



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5712

Property 2574 N. DOWNER AV.
Description of work New structure with street level retail and four levels of parking above.
Date issued 6/29/2007 PTS ID 41726 COA, Retail structure/ parking garage

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings. Work with DCD staff and HPC subcommittee on final construction details to include color, texture and type of exterior cladding material, street level storefront glazing design, signage, and snow removal chute if visible from street. East elevation has not been reviewed and approved by HPC subcommittee and therefore is subject to change. Tree on Bellevue Place (see site Plan) will be saved, but if it can't then a new one of large caliper (8" or more) will be planted to take its place. Separate HPC approval required for popcorn wagon relocation.

separate COA

DANE. COA ISSUED.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-0232 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

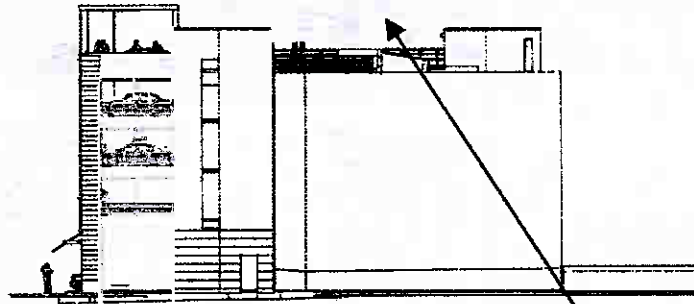
Copies to: Development Center, Ald. Michael D'Amato, Inspector Jim Friedrichs (286-5982)



Black granite bulkhead

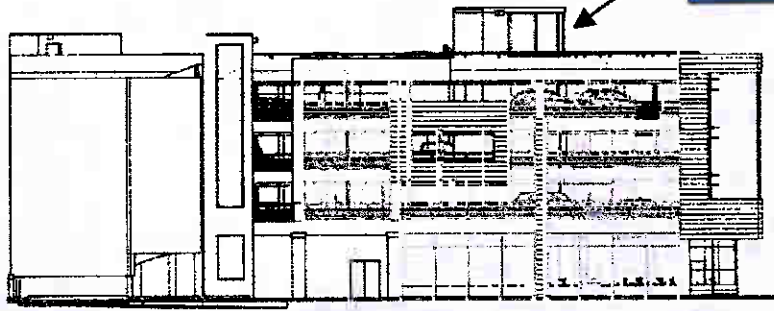
Concrete wall returns into parking ramp will be stained to match the exterior

Downer Avenue elevation. Note: HPC subcommittee final approval required for color and texture of wall material; grill work; all signage, storefront glazing

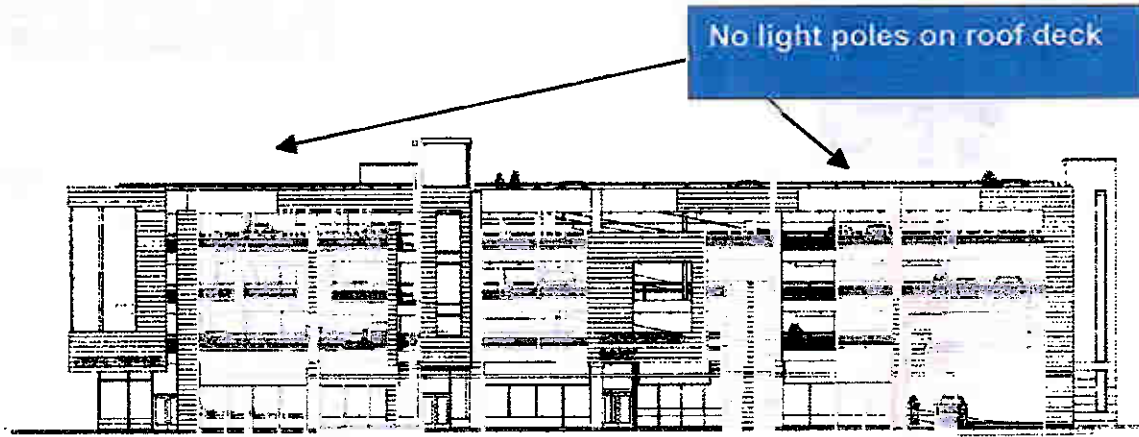


South elevation

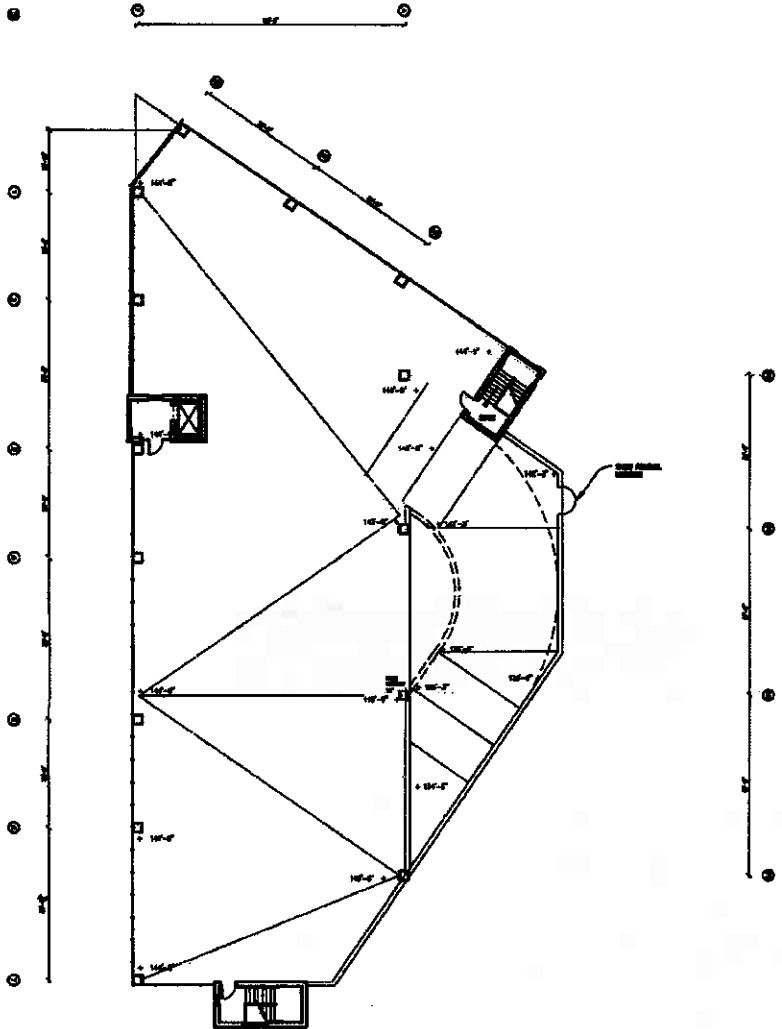
Note: No light poles on roof deck



North elevation



West elevation



Note: There will be no light poles on the rooftop parking deck. All lighting for the roof deck will be concealed below the parapet wall



