

The Kubala Washatko Architects, Inc.
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PROJECT

Roepsch Residence Historic Deck Replacement
 2239 N Terrace Ave
 Milwaukee, WI 53202

OWNER

Thomas and Suzanne Roepsch
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 Milwaukee, WI 53202
 p: 414.791.4366

CONSTRUCTION MANAGER

ADK
 2738 South 13th Street
 Milwaukee, WI 53215
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STRUCTURAL ENGINEER

SPIRE ENGINEERING, INC.
 305 N. Franklinton Ave., Suite 101
 Milwaukee, WI 53203
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REVISIONS

DATE

November 7, 2023

PROJECT NUMBER

261823.00

SHEET TITLE

CODE AND ZONING PLAN

SHEET NUMBER

A0.1

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ZONING ANALYSIS

ZONING DISTRICT TWO-FAMILY RESIDENTIAL DISTRICT (RT2)

A single family home is a permitted use within the RT-2 district

Table 295-505-2 PRINCIPAL BUILDING DESIGN STANDARDS							
	Two-family Districts						
	RT1	RT2	RT3	RT4			
Lot	Lot area, minimum (sq. ft.) <i>detached housing</i>	7,200	4,800	3,000	2,400	Project lot area: 11,250sf	
	Lot area, minimum (sq. ft.) <i>attached housing</i>	3,600	3,000	1,800	1,800		
	Lot area, maximum (sq. ft.)	none	none	none	none	Project lot width: 75'-0"	
	Lot width, minimum (ft.) <i>detached housing</i>	60	40	30	24		
	Lot width, minimum (ft.) <i>attached housing</i>	30	25	18	18		
Density	Lot width, maximum (ft.)	none	none	none	none	Project lot area/du: 11,250sf	
	Lot area per dwelling unit, minimum (sq. ft.)	3,600	2,400	1,800	1,200		
	Lot area per roomer or transitional housing client, minimum (sq. ft.)	NA	NA	NA	600	Project lot coverage: 3,403sf/11,250sf = 30%	
	Lot coverage, minimum <i>interior lot</i>	none	none	*	*		
	Lot coverage, maximum <i>interior lot</i>	30%	30%	50%	70%		
	Height	Lot coverage, minimum <i>corner lot</i>	none	none	*	*	**Note: Floor of existing front deck is less than 3'-0" above grade. Per table 295-505-3 for Accessory Structure Design Standards, the deck is not included in the lot coverage calculation.
		Lot coverage, maximum <i>corner lot</i>	40%	40%	60%	85%	
Floor area, minimum (sq. ft.) <i>one-story structure</i>		none	none	none	none	The existing deck nor the replacement deck are included in the area used for lot coverage calculation.	
Floor area, minimum (sq. ft.) <i>split-level or taller</i>		none	none	none	none		
Height, minimum (ft.)		none	none	*	*		
Height, maximum (ft.)	45	45	45	48			

*The requirements of table 295-505-2-i apply in lieu of the minimum lot coverage and minimum height requirements of this table.

**A structure shall meet the minimum height requirements of table 295-505-2-i unless it is adjacent to a lot containing a one-story house, in which case there shall be no minimum height requirement.

