



ILLUSTRATION © ROBERT ULRICH, ULRICH VISUAL

RAYMOND MANAGEMENT COMPANY
DEVELOPER

HILTON GARDEN INN, MILWAUKEE, WISCONSIN

GARY BRINK & ASSOCIATES, INC.
ARCHITECT



General Mitchell Field

Raymond Hotel Site

38

E Chataf Way

W Bodin St

W Uncas Ave

W Main St

W Avina Ave

W College Ave

E College Ave

© 2008 Tele Atlas
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42°56'07.49" N 87°54'24.45" W

1112 ft

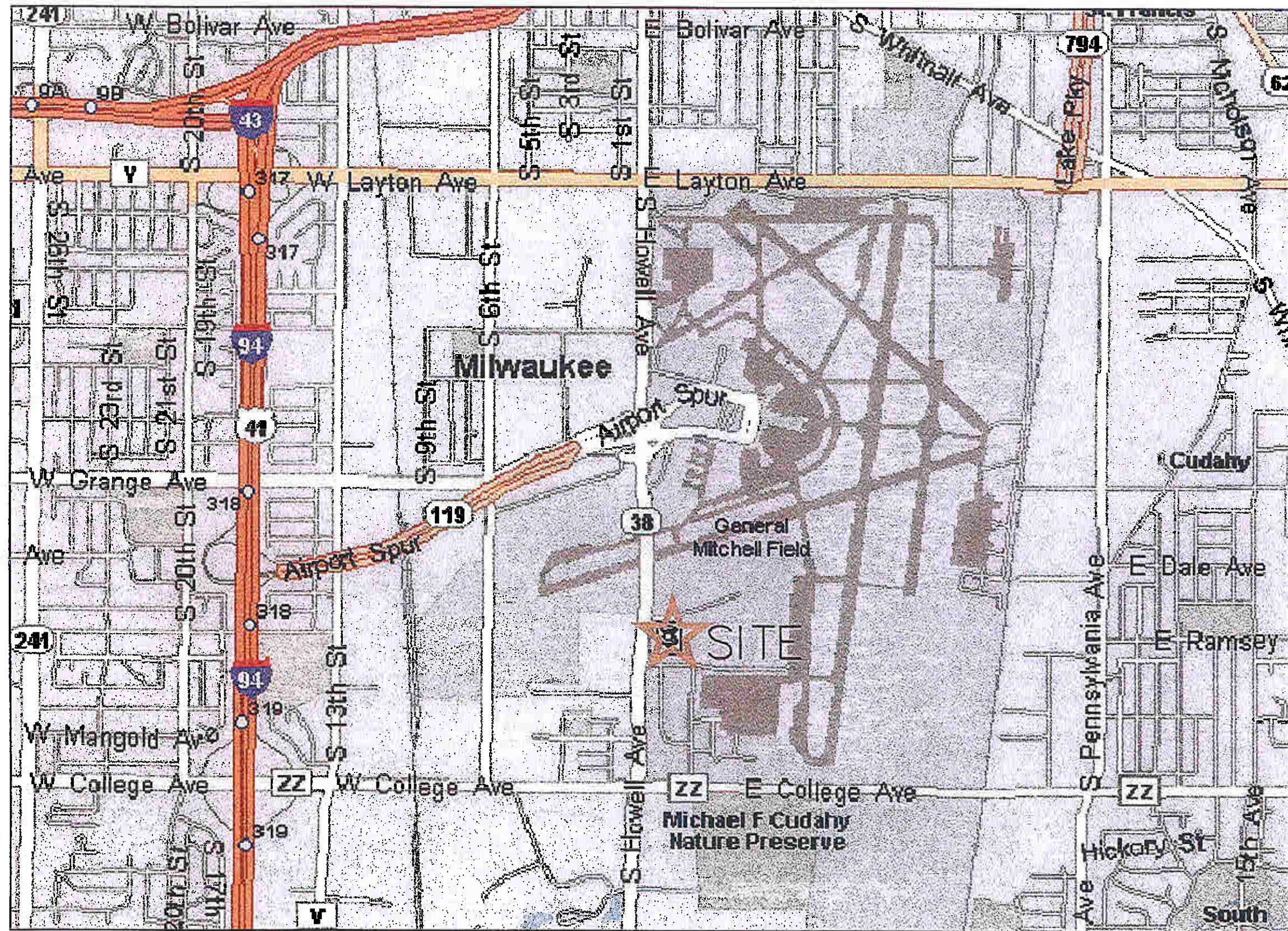
elev 698 ft

Apr 2005

Eye alt 4883 ft

Google

VICINITY MAP
(NOT TO SCALE)





CUSTOM D/F Illuminated Dual Tenant Monument Sign

14'-0" O.A.H.



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585 Bond Street - Lincolnshire, IL 60069
PHONE: (847) 520-1255 FAX: (847) 520-1543
www.kieffersigns.com

CUSTOMER: Hamp Inn & Suites/Hilton Garden Inn
LOCATION: -
SALESMAN: Mike Mele
DESIGNER: TvS
DATE: 01/27/09

Artwork
 Design
 Survey
All boxes checked to Enter Order



COMPANION FILES

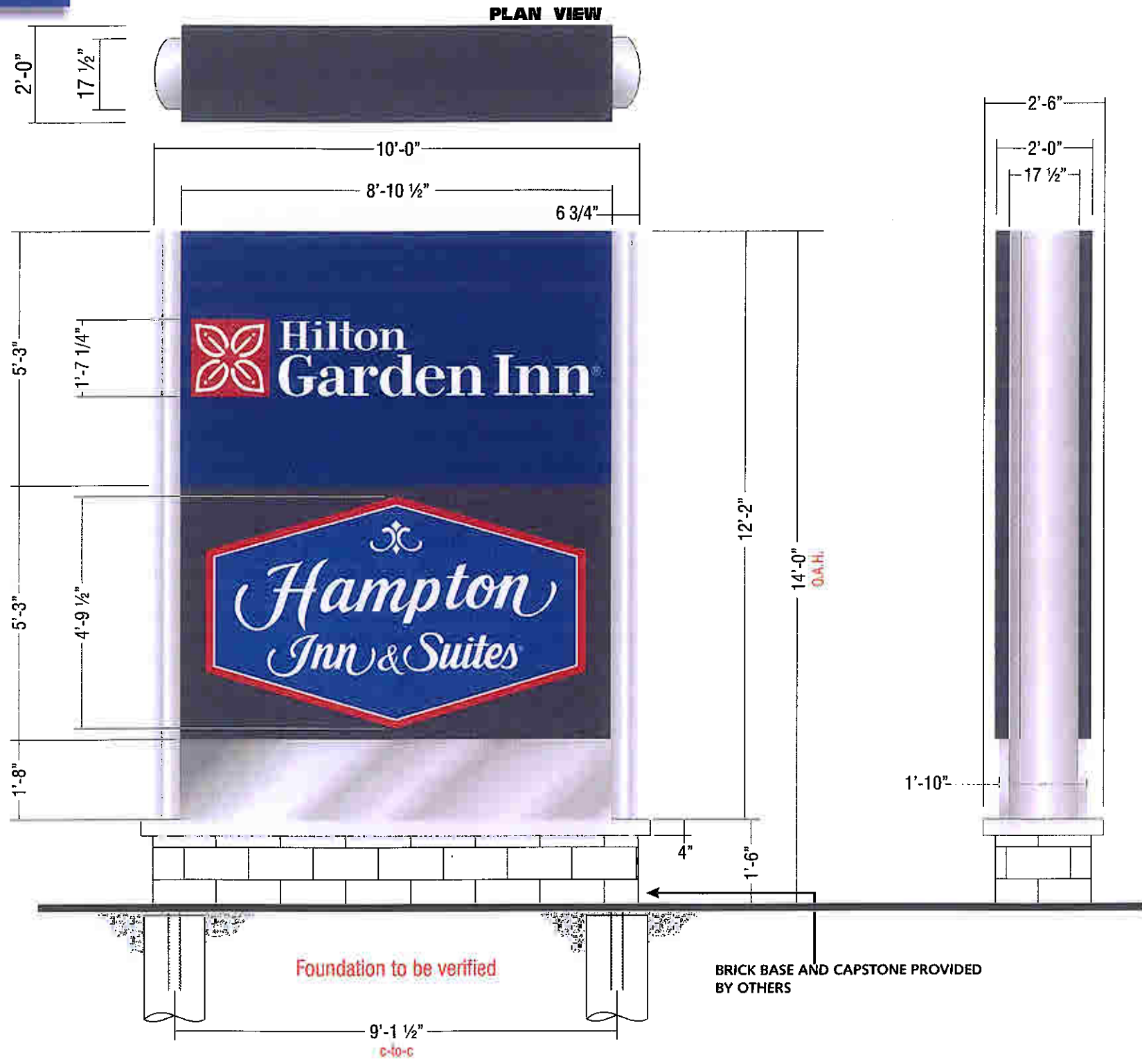
PRODUCTION PROCESSING

Kieffer Item # _____
Job # _____
-001 _____
-002 _____
-003 _____
-004 _____

INITIALS: DATE: 01/28/09
TvS

REVISION:	INITIALS:	DATE:
A	TvS	01/28/09
B		
C		
D		
E		
F		
G		
H		
I		
J		

B57271



FABRICATED ALUMINUM SIGN CABINET WITH ROUTED OUT OPENINGS FOR LOGOS and BACKED WITH .125" THK. #7328 WHITE PLEX. HILTON GARDEN INN FACE TO BE PAINTED TO MATCH PMS 2756c BLUE SATIN FINISH AND HAMPTON INN & SUITES FACE TO BE PAINTED TO MATCH PMS 425c GREY SATIN FINISH. ALL FILLER PRIMED AND PAINTED TO MATCH PMS 425c GREY SATIN FINISH - PAINT INTERIOR LIGHT ENHANCING WHITE

REFER TO DRAWING #B57271A for FACE LAYOUT AND COLOR DESCRIPTIONS

ALUMINUM BASE PANELS (RECESSED) AND CONVEX SHAPED COVERS WITH CAPS ON END FILLERS OF SIGN - PAINT AKZO 354C2 SILVER METALLIC / GLOSS FINISH

SIGNS INTERNALLY ILLUMINATED WITH 800mA HI-OUTPUT DAYLIGHT FLUORESCENT LAMPS

UNDERGROUND ELECTRICAL SERVICE PROVIDED TO SIGN BY CUSTOMER'S ELECTRICAL CONTRACTOR - COORDINATE WITH SIGN MANUFACTURER AS TO PRIMARY VOLTAGE REQUIREMENTS. SIGN CONTRACTOR TO MAKE FINAL CONNECTION AS DETERMINED BY LOCAL SIGN ORDINANCES.

TS 3" x 3" x .25" STEEL TUBE SUPPORTS with 15" DIA. x 5'-0" DEEP CONCRETE PIER FOUNDATION. FOUNDATION SET 2" BELOW GRADE.

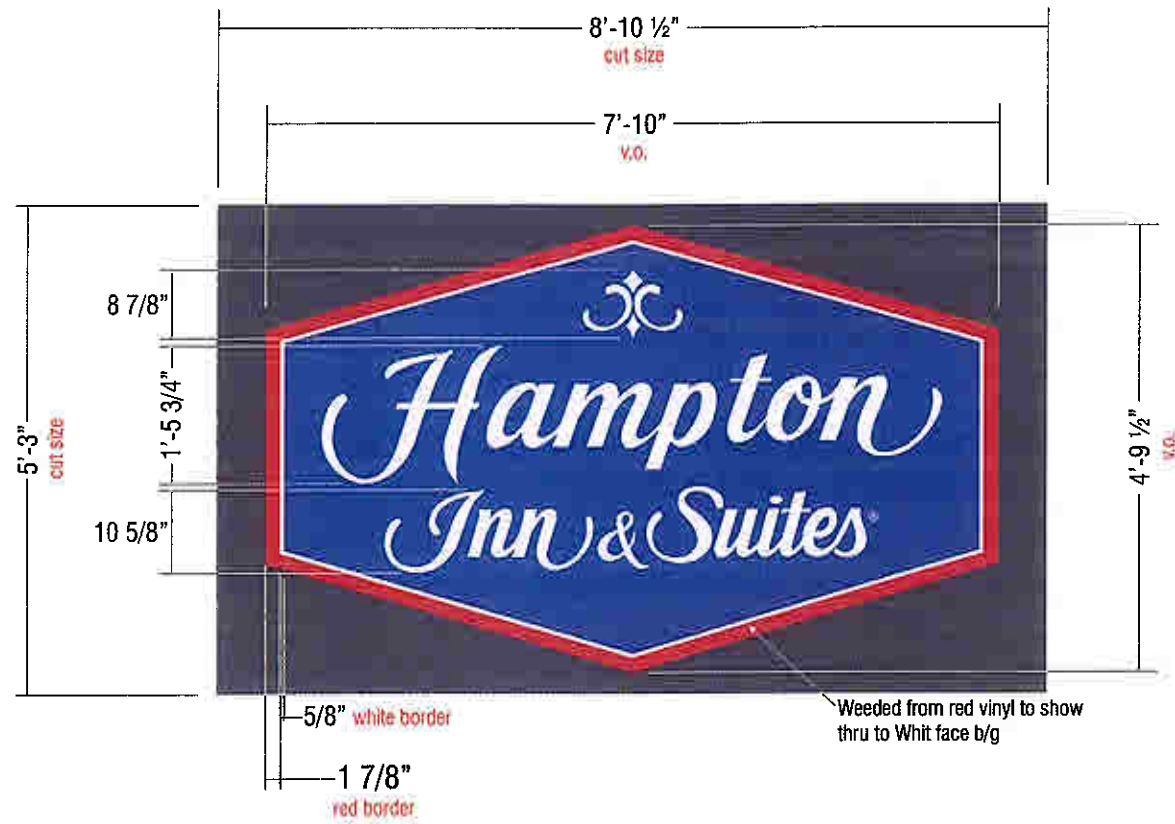
STEEL SIGN SUPPORTS MOUNTED IN CONCRETE PIER TYPE FOUNDATIONS - SIZE & DEPTH SHOWN TO BE CONFIRMED BY LOCAL CODES & CONDITIONS.

SUPPORTS DESIGNED FOR 30PSF WINDLOAD.

Scale: 3/8" = 1'-0"



Face Layouts



COLOR SPECIFICATIONS

Ⓥ1 3M VTB 12674 Opaque Blue

Ⓥ2 3M #3630-1726 Red

Ⓟ1 To Match PMS 425 Grey

□ Copy weeded from blue vinyl to show thru to White face



COLOR SPECIFICATIONS

Ⓥ1 3M #3630-73 RED

Ⓥ2 3M #7725-10 OPAQUE WHITE

Ⓟ1 To Match PMS 2756c BLUE(satin finish)

Scale: 1/2" = 1'-0"



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www.kieffersigns.com

CUSTOMER: Hamp Inn & Suites/Hilton Garden Inn

LOCATION: -

SALESMAN: Mike Mele

DESIGNER: TvS

DATE: 01/27/09

Artwork
 Design
 Survey
All boxes checked to Enter Order



COMPANION FILES

PRODUCTION PROCESSING

Kieffer Item # _____

Job # _____

-001 _____

-002 _____

-003 _____

-004 _____

INITIALS:	DATE:																			

REVISION:																				
A																				
B																				
C																				
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H																				
I																				
J																				

B57271A

CERTIFIED SURVEY MAP NO. _____

FOR
HOWELL AVENUE LAND, LLC
 LOCATED IN A PART OF THE SW 1/4 OF THE NW 1/4, NW
 1/4 OF THE SW 1/4 AND NE 1/4 OF THE SW 1/4,
 SECTION 33, T. 6 N.-R. 22 E., CITY OF MILWAUKEE,
 MILWAUKEE COUNTY, WISCONSIN.

OWNER:
 HOWELL AVENUE LAND, LLC
 8333 GREENWAY BOULEVARD
 SUITE 200
 MIDDLETON, WI 53562
 TAX KEY NUMBER: 673-9999-110-X

TOTAL AREA
 603,626 sq.ft.
 13.857 acres

LEGEND

- - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT.
- △ - "P-K" NAIL FOUND.
- ▲ - 1" IRON PIPE FOUND.
- ⊙ - SECTION CORNER MON. FOUND.