North



Roof deck plan

North Downer Avenue



1

GROUND FLOOR

Existing garage

Existing House

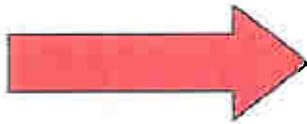
Site Plan

FINISHED SECOND LEVEL:
2
FIRST FLOOR LEVEL:
116
ROOF LEVEL:
118
FINISHED FIRST LEVEL:
117

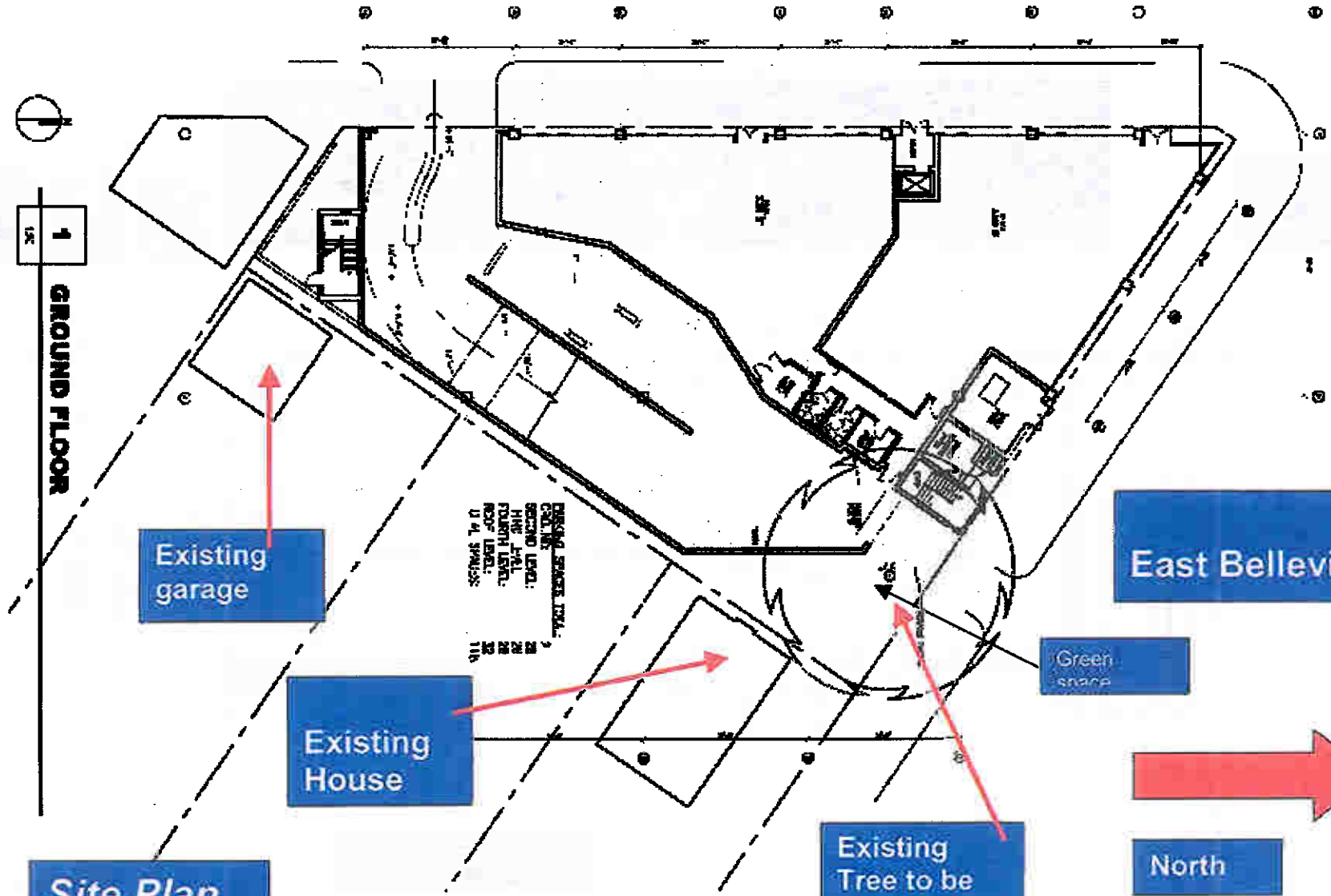
Existing Tree to be saved

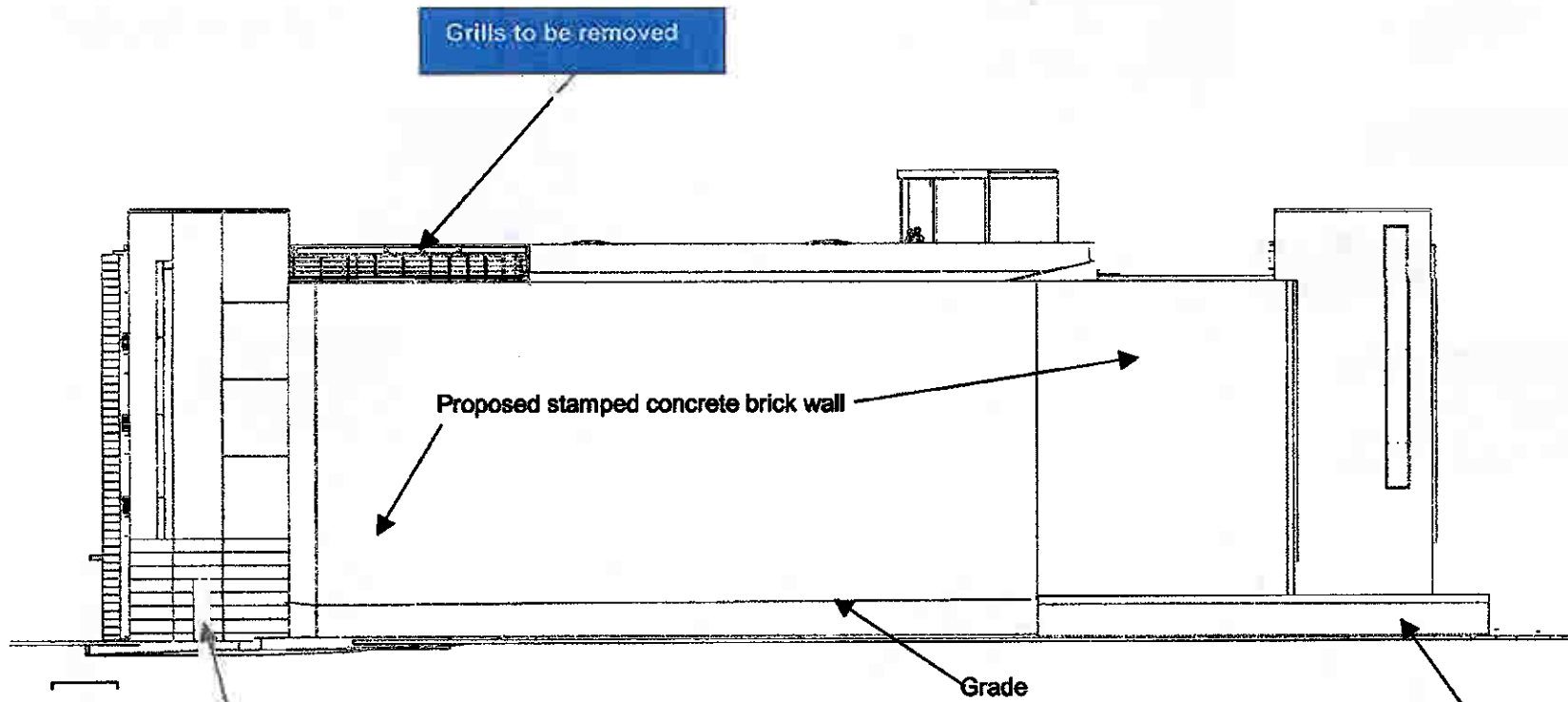
Green space

East Bellevue



North





Grills to be removed

Proposed stamped concrete brick wall

Grade

Retaining wall to be added

Proposed east elevation must be approved by HPC Subcommittee and is subject to change

Retaining Wall to be removed



① review color text samples

review grille samples (see subcommittee notes)