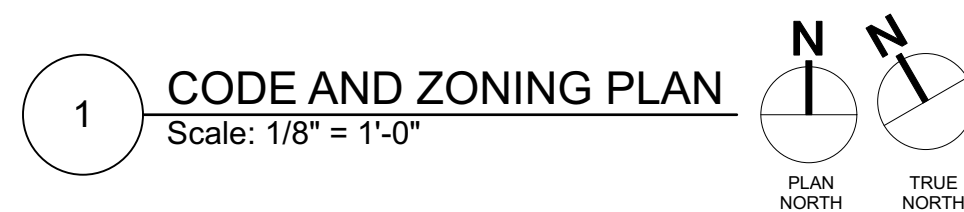
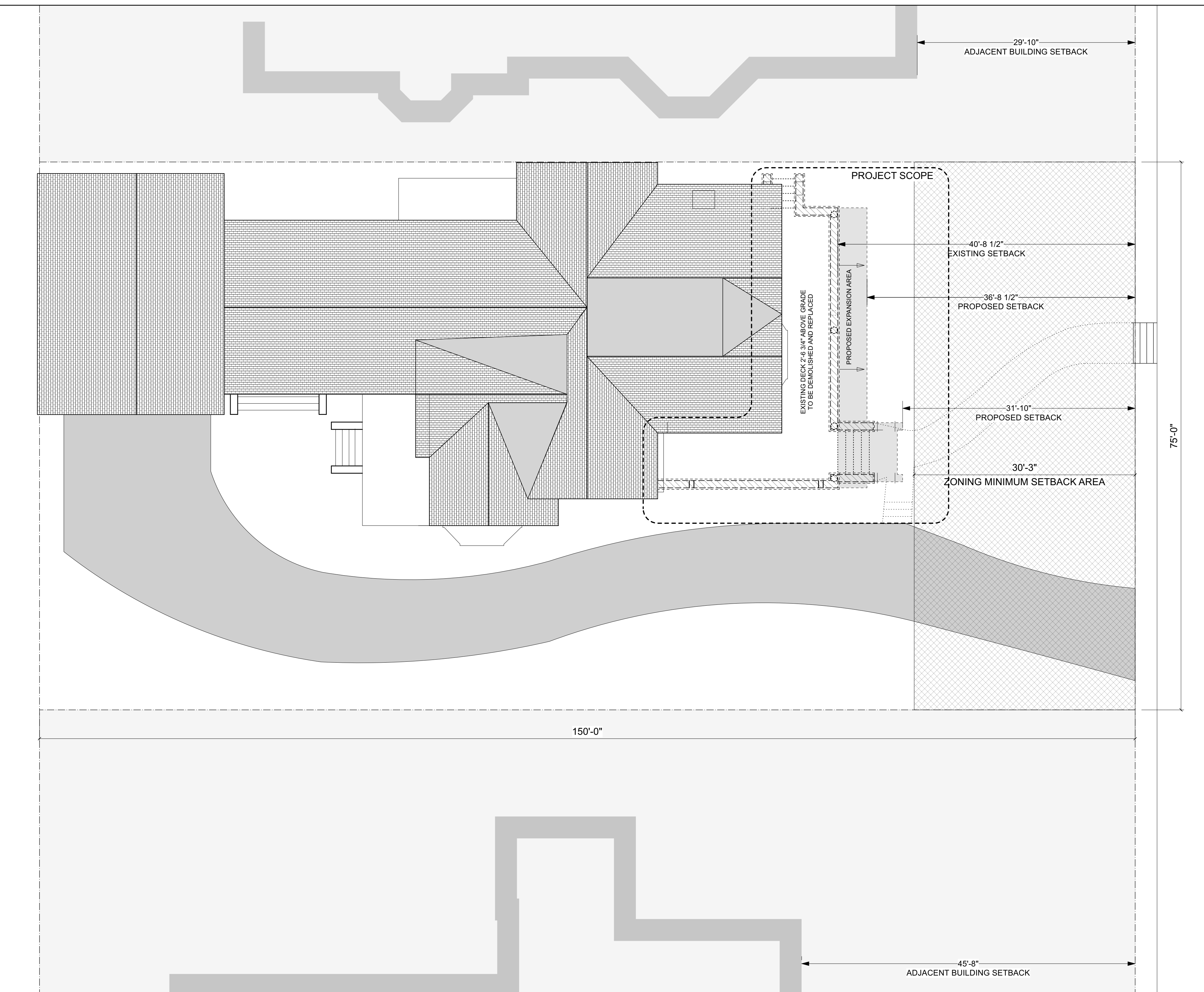
	Two-family Districts					
	RT1	RT2	RT3	RT4		
Primary Frontage	Front setback, minimum (ft.) (see s. 295-505-2-b)	average	average	average	average	**Note: The assumed average setback is found by averaging the setbacks of the adjacent structures. Per 295-505-2 (b), the front setback may be anywhere in the range of the average setback +/- 20%. $45'-8" + 29'-10" / (2) = 37'-9" + 20\% = 45'-3" \text{ to } 30'-3"$ Per table 295-505-3 for Accessory Structure Design Standards, the deck should have the same front setback as the principal building.
	Front setback, maximum (ft.) (see s. 295-505-2-b)	none	none	average but never more than 20 ft.		
	Side street setback, minimum (ft.)	20% of lot width but never more than 20 ft.	10% of lot width but never more than 6 ft.	3		
	Side street setback, maximum (ft.)	none	none	none	15	
Side Setback	North or west side setback, minimum (ft.)	3	3	1.5	1.5	North setback: 3'-0" (verify west setback on survey)
	South or east side setback, minimum (ft.)	6	6	3.5	3.5	South setback: 18'-0"
	Combined side setback, minimum (ft.)	12	12	5	5	
	Maximum depth of building without side setback adjustment	50	50	75	100	
Rear Setback	Max. no. of stories without side or rear setback adjustment	2	2	3	4	
	Rear setback, minimum (ft.) <i>interior lot</i>	25	25	15	15	
	Rear setback, minimum (ft.) <i>corner lot</i>	20	20	10	10	
	Rear street setback, minimum (ft.) (see s. 295-505-2-e)	average	average	average	average	
	Rear street setback, maximum (ft.)	none	none	none	none	
Multiple principal residential buildings permitted?	no	no	no	yes, if in existence on Nov. 22, 2003; otherwise, special use		

CODE ANALYSIS

PER SPS 320-325 UNIFORM DWELLING CODE

SPS 321.04 STAIRWAYS:

- MINIMUM WIDTH = 36" : **PROPOSED WIDTH = 6'-1" AND 3'-5"**
- MAXIMUM RISER HEIGHT = 8" : **PROPOSED RISER HEIGHT = 6.25"**
- MINIMUM TREAD DEPTH = 9" : **PROPOSED TREAD DEPTH = 13"**
- UNIFORMITY = GREATEST RISER HEIGHT MAY NOT EXCEED SMALLEST RISER HEIGHT BY MORE THAN 3/8"
- HANDRAILS = A FLIGHT OF STAIRS WITH MORE THAN 3 RISERS SHALL BE PROVIDED WITH AT LEAST ONE HANDRAIL
 ** SEEK VARIANCE TO ALLOW PRIMARY STAIRS (AND NORTH STAIR) TO USE STAIR WING WALLS AS HANDRAIL?
- GUARDS MINIMUM HEIGHT = 36" : **PROPOSED HEIGHT = 30"**
 **SEEK VARIANCE TO ALLOW FOR 30" HISTORIC PORCH WALL HEIGHT TO REMAIN



Architect Note:

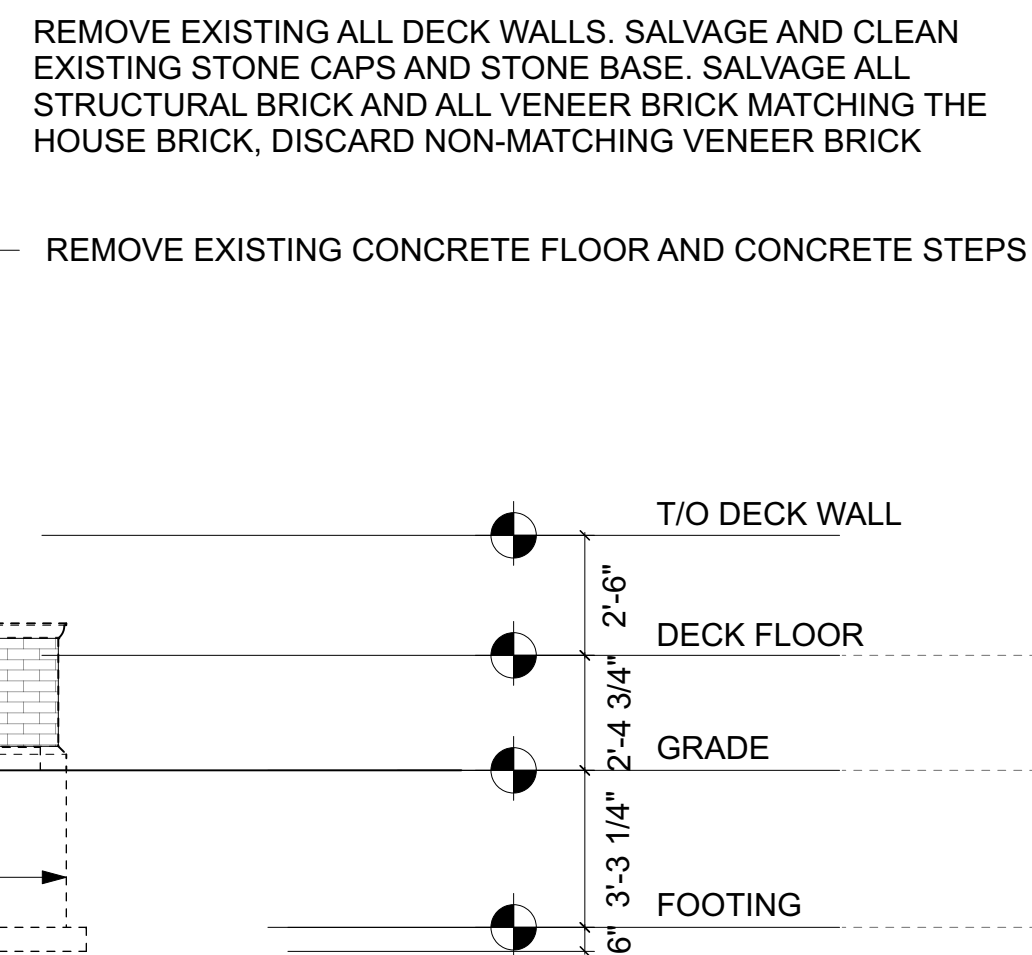
This project involves the replacement of an existing east facing deck that is original to this 1903 historically significant home. Per Historic Preservation Standards, we intend to reconstruct the deck nearly identically to the existing deck in size and materials, with one exception - we intend to increase the usable space of the deck by moving the east wall further east by 4'-0".

We believe that this deck expansion falls within the allowable average setbacks allowed by the RT2 zoning districts, and as the deck floor is less than 3'-0" above grade, it is not included in lot area calculations.

