



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/841 N Broadway/Milwaukee, WI 53202/phone 414-286-5712

**Property
Description of
work**

3133 E NEWBERRY BLVD, Lake Park Pavilion, North Point North HD
RECONFIGURE THE BACK KITCHEN AREA TO MAKE IT MORE EFFICIENT AND FUNCTIONAL. ON THE EXTERIOR IT INCLUDES AN OUTDOOR SCREENED WALK-IN COOLER/FREEZER UNDER THE NORTH SERVICE ENTRANCE ROOFED AREA, AND AN EXHAUST LOCATED WHERE AN EXISTING AIR CONDITIONER UNIT IS BEING REMOVED.

Date issued

3/16/23

PTS ID N/A

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

County will comply with the materials specs it provided, namely:

WOOD SIDING, TRIM MOLDINGS, & RAILINGS:

Paintable White Pine or Douglas Fir

- Wood Grades: Clear or #1 Common, Smooth, tight grain to match existing texture.
- Shadow-gap or shadow-line wood siding to match existing profiles.
- Trim and cornices to match existing profile and painted finish.
- Align all new finishes and profiles with existing profiles.
- Scribe new finishes and moldings around existing items (existing column bases) close with sealant

8 pages total

Additionally: All finish wood must be smooth and free of knots and must be painted, stained, or treated with an appropriate water resistant finish upon installation. Note: when new, bare wood is left exposed to the exterior elements for a period of only a week or two, the life of the coating subsequently applied to it will be decreased. The use of a naturally decay-resistant wood species for exterior finish applications is required for porch areas.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: hpc@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/lms, or call (414) 286-8210.

A handwritten signature in black ink, appearing to read "Tom Adams". The signature is fluid and cursive, with the first name "Tom" being more prominent than the last name "Adams".

City of Milwaukee Historic Preservation

Copies to: Development Center, Alderperson

PROPOSED REMODEL TO

LAKE PARK BISTRO

3133 E NEWBERRY BLVD
MILWAUKEE, WI 53211



ARCHITECTS
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PROPOSED REMODEL TO :
LAKE PARK BISTRO

3133 E NEWBERRY BLVD
MILWAUKEE, WI 53211

CLIENT
BARTOLOTTA RESTAURANTS
520 W. MCKINLEY AVE
MILWAUKEE, WI 53212

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02/03/23		DD: HCP COMMENTS

CLIENT

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ALTERNATES

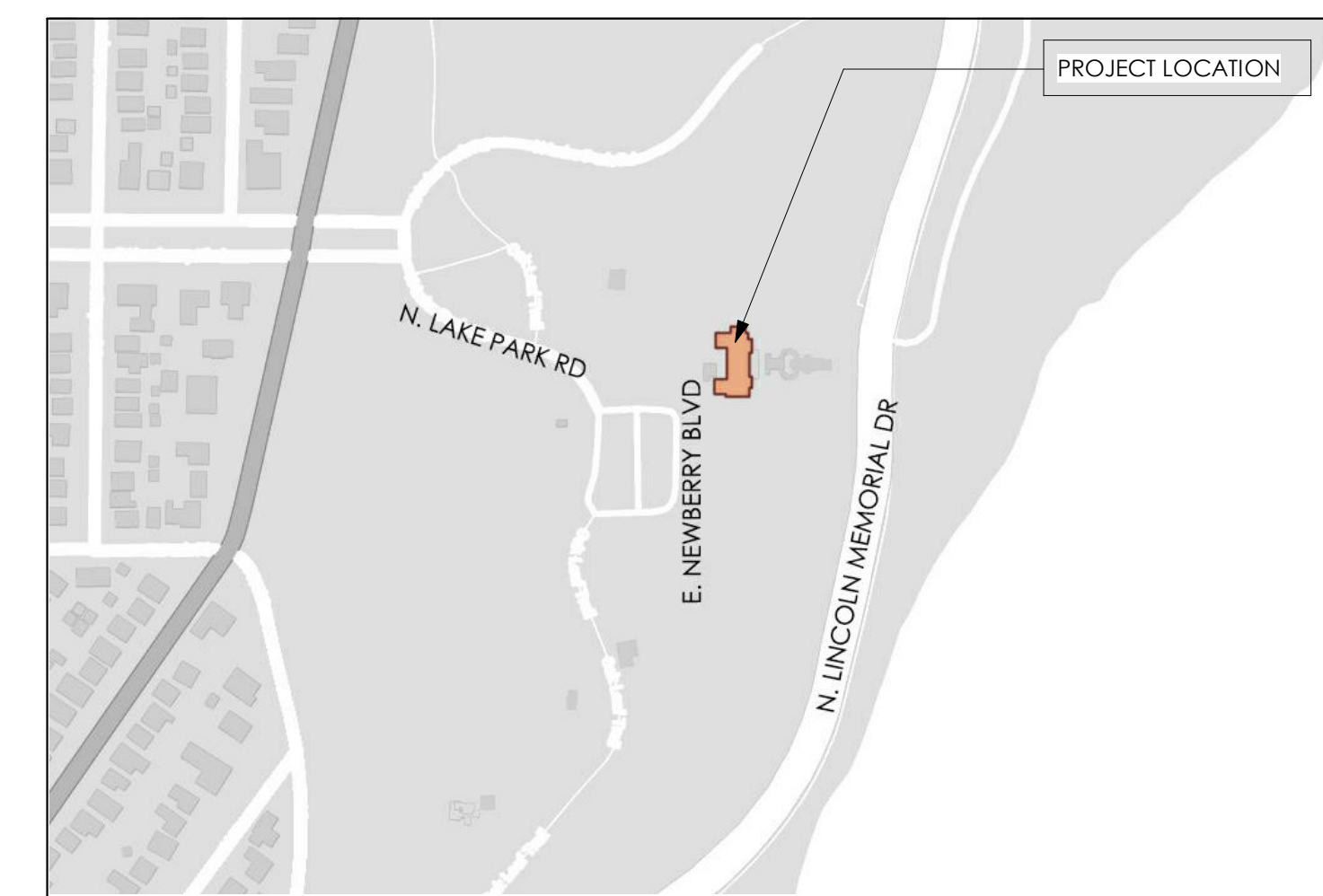
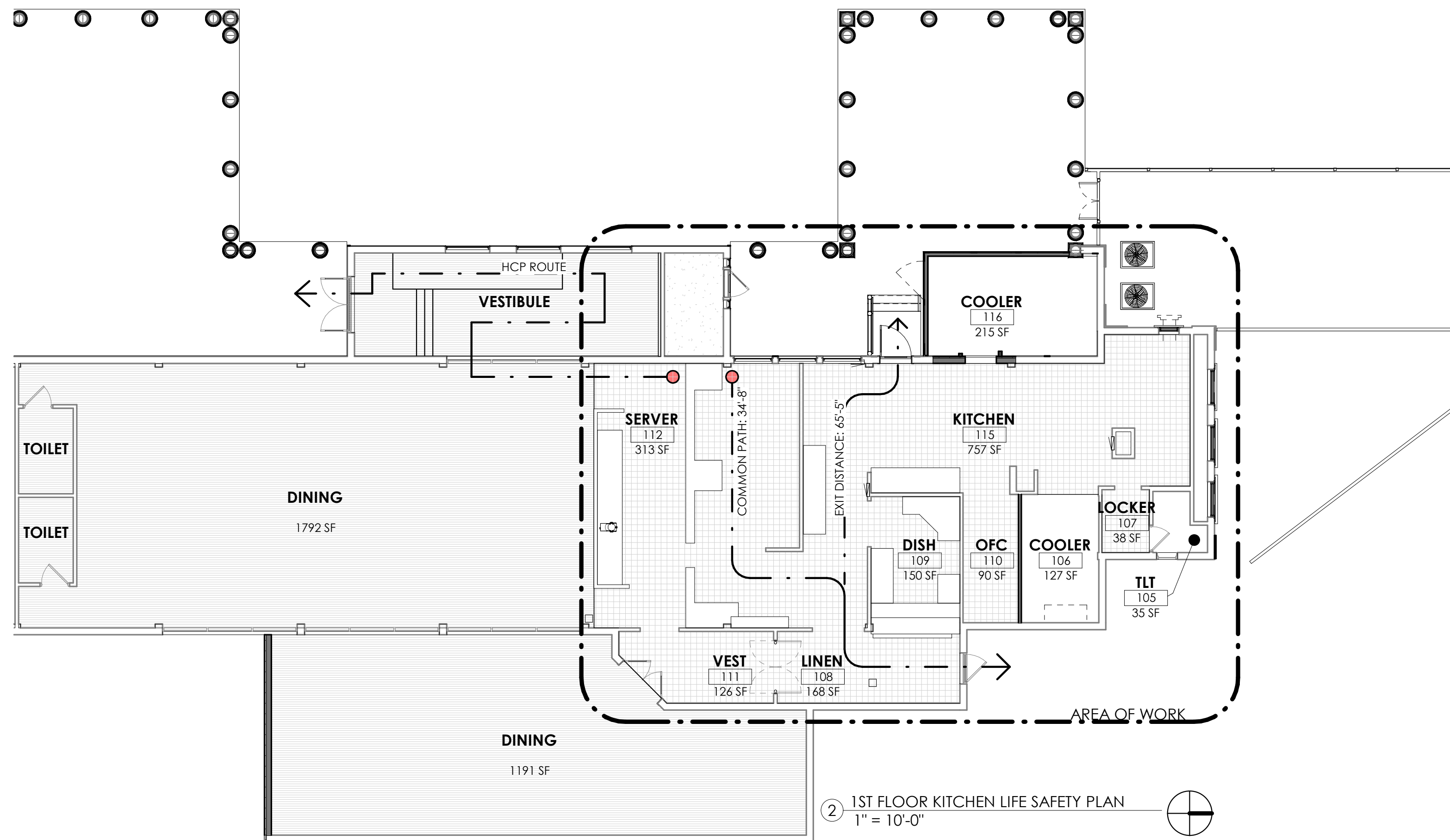
- REMOVE AND REPLACE EXISTING CONCRETE STAIR, SEE PLAN 1/A1.11.