PROJECT:
RETAIL & PARKING STRUCTURE

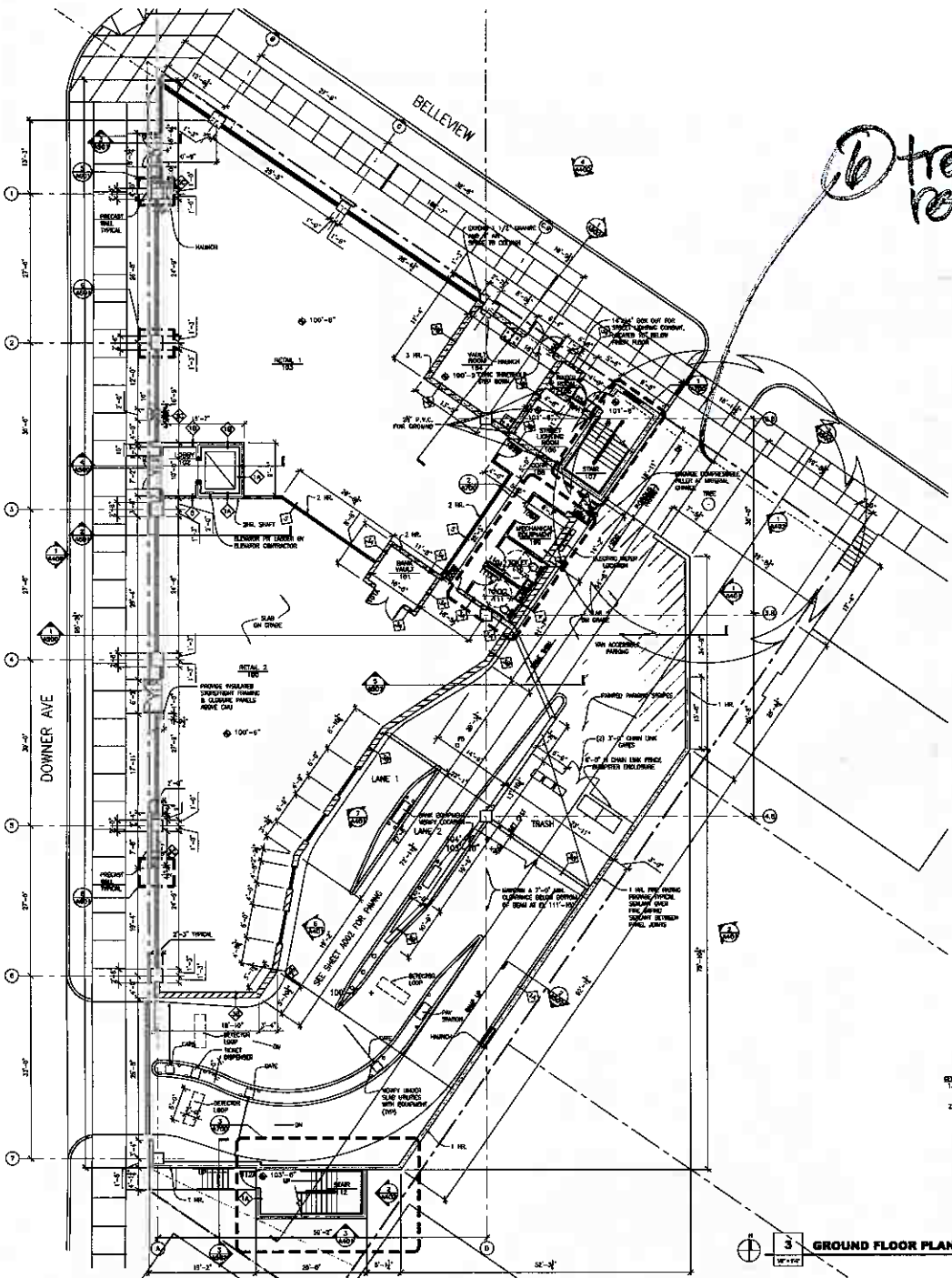
ADDRESS:
2574/2590 NORTH DOWNER AVE

REVISIONS		
TAG	DATE	BY

WSA PROJECT NO. 08-123
 SCALE: AS NOTED
 PHASE: CD
 DATE: 3.17.07

GROUND FLOOR & WALL TYPES

A200



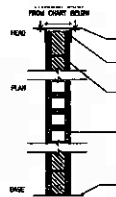
3 GROUND FLOOR PLAN

2 FIRE WALL RATING KEY

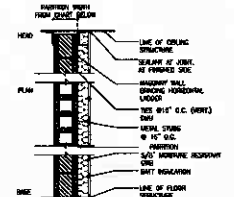


PARTITION TYPE	SPAN WIDTH METR.	PARTITION WIDTH		FIRE RESISTANCE ZONE	NOTES
		ACTUAL	NOMINAL		
1A	N/A	10'	10'	SEE PLAN	
1B	N/A	12'	12'	SEE PLAN	
1C	N/A	10'	10'	SEE PLAN	42" AFF

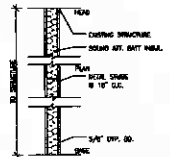