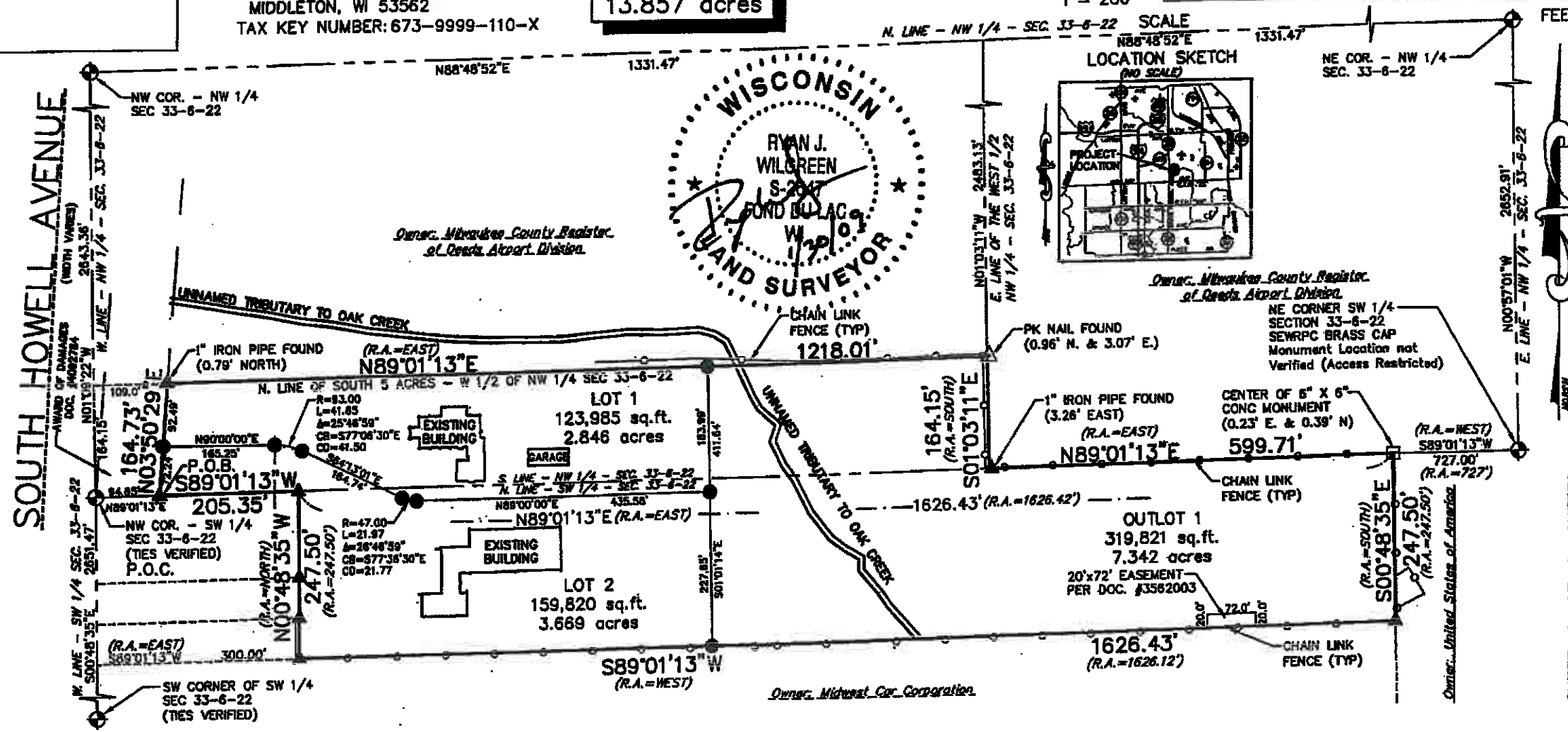


EXCEL
 ENGINEERING Inc.
 SURVEYING GROUP
 PROJECT NO. 817900

Always a Better Plan
 180 CAMELOT DRIVE
 FOND DU LAC, WI 54935
 PHONE: (920) 926-9600
 FAX: (920) 926-9801

NORTH POINT REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER HAS A RECORDED BEARING OF NORTH 01°-09'-22" WEST.

1" = 200'



SHEET 1 OF 5 SHEETS

CERTIFIED SURVEY MAP NO. _____

FOR
HOWELL AVENUE LAND, LLC
LOCATED IN A PART OF THE SW 1/4 OF THE NW 1/4, NW
1/4 OF THE SW 1/4 AND NE 1/4 OF THE SW 1/4,
SECTION 33, T. 6 N.-R. 22 E., CITY OF MILWAUKEE,
MILWAUKEE COUNTY, WISCONSIN.

OWNER:
HOWELL AVENUE LAND, LLC
8333 GREENWAY BOULEVARD
SUITE 200
MIDDLETON, WI 53562
TAX KEY NUMBER: 673-9999-110-X

TOTAL AREA
603,626 sq.ft.
13.857 acres

LEGEND

- - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT.
- △ - "P-K" NAIL FOUND.
- ▲ - 1" IRON PIPE FOUND.
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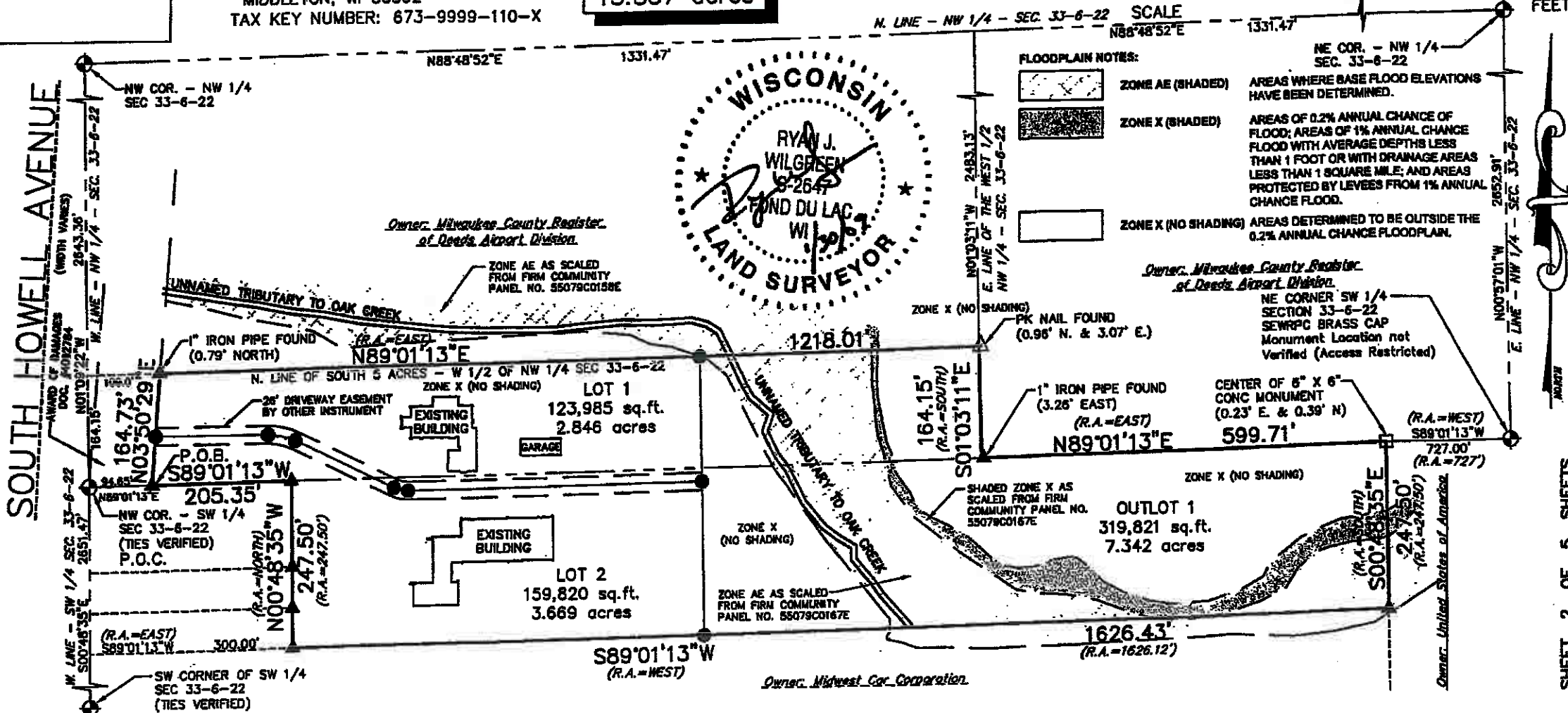


EXCEL
ENGINEERING
SURVEYING GROUP
PROJECT NO. 817900

Always a Better Plan
100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801

NORTH POINT REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER HAS A RECORDED BEARING OF NORTH 01°-09'-22" WEST.

1" = 200'



CERTIFIED SURVEY MAP NO. _____

A PART OF THE SW 1/4 OF THE NW 1/4, NW 1/4 OF THE SW 1/4, AND NE 1/4 OF THE SW 1/4, SECTION 33, T. 6 N.-R. 22 E., CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan J. Wilgreen, Registered Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

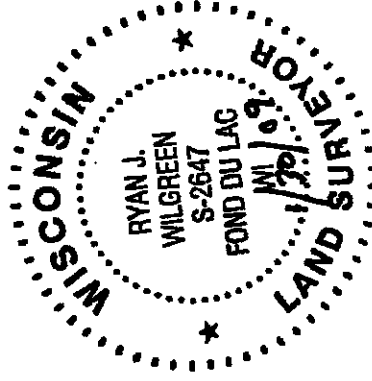
That I have made such Certified Survey under the direction of Howell Avenue Land, LLC, bounded and described as follows:


A part of the Southwest Quarter of the Northwest Quarter, Northwest Quarter of the Southwest Quarter, and Northeast Quarter of the Southwest Quarter, Section 33, T. 6N.-R. 22 E., City of Milwaukee, Milwaukee County, Wisconsin and being more particularly described as follows:

Commencing at the Northwest corner of said Southwest Quarter; thence North 89 degrees 01 minutes 13 seconds East along North line of said Southwest Quarter, a distance of 94.65 feet to a point on the Easterly right-of-way line of South Howell Avenue and to the point of beginning; thence North 03 degrees 50 minutes 29 seconds East along said Easterly right-of-way line, a distance of 164.73 feet to the North line of the South 5 Acres of the West Half of the Northwest Quarter of said Section 33; thence North 89 degrees 01 minutes 13 seconds East along said North line, a distance of 1,218.01 feet to the East line of the West Half of said Northwest Quarter; thence South 01 degrees 03 minutes 11 seconds East along said East line, a distance of 164.15 feet to the North line of said Southwest Quarter; thence North 89 degrees 01 minutes 13 seconds East along said North line, a distance of 599.71 feet; thence South 00 degrees 48 minutes 35 seconds East along a line parallel to the West line of said Southwest Quarter, a distance of 247.50 feet; thence South 89 degrees 01 minutes 13 seconds West along a line parallel to the North line of said Southwest Quarter, a distance of 1,626.43 feet to a line 300.00 feet Easterly of and parallel with the West line of said Southwest Quarter; thence North 00 degrees 48 minutes 35 seconds West along said parallel line, a distance of 247.50 feet to the North line of said Southwest Quarter; thence South 89 degrees 01 minutes 13 seconds West along said North line, a distance of 205.35 feet to the point of beginning and containing 13.857 acres (603,626 Sq. Ft.) of land more or less, and being subject to all easements and restrictions of record.

That such is a correct representation of all the exterior boundaries of the land surveyed and the subdivision thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and Chapter 119 of the Milwaukee Code of Ordinances in surveying, dividing, and mapping the same.




Ryan J. Wilgreen, R.L.S. No. S-2647

Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935

Project Number: 813480

CERTIFIED SURVEY MAP NO. _____

A PART OF THE SW 1/4 OF THE NW 1/4, NW 1/4 OF THE SW 1/4, AND NE 1/4 OF THE SW 1/4, SECTION 33, T. 6 N.-R. 22 E., CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE-LLC

Howell Avenue Land, LLC, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said Limited Liability Company caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of Chapter 119 of the Milwaukee Code of Ordinances.

In consideration of the approval of the map by the Common Council and in accordance with Chapter 119 of the Milwaukee Code, the undersigned agrees:

- a. That all utility lines to provide electric power and telephone services and cable television or communication systems lines or cables to all lots in the subdivision shall be installed underground in easements provided therefore.
- b. That Outlot 1 as shown on the face of this map shall be unbuildable.
- c. That access to Outlot 1, Lot 1 and Lot 2 as shown on the face of this map shall be granted by a 26 foot wide Driveway Easement by other instrument, to be submitted for review at the same time as this Certified Survey Map.

This agreement shall be binding on the undersigned and assigns.

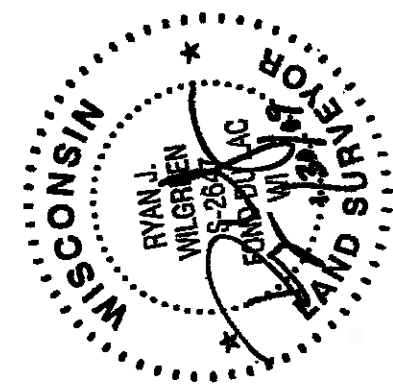
In witness Whereof, the Howell Avenue Land, LLC has caused these presents to be signed by _____, its representing member at _____ Wisconsin, this ___ day of _____, 200__.

In the presence of:

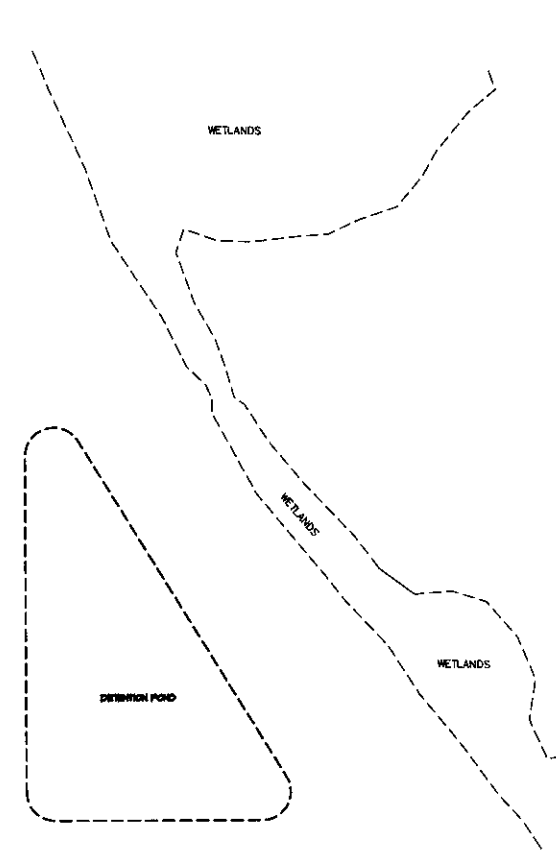
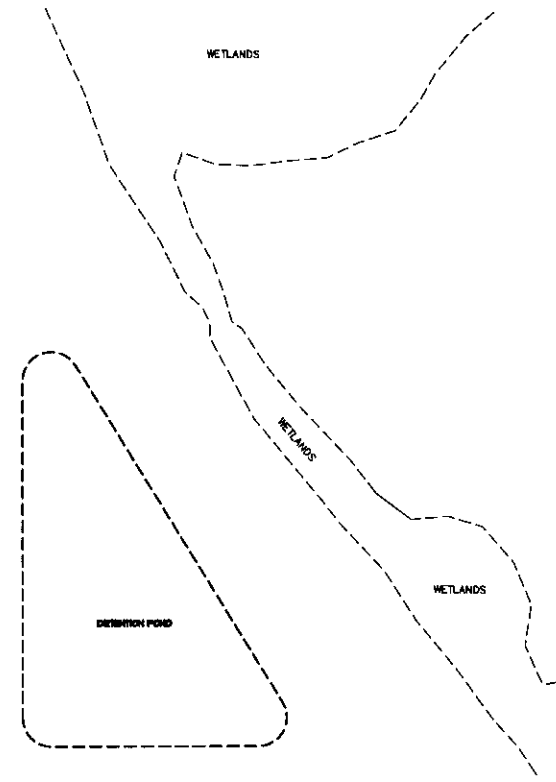
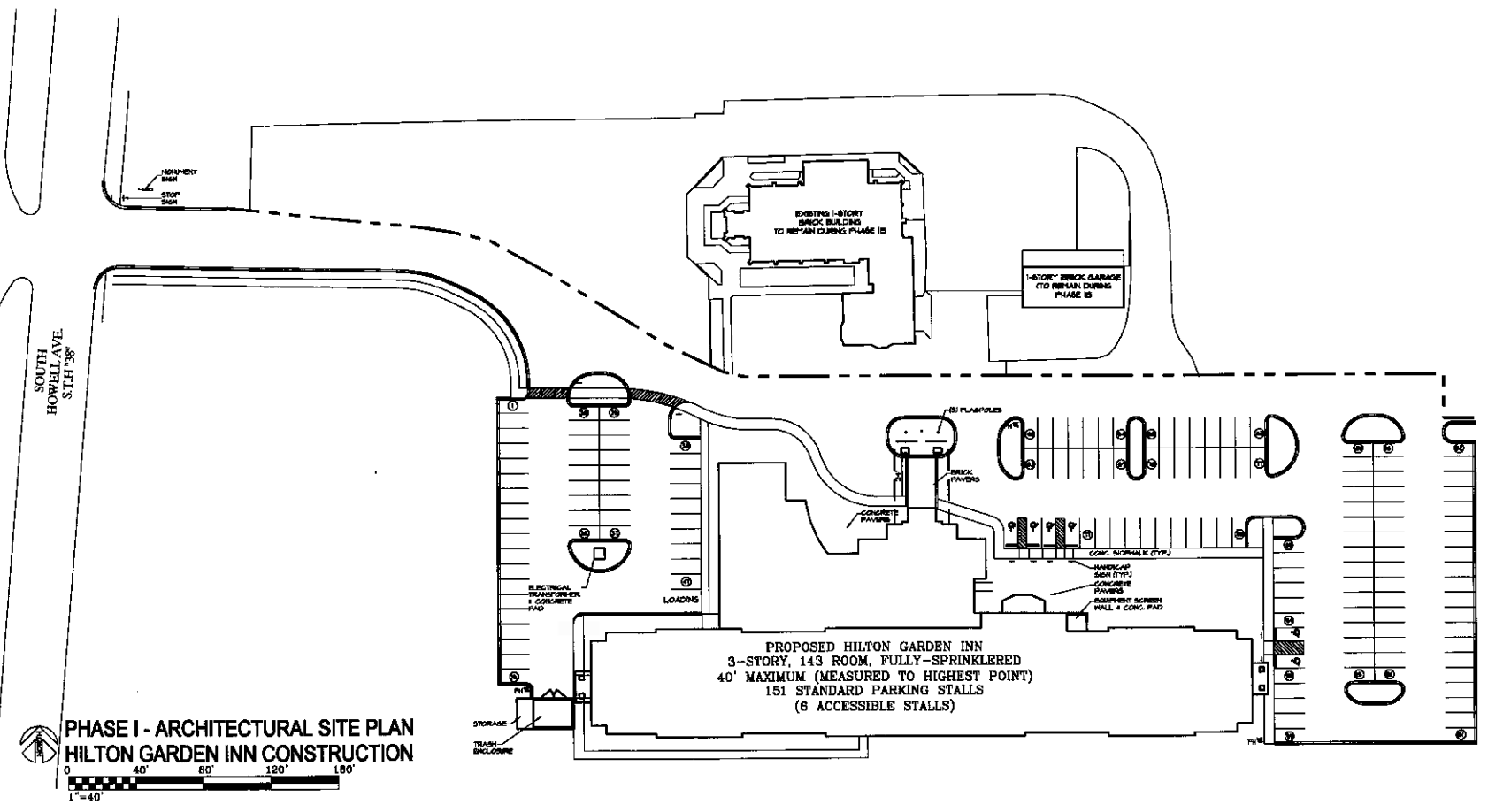
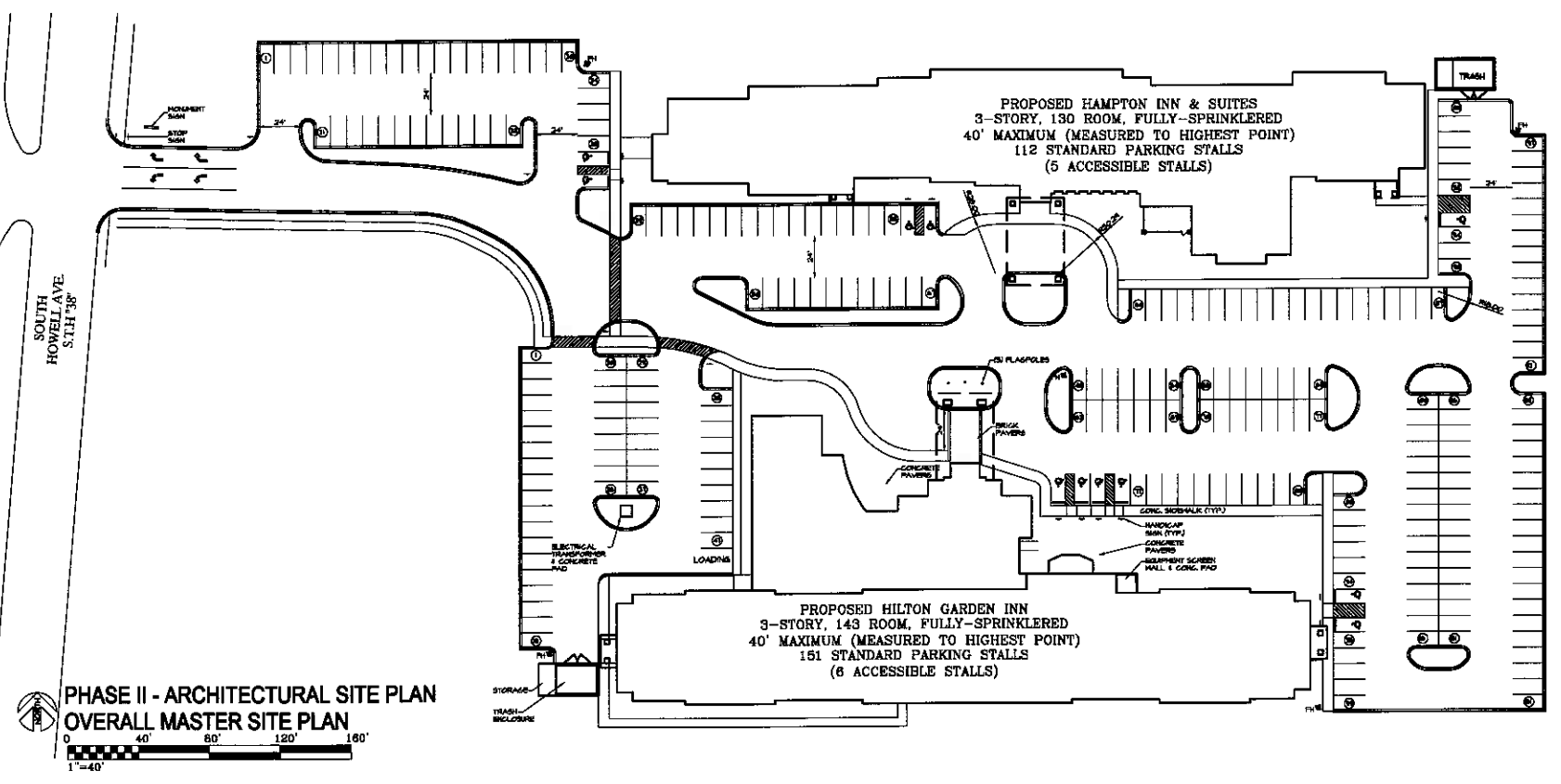
(Witness) _____, Member