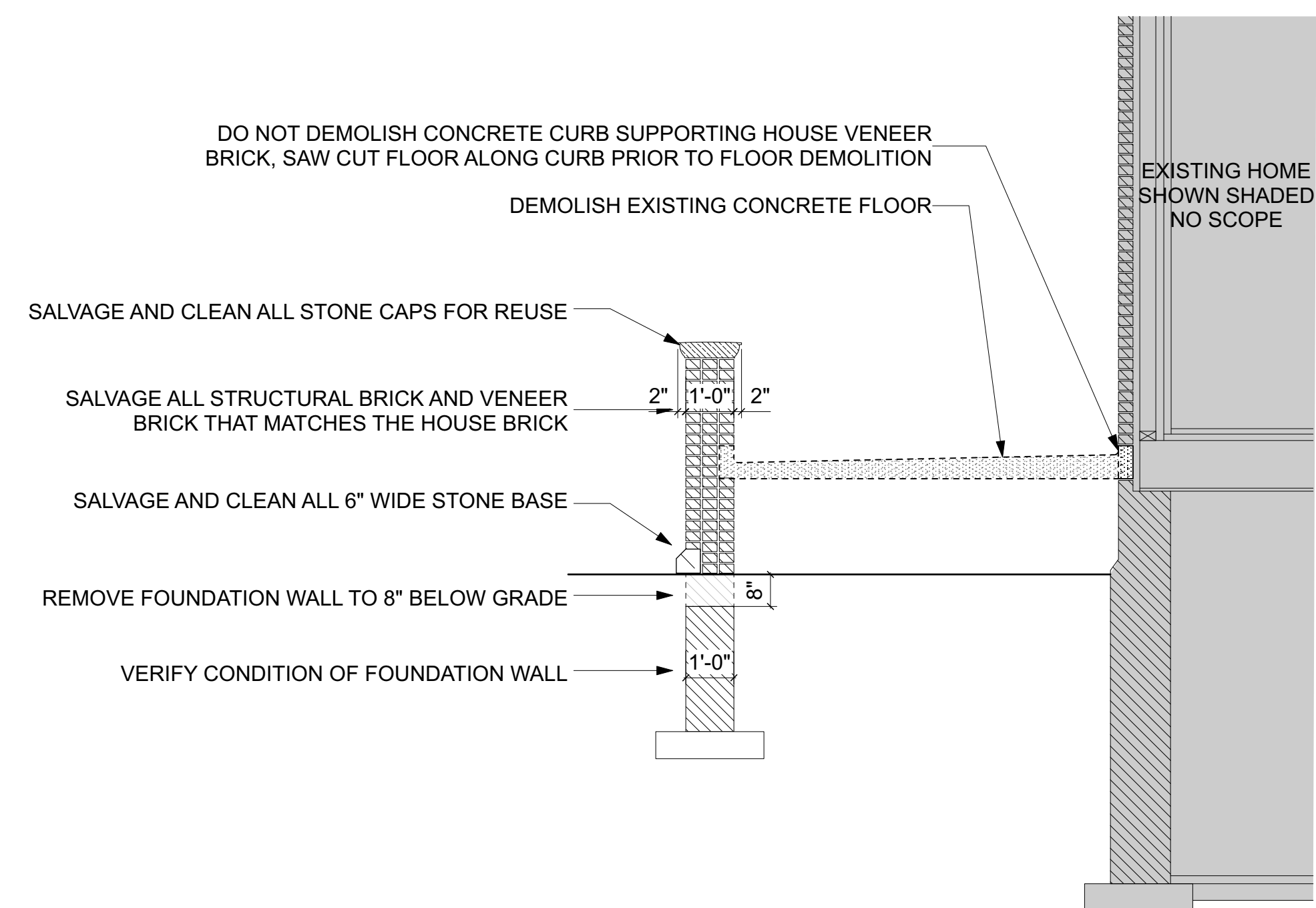
We intend to seek a variance for both the deck wall height and provision of handrails in order to maintain the historic heights and character of the deck.