PARTITION TYPE	SPAN WIDTH METR.	PARTITION WIDTH		FIRE RESISTANCE ZONE	NOTES
		ACTUAL	NOMINAL		
2A	N/A	8'	8'	SEE PLAN	
2B	N/A	10'	10'	SEE PLAN	
2C	N/A	10'	10'	SEE PLAN	42" AFF



PARTITION TYPE	SPAN WIDTH METR.	PARTITION WIDTH		FIRE RESISTANCE ZONE	NOTES
		ACTUAL	NOMINAL		
3A	NA	3'-5/8"	8'	SEE PLAN	
3B	NA	11'-5/8"	12'	SEE PLAN	
3C	NA	8'-5/8"	8'	SEE PLAN	
3D	NA	8'-5/8"	10'	SEE PLAN	



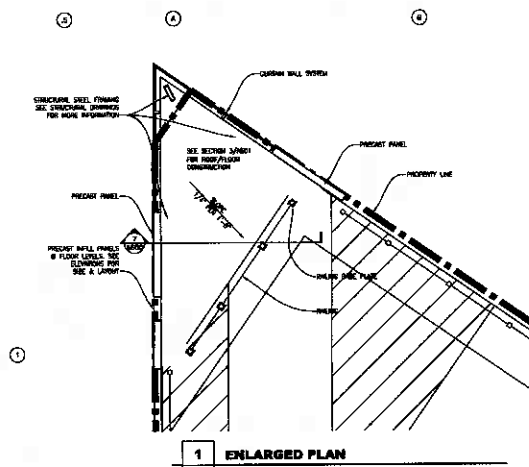
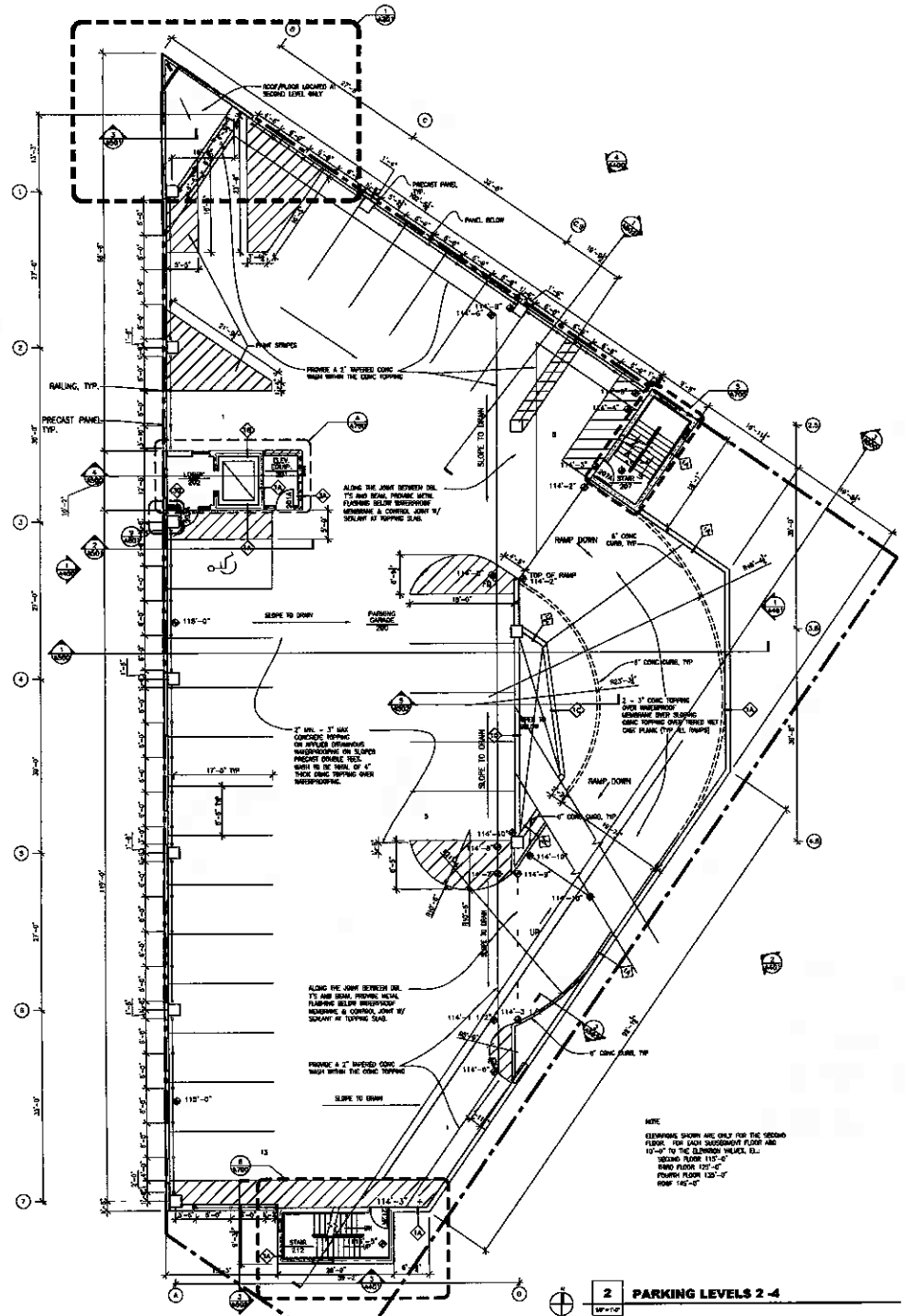
PARTITION TYPE	SPAN WIDTH METR.	PARTITION WIDTH		FIRE RESISTANCE ZONE	NOTES
		ACTUAL	NOMINAL		
4	3'-5/8"	15'-7/8"	14'	SEE PLAN	