STATE OF WISCONSIN)
) SS
MILWAUKEE COUNTY)

Personally came before me this ___ day of _____, 200__
_____, President and _____, Secretary of the above
named corporation, to me known as the persons who executed the forgoing instrument, and to me known to be the President and Secretary of the corporation, and acknowledged that they executed the forgoing instrument as such officers as the deed of the corporation, by its authority.



_____, Notary Public
State of Wisconsin
My commission expires _____, 20__.

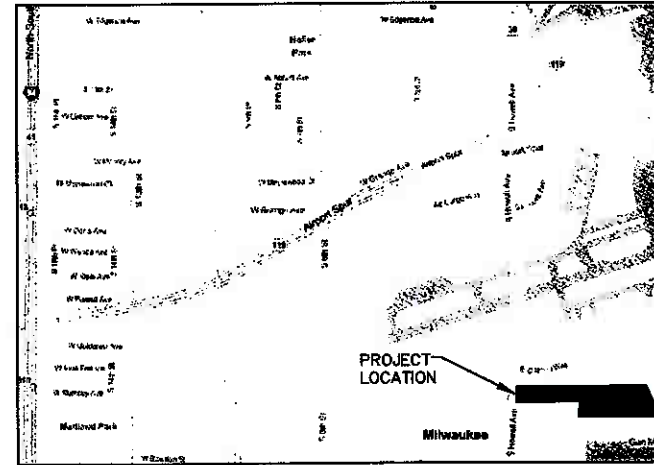
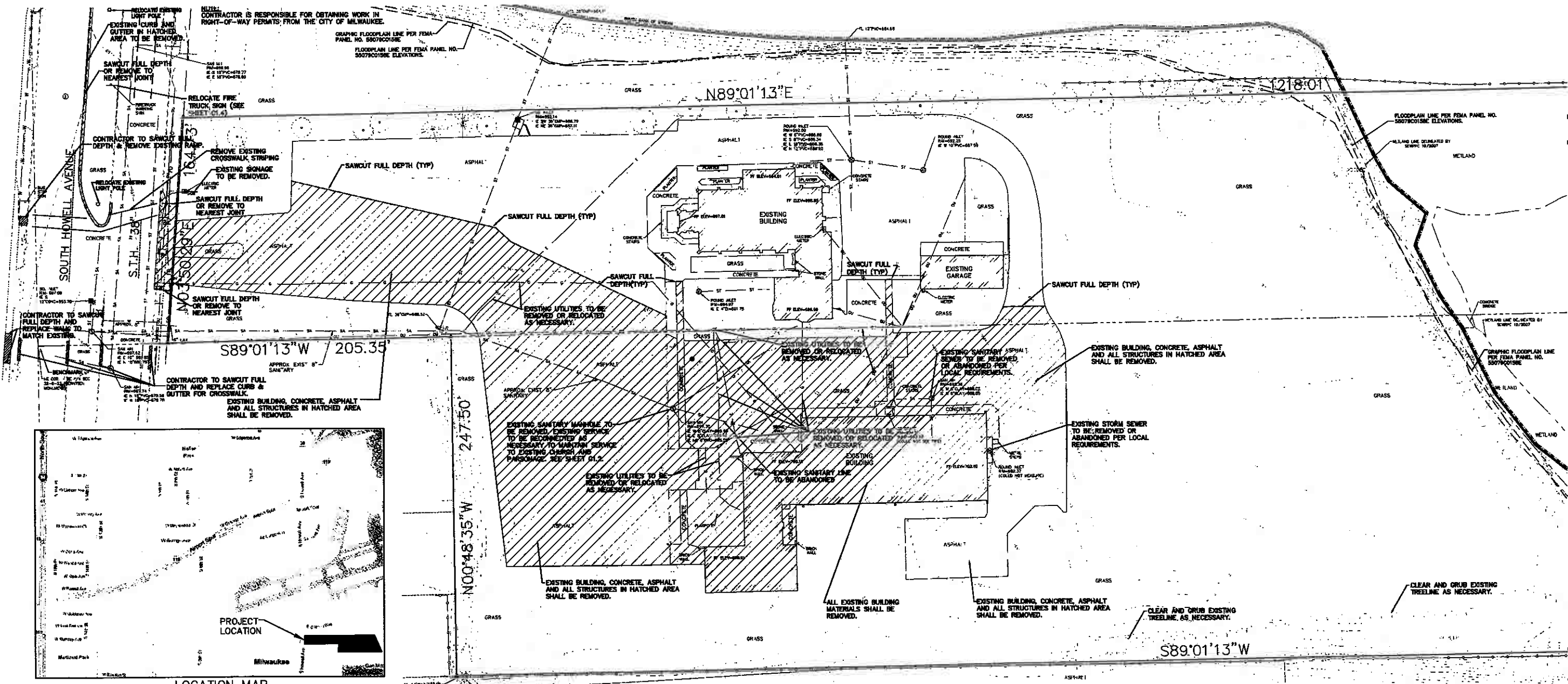


GARY BRINK & ASSOCIATES
ARCHITECTS
8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)

PROJECT: HILTON GARDEN INN
8400 SOUTH HOWELL AVENUE, MILWAUKEE, WI 53207
CLIENT: C/O RAYMOND MANAGEMENT COMPANY
8555 ORCHARDWAY BOULEVARD, SUITE 200, MADISON, WISCONSIN 53717

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PROJECT: 200751
CAD FILE: 101-200751
DRAWN BY:
DATE: 11/14/06



OWNER:
 HILTON GARDEN INN
 5880 SOUTH HOWELL AVE.
 MILWAUKEE, WI

PRELIMINARY PLAN DATE:

NOVEMBER 14, 2008
 DECEMBER 1, 2008
 DECEMBER 10, 2008
 DECEMBER 18, 2008
 JANUARY 14, 2009
 JANUARY 26, 2009
 FEBRUARY 10, 2009
 FEBRUARY 23, 2009

DATE:

JOB NUMBER:
 813480

SHEET

C1.0

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

LEGEND:

<ul style="list-style-type: none"> EXISTING SPOT ELEVATIONS PROPOSED SPOT ELEVATIONS (SHOW LINE OF CURB UNLESS OTHERWISE SPECIFIED) PROPOSED SPOT ELEVATIONS (TOP OF CURB, BOTTOM OF CURB) PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK) WATER VALVE IN BOX WATER VALVE IN MANHOLE WATER SERVICE VALVE TELEPHONE MANHOLE EXISTING ROUND CATCH BASIN EXISTING SQUARE CATCH BASIN EXISTING CURB INLET PROPOSED CURB INLET UTILITY POLE UTILITY POLE WITH GUY WIRE STREET LIGHT TELEPHONE PEDESTAL 	<ul style="list-style-type: none"> ELECTRIC PEDESTAL ELECTRIC JUY CABLE TV PEDESTAL DRAINAGE FLOW PROPOSED DRAINAGE FLOW WELL EXISTING LIGHT POLE EXISTING SIGN CENTER LINE HANDICAP PARKING STALL GAS VALVE 1-1/4" REBAR SET W/ 4" W/ 4.0 LB/1' 3/4" REBAR SET W/ 4" W/ 4.0 LB/1' 1-1/4" REBAR FOUND 3/4" REBAR FOUND 2" IRON PIPE FOUND 1" IRON PIPE FOUND 	<ul style="list-style-type: none"> FLOOD LIGHT SECTION CORNER AFRON ENDWALL MARSH AREA DECIDUOUS TREE WITH TRUNK 0.4 METER CONIFEROUS TREE SHRUB STUMP SOL BORING WOODED AREA HEDGE EXISTING CHAIN W/ FENCE EXISTING WOOD FENCE EXISTING BARBED WIRE FENCE PROPERTY LINE EXISTING GUARD RAIL EXISTING STORM SEWER AND MANHOLE PROPOSED STORM SEWER AND MANHOLE 	<ul style="list-style-type: none"> EXISTING SANITARY SEWER AND MANHOLE PROPOSED SANITARY SEWER AND MANHOLE EXISTING WATER LATERAL LINE EXISTING WATER LINE AND HYDRANT PROPOSED WATER LINE AND HYDRANT EXISTING OVERHEAD UTILITY LINE EXISTING UNDERGROUND FIBER OPTIC LINE EXISTING UNDERGROUND ELECTRIC CABLE EXISTING UNDERGROUND TELEPHONE CABLE EXISTING UNDERGROUND GAS LINE PROPOSED CURB AND GUTTER EXISTING CURB AND GUTTER GRAVING/SEEDING LIMITS RIGHT-OF-WAY LINE PROPERTY LINE RAILROAD TRACKS EXISTING GROUND CONTOUR PROPOSED GROUND CONTOUR
--	---	--	---

NOTE: PROPERTY LINES AND EASEMENTS SHOWN ON THIS PLAN WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT # 1988 AN UPDATED SURVEY HAS NOT BEEN ALIGNED AND THE PROPERTY LINES SHOWN ON THIS PLAN MAY BE INCOMPLETE OR IN ERROR.

NOTE: EXISTING UTILITIES SHOWN ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SEWER AND WATER FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

BENCHMARKS

1 - CAST IRON PLUG WITH CROSS IN THE SOUTHWEST CORNER OF SOUTH HOWELL AVE 250' SOUTH OF THE CHURCH ENTRANCE DRIVE
 ELEV=697.13

NOTES: DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE. CONTRACTOR SHALL REMOVE, REPLACE OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.

CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTE IS CLEAR (TO CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

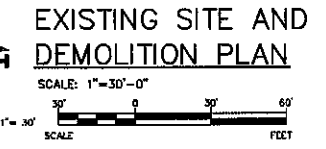
ALL UTILITIES SERVING THE CHURCH SHALL REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL COORDINATE RECONNECTION OF EXISTING UTILITIES SERVING THE CHURCH TO PROPOSED UTILITY SERVICES WITH CHURCH STAFF.

ALL UNDERGROUND TANKS AND STRUCTURES SHALL BE REMOVED. CONTACT LOCAL HAZARDOUS WASTE COMPANY FOR TESTING AND REMOVAL REQUIREMENTS.

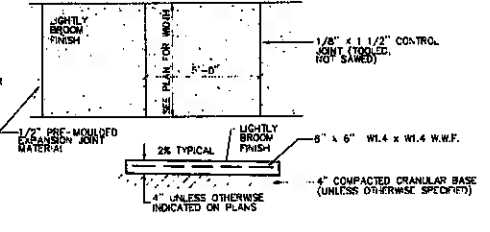
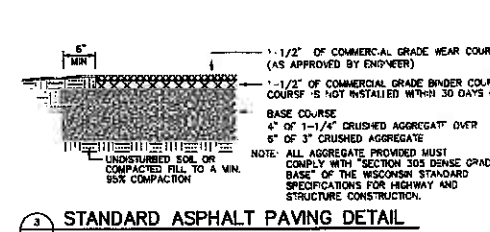
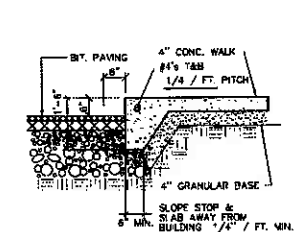
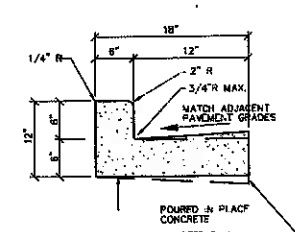
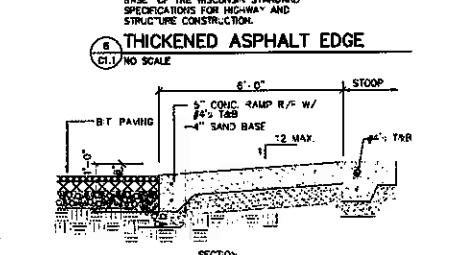
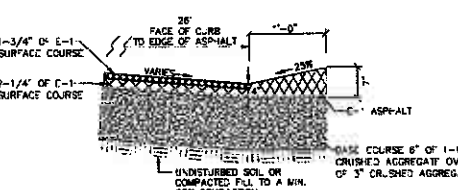
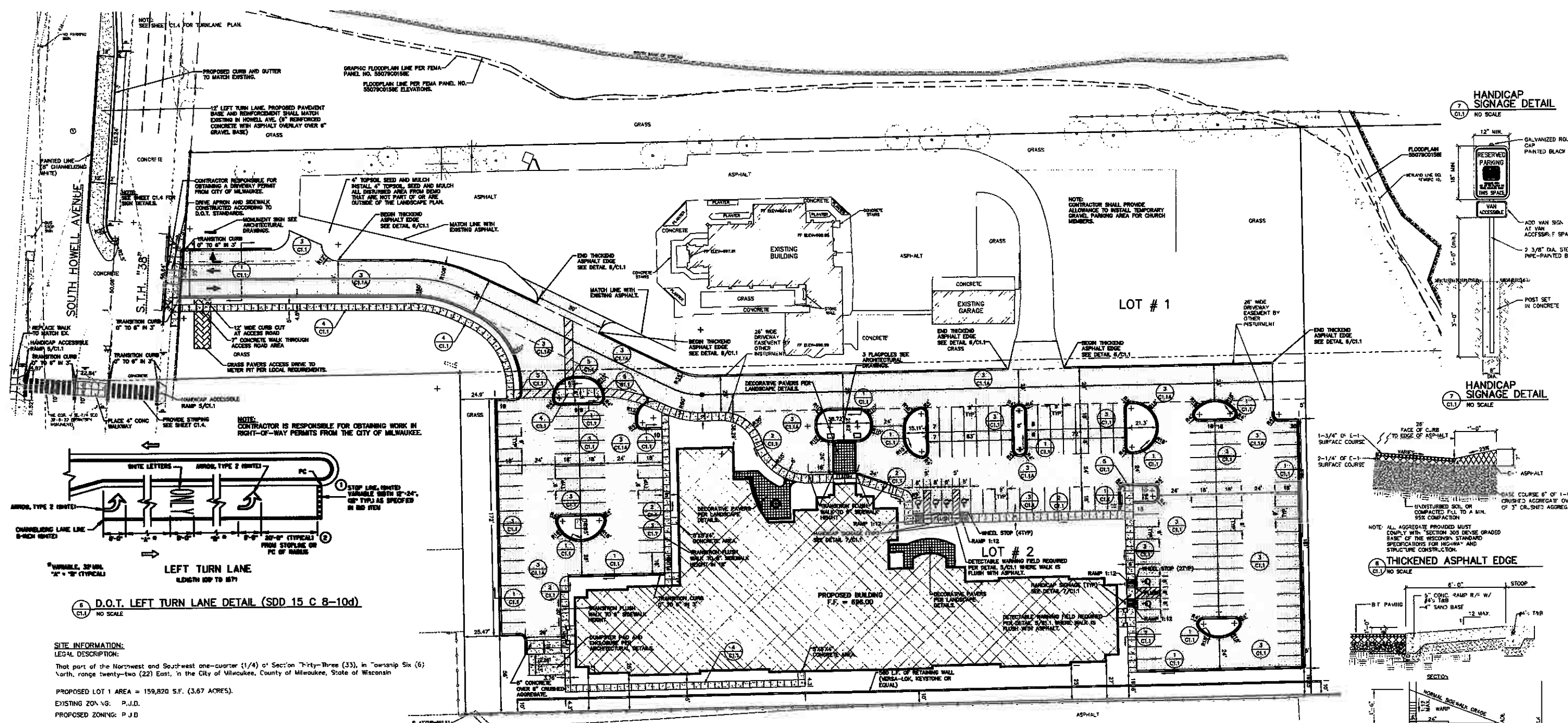
PROVIDE CONSTRUCTION FENCING FOR ENTIRE AREA UNDER CONSTRUCTION, INCLUDING ALL DIRT STOCK PILE AREAS. PROVIDE GATED ENTRANCES FOR ACCESS TO THE CHURCH PARKING AREA AND SEPARATE GATE FOR CONSTRUCTION VEHICLE ENTRANCE. PROVIDE SIGNAGE TO SIGNIFY ENTRANCE POINTS OF BOTH.