1 DEMO SOUTH ELEVATION
Scale: 1/4" = 1'-0"



2 DEMO EAST ELEVATION
Scale: 1/4" = 1'-0"

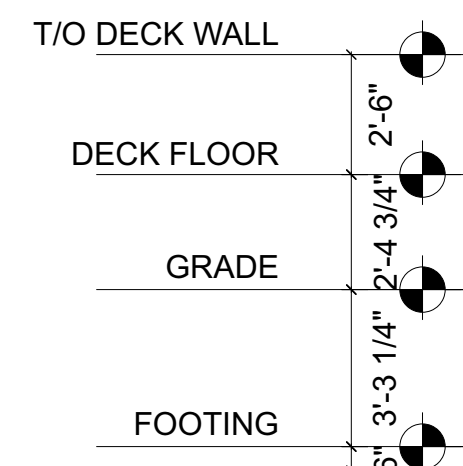


4 DEMOLITION SECTION
Scale: 3/8" = 1'-0"

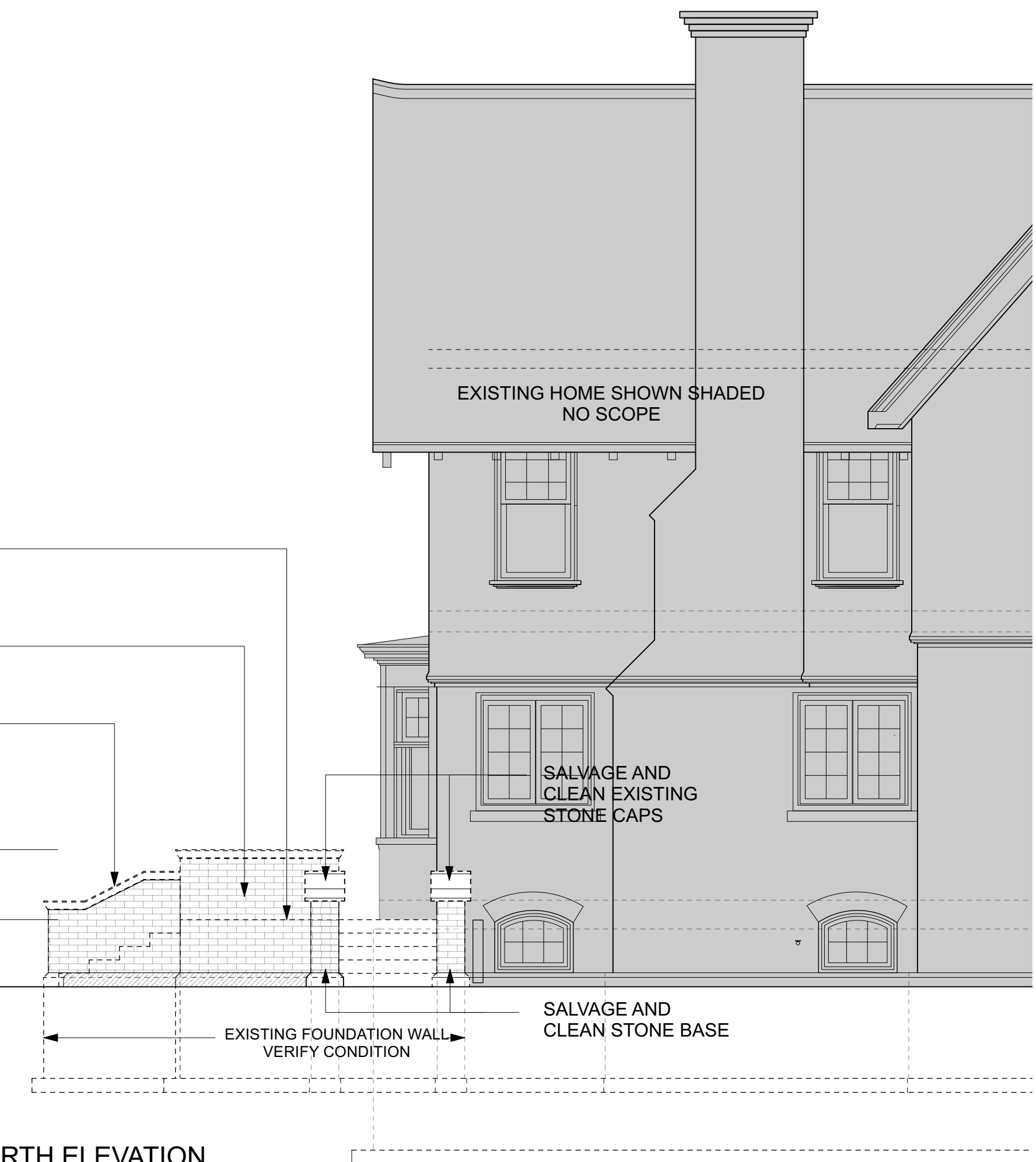
DEMOLISH CONCRETE FLOOR AND CONCRETE STEPS

REMOVE EXISTING DECK WALLS. SALVAGE AND CLEAN EXISTING STONE CAPS AND STONE BASE. SALVAGE ALL STRUCTURAL BRICK AND ALL VENEER BRICK MATCHING THE HOUSE BRICK, DISCARD NON-MATCHING VENEER BRICK