PARTITION TYPE	SPAN WIDTH METR.	PARTITION WIDTH		FIRE RESISTANCE ZONE	NOTES
		ACTUAL	NOMINAL		
5	3'-5/8"	4'-7/8"	5'	SEE PLAN	

1 WALL TYPES

ROOM NOTES:
 1. THE CONTRACTOR SHALL COORDINATE THESE OPERATIONS WITH THE GENERAL CONTRACTOR FOR THE BUILDING.
 2. FINISH CONTROL, EQUIPMENT I.L.C. CONTRACTOR SHALL COORDINATE THESE OPERATIONS WITH THE GENERAL CONTRACTOR FOR EQUIPMENT REQUIREMENTS SHOWN FOR INTERIORS.



NOTE
 ELEVATIONS SHOWN ARE ONLY FOR THE SECOND FLOOR - FOR EACH SECOND FLOOR AND 10'-0" TO THE GROUND LEVEL. E.L. SECOND FLOOR 115'-0" SAND FLOOR 127'-0" FOURTH FLOOR 132'-0" ROOF 142'-0"

WORKSHOP

1724 BROADWAY
 PHOENIX, AZ 85016

1000 BROADWAY, 10TH FLOOR
 PHOENIX, AZ 85016

NEW LAND ENTERPRISES

PROJECT:
RETAIL & PARKING STRUCTURE

ADDRESS:
2574/2590 NORTH DOWNER AVE

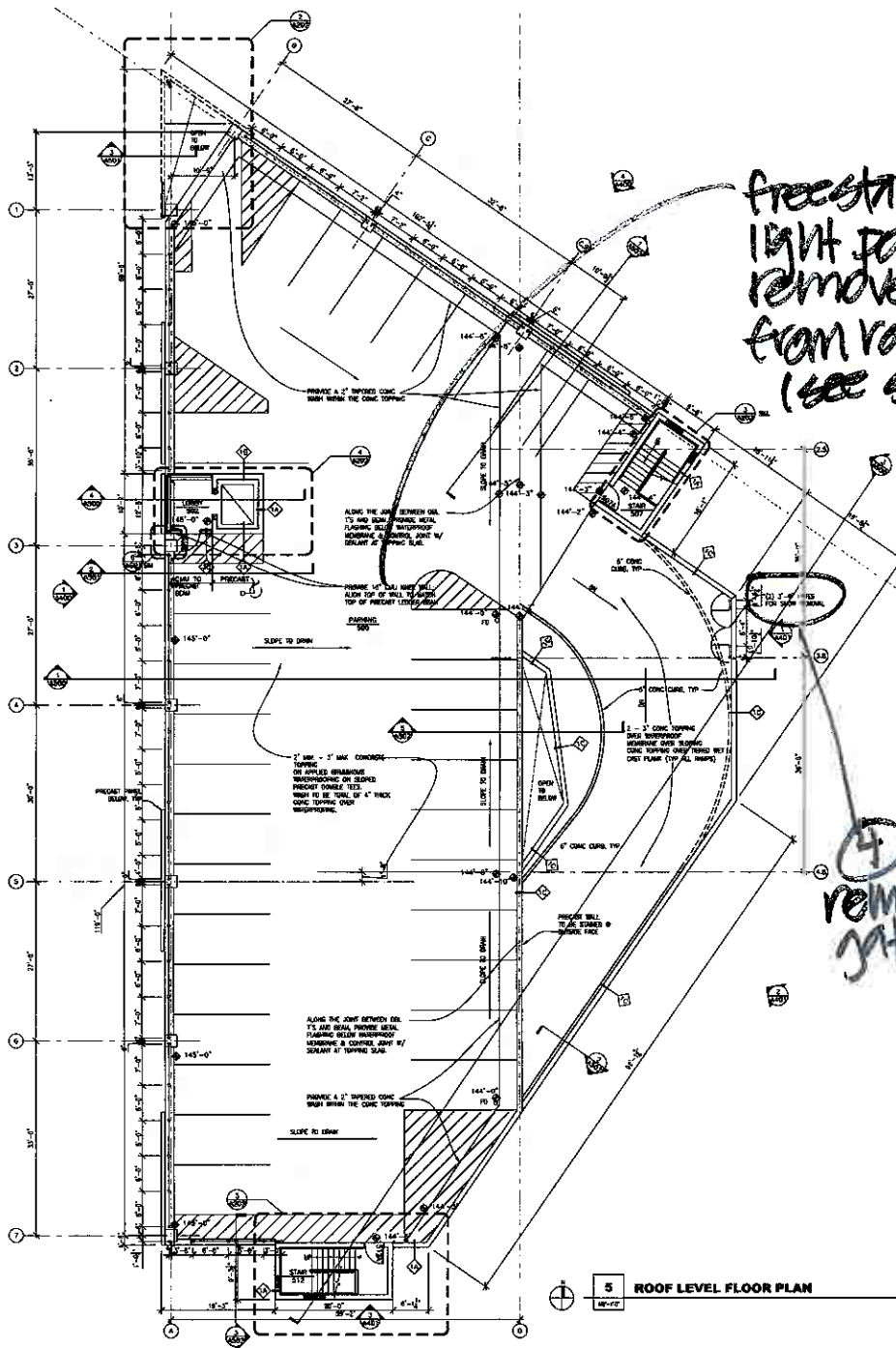
REVISIONS		
TAG	DATE	BY

WSA PROJECT NO. 09-123
 SCALE AS NOTED
 PHASE CD
 DATE 9.17.07

LEVEL 2-4 PLAN

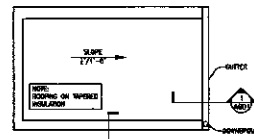
A201

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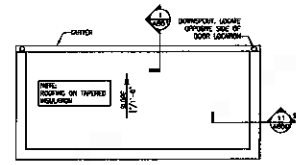


freestanding
light poles
removed
from rooftop
(see subcommittee
notes)

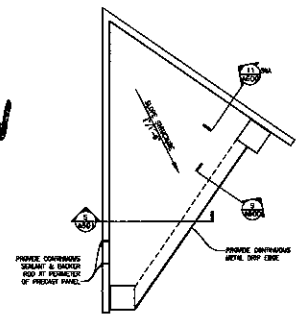
4 show
removal
joints



4 ENLARGED ROOF PLAN @ ELEVATOR



3 ENLARGED ROOF PLAN @ STAIRS



2 ENLARGED ROOF PLAN @ CORNER

1. SLOPE GUTTER TO DOWN SPOUT AT 2" PER FOOT MINIMUM.
2. DOWN SPOUTS - PRE-PANCHED ALUMINUM. COLOR TO BE DETERMINED BY ARCHITECT. SIZES OF DOWN-SPOUTS TO BE DETERMINED BY ARCHITECT. SIZES BY DESIGN TEAM.
3. GUTTERS - PRE-PANCHED ALUMINUM. COLOR TO BE DETERMINED BY ARCHITECT. SIZES BY DESIGN TEAM.
4. ROOFING CONTRACTOR: SET APPLIED UPWARDING ROOFING OF 3/4" EXTERIOR FINISHING ON METAL ROOFING. REFER TO SECTION FOR MORE DETAIL.
5. FOR ROOF DATA UNLATERATED SPACES USE INSULATION REQUIREMENTS ON FULLY FINISHED THIS ROOFING ON METAL ROOFING. REFER TO SECTION FOR MORE DETAIL.