NOTES: CONTRACTOR IS TO STAGE REMOVAL OF ASPHALT TO ALLOW FOR PUBLIC ACCESS TO THE CHURCH. PROVIDE A SAFE DRIVE LANE AND PARKING AREA INTO THE CHURCH.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8011
 TOLL FREE
 1DD (FOR THE HEARING IMPAIRED) 1-800-542-2289
 WISCONSIN STATUTE 182.0175 (1974) REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



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SITE INFORMATION:
LEGAL DESCRIPTION:
That part of the Northwest and Southwest one-quarter (1/4) of Section Thirty-three (33), in Township Six (6) North, range twenty-two (22) East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin

PROPOSED LOT 1 AREA = 159,820 S.F. (3.67 ACRES).
EXISTING ZONING: P, J.D.
PROPOSED ZONING: P, J.D.
PROPOSED USE: HOTEL

SETBACKS: BUILDING: FRONT = 25'
SIDE = 25'
REAR = 25'

PROPOSED BUILDING HEIGHT 40' (MAX HEIGHT NA)

PARKING REQUIRED: 1 SPACE PER GUESTROOM (143 SPACES REQ.)
PARKING PROVIDED: 152 SPACES (6 ADDITIONAL H.C. ACCESSIBLE)
HANDICAP SPACES REQUIRED: 6, 1-HANDICAP STALLS PROVIDED: 6
BUILDING OCCUPANCY CLASSIFICATION = R-1
CLASS OF BUILDING CONSTRUCTION = 5 - A PROJECTED

PROPOSED SITE DATA (INCLUDES LOT 1 DEVELOPMENT AREA ONLY)

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	3.87	159,820	22.7%
BUILDING FLOOR AREA	0.83	36,330	47.8%
PAVEMENT (ASP. & CONC.)	1.75	76,420	70.5%
TOTAL IMPERVIOUS	2.58	112,750	70.5%
LANDSCAPE/OPEN SPACE	1.68	47,070	29.5%

NOTES:
1) 4\"/>

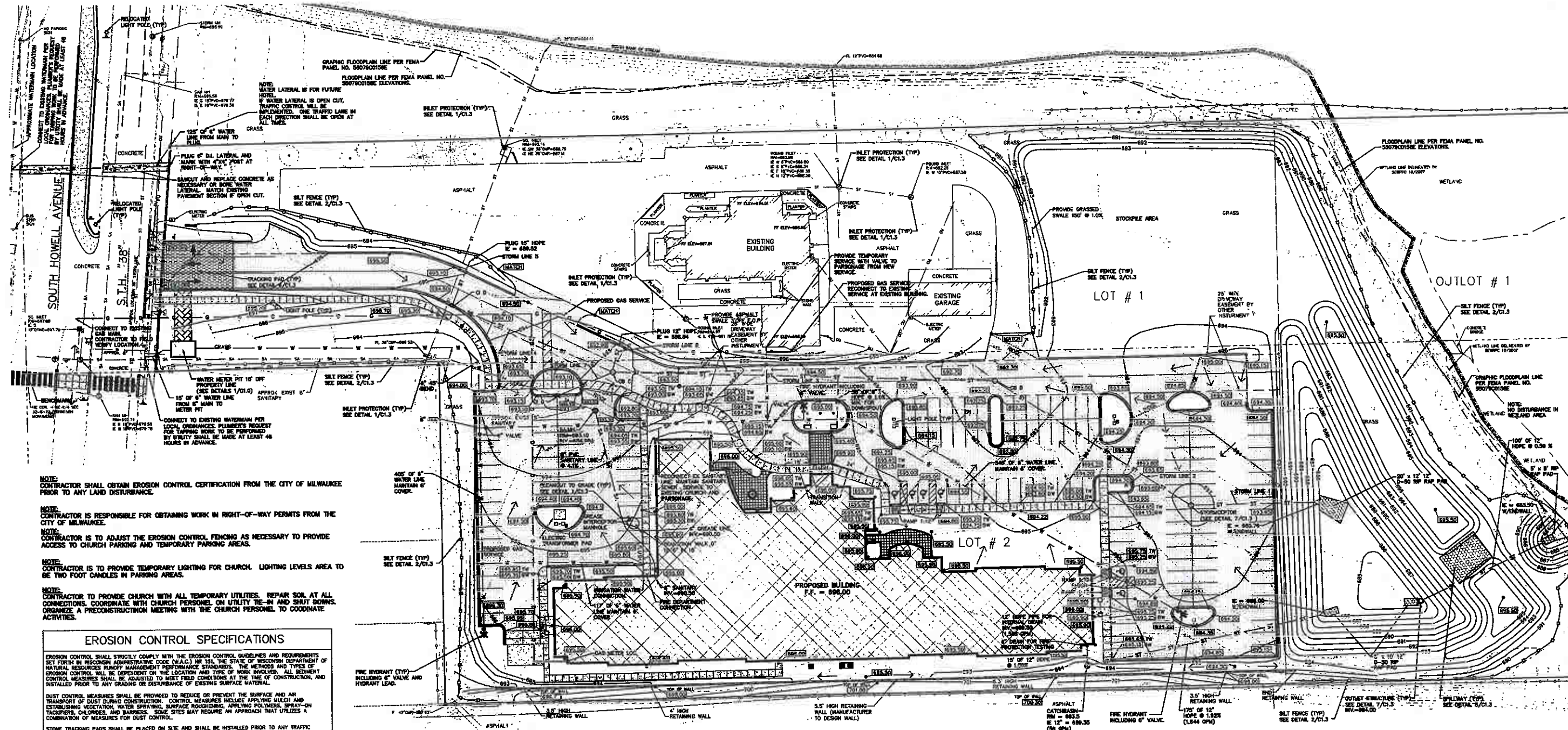
OWNER:
HILTON GARDEN INN
5880 SOUTH HOWELL AVE.
MILWAUKEE, WI

PRELIMINARY PLAN DATE:
NOVEMBER 14, 2008
DECEMBER 1, 2008
DECEMBER 10, 2008
DECEMBER 18, 2008
JANUARY 7, 2009
JANUARY 14, 2009
JANUARY 25, 2009
FEBRUARY 10, 2009
FEBRUARY 23, 2009

DATE:
JOB NUMBER:
813480
SHEET

C1.1

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



- NOTE:** CONTRACTOR SHALL OBTAIN EROSION CONTROL CERTIFICATION FROM THE CITY OF MILWAUKEE PRIOR TO ANY LAND DISTURBANCE.
- NOTE:** CONTRACTOR IS RESPONSIBLE FOR OBTAINING WORK IN RIGHT-OF-WAY PERMITS FROM THE CITY OF MILWAUKEE.
- NOTE:** CONTRACTOR IS TO ADJUST THE EROSION CONTROL FENCING AS NECESSARY TO PROVIDE ACCESS TO CHURCH PARKING AND TEMPORARY PARKING AREAS.
- NOTE:** CONTRACTOR IS TO PROVIDE TEMPORARY LIGHTING FOR CHURCH. LIGHTING LEVELS AREA TO BE TWO FOOT CANDLES IN PARKING AREAS.
- NOTE:** CONTRACTOR TO PROVIDE CHURCH WITH ALL TEMPORARY UTILITIES. REPAIR SOIL AT ALL CONNECTIONS WITH CHURCH PERSONNEL ON UTILITY TIE-IN AND SHUT DOWNS. ORGANIZE A PRECONSTRUCTION MEETING WITH THE CHURCH PERSONNEL TO COORDINATE ACTIVITIES.

EROSION CONTROL SPECIFICATIONS

EROSION CONTROL SHALL STRICTLY COMPLY WITH THE EROSION CONTROL GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151. THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. THE METHOD AND TYPES OF EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL.

DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TRACKERS, CHAINES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL.

STONE TRACKING PADS SHALL BE PLACED ON SITE AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. THE AGGREGATE USED SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE, AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE LOBBY POINT, AND SHALL BE A MINIMUM OF 50 FEET LONG.

STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL CATCH BASINS, AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2.

ALL SILT FENCE SHALL BE PLACED ON SITE AND SHALL BE IN CONFORMANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-8.

THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.

ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.

TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE WITHIN A PERIOD OF ONE YEAR AND/OR LAND-DISTURBING ACTIVITIES THAT WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 7 DAYS.

PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATION COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT RESTORATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN CONFORMANCE WITH WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS FOR TEMPORARY AND PERMANENT SEEDING.

ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.

ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.

EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.

STORM SEWER SCHEDULE

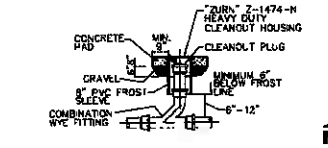
Line No.	Line Length (ft)	Line Size (in)	Line ID	Line Slope (%)	Invert (ft)	Invert (ft)	Rim Elev. Up (ft)	Rim Elev. Up (ft)	Capacity Full (cfs)	Flow Rate (cfs)	HGL Up (ft)	HGL Up (ft)
1	93	30	HQPE	0.51	885.78	886.22	892.85	892.85	28.15	23.23	889.45	889
2	189	30	HQPE	0.50	884.47	887.31	892.85	892.85	28.91	23.23	889.45	889
3	278	34	HQPE	0.50	887.31	888.71	892.85	892.85	16.05	15.94	891.13	889.75
4	127	18	HQPE	0.50	888.71	889.34	892.50	894.50	7.40	5.50	892.08	891.75
5	88	15	HQPE	0.50	889.34	889.77	894.50	892.20	4.57	3.44	892.56	892.3
6	40	12	HQPE	0.50	889.77	888.91	892.50	892.50	2.52	2.55	891.93	891.75
7	44	15	HQPE	0.48	888.71	886.92	892.50	892.80	4.48	4.11	891.91	891.75

*SEE DETAILS S84 SHEET C1.3 FOR CATCH BASIN DETAILS

- NOTE:** CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTE IS CLEAR (TO CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- NOTE:** ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). TRACER WIRE MAY BE TAPED TO PLASTIC WATER OR DRAIN PIPE. IF ATTACHED THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
- NOTE:** SITE UTILITY CONTRACTOR SHALL RUN SANITARY EXTERIOR TO A POINT WHICH IS A MINIMUM OF 5' FROM EXTERIOR WALL OF FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISH FLOOR ELEVATION.
- NOTE:** ALL PROPOSED SANITARY PIPE SHALL BE SDR-35 PVC. ALL PROPOSED WATER PIPE SHALL BE DUCTILE IRON.
- NOTE:** CONTRACTOR SHALL PROVIDE INLET PROTECTION FOR ALL EXISTING AND PROPOSED INLETS THAT ARE SUBJECT TO RUNOFF FROM CONSTRUCTION SITE.

NOTE: ALL PROPOSED GRADES SHOWN ARE FINISHED GRADE ELEVATIONS.

NOTE: ALL SLOPES GREATER THAN 5:1 SHALL BE LINED WITH NORTH AMERICAN GREEN S150 OR EQUIVALENT EROSION MATTING.



CLEANOUT TO GRADE DETAIL
NO SCALE

GRADING, UTILITIES AND EROSION CONTROL PLAN

SCALE: 1"=30'-0"



DATE:
JOB NUMBER:
SHEET

C1.2

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

OWNER:
HILTON GARDEN INN
5880 SOUTH HOWELL AVE.
MILWAUKEE, WI

PRELIMINARY PLAN DATE:
NOVEMBER 14, 2008
DECEMBER 1, 2008
DECEMBER 10, 2008
DECEMBER 18, 2008
JANUARY 6, 2009
JANUARY 28, 2009
FEBRUARY 10, 2009
FEBRUARY 23, 2009

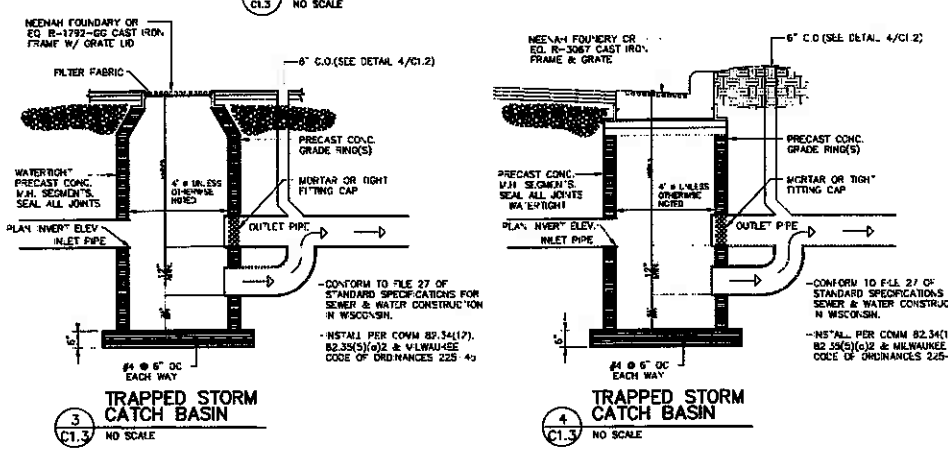
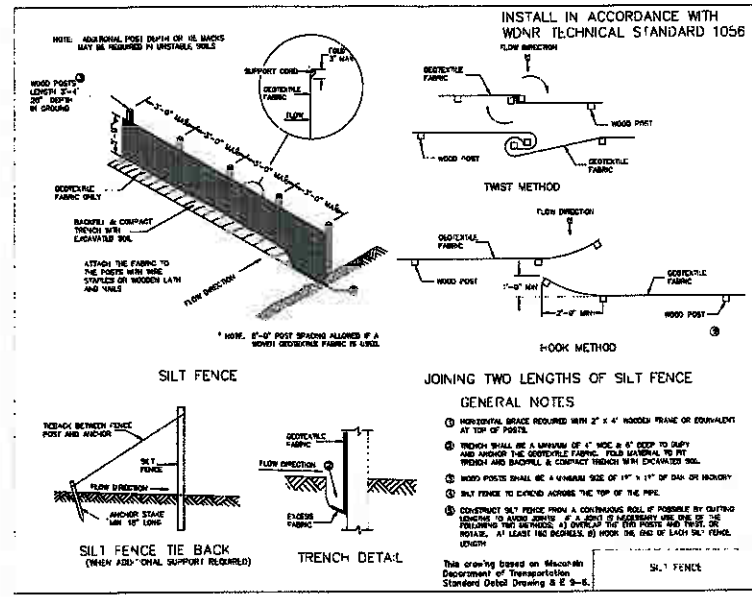
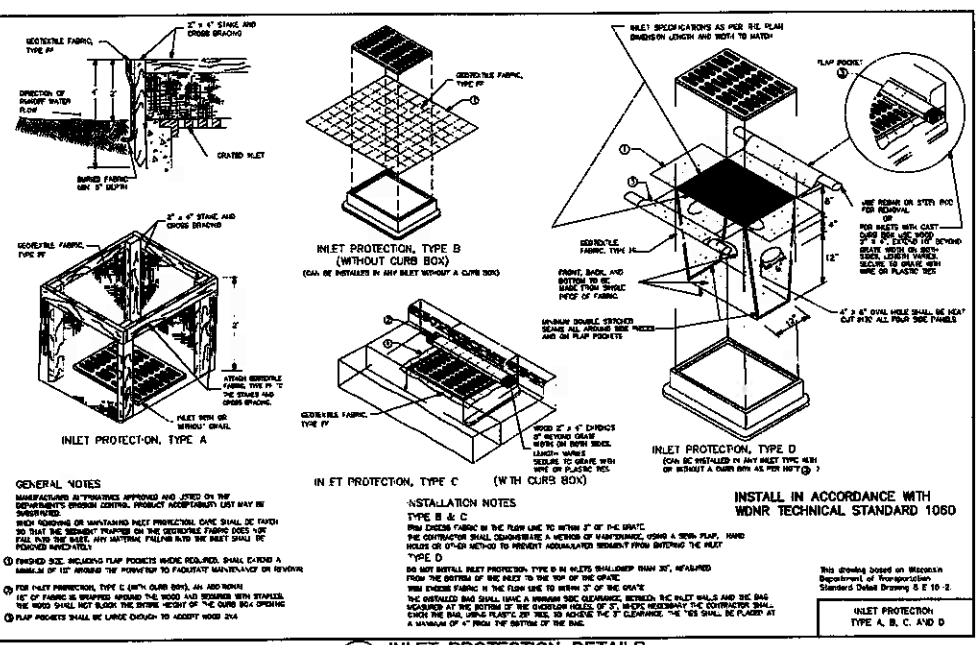
POST CONSTRUCTION OPERATION AND MAINTENANCE PLAN

THE OWNER OF THE PROPERTY AFFECTED SHALL INSPECT AND MAINTAIN THE FOLLOWING STORMWATER MANAGEMENT SYSTEMS FREQUENTLY, ESPECIALLY AFTER HEAVY RAINFALLS, BUT AT LEAST ON AN ANNUAL BASIS UNLESS OTHERWISE SPECIFIED.