SHEET INDEX

NO.	NAME	REV#
A0.00	TITLE SHEET	
A0.51	DEMO 1ST FLOOR PLAN	
A1.11	1ST FLOOR PLAN	
A4.00	EXTERIOR ELEVATIONS	
A5.00	BUILDING SECTIONS	
RO.01	REFERENCE PERSPECTIVES	

CODE ANALYSIS IBC 2015 IBC 2015

PROPERTY ADDRESS:	3133 E. NEWBERRY BLVD MILWAUKEE, WI 53211		
OCCUPANCY CLASSIFICATION:	A2	EGRESS WIDTH:	
(IBC 303)		(IBC 1005)	OTHER EGRESS COMP. REQ'D: 2'-4"
CLASS OF CONSTRUCTION:	V8	MIN EXIT WIDTH PROVIDED:	34" CLEAR
(IBC 602.5)		COMMON PATH OF EGRESS TRAVEL:	75'-0"
ALTERATION LEVEL:	2 - HISTORIC BLDG	EXIT TRAVEL DISTANCE:	200'-0"
(IEBC)		(IBC 1017.2)	
FIRE PROTECTION:	NOT SPRINKLERED	PLUMBING FIXTURES REQUIRED (PROVIDED):	
(NFPA 13)		(IBC TABLE 2902.1)	
PROJECT BUILDING AREAS:		WATER CLOSETS:	3 (3)
NUMBER OF STORIES:	1	LAVATORIES:	3 (3)
EXISTING BUILDING, GROSS:	6,264 SF	SERVICE SINK:	1 (1)
PROPOSED ALTERATION:	1,913 SF		
PROPOSED ADDITION:	283 SF		
TOTAL (ALLOWABLE):	6,547 SF (7,500 SF)		
FRONTAGE INCREASE:	1,500 SF		
(IBC 506.3)			
PERIMETER OPEN SPACE/PUBLIC WAY:	50%		
BUILDING PERIMETER:	402'-0"		
OCCUPANT LOAD:	12 PERSONS		
(IBC TABLE 1004.1.2)			
AREA OF WORK, BACK OF HOUSE:	2,575 SF		
FIRE RESISTANCE RATINGS REQ'D, IIB:			
(IBC TABLE 601)			
STRUCTURAL FRAME:	0 HOURS		
EXTERIOR BRG. WALLS:	0 HOURS		
INTERIOR BRG. WALLS:	0 HOURS		
INTERIOR NON-BRG. WALLS:	0 HOURS		
FLOOR CONSTRUCTION:	0 HOURS		
ROOF CONSTRUCTION:	0 HOURS		



GENERAL NOTES

1. ALL CONSTRUCTION WORK SHALL BE DONE IN STRICT COMPLIANCE W/ THE ADA AND THE LATEST EDITION OF THE STANDARD BUILDING CODE AS AMENDED BY THE APPLICABLE STATE, AND ALL OTHER CODES AND BUILDING REQUIREMENTS WHICH APPLY, AS WELL AS, MEET ALL APPLICABLE STANDARDS. IN INSTANCES WHERE SEVERAL DIFFERENT STANDARDS ARE APPLICABLE, THE STRICTEST STANDARD SHALL APPLY UNLESS PROHIBITED BY APPLICABLE CODES.

2. GENERAL CONTRACTOR TO SUPPLY ALL SUBCONTRACTORS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL ADDITIONAL DRAWINGS AND SPECIFICATIONS REQUIRED FOR PERMITS TO BE SUPPLIED BY CONTRACTOR AND SUBCONTRACTORS.

3. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK. THE GENERAL CONTRACTOR IS TO VERIFY EXISTENCE OF ASBESTOS-CONTAINING MATERIAL (ACM) AND IS RESPONSIBLE FOR REMOVAL OF SUBSTANCE. GENERAL CONTRACTOR REPRESENTS THAT CONTRACTOR AND ITS EMPLOYEES ARE QUALIFIED IN ASBESTOS REMOVAL WITH FULL KNOWLEDGE OF AND COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL RULES, REGULATIONS, AND GUIDELINES GOVERNING ASBESTOS REMOVAL. CONTRACTOR MUST FURNISH ALL PERMITS, LABOR, MATERIAL SERVICES, INSURANCE, TOOLS, EQUIPMENT, AND NOTIFICATIONS IN ACCORDANCE WITH EPA, OSHA, STATE, AND ALL OTHER APPLICABLE AGENCIES TO COMPLETE REMOVAL OF ACM.

4. BIDDING CONTRACTORS AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE APPLICABLE CONSTRUCTION DOCUMENTS. DISCREPANCIES IN THE EXISTING FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF THE BID. FAILURE TO DO SO ON THE PART OF THE CONTRACTOR DOES NOT RELIEVE SAID CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE A CORRECT AND FINISHED PRODUCT.

5. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION/DEVELOPMENT RELATED FEES, INCLUDING BUT NOT LIMITED TO BUILDING PERMIT FEES, HEALTH DEPARTMENT FEES, SEWER AND WATER TAP FEES, ENVIRONMENTAL IMPACT FEES, ETC. THE SELECTED QUALIFIED BIDDER WILL BE REQUIRED TO PROVIDE A COMPLETE LINE-ITEM LIST OF ALL FEES INCLUDED IN HIS BID AND SUBSTANTIATE HOW HE ARRIVED AT THOSE AMOUNTS.

6. GENERAL CONTRACTOR SHALL PAY FOR ALL UTILITIES, (INCLUDING TELEPHONE, FAX, AND MODEM LINES) USED DURING THE CONSTRUCTION PERIOD UNTIL SUCH TIME THAT THE OWNER/TENANT TAKES OCCUPANCY.

7. GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR A DUMPSTER AND TEMPORARY TOILET FACILITIES (IF TOILET FACILITIES ARE NOT ALREADY ON SITE) FOR HIS AND HER SUBCONTRACTORS USE.

8. GENERAL CONTRACTOR SHALL KEEP THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY BASIS.

9. GENERAL CONTRACTOR'S EMPLOYEES AND SUBCONTRACTORS SHALL PICK UP AND DISPOSE OF DEBRIS ON A DAILY BASIS, INCLUDING ALL ACCESS AREAS.

10. OWNER SHALL NOT BE RESPONSIBLE FOR TOOLS OR MATERIALS STOLEN OR DAMAGED ON SITE.

11. UPON THE COMPLETION OF WORK, GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE & OUTSIDE OF ALL WINDOWS SO THAT THE SPACE IS READY FOR OCCUPANCY BY OWNER/TENANT. THIS INCLUDES VACUUMING, SWEEPING, DUSTING, AND PICKING UP ALL THE TRASH AND DEBRIS LEFT FROM CONSTRUCTION.

12. GENERAL CONTRACTOR SHALL WARRANTY ALL PARTS, LABOR, EQUIPMENT AND MATERIAL PROVIDED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR, OR AS REQUIRED BY LAW, WHICHEVER IS GREATER.

13. NO SUBSTITUTIONS ARE ALLOWED FOR PRODUCTS WITH A SPECIFIC MANUFACTURER AND MODEL NUMBER UNLESS APPROVED BY OWNER AND ARCHITECT.

14. SUBMIT ANY SHOP DRAWINGS FOR REVIEW BY GENERAL CONTRACTOR FIRST THEN ARCHITECT SECOND.

15. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES SUCH AS: SANITARY AND STORM SEWER, WATER, NATURAL GAS AND ELECTRICAL LINES. CONTRACTOR SHALL VERIFY EXISTING ELECTRICAL SERVICE AND SHALL PROVIDE ADDITIONAL SERVICE AS REQUIRED.

16. MATERIALS SPECIFIED BY THEIR BRAND NAMES ARE TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED FOR APPROVAL TO OWNER AND ARCHITECT.

17. ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER REQUIREMENTS.

18. DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS A PART OF THE WORK OF THE CONTRACTOR.

19. ALL WOOD TRIM OR OTHER PRE FINISHED ITEMS SHALL BE TRIMMED TO FIT AND RAW EXPOSED SURFACES SHALL BE STAINED AND FINISHED TO MATCH.

20. ALL DIMENSIONS ARE TO THE FACE OF GYPSUM BOARD (U.N.O.) OR FINISHED MATERIAL OR CENTER LINE OF OBJECT AS SPECIFICALLY NOTED. CONTRACTOR IS RESPONSIBLE FOR LOCATING STUD WALLS ACCORDINGLY.

21. ALL WOOD BLOCKING AND BACKING MATERIALS SHALL BE FIRE RETARDANT TREATED WHEN REQUIRED BY CODE.

22. ALL FINISH MATERIALS SHALL BE CLASS A FLAME SPREAD RATED IN PUBLIC AREAS.

23. GENERAL CONTRACTOR ACCEPTS DELIVERIES OF ALL ITEMS NOTED ON PLANS, WHETHER OR NOT IN CONTRACT, AND IS RESPONSIBLE FOR THE LOSS/DAMAGE OF THESE ITEMS. ADDITIONALLY, GENERAL CONTRACTOR IS TO RECEIVE, UNPACK, INSPECT AND VERIFY QUANTITY, AND CONDITION OF FOIC ITEMS. CONTRACTOR IS TO NOTIFY OWNER OF ANY DISCREPANCIES IN QUANTITY, AND MATERIAL DAMAGE. FAILURE TO DO SO PLACES RESPONSIBILITY FOR ALL ITEMS ON THE GENERAL CONTRACTOR.

24. UPON COMPLETION OF WORK, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RETURN OF ALL MASTER KEY ORIGINALS OR SHALL PAY EXPENSES REQUIRED TO RE-KEY BUILDING.

25. ALL FINISH MATERIALS TO BE PER FINISH SCHEDULE.

26. GIVE ALL SURPLUS PAINT MATERIALS TO OWNER/OWNER/TENANT. DO NOT POUR PAINT DOWN DRAIN, CATCH BASINS, OR IN LANDSCAPING.