1 GENERAL NOTES

5 ROOF LEVEL FLOOR PLAN

WORKSHOP

17269 REDWOOD ST. 16500 HAWAII, NORTH
 TORRANCE, CA 90704 FARMERSVILLE, CA 94705

NEW LAND ENTERPRISES

PROJECT:
RETAIL & PARKING STRUCTURE

ADDRESS:
2574/2590 NORTH DOWNER AVE

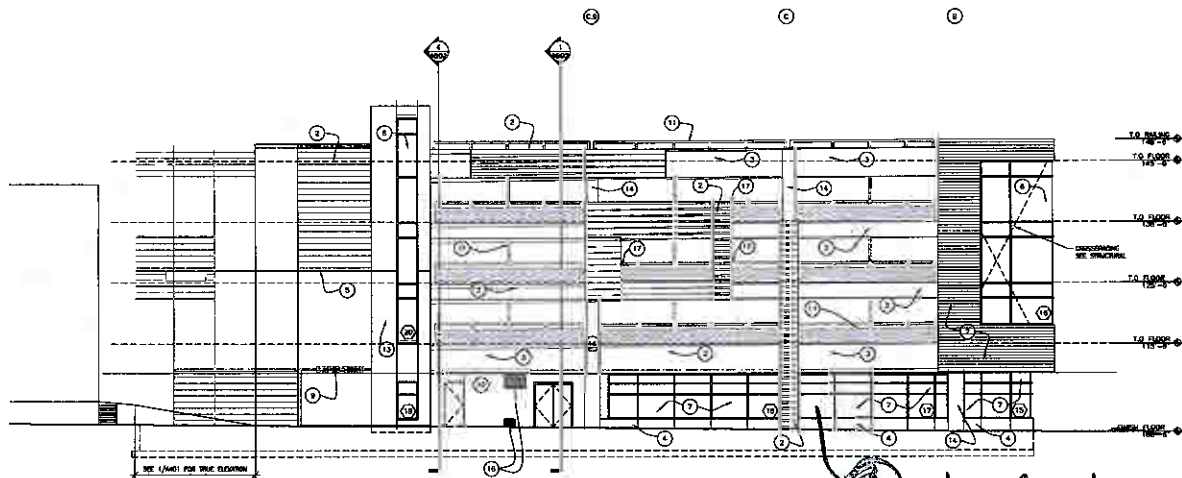
REVISIONS		
TAG	DATE	BY

WSA PROJECT NO. 06-123
 SCALE: AS NOTED
 PHASE: CD
 DATE: 8.17.07

ROOF PLAN

A202

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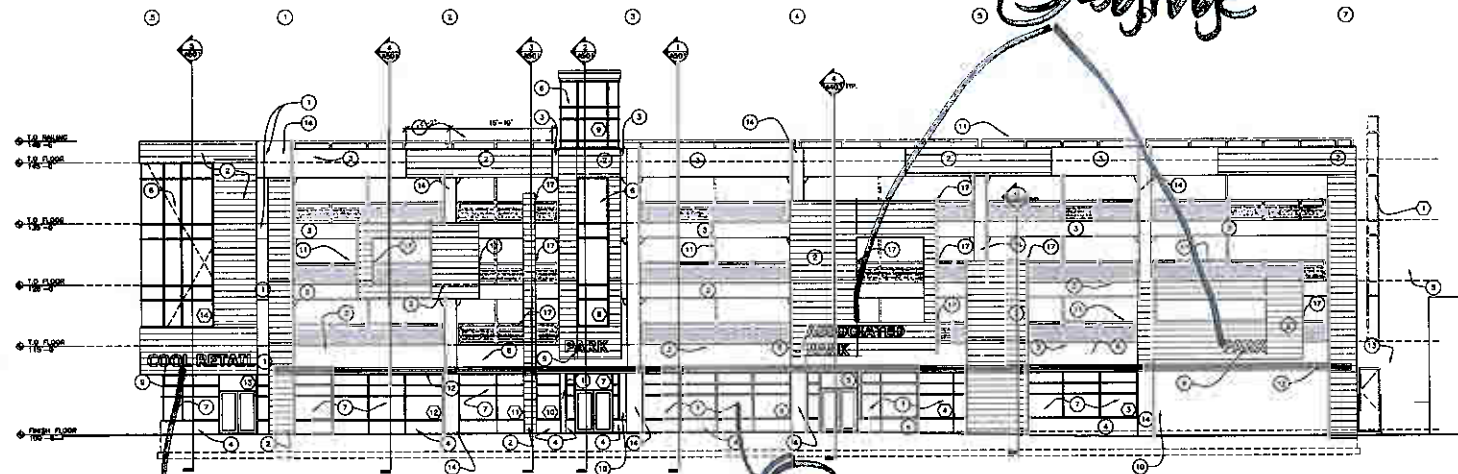
4 NORTH ELEVATION

1. PRECAST PANEL, WHITE GROUT AND EDGED
2. PRECAST PANEL WITH REVEALS, SAND BLASTED AND STAINED
3. PRECAST LEADED GLASS WHITE GROUT, ACE EDGED
4. FIN SET BLACK CHROME AT BRAC, ALLOY VERTICAL, GROUT AND VERTICAL REVEALS OF CORNERFORM GLAZING ABOVE
5. PRECAST PANEL JOINTS TO BE CONTIGUOUS WITH PRECAST CONCRETE CORNERFORM & REVEALS
6. CURTAIN WALL GLAZING SYSTEM SAME AS AT ARCHITECTURAL, BUT THROUGH PANELS SEE ARCH
7. REINFORCEMENT GLAZING AND SYSTEM BY CUR ARCHITECTURAL WITH JET STILE DOOR FOR WINDOW TYPES SEE ARCH
8. FRAMING FINISH WITH ALUMINUM FINISH, SHIMMERS FINISH BASES ON 1" SQUARE TUBE ALUMINUM FRAMING
9. ELECTRICAL CONTRACTOR TO COORDINATE PANELS FOR SIGNALING, SLIDE ELECTRIC THROUGH PRECAST CORNER FORM, SIGNALING, ETC.
10. CHAIR WITH REINFORCING BARS, FINISH COLOR TO MATCH PRECAST CONCRETE STAIR
