - PLAZA**

L101A

© 2024 Epstein Uhan Architects, Inc.



...



PROJECT INFORMATION

BLOCK FIVE MIXED-USE DEVELOPMENT

D



DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

3

PD ZONING SUBMITTAL FOR BLOCK 5
F MILWAUKEE BUCKS ARENA
EVELOPMENT - GPD

KEY PLAN

3

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER MO

PROJECT NUMBER 123654

SITE LANDSCAPE PLAN - PLAZA

L101A

2024 Eppstein Uhan Architects, Inc.