REMOVE EXISTING STAIR WING WALLS. SALVAGE AND CLEAN EXISTING STONE CAPS AND STONE BASE. SALVAGE ALL STRUCTURAL BRICK AND ALL VENEER BRICK MATCHING THE HOUSE BRICK, DISCARD NON-MATCHING VENEER BRICK



3 DEMO NORTH ELEVATION
Scale: 1/4" = 1'-0"



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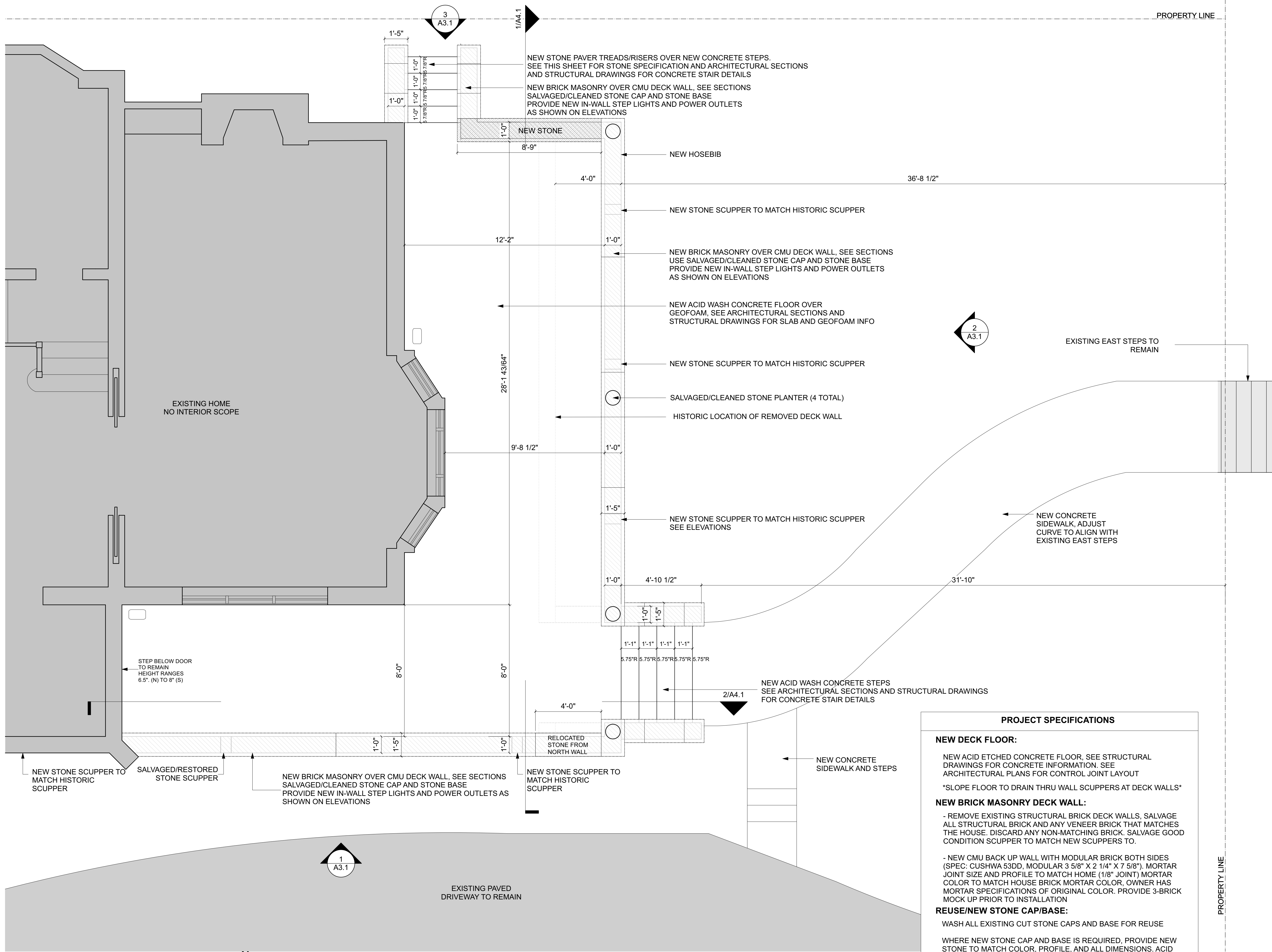
261823.00