11. METAL FRAMING, POWER COATED, COLOR SELECTED BY ARCHITECT
12. METAL FRAMING, POWER COATED, COLOR SELECTED BY ARCHITECT
13. PRECAST PANEL SAND BLASTED AND STAINED
14. WHITE GROUT PRECAST CORNER, ACE EDGED
15. METAL FRAMING, POWER COATED, WITH CHAIR COLOR SELECTED BY ARCHITECT
16. METAL FRAMING, COLOR TO MATCH ALUMINUM CHAIR, VERIFY SIZE & LOCATION WITH ARCH CONTRACTOR
17. CURTAIN WALLING SYSTEM PANEL AT LOCATIONS REVEALS, REPAIRS ONLY. SEE PLAN ON ADD.

3 MATERIAL KEY

1. ○ WINDOW TYPES, SEE ARCH
2. ○ SEE ARCH FOR PANEL TYPES
3. ○ SEE ARCH FOR WINDOW TYPES

2 GENERAL NOTES



1 WEST ELEVATION

WORKSHOP

17200 S. BROADWAY, SUITE 100, DENVER, CO 80202
 303.733.1111
 WWW.WORKSHOPARCHITECTS.COM

NEW LAND ENTERPRISES

PROJECT:
RETAIL & PARKING STRUCTURE

ADDRESS:
2574/2590 NORTH DOWNER AVE

REVISIONS		
TAG	DATE	BY

WSA PROJECT NO. 06-123
 SCALE AS NOTED
 PHASE CD
 DATE 8.17.07

ELEVATIONS

A400

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PROJECT:
RETAIL &
PARKING
STRUCTURE

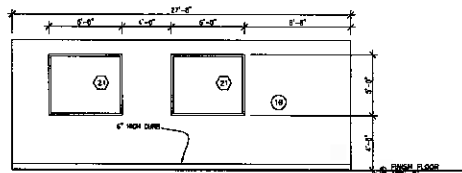
ADDRESS:
2574/2590 NORTH
DOWNER AVE

REVISIONS		
TAG	DATE	BY

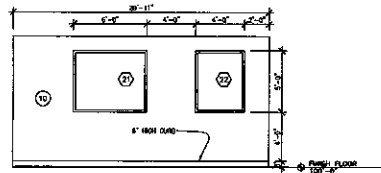
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SCALE AS NOTED
PHASE CD
DATE 8.17.07