27. ALL GYPSUM WALL BOARD TO BE MIN. OF 5/8" THICK AND SHALL BE SCREWED TO MIN. 2 1/2" METAL STUDS OR 1 1/2" METAL FURRING @ 24" O.C.. ALL GWB SURFACES TO BE PAINTED SHALL BE TAPED AND SANDED TO A LEVEL 5 FINISH PER ASTM C-840 AND FREE OF ANY DEFECTS PRIOR TO PAINT APPLICATION. ALL GWB SURFACES THAT SHALL BE CONCEALED BEHIND PANELS OR ABOVE THE CEILING SHALL BE LEVEL 2 PER ASTM C-840.

28. APPLICATION OF MATERIALS BY A SUBCONTRACTOR TO EXISTING SURFACES OR PROVIDED UNDER THIS CONTRACT, SHALL IMPLY ACCEPTANCE AND SUITABILITY OF EXISTING CONDITIONS. SUCH SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE AND IRREGULARITIES TO HIS WORK PRODUCT AS A RESULT OF PREVIOUS CONDITIONS.

29. INSTALL INSULATION IN WALLS U.N.O. ALL THERMAL INSULATION SHALL COMPLY WITH STANDARD BUILDING CODE. AS A MINIMUM, VAPOR BARRIERS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPMENT NOT TO EXCEED 450 OR BETTER AS REQUIRE BY CODE. OCCUPANCY AND CONSTRUCTION TYPE. ONE PERM VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM SIDE IN ALL WALLS AND CEILINGS AS REQUIRED.

30. PROVIDE DRAFT/FIRE STOPS AS REQUIRED BY GOVERNING CODES AND OFFICIALS.

31. GENERAL CONTRACTOR TO PROVIDE MECHANICAL AND ELECTRICAL AS-BUILTS, ALL WARRANTIES, AND OPERATING MANUALS, TO LANDLORD, OWNER/TENANT WITHIN TWO (2) WEEKS OF COMPLETION OF WORK.

32. PLUMBING, ELECTRICAL, AND HVAC SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED. THE ABOVE SUBCONTRACTORS SHALL OBTAIN THEIR OWN PERMITS.

33. PROVIDE SMOKE DETECTORS, FIRE SPRINKLER SYSTEMS, AND FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL'S AND CODE REQUIREMENTS.

34. PROVIDE AND INSTALL ALL REQUIRED CEILING MOUNTED EXIT SIGNS ABOVE ALL REQUIRED EXITS.

35. ALL FURNITURE, FIXTURES, EQUIPMENT ARE TO BE PROVIDED BY THE OWNER/TENANT UNLESS NOTED.

36. PROVIDE ALL "HANDICAP" RELATED SIGNAGE AS REQUIRED PER APPLICABLE CODES AND LAWS.

PROJECT NUMBER 22-024
START DATE 04/12/2022
DRAWN BY REW
CHECKED BY SMM
SCALE As indicated

TITLE SHEET
A0.00

KEYNOTES-DEMO FIRST FLOOR PLAN	
DA-CLR	REMOVE EXISTING COOLER.
DA-DR	REMOVE EXISTING DOOR. EXISTING FRAME TO REMAIN.
DA-EQP	RELOCATE EXISTING EQUIPMENT - SEE EQUIPMENT PLAN 2/A.1.11
DA-FLR	REMOVE ALL FINISH FLOORING IN WORK AREA.
DA-FLRS	REMOVE ALL DAMAGED STRUCTURAL SUBFLOOR AS NECESSARY IN WORK AREA - SEE STRUCTURAL.
DA-RAIL	REMOVE EXISTING RAILING.
DA-SOG	AUGER FOR NEW SONOTUBE FOUNDATIONS. SEE STRUCTURAL.
DA-WALL	REMOVE EXISTING WALL AS INDICATED. COORDINATE EXTENTS OF DEMOLITION WITH PLANS AND STRUCTURAL DRAWINGS.
DM-AC	REMOVE EXISTING AC UNIT.



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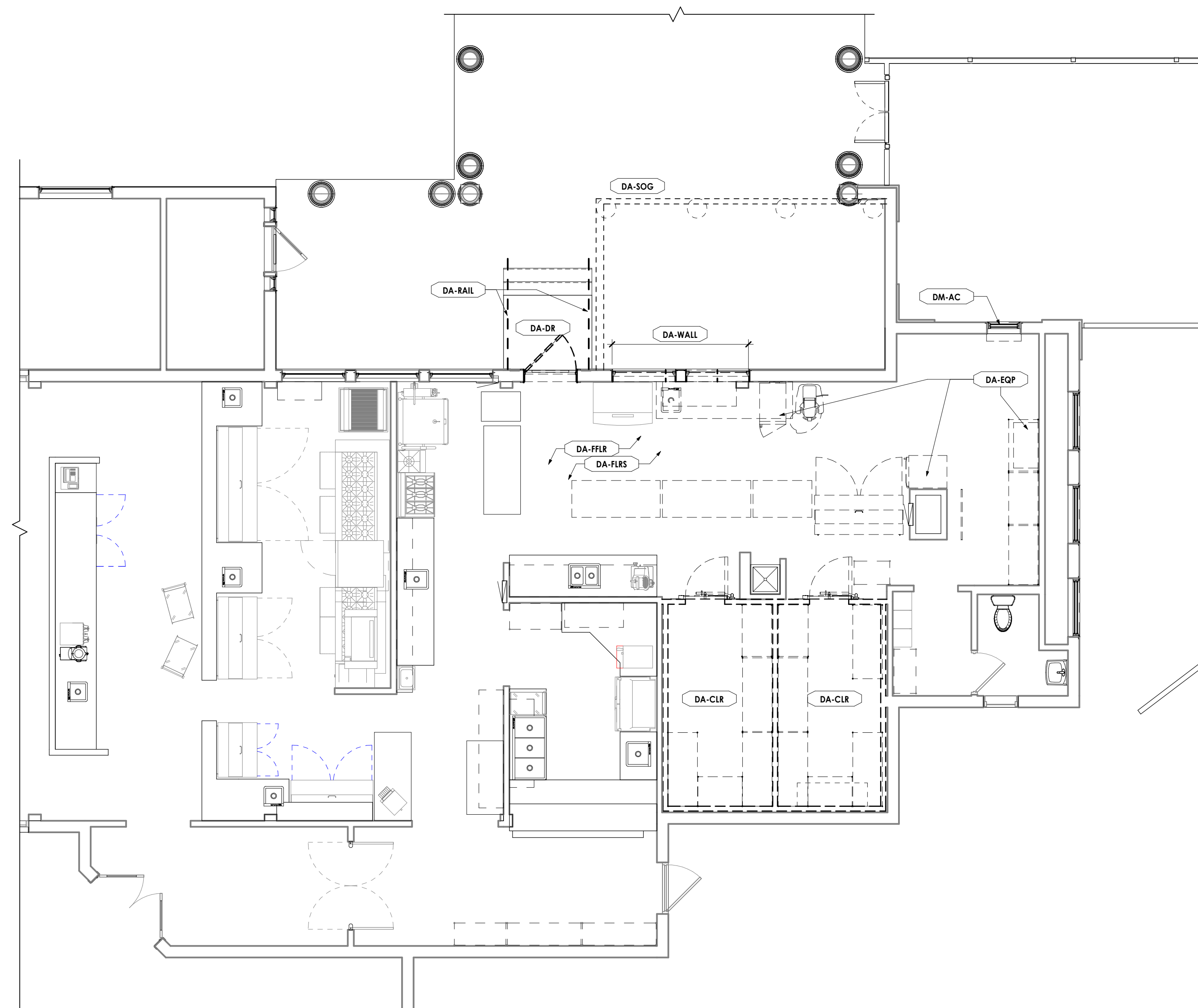
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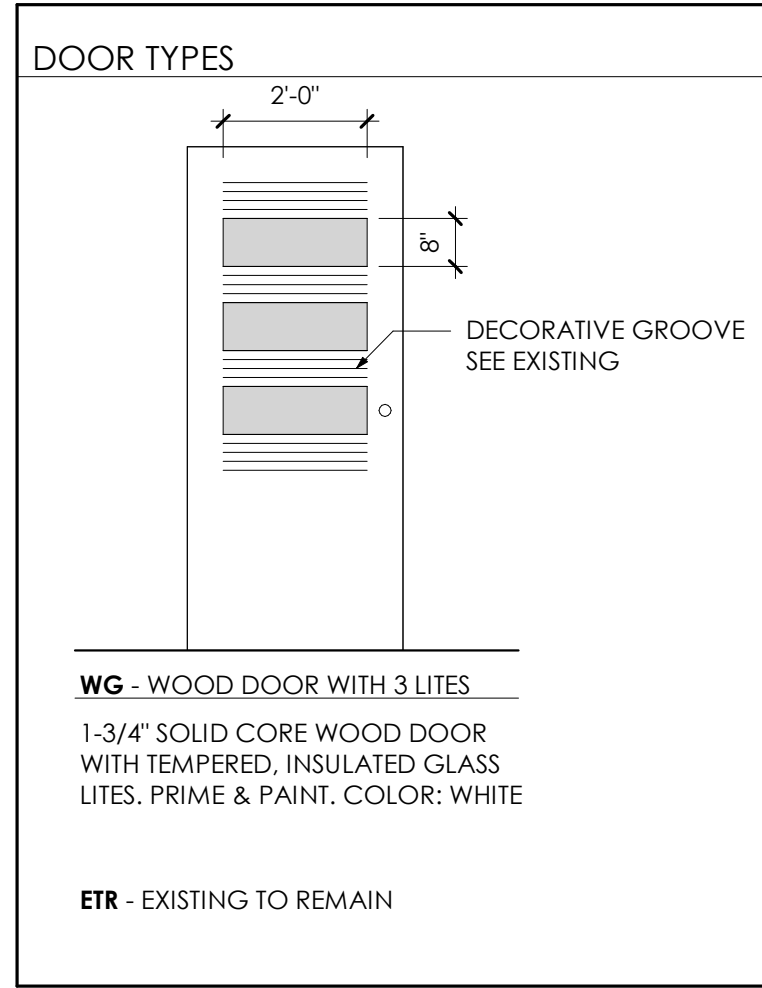
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DRAWN BY Author
CHECKED BY Checker
SCALE 3/16" = 1'-0"