SHEET TITLE

Demolition Elevations

SHEET NUMBER

D3.1



PROJECT SPECIFICATIONS	
NEW DECK FLOOR:	NEW ACID ETCHED CONCRETE FLOOR. SEE STRUCTURAL DRAWINGS FOR CONCRETE INFORMATION. SEE ARCHITECTURAL PLANS FOR CONTROL JOINT LAYOUT *SLOPE FLOOR TO DRAIN THRU WALL SCUPPERS AT DECK WALLS*
NEW BRICK MASONRY DECK WALL:	- REMOVE EXISTING STRUCTURAL BRICK DECK WALLS. SALVAGE ALL STRUCTURAL BRICK AND ANY VENEER BRICK THAT MATCHES THE HOUSE. DISCARD ANY NON-MATCHING BRICK. SALVAGE GOOD CONDITION SCUPPER TO MATCH NEW SCUPPERS TO. - NEW CMU BACK UP WALL WITH MODULAR BRICK BOTH SIDES (SPEC: CUSHWA 53DD, MODULAR 3 5/8" X 2 1/4" X 7 5/8"). MORTAR JOINT SIZE AND PROFILE TO MATCH HOME (1/8" JOINT) MORTAR COLOR TO MATCH HOUSE BRICK MORTAR COLOR. OWNER HAS MORTAR SPECIFICATIONS OF ORIGINAL COLOR. PROVIDE 3-BRICK MOCK UP PRIOR TO INSTALLATION
REUSE/NEW STONE CAP/BASE:	WASH ALL EXISTING CUT STONE CAPS AND BASE FOR REUSE WHERE NEW STONE CAP AND BASE IS REQUIRED, PROVIDE NEW STONE TO MATCH COLOR, PROFILE, AND ALL DIMENSIONS. ACID WASH AS NEEDED TO SIMULATE AGING. PROVIDE ALL NEW STONE SCUPPERS TO MATCH HISTORIC SCUPPERS IN SIZE, SHAPE, AND PROFILE

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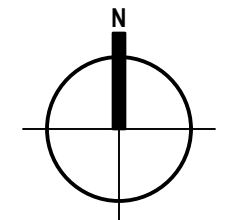
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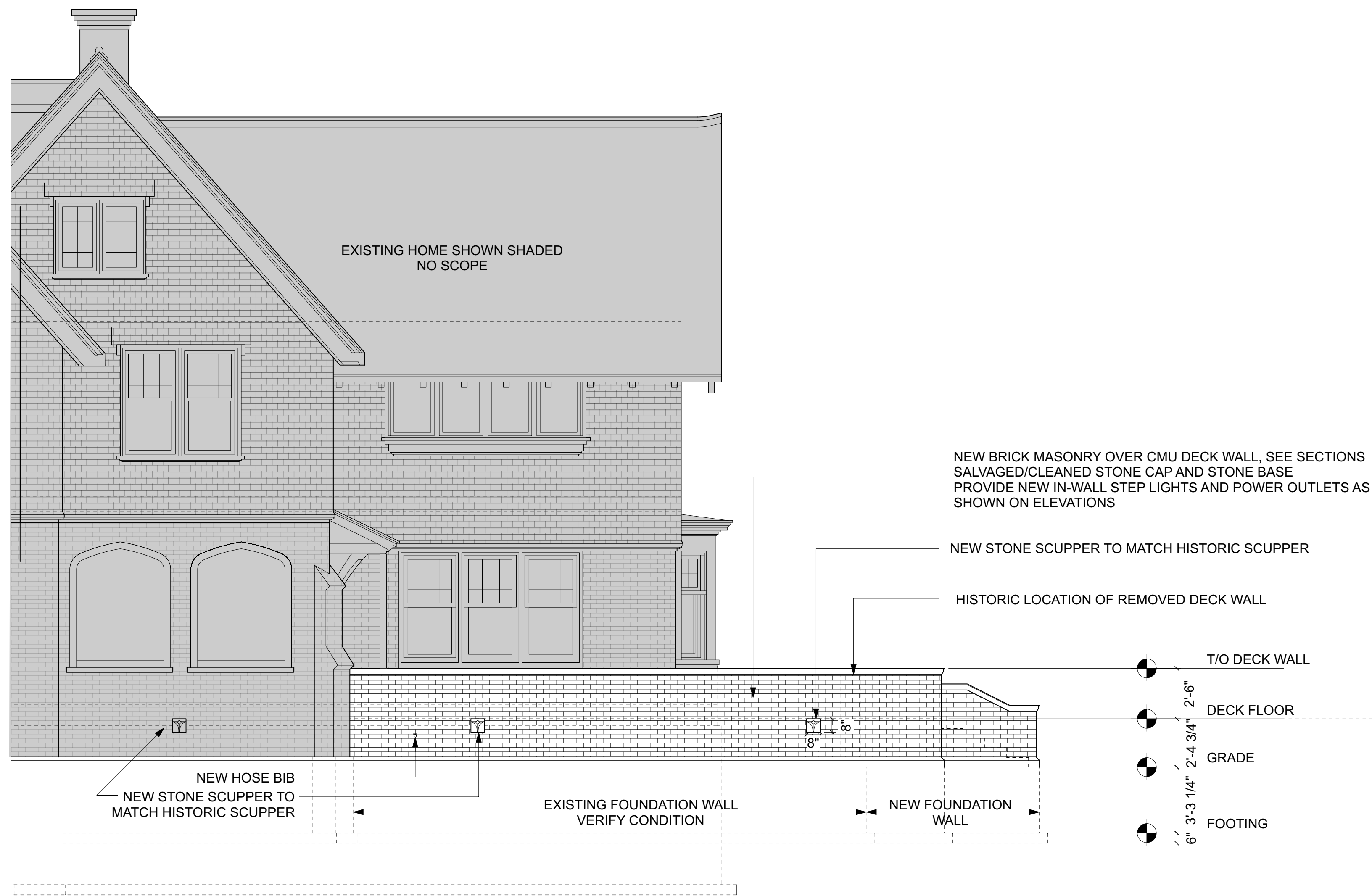
SHEET TITLE
First Floor Proposed Deck Plan