ELEVATIONS

A401



7 DRIVE-THRU ELEVATION
1/8"=1'-0"



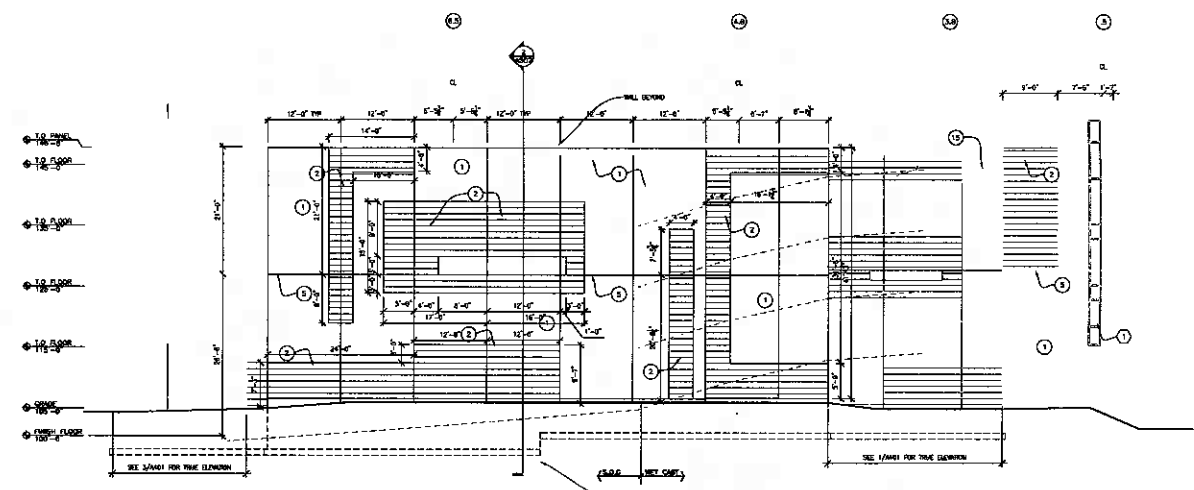
6 DRIVE-THRU ELEVATION
1/8"=1'-0"

1. WINDOW TYPES SEE A403
2. SEE A404 FOR PANEL TYPES
3. SEE A405 FOR FINISH LAYOUT

5 GENERAL NOTES
N.T.S.

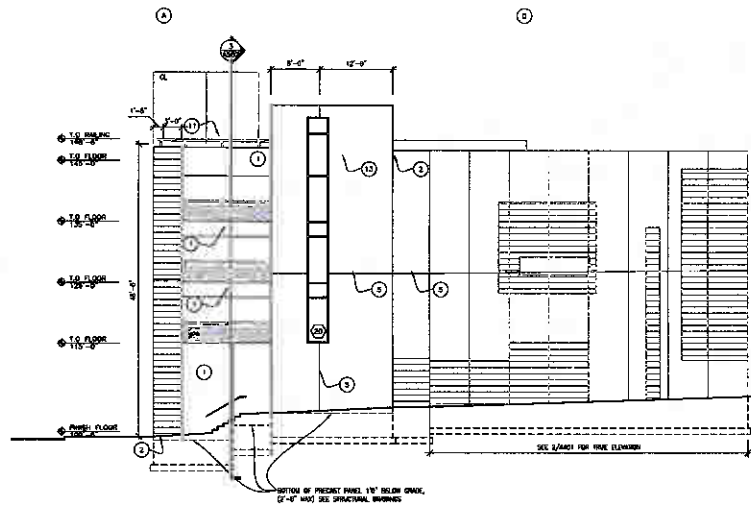
1. PRECAST PANEL, WHITE CEMENT AND STAIN
2. PRECAST PANEL WITH BOWEN, SAND BLASTED AND STAINED
3. PRECAST LEDGER BEAM, WHITE CEMENT, ACID DROCK
4. WIND SET BLACK COLORED AT GABLE, ALUM VERTICAL FINISH WITH VERTICAL RIBBING OF CORRUGATED GLASSING ANGLE
5. PRECAST PANEL EDGES TO BE COORDINATED WITH PRECAST CONCRETE CORNER & ANCHOR
6. CURTAIN WALL GLASSING SYSTEM 8000 BY CM ARCHITECTURE, FOR WINDOW TYPES SEE A404
7. EXTERIOR GLASSING AND SYSTEM BY CM ARCHITECTURE, WITH SET SWILE DOOR FOR WINDOW TYPES SEE A404
8. FABRIC FINISH WITH ALUMINUM FRAME, SANDWICH FABRIC FINISH ON 1" SQUARE TUBE ALUMINUM FRAME
9. ELECTRICAL CONNECTION TO COORDINATE POWER FOR SIGNAGE, SLIDE ELECTRIC THROUGH PRECAST LEDGER BEAM. SIGNAGE, E.L.C.
10. CHALK WITH INTERIOR DRY BLOCK, PAINTY COLOR TO MATCH PRECAST CONCRETE PANEL
11. METAL BRASS, POWDER COATED, COLOR SELECTED BY ARCHITECT
12. METAL BRASS FINISH, POWDER COATED, COLOR SELECTED BY ARCHITECT
13. PRECAST PANEL, SAND BLASTED AND STAINED
14. WHITE CEMENT PRECAST ORNAM, ACID DROCK
15. METAL BRASS, POWDER COATED, WITH CHALK, COLOR SELECTED BY ARCHITECT
16. METAL BRASS, COLOR TO MATCH BRASS CHALK, WITH CHALK, COLOR SELECTED BY ARCHITECT
17. COORDINATE FINISH BEHIND PANEL AT LOGGING AREA, REMOVE GRILL. SEE PLAN ON A401.

4 MATERIAL KEY
N.T.S.

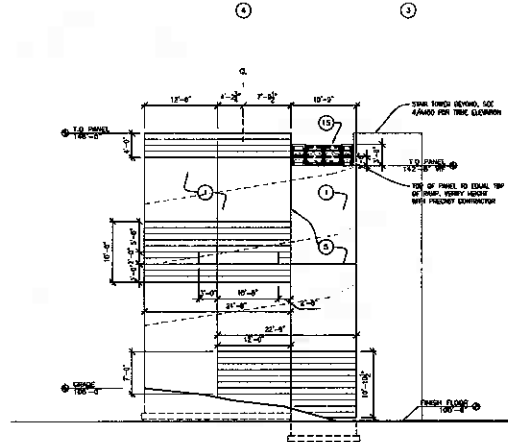


2 EAST ELEVATION
1/8"=1'-0"

5



3 SOUTH ELEVATION
1/8"=1'-0"



1 NORTHEAST ELEVATION
1/8"=1'-0"