DEMO 1ST FLOOR PLAN

A0.51



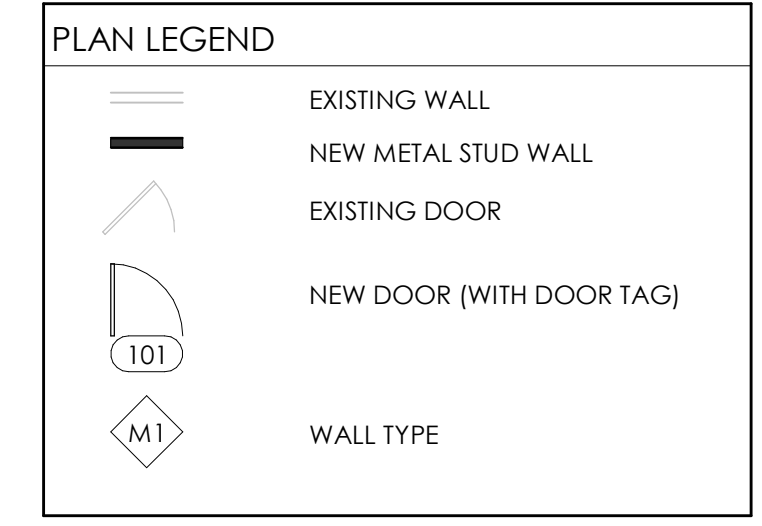
1 DEMO 1ST FLOOR PLAN
3/16" = 1'-0"



DOOR SCHEDULE

MARK	ROOM NAME	DOOR						FRAME		
		HEIGHT	WIDTH	TYPE	MATERIAL	FINISH	GLAZING	HDWR	TYPE	MATERIAL
115	KITCHEN	6'-8"	3'-6"	WG	WD	PAINT	2'-0" x 8" (3)		ETR	

NOTE: GC TO VERIFY ALL DOOR DIMENSIONS



KEYNOTES-FIRST FLOOR PLAN

A-RAIL/W FURNISH & INSTALL NEW WOOD RAILING. SEE ELEVATIONS AND PERSPECTIVES

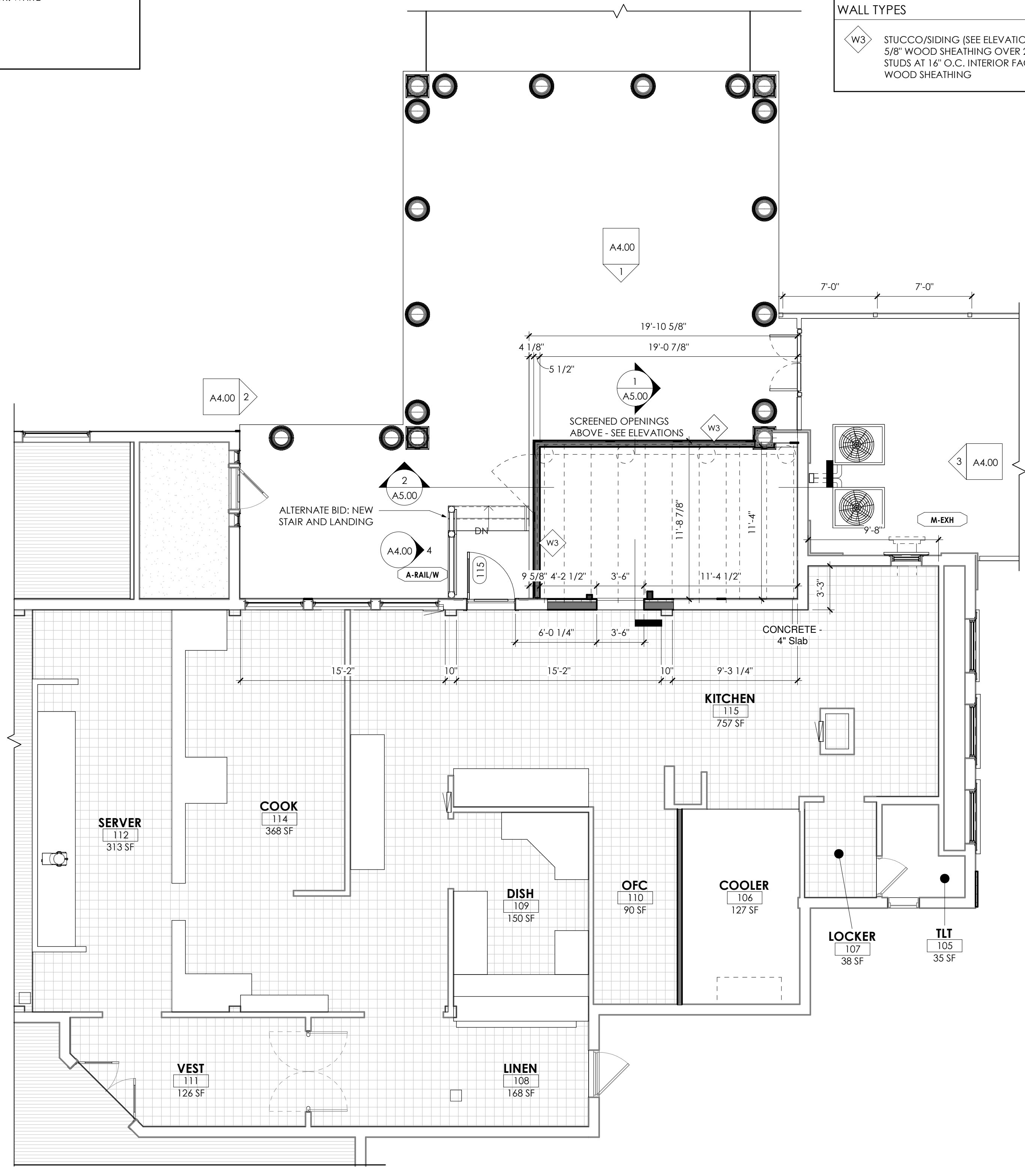
M-EXH FURNISH & INSTALL NEW HOOD AND EXHAUST

WALL TYPES

W3 STUCCO/SIDING (SEE ELEVATIONS) OVER 5/8" WOOD SHEATHING OVER 2x4 WOOD STUDS AT 16" O.C. INTERIOR FACE: 5/8" WOOD SHEATHING



② 1ST FLOOR EQUIPMENT PLAN
3/16" = 1'-0"



① 1ST FLOOR PLAN
3/16" = 1'-0"



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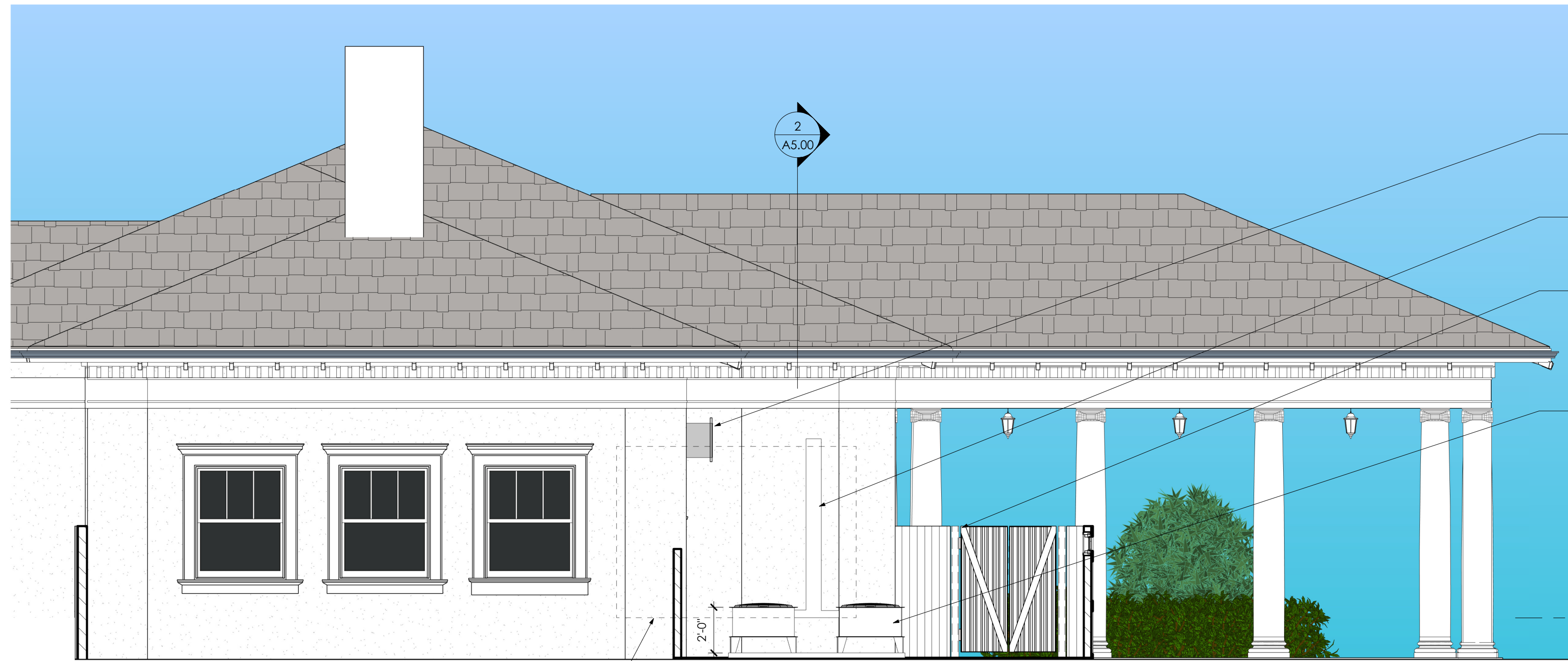
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CHECKED BY ---
SCALE As indicated