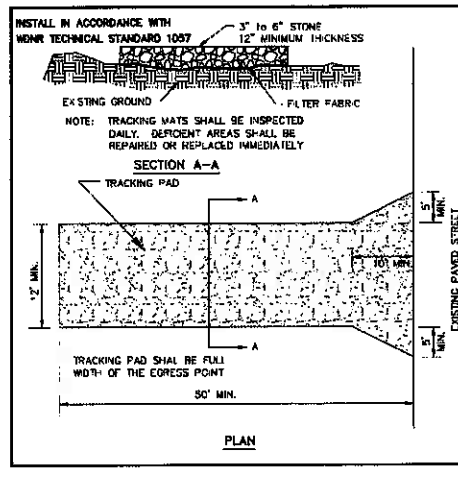
STORMWATER FACILITY	TYPE OF ACTION
1. LAWN AND LANDSCAPED AREAS	ALL LAWN AREAS SHALL BE KEPT CLEAR OF ANY MATERIALS THAT BLOCK THE FLOW OF STORMWATER. RILLS AND SMALL GULLIES SHALL IMMEDIATELY BE FILLED AND SEEDED OR HAVE SOO PLACED IN THEM. THE LAWN SHALL BE KEPT MOVED, TREE SEEDINGS SHALL BE REMOVED, AND LITTER SHALL BE REMOVED FROM LANDSCAPED AREAS.
2. SWALES	ALL GRASSED SWALES SHOWING SIGNS OF EROSION, SOOD, OR CHANNELIZATION SHALL BE REPAIRED, REINFORCED, AND REVEGETATED IMMEDIATELY. ALL SWALES SHALL BE REPAIRED TO THE ORIGINAL PLAN REQUIREMENTS. MOWING SHALL TAKE PLACE NO LESS THAN TWICE PER YEAR AT A HEIGHT OF NO LESS THAN THREE INCHES. GRASSES SHALL NOT BE ALLOWED TO GROW TO A HEIGHT THAT PERMITS BRANCHING OR BENDING. MOWING SHALL ONLY TAKE PLACE WHEN THE GROUND IS DRY, AND ABLE TO SUPPORT MACHINERY.
3. CATCH BASIN / CURB INLET GRATES	THE GRATE OPENINGS TO THESE STRUCTURES MUST BE CLEARED OF ANY CLOGGING OR THE BLOOMING OF STORMWATER FLOW FROM GETTING INTO THE STORMWATER CONVEYANCE SYSTEM OF ANY KIND.
4. CATCH BASIN / CURB INLET SUMPS	SUMPS SHALL USUALLY BE INSPECTED EVERY 3 MONTHS. SILTATION SHALL BE REMOVED AND DISPOSED OF OFFSITE WHEN THE SUMP DEPTH IS WITHIN 3" OF THE OUTLET PIPE INVERT ELEVATION. THE REMOVAL OF SILTATION SHOULD OCCUR A MINIMUM OF ONCE PER YEAR.
5. RETENTION / DETENTION BASINS	TRASH BASKETS, STANDPIPES, OUTLET STRUCTURES, INLET AND OUTLET PIPES, AND ANY VORTEX DEVICES SHALL BE KEPT CLEAR OF DEBRIS. NON-STRUCTURALLY SOUND DEVICES SHALL BE REPLACED. FLOATING LITTER AND ALGAE SHALL BE REMOVED MONTHLY. ALL GRASSED AREAS, EMBANKMENTS, AND FLOW CONTROL DEVICES SHOWING SIGNS OF EROSION SHALL BE REPAIRED, REINFORCED, AND REVEGETATED IMMEDIATELY TO THE ORIGINAL PLAN REQUIREMENTS. DRY BASINS SHALL BE MOWED NO LESS THAN TWICE PER YEAR AT A HEIGHT OF NO LESS THAN 3 INCHES. GRASSES SHALL NOT BE ALLOWED TO GROW TO A HEIGHT THAT PERMITS BRANCHING OR BENDING. MOWING SHALL ONLY TAKE PLACE WHEN THE GROUND IS DRY, AND ABLE TO SUPPORT MACHINERY. EVERY 5 YEARS, BEGINNING IN THE SUMMER OF 2009, THE ELEVATIONS OF THE POND BOTTOM SHALL BE SURVEYED TO DETERMINE THE PERMANENT POOL DEPTH AND SEDIMENT DEPTH IN THE POND. WHEN SILT HAS ACCUMULATED THREE FEET FROM THE ORIGINAL DESIGN DEPTH ELEVATION OF THE POND, THE POND SHALL BE CLEANED OUT AND RESTORED BACK TO THE ORIGINAL DESIGN DEPTH OF A MINIMUM OF 5' FROM THE NORMAL WATER ELEVATION. CLEANING, REMOVAL, AND DEPOSIT OF SILT FROM THE DETENTION POND SHALL BE DONE BY MEANS AND METHODS ACCEPTABLE TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
6. BIOFILTRATION BASIN	INSPECTIONS SHALL OCCUR AT MINIMUM EVERY 3 MONTHS. INSPECTIONS SHALL INCLUDE THE SPREADER, OVERFLOW SPILLWAY, AND OUTLET IF STANDING WATER IS OBSERVED OVER SIZE OF THE BASIN FLOOR 3 DAYS AFTER RAINFALL. THE BASIN IS CONSIDERED CLOGGED, IF THIS EVER OCCURS. DISSEL PLOW AND ADD TOPSOIL AND COMPOST. TRASH SHALL BE REMOVED AS QUICKLY AS POSSIBLE ONCE OBSERVED. LAWN TO BE MOWED AND MAINTAINED OVER BASIN. BAG CLIPPINGS DURING LAWN MOWING OPERATIONS. THE OPERATION AND MAINTENANCE PLAN SHALL REMAIN ON-SITE AND BE AVAILABLE FOR INSPECTION WHEN REQUESTED BY OWNER. WHEN REQUESTED THE OWNER SHALL MAKE AVAILABLE FOR INSPECTION ALL MAINTENANCE RECORDS TO THE DEPARTMENT OR AGENT FOR THE LIFE OF THE SYSTEM.
7. RECORD OF MAINTENANCE	

CONSTRUCTION SEQUENCE

PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. 2. CONTRACTOR TO ORGANIZE PRE-CONSTRUCTION MEETINGS TO COORDINATE UTILITY CONNECTIONS FOR THE PROJECT. 3. PLACE ALL SUT VENTS. 4. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS. 5. CONSTRUCT PERMANENT RETENTION/DETENTION PONDS AND PERMANENT STORMWATER CONVEYANCE SYSTEMS. 6. CONSTRUCT TEMPORARY SEDIMENT TRAPS, SEDIMENT BASINS, AND ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS. 7. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	1. CLEAR AND GRUB TREES AND BRUSH AS REQUIRED. 2. STRIP AND RELOCATE TOPSOIL PER OWNER'S REQUEST. 3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. 4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON-SITE. 5. DIG AND POUR ALL BUILDING FOOTINGS. 6. PLACE GRASS SEED FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES. 7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. 8. CONSTRUCT BUILDING. 9. PAVE DRIVEWAYS AND PARKING AREAS. 10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP.
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION. 2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS. *CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.*



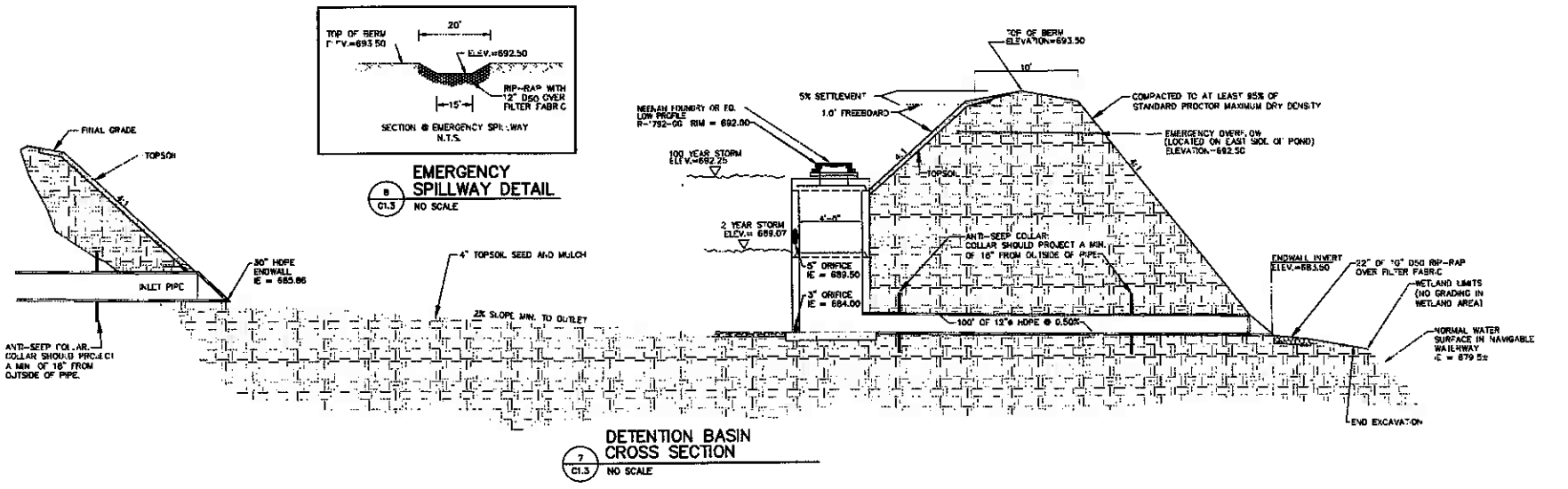
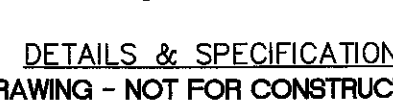
5 HAY OR STRAW BALE DITCH CHECK
C1.3 NO SCALE

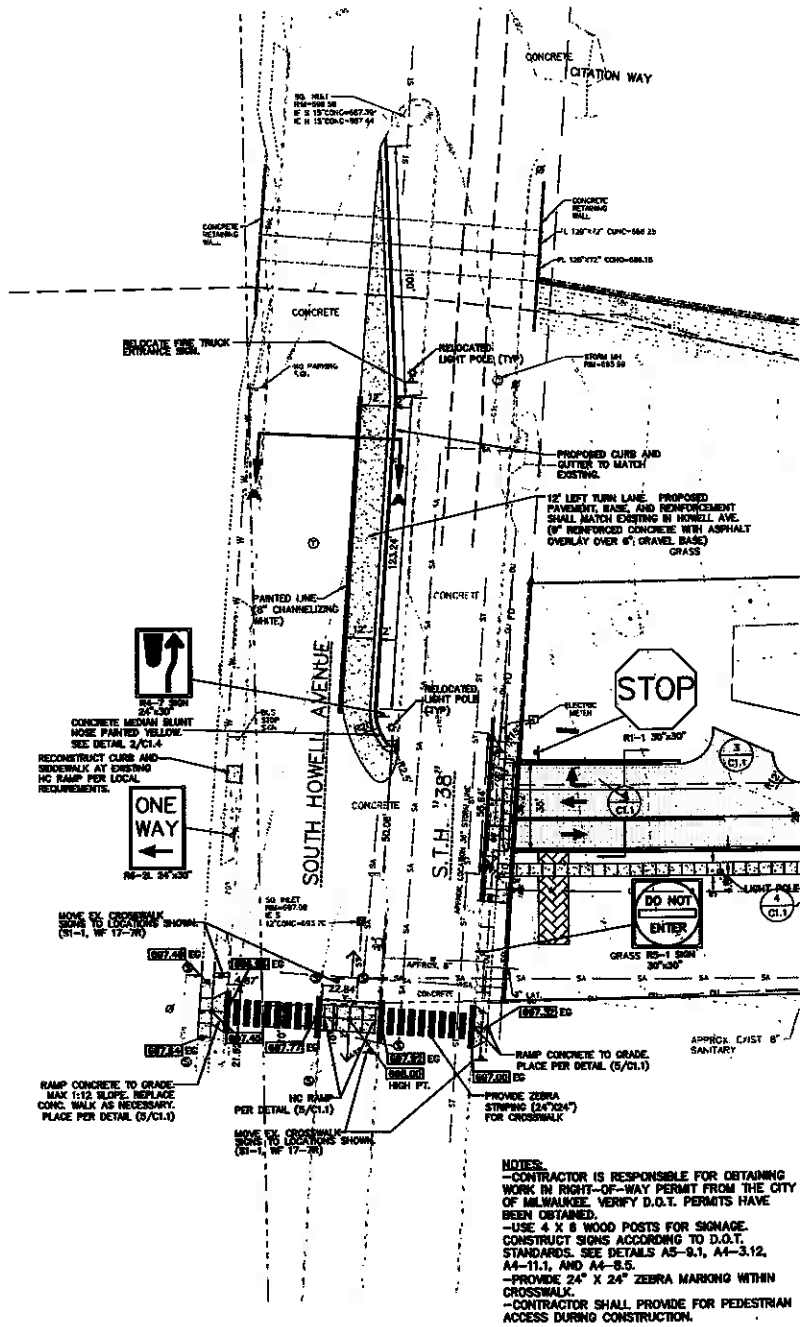


SITE STABILIZATION & SEEDING NOTES

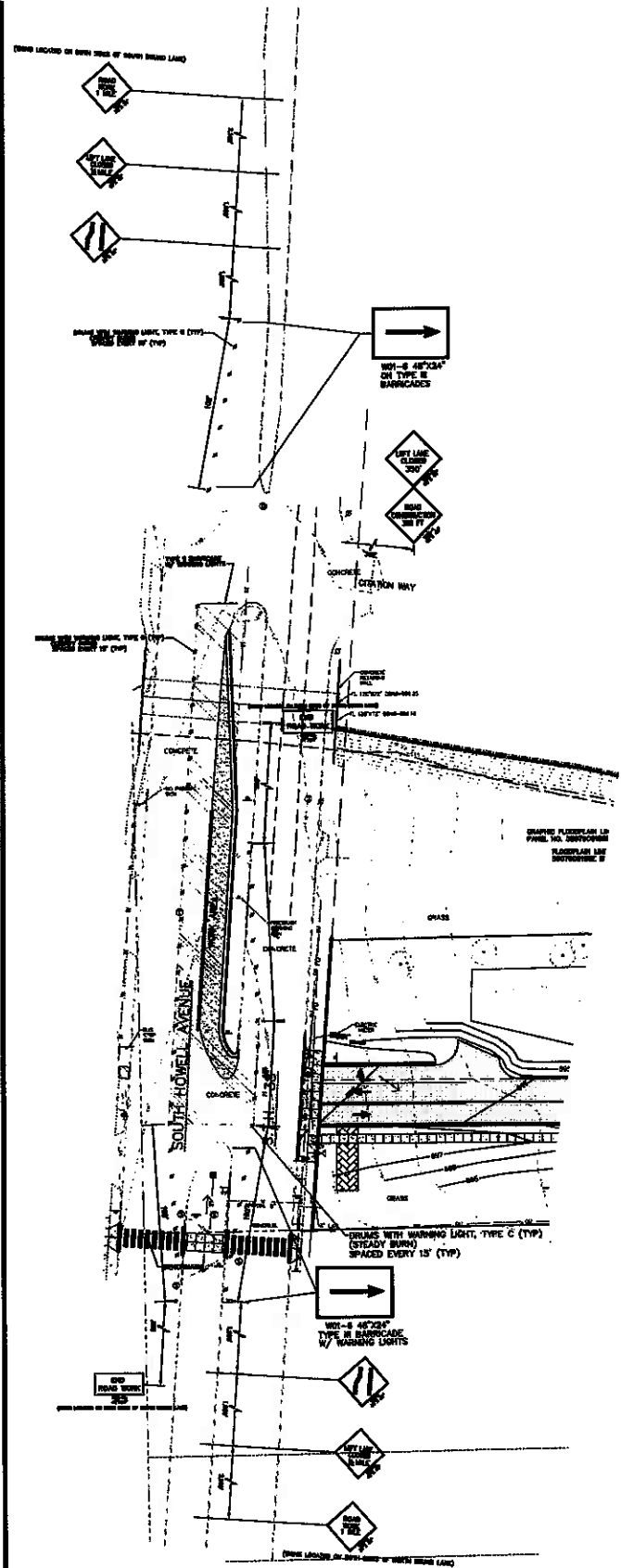
- PROVIDE A MINIMUM OF 2" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS.
- PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN SIS0) ON ALL SLOPES THAT ARE S:1 AND GREATER.
- ALL STORMWATER CONVEYANCE CHANNELS SHALL BE SEEDED WITH WISCONSIN DOT MIX # 10 @ 4.0 LBS PER 1,000 S.F. NORTH AMERICAN GREEN C125 OR EQUIVALENT EROSION MATTING SHALL BE PROVIDED.
- LAWN AREAS SHALL BE SEEDED WITH WISCONSIN DOT MIX # 40 OR EQUIVALENT AT A RATE OF 4 POUNDS PER 1,000 S.F. THESE AREAS SHALL BE MULCHED WITH 90 BALES OF STRAW OR HAY PER ACRE. ALL SEEDING AREAS SHOULD BE FERTILIZED WITH 24-12-12 FERTILIZER AT A RATE OF 4 POUNDS PER 1,000 S.F.