SHEET NUMBER
A1.1

1 FIRST FLOOR DECK PROPOSED PLAN
 Scale: 3/8" = 1'-0"

PLAN TRUE NORTH NORTH

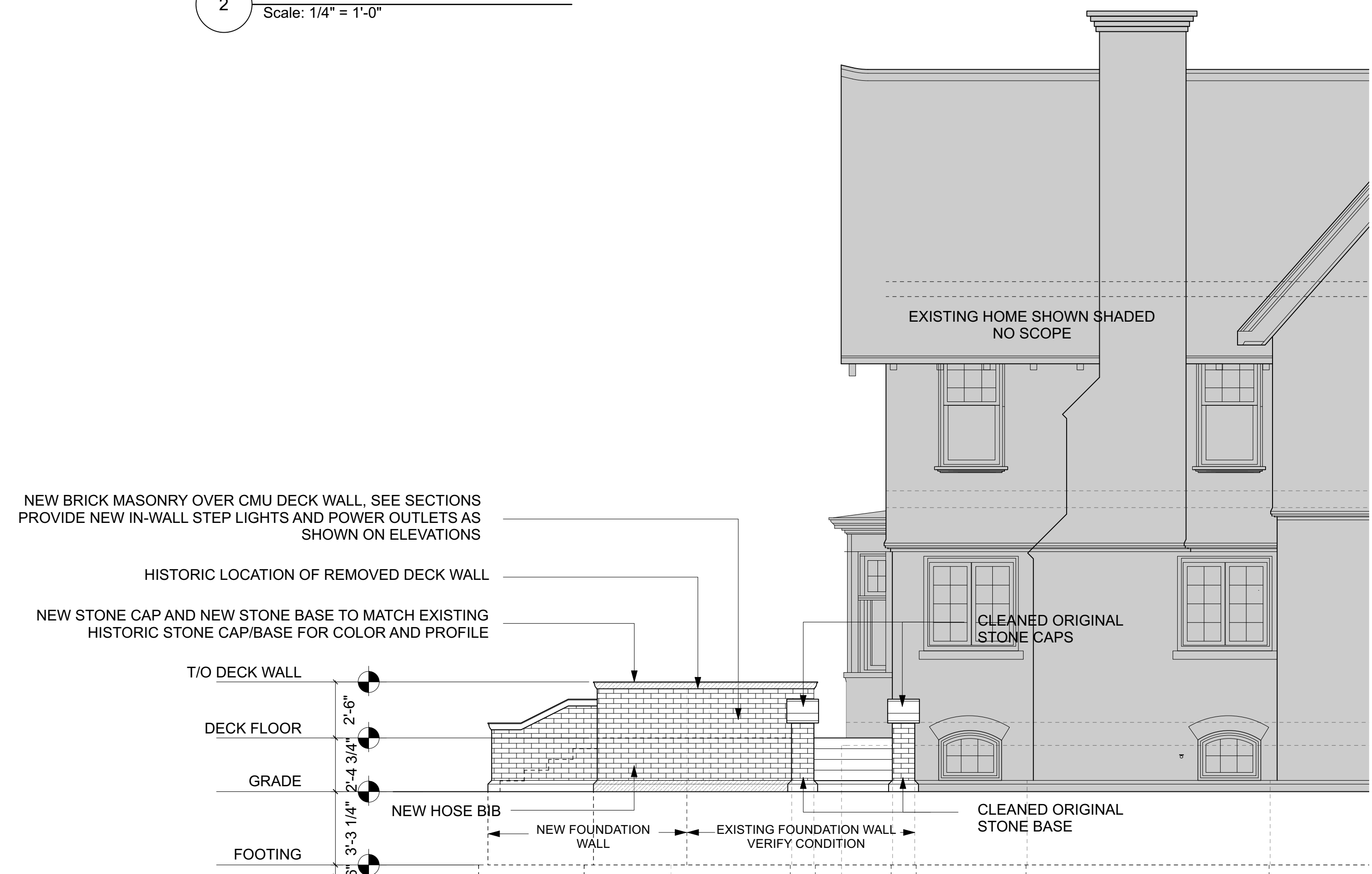




1 PROPOSED SOUTH ELEVATION
Scale: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
Scale: 1/4" = 1'-0"



3 PROPOSED NORTH ELEVATION
Scale: 1/4" = 1'-0"

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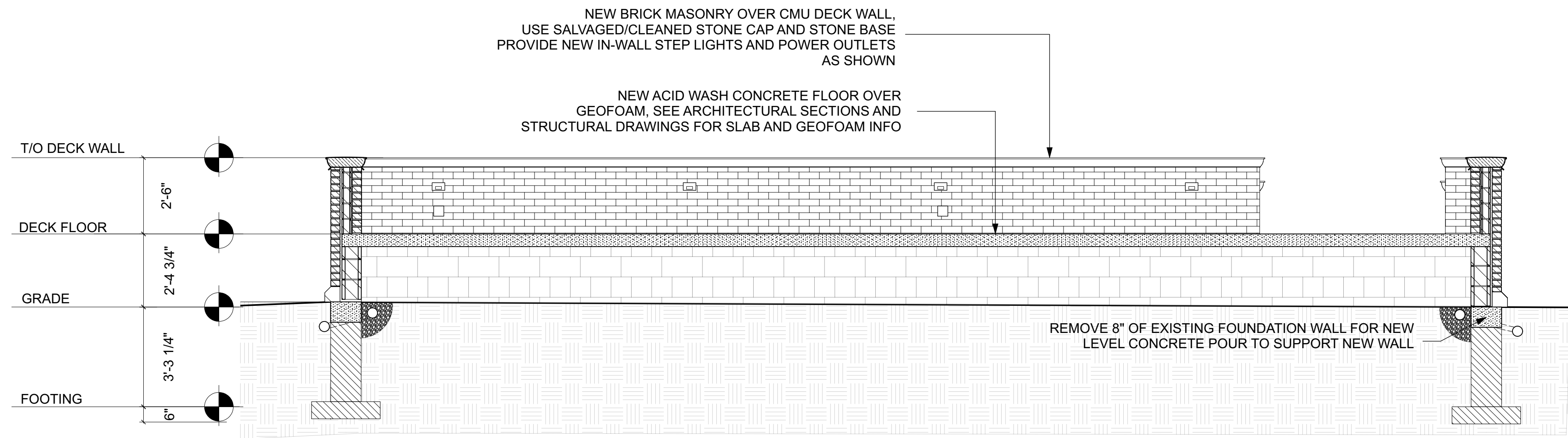
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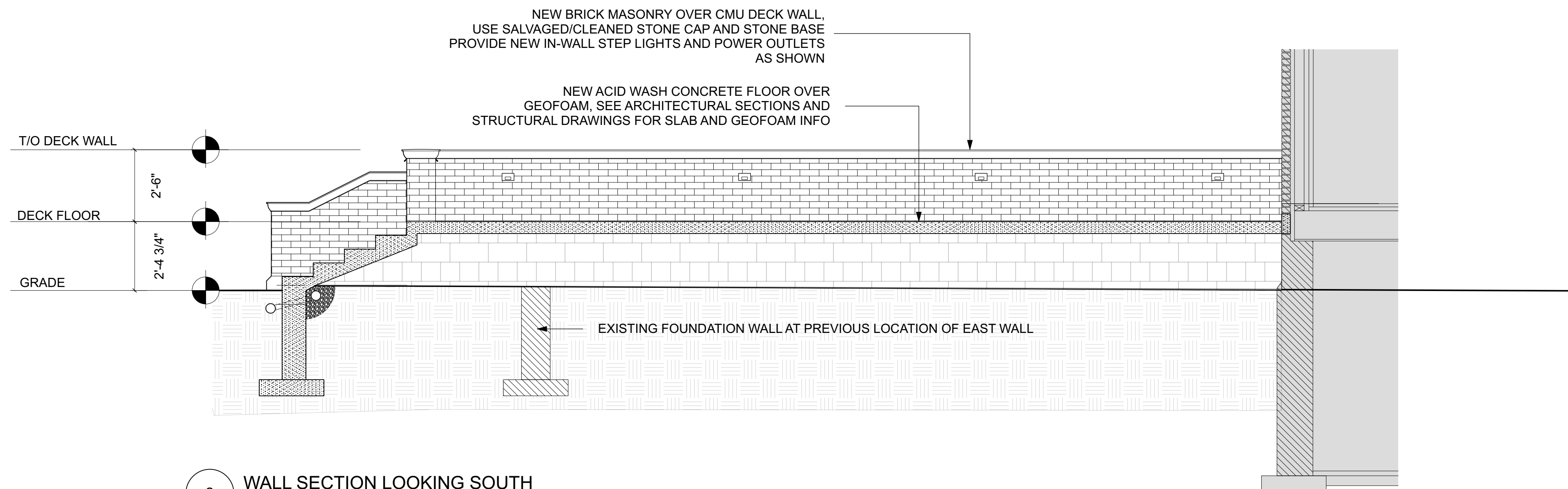
**Proposed
Elevations**

SHEET NUMBER

A3.1



1 WALL SECTION LOOKING EAST
 Scale: 3/8" = 1'-0"



2 WALL SECTION LOOKING SOUTH
 Scale: 3/8" = 1'-0"

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SHEET TITLE

DECK SECTIONS

SHEET NUMBER
A4.1