1ST FLOOR PLAN
A1.11



5 3D View 2

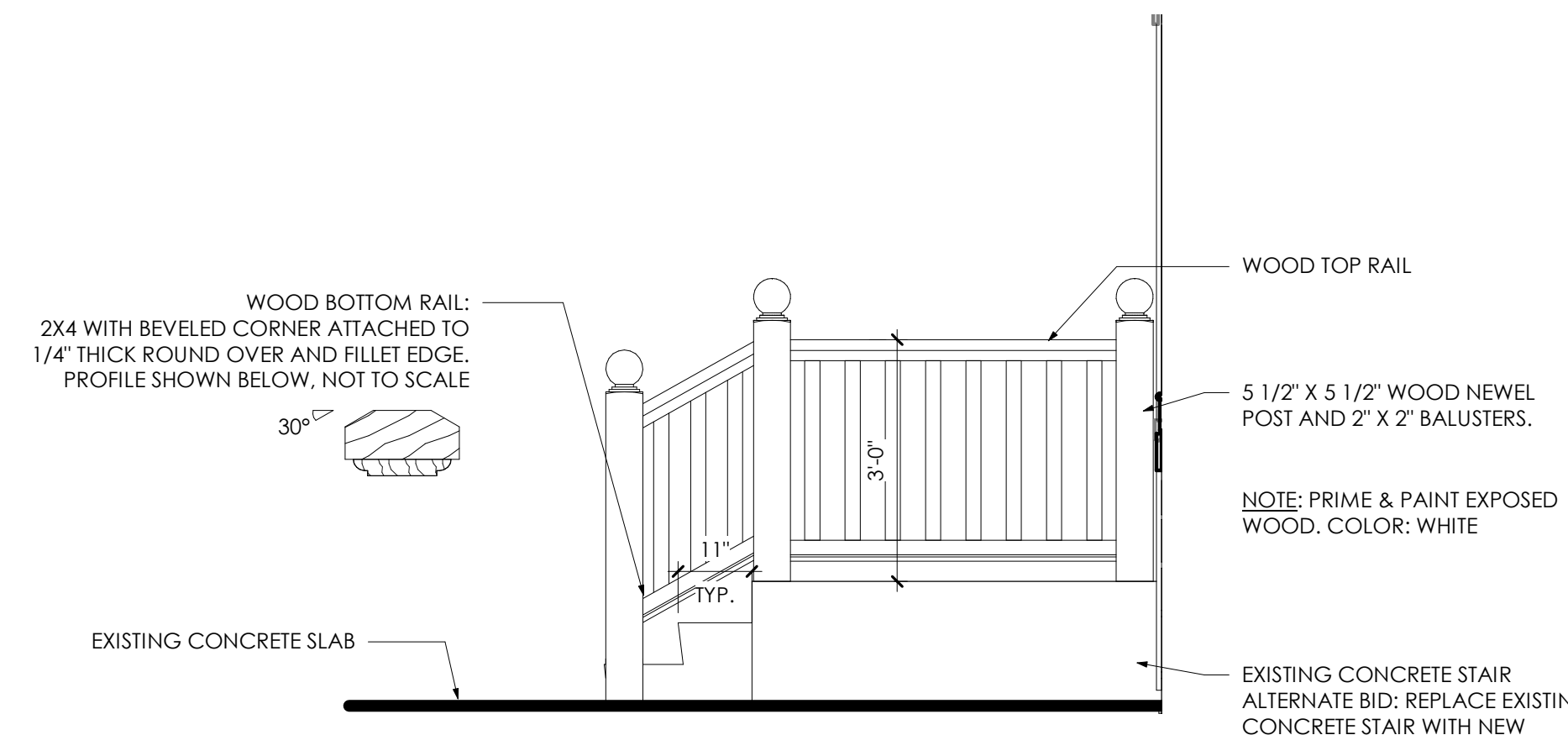


WALK-IN COOLER/FREEZER BEHIND EXISTING WALL

3 NORTH ELEVATION
1/4" = 1'-0"

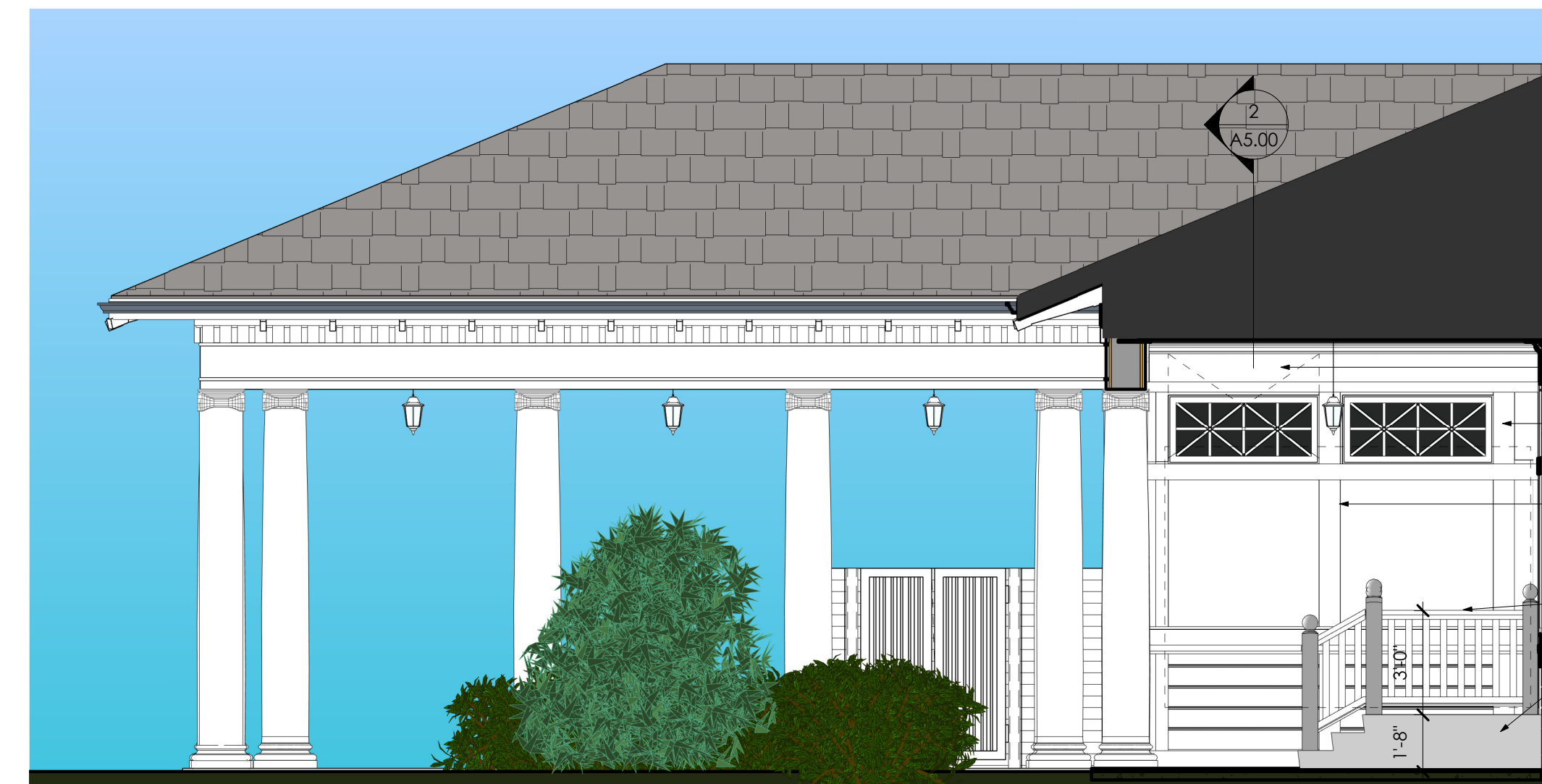
- EXHAUST BY HVAC - INFILL OPENING AROUND DUCT WITH WOOD PANEL EXTERIOR. SEALANT ALL AROUND.
- REFRIGERATION LINES METAL COVER
- EXISTING FENCE BEYOND
- COOLER/FREEZER CONDENSING UNIT

FLOOR 1
100'-0"



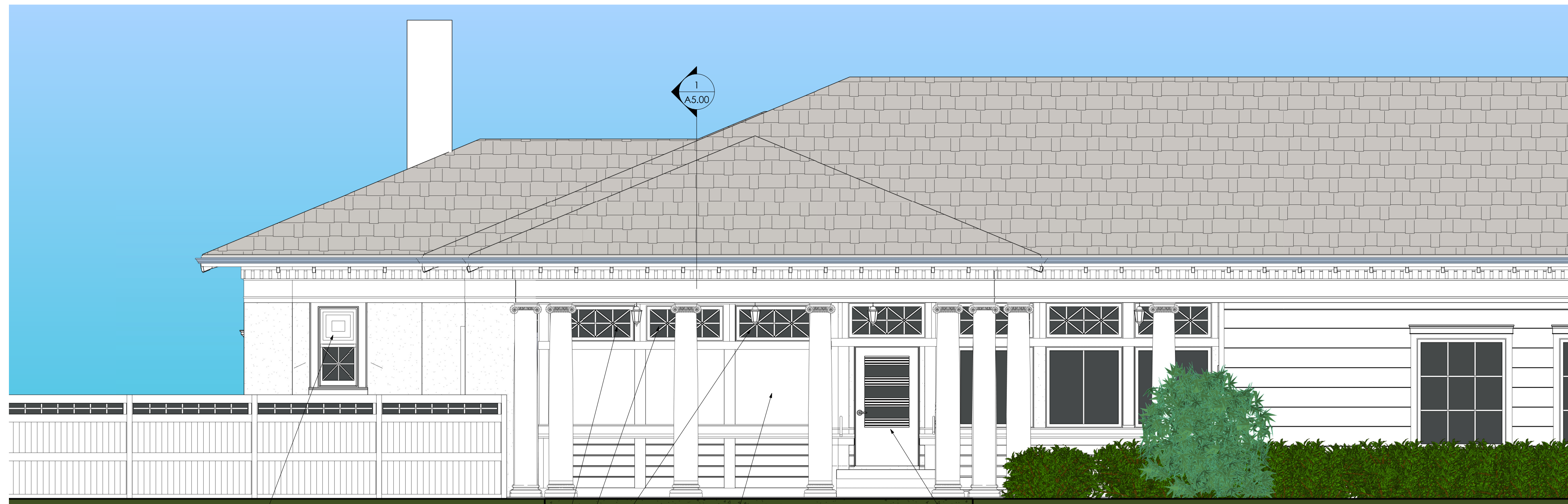
4 ELEVATION AT NEW RAILING
1/2" = 1'-0"