7 STORMCEPTOR DETAIL
C1.3 NO SCALE

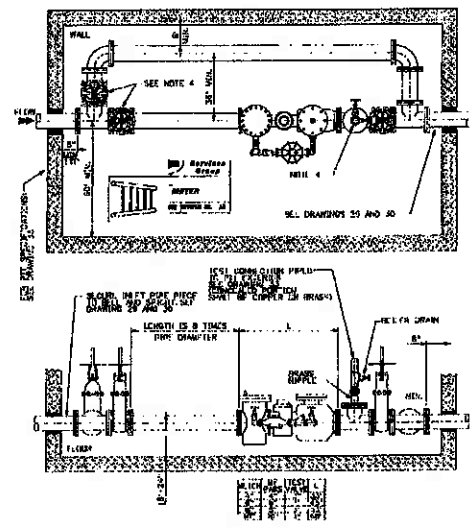




TURN LANE DETAIL PLAN
 NORTH
 1" = 30'
 SCALE
 FEET

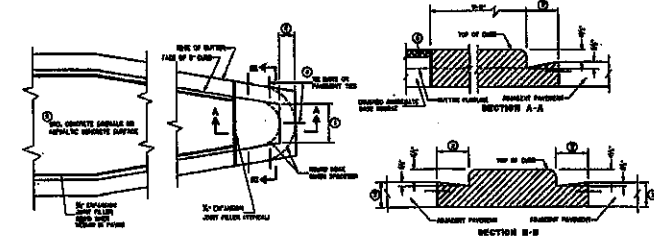


TRAFFIC CONTROL PLAN
 NORTH
 1" = 40'
 SCALE
 FEET

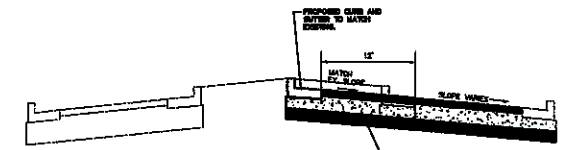


- NOTES:
1. WATER METER SHALL BE AS SPECIFIED BY THE CITY OF MILWAUKEE.
 2. WATER METER SHALL BE INSTALLED IN A CONCRETE PIT WITH A MINIMUM CLEARANCE OF 18" ABOVE THE METER.
 3. THE PIT SHALL BE CONCRETE AND SHALL BE FINISHED TO MATCH THE SURROUNDING PAVEMENT.
 4. THE PIT SHALL BE INSTALLED IN A CONCRETE PIT WITH A MINIMUM CLEARANCE OF 18" ABOVE THE METER.
 5. THE PIT SHALL BE INSTALLED IN A CONCRETE PIT WITH A MINIMUM CLEARANCE OF 18" ABOVE THE METER.
 6. THE PIT SHALL BE INSTALLED IN A CONCRETE PIT WITH A MINIMUM CLEARANCE OF 18" ABOVE THE METER.
 7. THE PIT SHALL BE INSTALLED IN A CONCRETE PIT WITH A MINIMUM CLEARANCE OF 18" ABOVE THE METER.

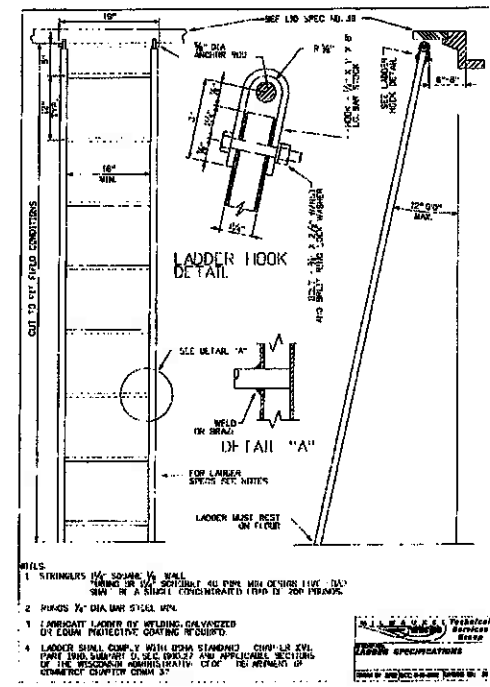
1 WATER METER PIT DETAILS
 C1.4 NO SCALE



2 CONCRETE MEDIAN BLUNT NOSE DETAIL
 C1.4 NO SCALE



3 TURN LANE CROSS SECTION A-A
 C1.4 NO SCALE



LADDER HOOK DETAIL
 C1.4 NO SCALE

OWNER:

PROJECT:
 HILTON GARDEN INN
 5880 SOUTH HOWELL AVE.
 MILWAUKEE, WI

PRELIMINARY PLAN DATE:
 NOVEMBER 14, 2008
 DECEMBER 1, 2008
 DECEMBER 10, 2008
 DECEMBER 18, 2008
 JANUARY 7, 2009
 JANUARY 14, 2009
 JANUARY 28, 2009
 FEBRUARY 10, 2009
 FEBRUARY 23, 2009

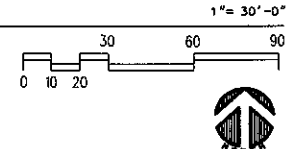
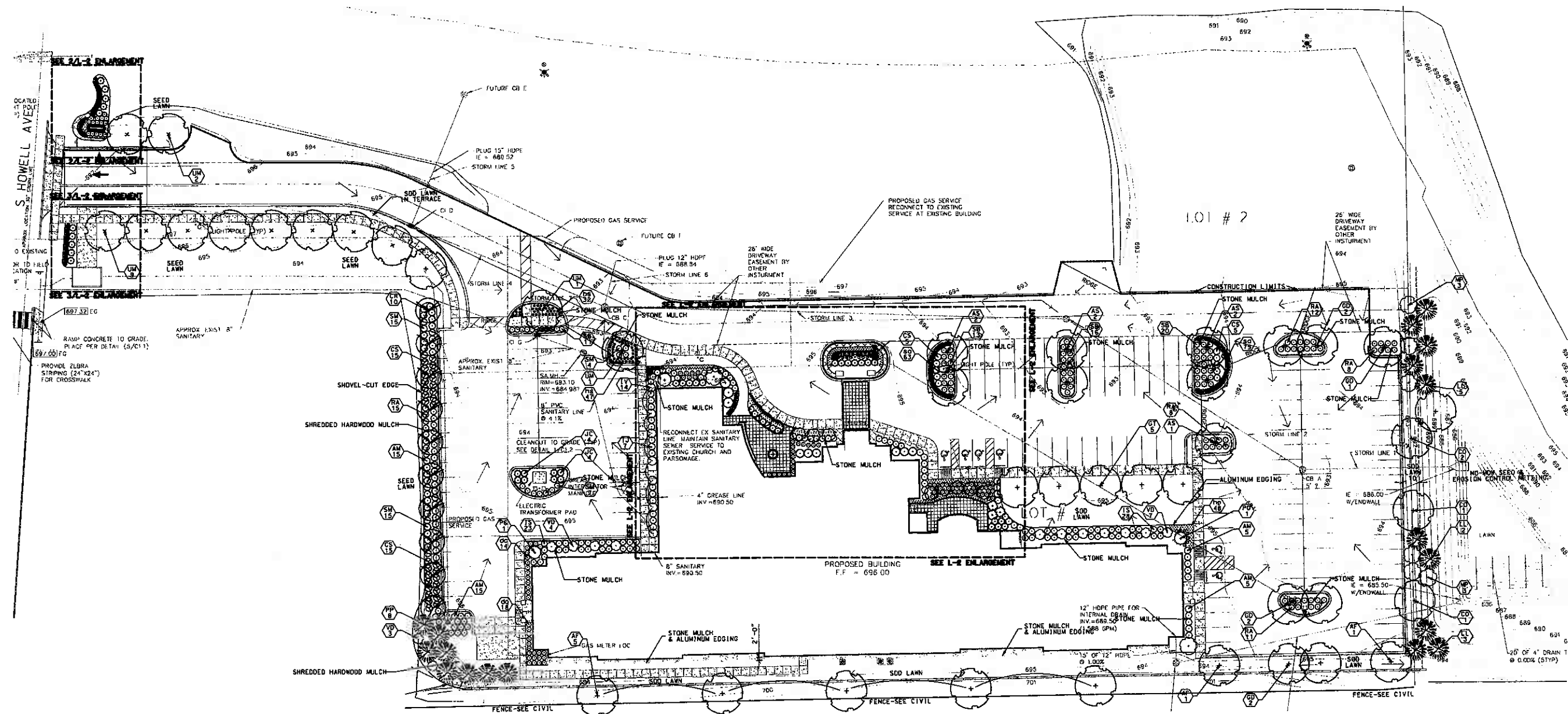
DATE:
 JOB NUMBER:
 813480
 SHEET

C1.4



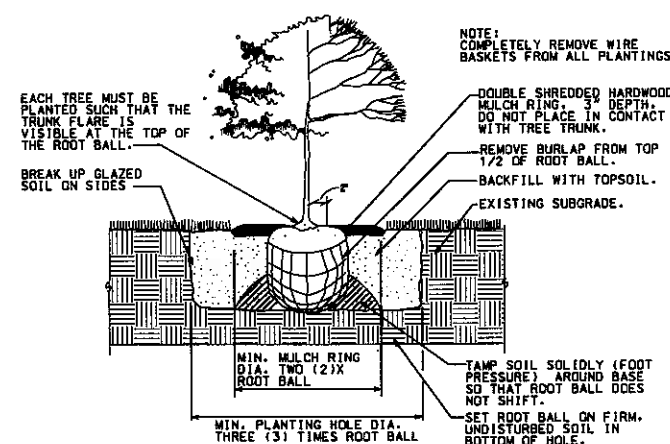
GARY BRINK & ASSOCIATES
ARCHITECTS
8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)

HILTON GARDEN INN
5890 SOUTH HOWELL AVENUE, MILWAUKEE, WI 53207
HOWELL AVENUE FOS LODGING ASSOCIATES, LLC
C/O RAYMOND MANAGEMENT COMPANY
8333 GREENWAY BOULEVARD, SUITE 200 MADISON, WISCONSIN 53717

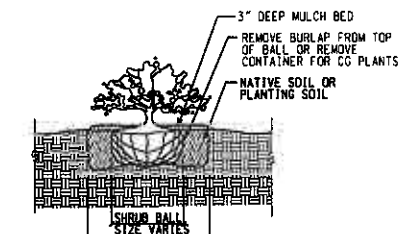


KEY	PLANT LIST	Latin Name	Common Name	Spaced	Size	Cont.	Remarks
AF	Acer x bromolii 'Morgan'	Morgan Maple	7	2 1/2" Cal.	BB		
AS	Acer x fraxinoides 'Sionna Glen'	Sionna Glen Freeman Maple	7	2 1/2" Cal.	BB		
CD	Celtis occidentalis	Common Hackberry	4	2 1/2" Cal.	BB		
CO	Cornus alternifolia 'Ergone'	Ergone Kentucky Coffee Tree	7	2 1/2" Cal.	BB		
GT	Gleditsia triacanthos 'Skyline'	Skyline Honey Locust	5	2 1/2" Cal.	BB		
UM	Ulmus 'Morton'	Accolade Elm	13	2 1/2" Cal.	BB		
AC	Amelanchier canadensis 'Spring'	Spring Rain Serviceberry	6	6' Ht.	BB		single stem
AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1	7' Ht.	BB		multi-stem
CE	Cornus rostrata	Sweetgum	5	1 1/2" Cal.	BB		multi-stem
CR	Crataegus cuneata	Cockspur Hawthorn	10	1 1/2" Cal.	BB		multi-stem
MP	Malus Pringlei	Pringle Crabapple	6	1 1/2" Cal.	BB		
LL	Larix laricina	Larch	10	6' Ht.	BB		
PO	Picea glauca 'Dussea'	Black Hills Spruce	3	7' Ht.	BB		
PP	Picea pungens	Green Colorado Spruce	8	7' Ht.	BB		
AA	Arcadia melanocarpa var. 'Elate'	Black Chokeberry	40	30"	cont./BB		
BG	Betula microphylla 'Wintergreen'	Wintergreen birch	36	24"	BB		
CP	Chamaecyparis plicata 'Flicker'	Flicker	3	24"	cont./BB		
CS	Cornus acedra 'Alicorn'	Alicorn's Compact Redtwig Dogwood	40	24"	cont./BB		
HA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	8	35"	cont.		
IV	Ilex verticillata 'Jim Dandy'	Jim Dandy Holly	7	24"	cont./BB		mix evenly with IV
IR	Ilex verticillata 'Red Spike'	Red Spike Holly	14	24"	cont./BB		
LC	Lonicera viticarpa 'Sundae'	Lilac Honey Sweetpea	51	24"	cont./BB		mix evenly with II
IV	Juniperus chinensis 'Sea Green'	Sea Green Juniper	8	30"	cont./BB		
JA	Juniperus chinensis 'Kalter's Compact'	Kalter's Compact Juniper	10	30"	cont./BB		
RS	Rhus aromatica 'Cro-Low'	Cro-Low aromatic sumac	49	35"	cont.		
RP	Rosa 'Rhapsody'	Rose Rhapsody	6	30"	cont./BB		
RR	Rosa 'Double Knock Out'	Double Knock Out Rose	14	43"	cont.		
SB	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	60	24"	cont./BB		
SM	Syringa meyeri 'Palibis'	Doyle Kuron Lilac	41	24" Ht.	cont./BB		
TD	Taxus x media 'Tawentoni'	Tawentoni Yew	17	30"	BB		
VD	Viburnum dentatum 'Blue Shadblow'	Blue Shadblow Viburnum	14	48"	BB		
VL	Viburnum lentago 'Molokai'	Molokai Viburnum	3	48"	BB		
DC	Deschampsia cespitosa	Tufted Hair Grass	32	1 gal.	cont.		
EP	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	15	1 gal.	cont.		
HS	Hemerocallis 'Smokey Candy'	Smokey Candy Daylily	29	1 gal.	cont.		
HA	Hosta 'Blue Angel'	Blue Angel Hosta	74	1 gal.	cont.		
FR	Hosta 'Frances'	Frances Hosta	50	1 gal.	cont.		
HP	Hosta x 'Purple Palace'	Purple Palace Hosta	169	1 gal.	cont.		
JB	Hemerocallis 'Janice Brown'	Janice Brown Daylily	53	1 gal.	cont.		
CA	Lythrum spicata 'Tobolol'	Gayfeather	8	1 gal.	cont.		
LI	Lilium spicata	Lily	184	1 qt.	pot		
RS	Rudbeckia hirta	Russian Sage	14	1 gal.	cont.		
SK	Sedum 'Autumn Joy'	Autumn Joy Sedum	150	1 gal.	cont.		
SL	Schizochloa scoparium	Little Bluestem	43	1 gal.	cont.		
VS	Veronica australis 'Cinder Tale Blue'	Australian Speedwell	30	1 gal.	cont.		

02 TREE PLANTING
L-1



02 TREE PLANTING
L-1



03 SHRUB PLANTING
L-1



04 PERENNIAL PLANTING
L-1

NOTE:
1. ALL FOUNDATION AND PARKING LOT ISLAND PLANTING BEDS SHALL USE 1" DIA. STONE MULCH FOR A DEPTH OF 3". STONE MULCH SHALL BE SET OVER WEED BARRIER PER SPECIFICATIONS.