- WOOD TOP RAIL
- WOOD BOTTOM RAIL: 2X4 WITH BEVELED CORNER ATTACHED TO 1/4" THICK ROUND OVER AND FILLET EDGE. PROFILE SHOWN BELOW, NOT TO SCALE
- 5 1/2" X 5 1/2" WOOD NEWEL POST AND 2" X 2" BALUSTERS.
- NOTE: PRIME & PAINT EXPOSED WOOD. COLOR: WHITE
- EXISTING CONCRETE SLAB
- EXISTING CONCRETE STAIR ALTERNATE BID: REPLACE EXISTING CONCRETE STAIR WITH NEW



2 SOUTH - ELEVATION
1/4" = 1'-0"

- REMOVABLE ACCESS PANEL
- WINDOW TRIM TO MATCH EXISTING - PAINTED WHITE
- TRIM TO MATCH EXISTING - PAINTED WHITE
- WOOD RAILINGS - PAINTED WHITE. SEE 4/A4.00
- ALTERNATE: CONC. STAIR



1 WEST ELEVATION
1/4" = 1'-0"

- RECTANGULAR EXHAUST BY HVAC - INFILL OPENING AROUND DUCT WITH WOOD PANEL EXTERIOR. CAULK ALL AROUND. PRIME & PAINT. COLOR TO MATCH ADJACENT TRIM.
- OPEN AIR WOOD FRAMED OPENINGS WITH MUNTINS TO MATCH WINDOWS WITH SCREENS - PAINTED WHITE. FILL OPENINGS WITH HEAVY DUTY MESH INSECT SCREEN SET IN STOPS
- NEW SCREEN WALL TO MATCH EXTG: - T&G WOOD SIDING - PAINTED WHITE - WD TRIM & SILL - PAINTED WHITE - STUCCO TO MATCH TEXTURE AND COLOR - PAINTED WHITE
- NEW 3 LITE WOOD DOOR IN EXISTING FRAME WITH MATCHING DETAILING - PAINTED WHITE



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EXTERIOR ELEVATIONS
A4.00

EXTERIOR PAINT

PART 1 - GENERAL REQUIREMENTS

- The work includes preparation and painting with a three (3) coat system (one (1) primer coat and two (2) finish coats) of exterior exposed materials and surfaces of all exterior wooden surfaces and finishes.
- Paint as used herein means all coating systems materials, including primers, emulsions, enamels, sealers, and other applied materials used as a primer or finish coating.
- A three (3) coat system refers to a three (3) coat application of paint at the required mil thickness for each coating applied, as specified by the manufacturer.
- Paint all exposed surfaces whether or not colors are designated, except where the natural (unpainted) finish of the materials is obviously intended and specifically noted as a surface not to be painted. Where items or surfaces are not specifically mentioned, paint these areas the same as adjacent areas or material.

PART 2 - SITE CONDITIONS

- Do not apply material when temperature of surface and surrounding areas is below 50 degrees F, unless otherwise permitted by manufacturer's instructions.
- Do not apply paint in snow, rain, fog, or mist; or when the relative humidity exceeds 85%; or to damp or wet surfaces. The moisture content of the surfaces to be painted must be 13% or less.
- All manufacturers' printed instructions are to be followed.
- All materials safety data sheets are to be available and copies kept on site until completion.
- All personnel using materials are to be familiar with information contained within, and proper safety precautions are to be followed.
- All materials will be delivered to the site in their original containers bearing manufacturer's label and instructions.
- All materials on site shall comply with fire safety standards.
- All waste products to be removed from the site daily and the site cleaned to original condition upon completion of project.
- The site shall be kept clean and free of debris, paint chips, and all equipment; the work area shall be cleaned in an orderly fashion before work completion daily.
- If erected, scaffolding will remain in place until the completion of the job, and removed within one week of accepted completion of the work.

PART 3 - SEQUENCE OF SURFACE PREPARATION TREATMENT SHALL BE AS FOLLOWS:

- NOTE: If lead is suspected, do not attempt to scrape, sand, power wash, use heat gun, etc., but rather contact a qualified lead assessment and abatement contractor.

General procedures:

- Perform preparations and cleaning procedures in strict accordance with manufacturer's instructions and as herein specified, for each substrate condition.
- Scrape with hand tools all surfaces exhibiting areas of loose or peeling paint, and areas of adhesion failure. Feather all rough edges with sandpaper to provide a smooth transition between paint layers and substrate. As it is imperative that the substrate be free of all marks from sanding and tools, a disc sander will not be considered. Orbital sanders may be used, following agreement by the owner, so long as little removal of existing substrate results.

Clean surfaces of dirt and mildew by the following methods:

- A commercially-prepared wash solution, to be applied by handheld compression tank sprayer, or by hand with a natural brush. All areas to be treated must be thoroughly rinsed with clean water before proceeding further. Surfaces must be allowed to dry at least 48 hours before any material application.
- The use of tri-sodium-phosphate (TSP) or other products containing phosphates or sodium [soluble salts] is forbidden.
- Power washing is not permitted.

Bare wood treatment- weathered and/or dry exposed:

- If an application of wood consolidant is necessary prior to an application of patching materials or paint, use Castal Seep-n-Seal or approved equal.

Rotted and deteriorated areas:

- Retain as much original fabric as possible. If wood consolidant must be applied use West System Resin 105 and Hardener 205, Group B or approved equivalent. Apply per manufacturer's directions. In areas to be filled and repaired use of a phenolic microballoon epoxy system and fairing compound is preferred. Patched areas are to be tooled to original appearance. All holes, cracks, and penetrations where water might invade must be treated.

PART 4 - PRIMING SURFACES

- Apply paint in accordance with manufacturer's directions. Materials to be applied by method best suited for application: brush, roller, or spray. All paint to be finished by brush application.
- Apply each paint coat at not less than recommended spreading rate to provide the dry film mil thickness specified by the manufacturer for each paint coating.
- Allow at least 24 hours dry time before proceeding with any additional paint application. Coating failure may result by application of additional paint over non-dry film.
- Apply additional paint coating where undercoats, stains, or other conditions show through paint film, until uniform finish color is achieved.
- New wood - all sides (especially end grain) to receive prime coat application prior to installation or fabrication of structure. All wood to be installed with ground contact will be treated with wood preservative.
- Caulking - all joints or gaps around doors, windows, or siding where water invasion may occur are to be filled with Benjamin Moore Elastomeric 465 01 Caulk, or an approved equivalent, not to be applied until primer coating is applied and allowed to dry a minimum of 24 hours.

PART 5 - FINISH PAINT

- Use premium quality exterior 100% acrylic latex paint. Color match the existing paint color.
- Upon completion of previous treatments, inspect all surfaces prior to paint application. Lightly sand rough or fuzzed areas. Care should be taken not to expose substrate or repriming will be necessary.
- Apply first finish paint coat according to manufacturer's directions; film thickness as per material specifications. Upon completion of coat, inspect all surfaces and allow to dry before additional coating.
- Apply additional paint coating where undercoats, stains, or other conditions show through paint film, until uniform finish color is achieved.
- Apply second finish paint coat according to manufacturer's directions; film thickness as per material specifications. Upon completion of coat, inspect all surfaces and allow to dry before additional coating.
- Apply additional paint coating where undercoats, stains, or other conditions show through paint film, until uniform finish color is achieved.

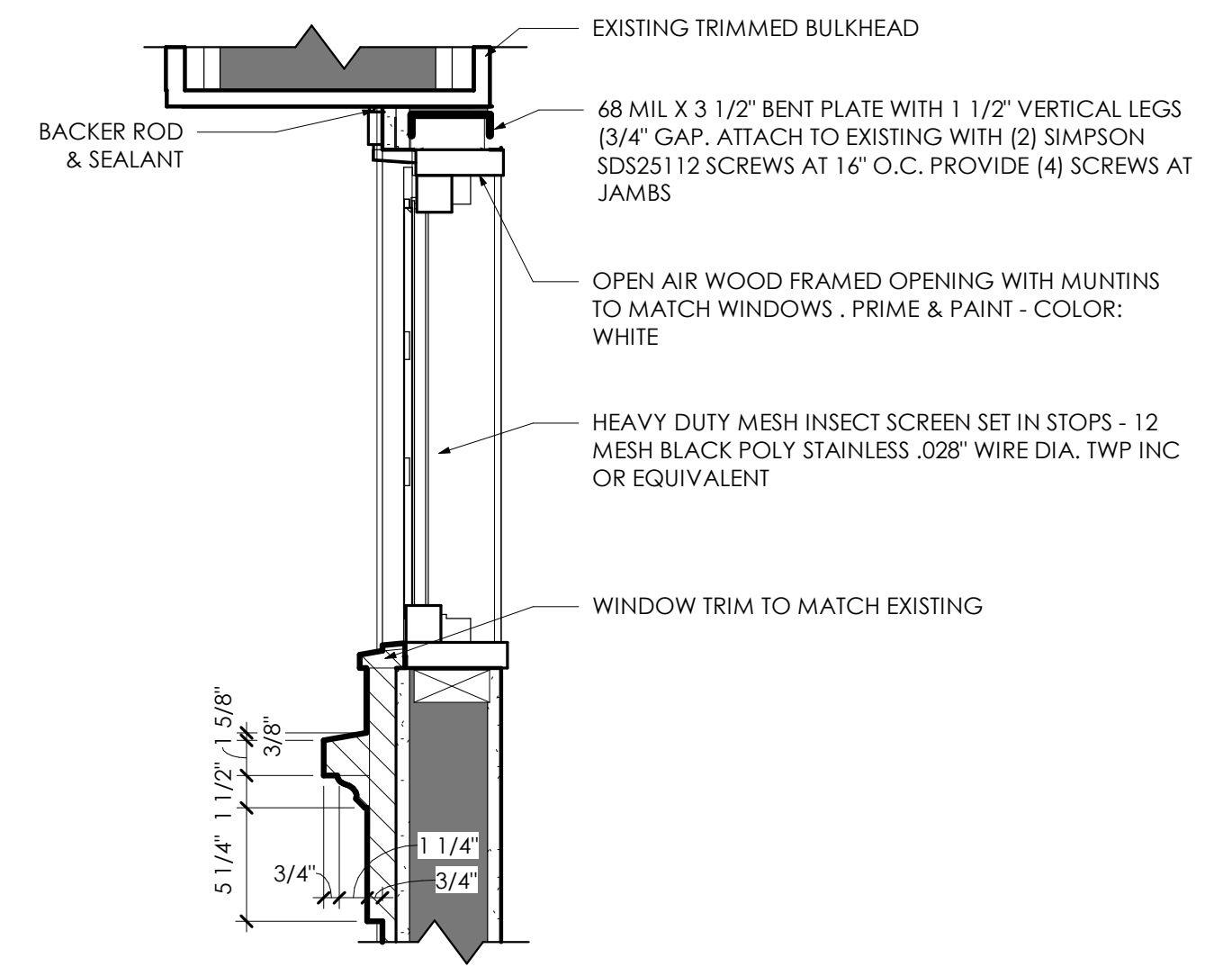
SEALANTS

- General Requirements: Use sealants which are known by manufacturer's published data to be fully compatible with installation conditions and adjacent materials.

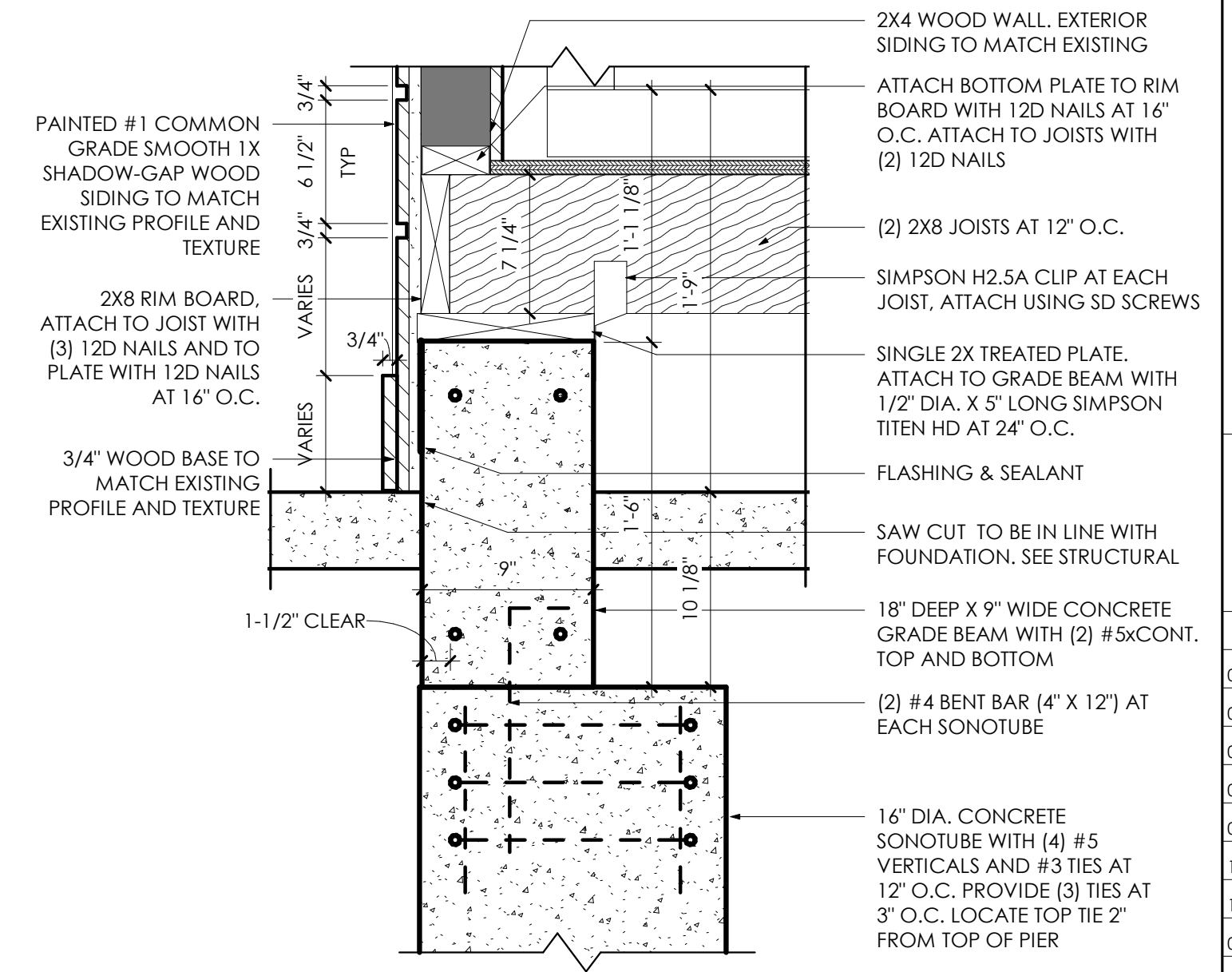
- **Materials:**
 - Use mildew resistant silicon rubber sealant for interior applications subject to attack by mildew, including but not limited to sink rims, showers and plumbing fixtures.
 - Use acrylic latex caulk for interior non-moving joints to be painted.
 - DO NOT USE WAX BASED SEALANTS
- **Preparation:** Prepare surfaces and install sealant according to the sealant manufacturer's instructions.
- **Installation:** A. Sealant is required between dissimilar materials, including but not necessarily limited to metal to concrete or wood to concrete or metal, wood to masonry, and masonry to metal. This shall include perimeter joints, around all sides of door frame and sidelight and all penetrations sound attenuation partitions.
 - Examine substrate; report unsatisfactory conditions in writing. Beginning work means acceptance of substrates.
 - Provide sealants in colors as selected from manufacturer's standards.
 - Install materials and systems in accordance with manufacturer's instructions and approved submittals. Clean and prime joints, and install bond breakers, backer rods and sealant as recommended by manufacturers.
 - Depth shall equal width up to 1/2" wide; depth shall equal 1/2 width for joints over 1/2" wide.
- **Cure and protect sealants** as directed by manufacturers. Replace or restore damaged sealants. Clean adjacent surfaces to remove spillage.

WOOD SIDING, TRIM MOLDINGS, & RAILINGS:

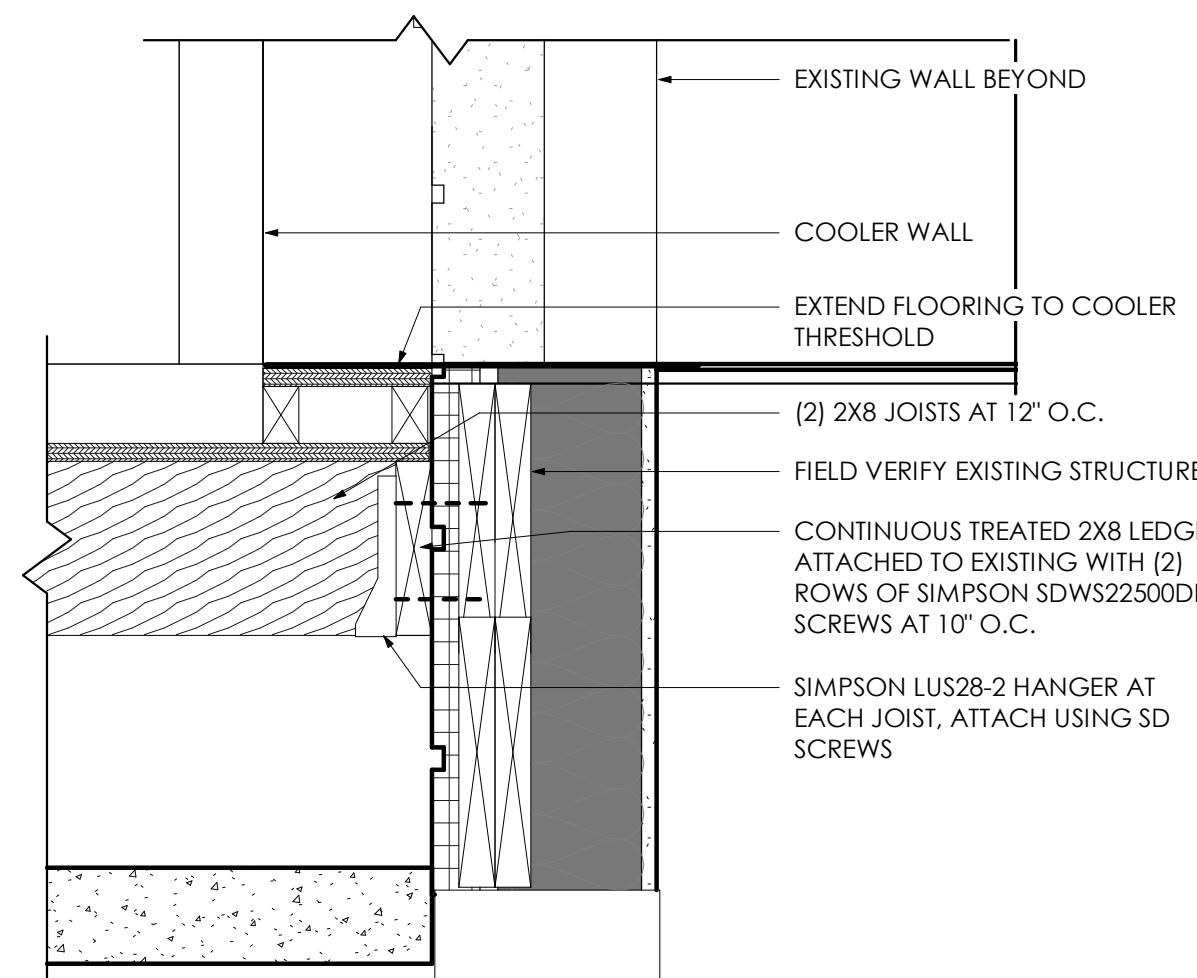
- Paintable White Pine or Douglas Fir
- Wood Grades: Clear, #1 Common, Smooth, tight grain to match existing texture.
- Shadow-Gap or shadowline wood siding to match existing profiles.
- Trim and cornices to match existing profile and finish.
- Align all new finishes and profiles with existing profiles.
- Scribe new finishes and moldings around existing items (existing column bases) close with sealant