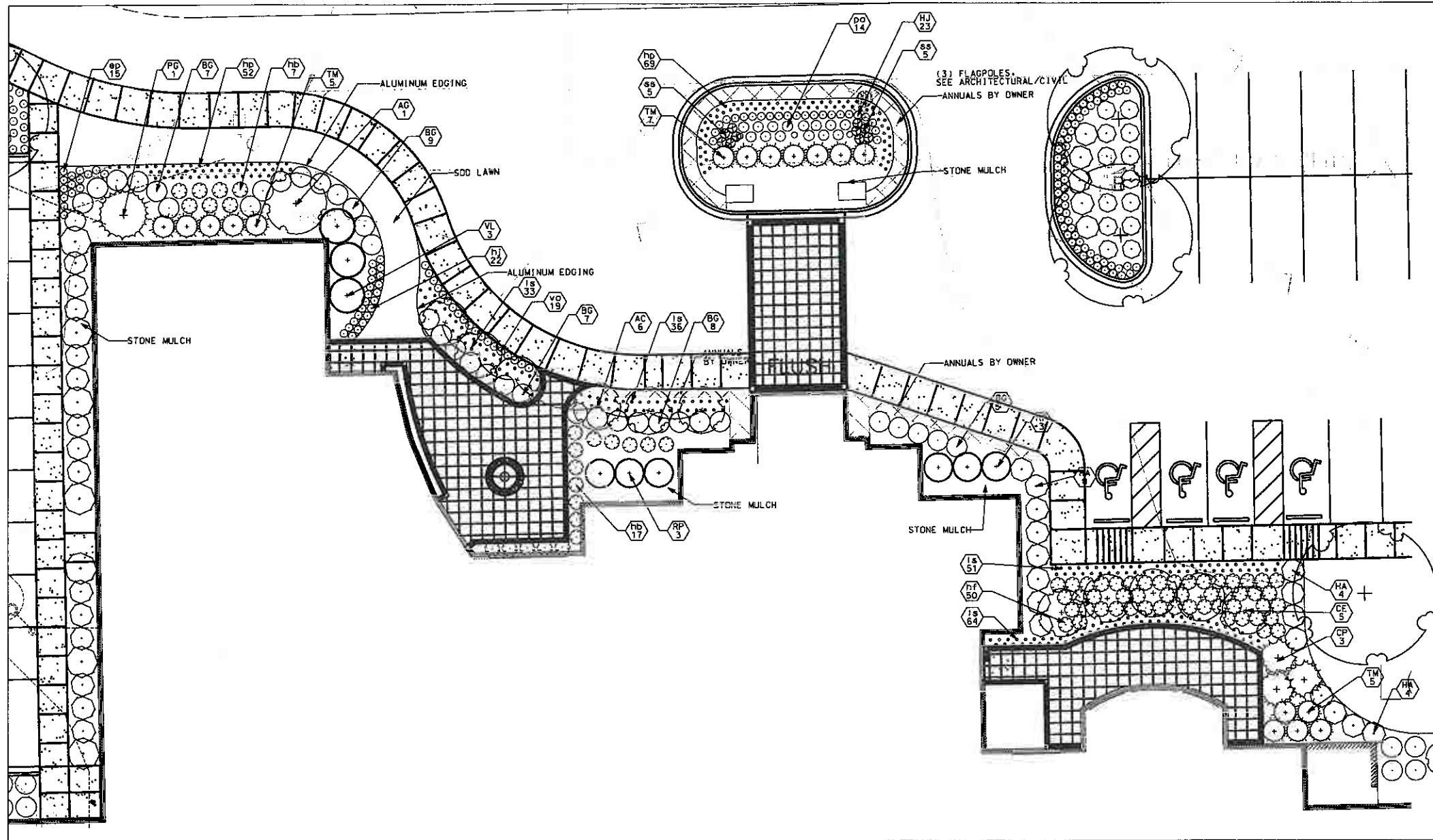
2. LANDSCAPE CONTRACTOR TO PROVIDE DECORATIVE SPLASH BLOCKS AT ALL DOWN SPOUTS DISCHARGE POINTS AND AT FIRE SPRINKLER TEST DRAIN PER ARCHITECTS APPROVAL.

THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX A LOCATE 1-800-338-3860
TDD (FOR HEARING IMPAIRED) 1-800-542-2289

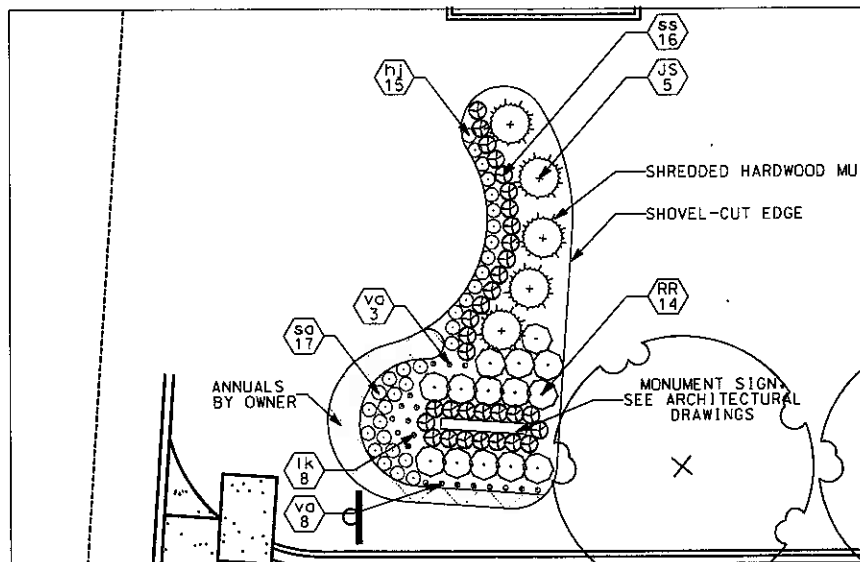
REQUIREMENT	STATUS
1a. PERIMETER LANDSCAPING AND EDGE TREATMENTS: 100% open space shall screen residential uses of adjacent landscaping	FULFILLED; 130 LF of fence of adequately spaced landscaping
1b. PERIMETER LANDSCAPING AND EDGE TREATMENTS: Trees shall be planted 25' or more along street frontages of light traffic parking lots	FULFILLED; adequately spaced trees along parking lot edge
2a. INTERIOR PARKING LOT LANDSCAPING: Two trees and two shrubs shall be planted for every 6 parking spaces	FULFILLED; 40 trees req., 48 provided; 40 shrubs req., 117 provided
2b. INTERIOR PARKING LOT LANDSCAPING: Landscape area shall cover at least 5% of the surface area of the parking lot	FULFILLED; 4256 SF req., 4245 SF provided
3. VISION TRIANGLE: A 20' vision triangle with is required at street and corner drive intersections	FULFILLED
4. STORM WATER TREATMENT: Landscaping may be used for storm water treatment	N/A

LANDSCAPE SITE DEVELOPMENT PLAN



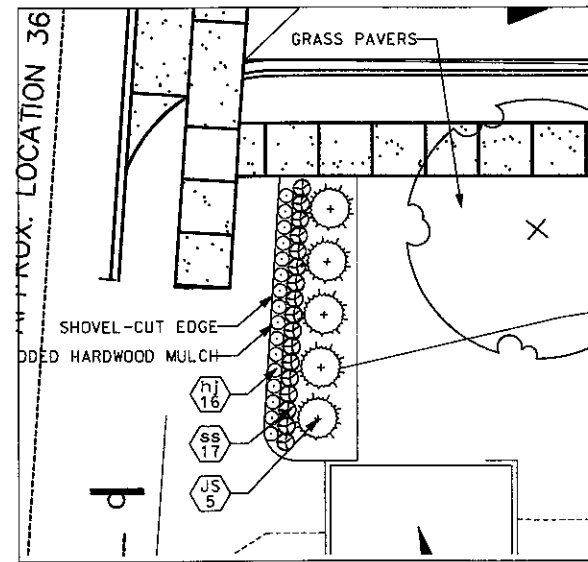
01 PLANTING ENLARGEMENT
L-2

1" = 10'-0"



02 ENTRY SIGN PLANTING ENLARGEMENT
L-2

1/8" = 1'-0"



03 ENTRY SOUTH PLANTING ENLARGEMENT
L-2

1/8" = 1'-0"



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8401 EXCELSIOR DRIVE
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608-829-1750
608-829-3056 (FAX)

HILTON GARDEN INN
5890 SOUTH HOWELL AVENUE, MILWAUKEE, WI 53207
HOWELL AVENUE FOS LODGING ASSOCIATES, LLC
C/O RAYMOND MANAGEMENT COMPANY
8335 GREENWAY BOULEVARD, SUITE 200 MADISON, WISCONSIN 53717

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DRAWN BY: SAB
DATE: 02-20-09



KZEN SAKIRI
DESIGN INC
LANDSCAPE
ARCHITECTS

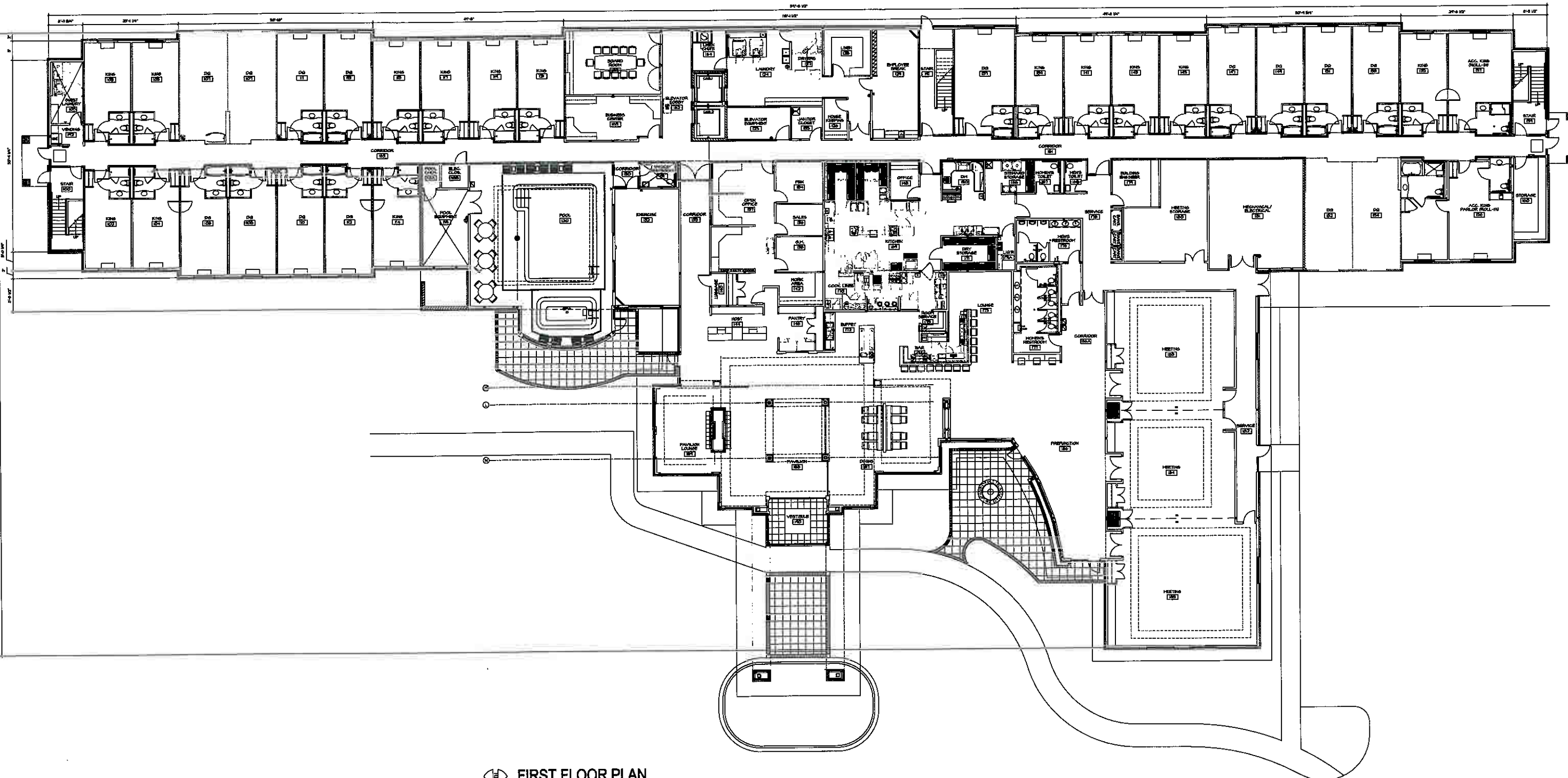
303 S. PATERSON
SUITE ONE
MADISON, WI 53703
Phone: 608-551-3600
Fax: 608-251-9330
www.ksd-la.com





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CLIENT: HOWELL AVENUE FOS LODGING ASSOCIATES, LLC
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 FIRST FLOOR PLAN
3/22' = 1"=0"



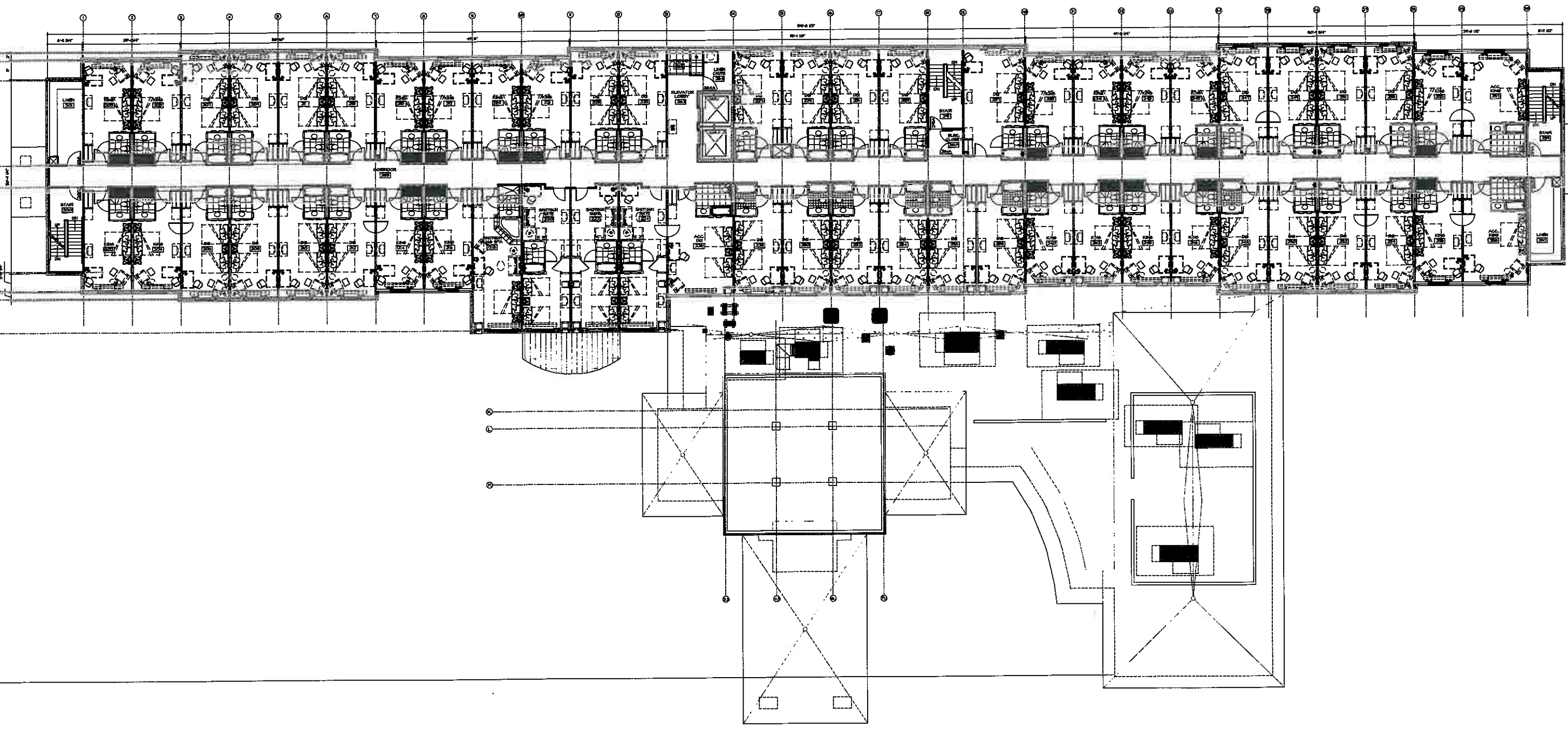
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 **SECOND FLOOR PLAN**
3/32" = 1'-0"



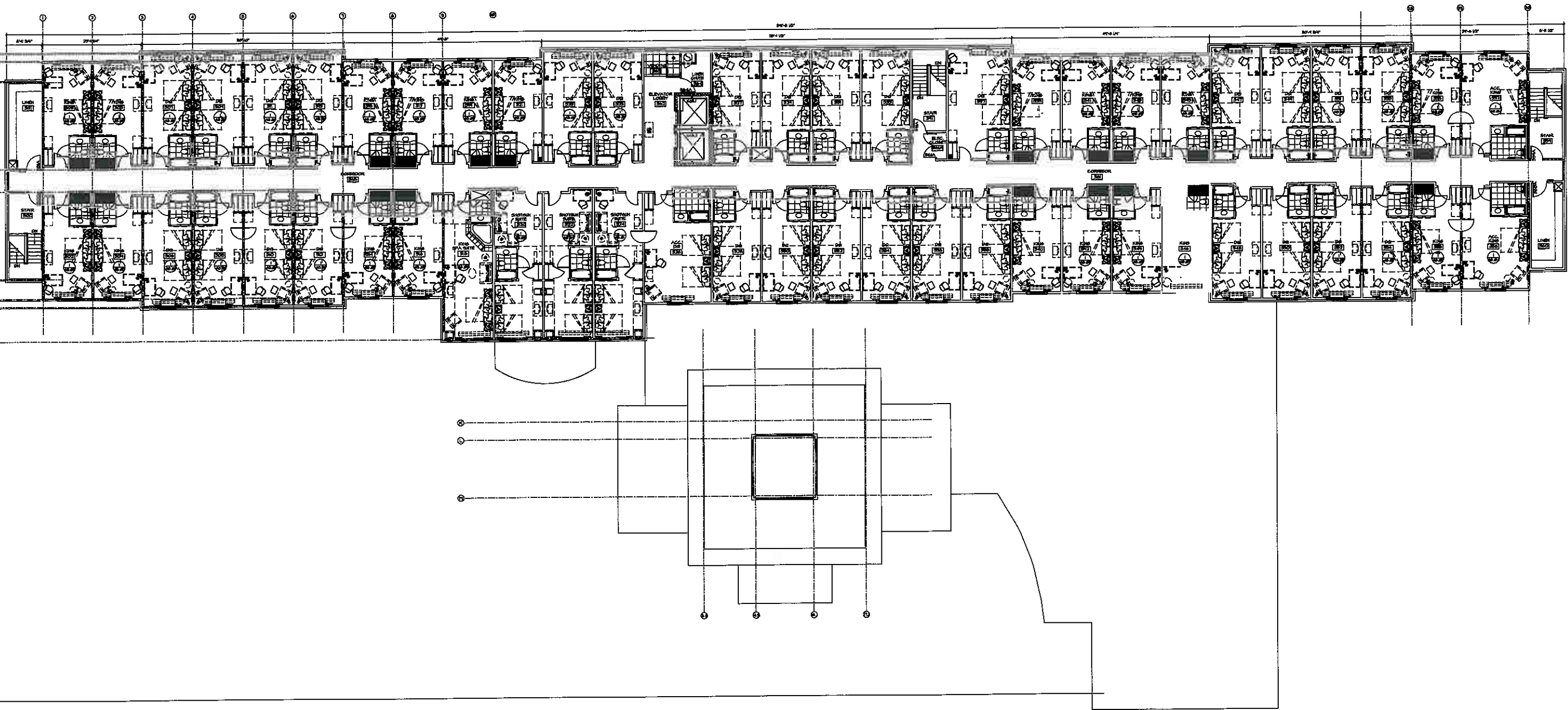
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PROJECT: HILTON GARDEN INN
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CLIENT: HOWELL AVENUE FOS LODGING ASSOCIATES, LLC
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 **THIRD FLOOR PLAN**
3/32" = 1'-0"



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PROJECT: **HILTON GARDEN INN**
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CLIENT: **HOWELL AVENUE FOS LODGING ASSOCIATES, LLC**
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PROJECT: 200751

CAD FILE: 601-200751

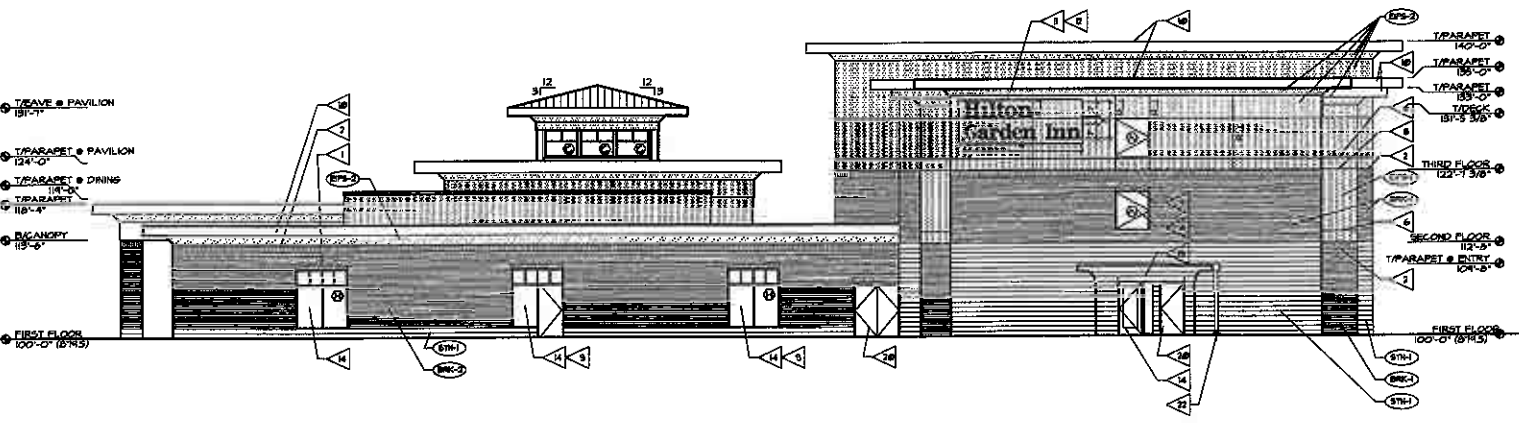
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DATE: 07/14/09

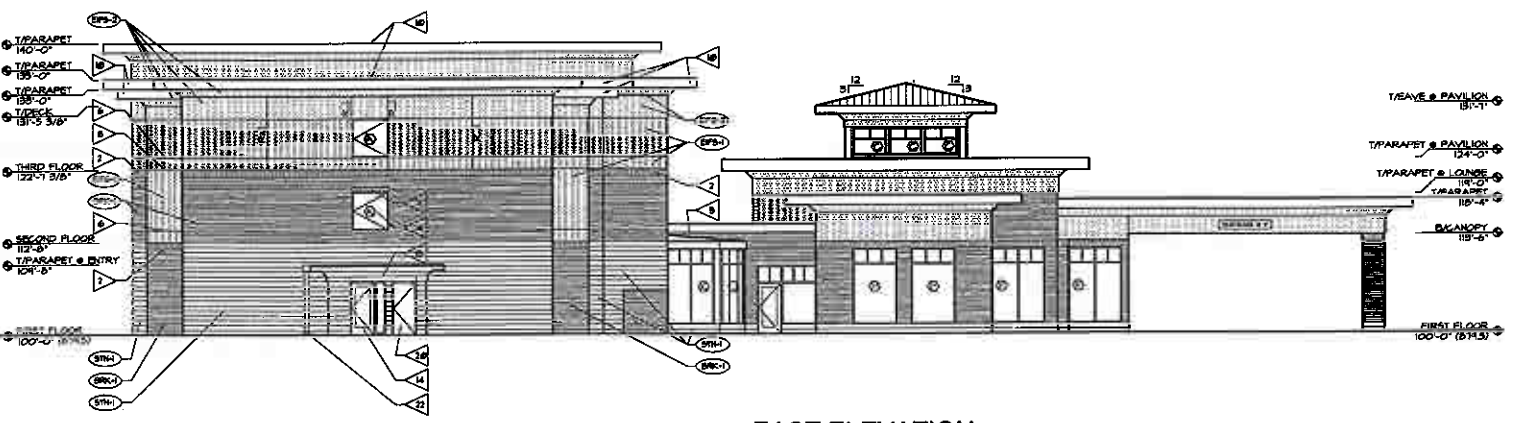
A6.01



1 NORTH ELEVATION
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"



3 EAST ELEVATION
3/32" = 1'-0"

EXTERIOR ELEVATION NOTES

1. ALL ARCHITECTURAL SPLIT-FACED CONCRETE BLOCK TO BE 8IN-L UNLESS NOTED OTHERWISE.
2. ALL BRICK TO BE UTILITY BRICK UNLESS NOTED OTHERWISE.
3. ALL EPS TO BE EPS-1 UNLESS NOTED OTHERWISE.
4. ALL EPS TO BE 4 IN THICK UNLESS OTHERWISE NOTED.
5. REFER TO PROJECT SPECIFICATIONS FOR EXTERIOR FINISH INDEX.
6. ALL WINDOWS TO BE TYPE 'A', UNLESS NOTED OTHERWISE. REFER TO DRAWING A6.02 FOR WINDOW TYPES.
7. ALL LOUVERS AND HVAC GRILLES COLOR TO MATCH ADJACENT MATERIAL COLOR UNLESS NOTED OTHERWISE.
8. ALL LINTELS ON EXTERIOR TO BE GALVANIZED AND PAINTED TO MATCH EXTERIOR FINISH MATERIAL.

EXTERIOR ELEVATION KEY NOTES

1. 8" HIGH UTILITY BRICK SOLDIER COURSE
2. 1" HIGH UTILITY BRICK SOLDIER COURSE WITH 1/2" PROJECTION (BRICK 9)
3. PTAC LOUVER (TYP)
4. FIXED ALUMINUM WINDOW SYSTEM (TYP)
5. STANDING SEAM METAL ROOF & HATCHING FASCIA
6. 1/2" V-JOINT IN EPS
7. EPS REVEAL JOINT (R.J.)
8. EPS CONTROL JOINT (C.J.)
9. SPANDREL GLASS
10. 74 GA. PRE-FINISHED STL. FASCIA & GRAVEL STOP
11. 5/8" P.T. PLYWOOD BEHIND EPS IN SIGN FIELD (AREA SHOWN DAMAGED-V.I.F.)
12. INTERNALLY ILLUMINATED BUILDING SIGN. BUILDING SIGN TO BE FURNISHED AND INSTALLED BY OTHERS. CONTRACTOR TO PROVIDE POWER TO J-BOX.
13. BUILDING GLASS ENTRY DOOR
14. ALUMINUM STOREFRONT SYSTEM
15. 8" x 16" x 4" ARCHITECTURAL GRAND-FACED CONCRETE BLOCK
16. RELIEF / OVERFLOW SCUPPER
17. NO. 14 GIBBET TOILET ROOF EXHAUST VENTS. PAINT TO MATCH SURFACE MATERIAL. IT IS POINTED ON.
18. GIBBET LAUNDRY DRYER VENT. PAINT TO MATCH SURFACE MATERIAL. IT IS POINTED ON.
19. 4" ALUMINUM LETTERS / NUMERALS (BOTH SIDES). PROVIDE BLOCKING / STANDOFFS AS REQUIRED.
20. HM DOOR AND FRAME
21. VTIAC LOUVER (TYP)
22. OVERFLOW SCUPPER, CONDUCTOR HEAD, 4" x 6" RAIN LEADER & CONCRETE SPLASHBLOCK AT GRADE.

EXTERIOR MATERIAL KEY

MATL.	COLOR	MANUFACTURER
UTILITY BRICK 1	COPPERTONE VELOUR	INDICOTT CLAY PRODUCTS
UTILITY BRICK 2	CUSTOM BLEND 48-48 88 & SHALE VELOUR	HELDEN BRICK
ARCHITECTURAL SPLIT FACE BLOCK	ARCHITECTURAL COLORS - ADORNE	BEND INDUSTRIES
MORTAR (BOTH BLOCK & BRICK)	CAYENNE	FRESH PAINTERS
EPS #1	WILLYS COLOR BRICKS TOTALLY TAN	
EPS #2	WILLYS 98813 INTERACTIVE CEMENT	
COPPING / FASCIA	COPPER PENNY	PAC-GLAD
STANDING SEAM METAL ROOF	COPPER PENNY	PAC-GLAD
LOUVERS / GRILLES	TO MATCH MATERIAL IT IS POINTED ON.	PETERSON ALUMINUM
EXTERIOR HM DOOR & FRAMES	TO MATCH ADJACENT MATERIAL	
HIDDEN & STOREFRONTS	DARK CHROMIUM BRONZE	
GLASS	CLEAR	
SPANDREL GLASS	TED	



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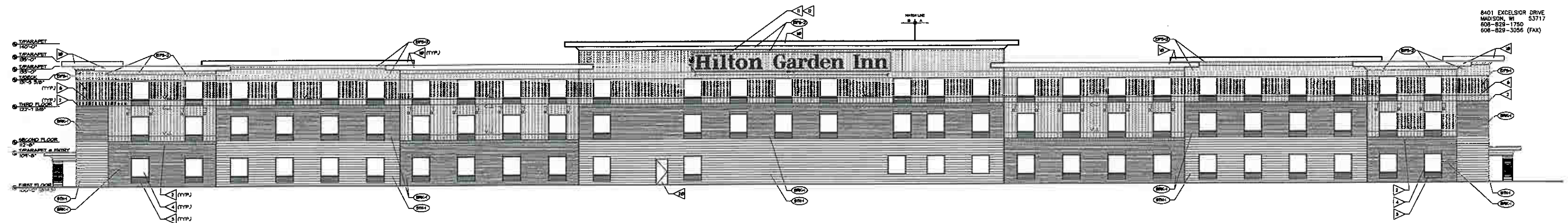
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PROJECT:
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HOWELL AVENUE FOS LODGING
ASSOCIATES, LLC
5333 GREENWAY BOULEVARD, SUITE 200, MADISON, WISCONSIN 53717

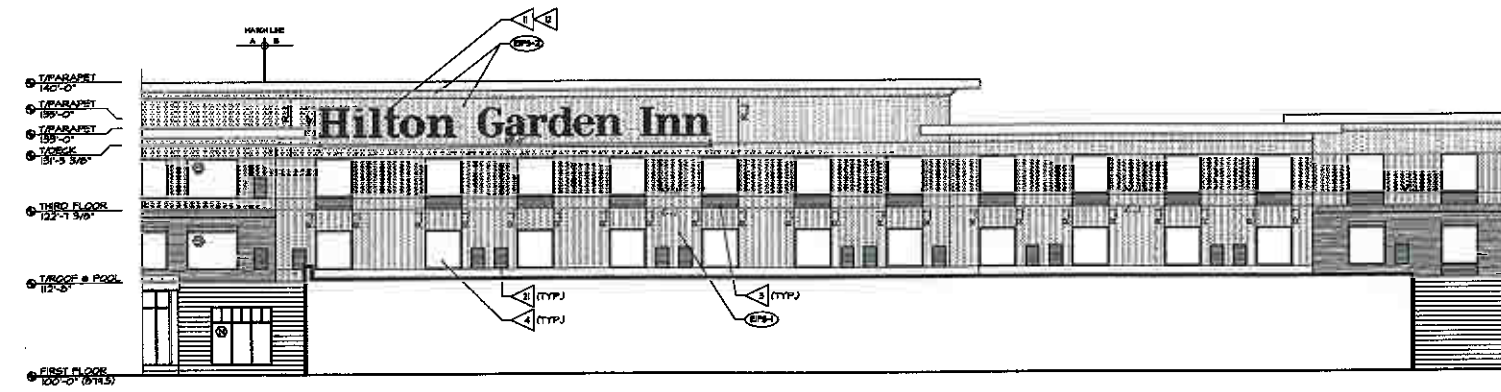
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CAD/FILE: 602-200751
DRAWN BY:
DATE: 01/14/08

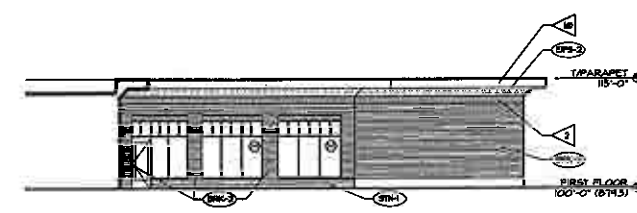
A6.02



1 SOUTH ELEVATION
3/32" = 1'-0"



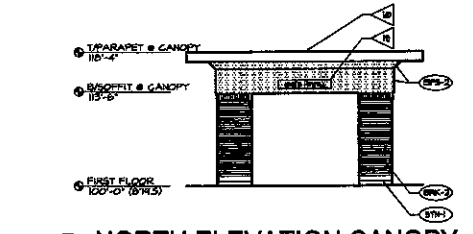
2 HIDDEN NORTH ELEVATION
3/32" = 1'-0"



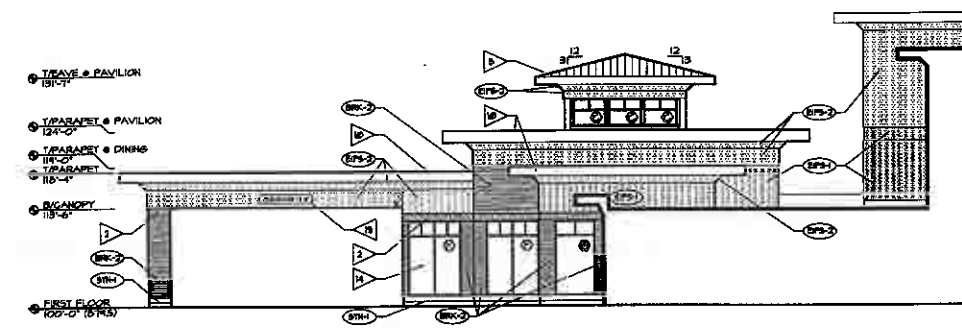
3 PREFUNCTION HIDDEN EAST ELEVATION
3/32" = 1'-0"



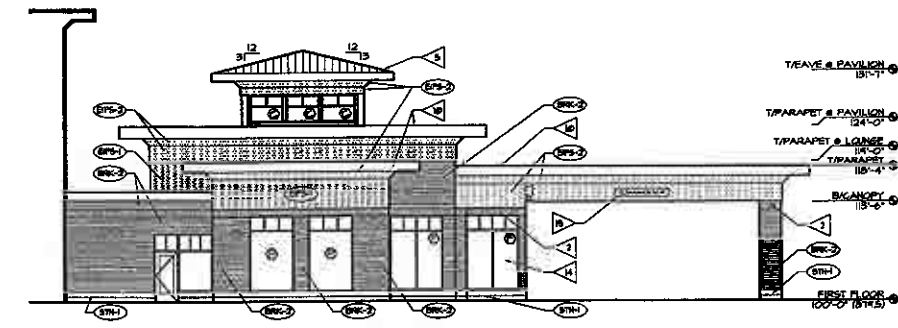
4 EAST & WEST ENTRY
3/32" = 1'-0"



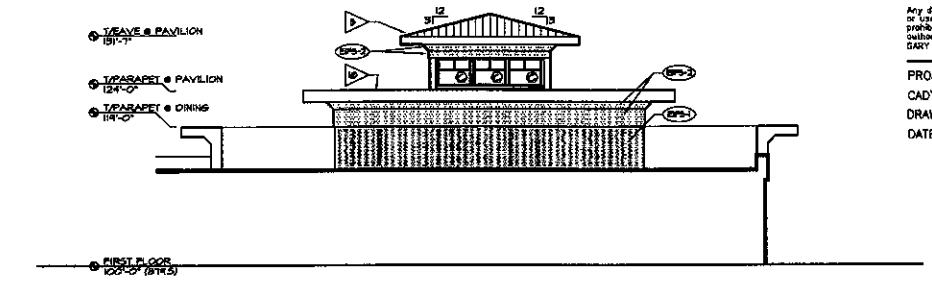
5 NORTH ELEVATION CANOPY
3/32" = 1'-0"



6 PAVILION HIDDEN WEST ELEVATION
3/32" = 1'-0"



7 PAVILION HIDDEN EAST ELEVATION
3/32" = 1'-0"



8 PAVILION HIDDEN SOUTH ELEVATION
3/32" = 1'-0"