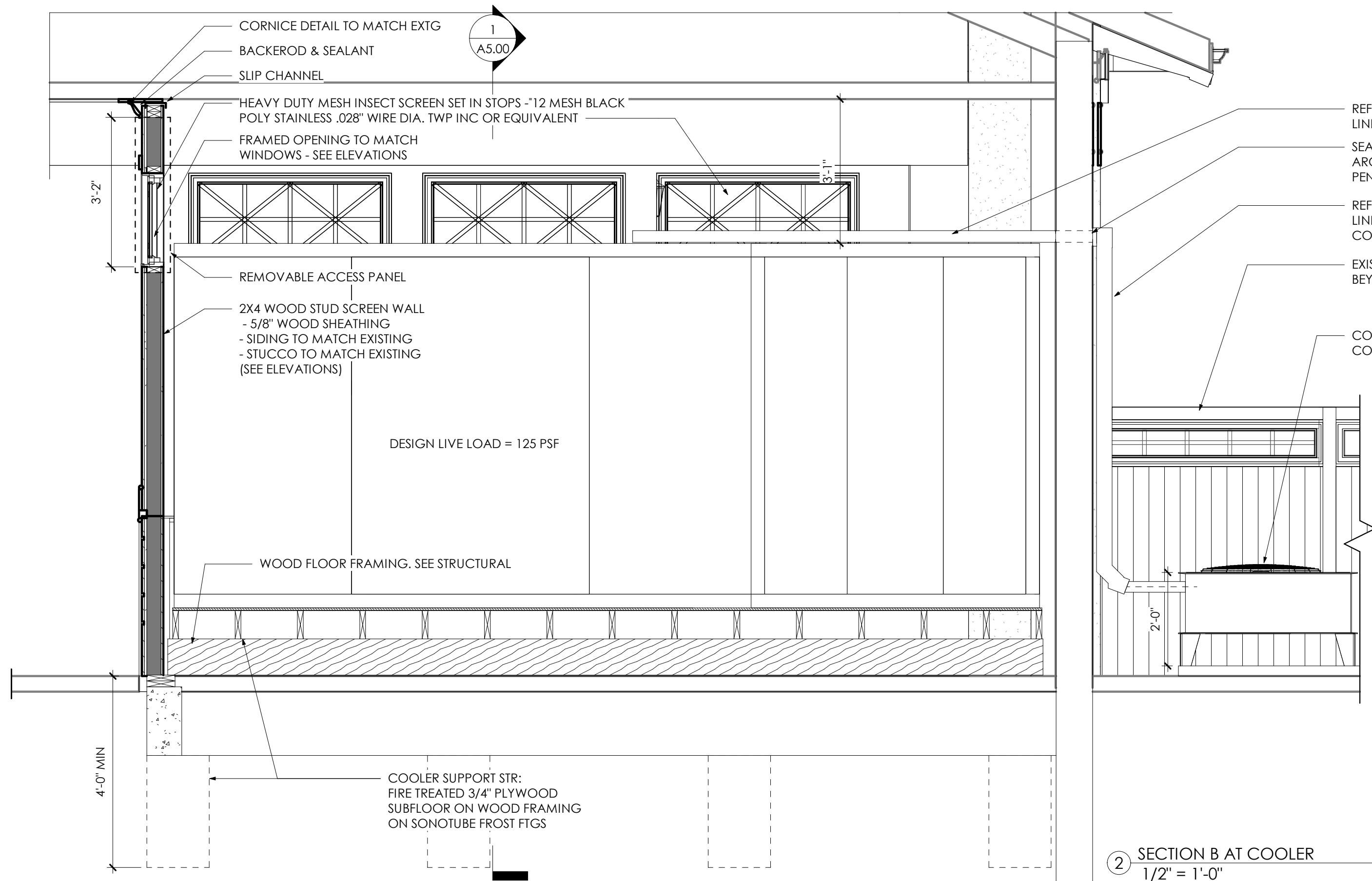
4 DETAIL AT INSECT SCREENS
1 1/2" = 1'-0"



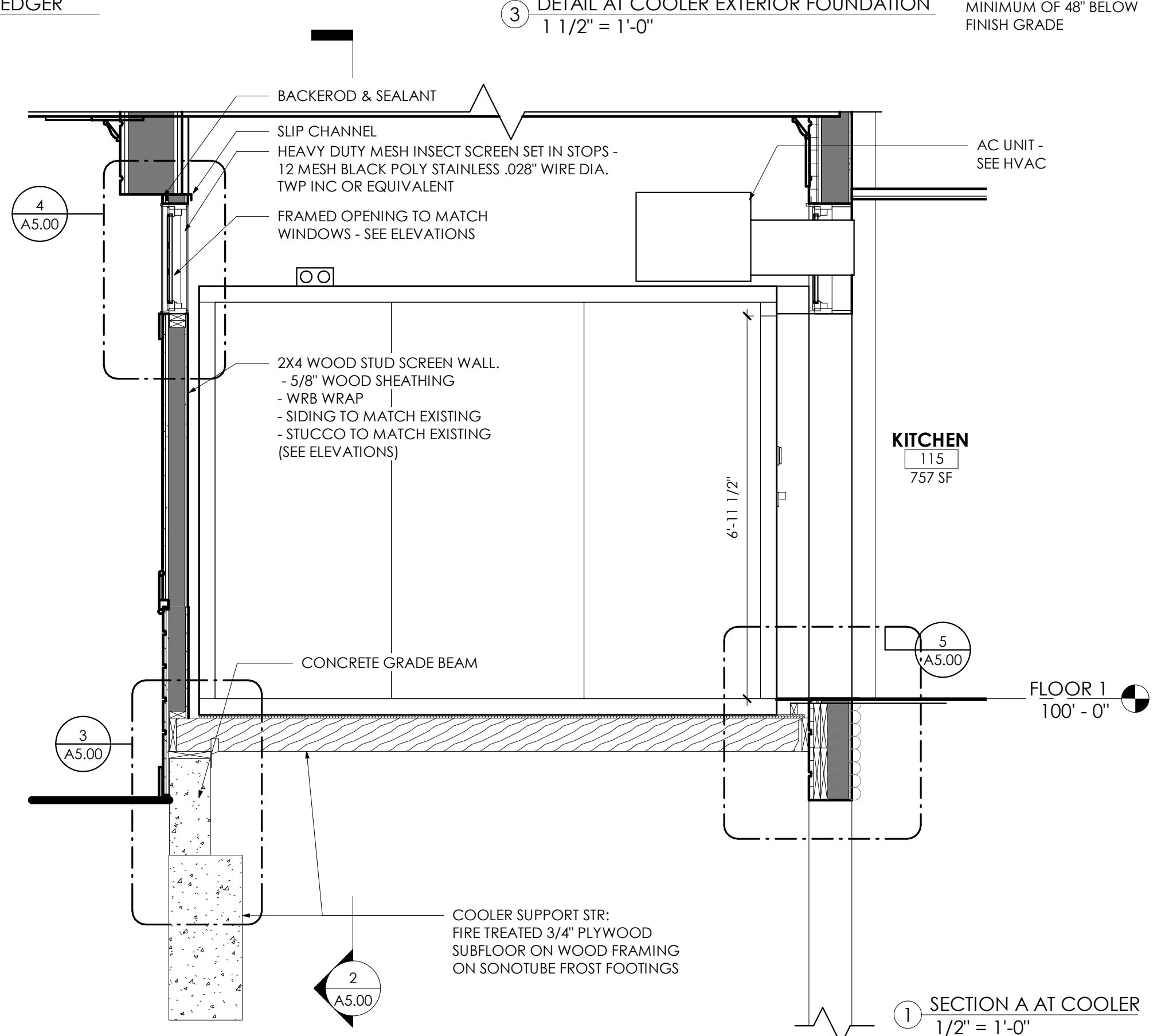
3 DETAIL AT COOLER EXTERIOR FOUNDATION
1 1/2" = 1'-0"



5 DETAIL AT COOLER LEDGER
1 1/2" = 1'-0"



2 SECTION B AT COOLER
1/2" = 1'-0"



1 SECTION A AT COOLER
1/2" = 1'-0"



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PROPOSED REMODEL TO:
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MILWAUKEE, WI 53211

CLIENT

BARTOLOTTA RESTAURANTS
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DATE	REV	ISSUE
08/02/22	#	SD: CONCEPT PLAN SUBMITTAL
08/24/22		SD: CONCEPT ELEVATIONS
09/01/22		SD: CONCEPT ELEVATIONS
09/15/22		SD: CONCEPT PLANS
09/21/22		SD: REV CONCEPT PLANS
10/27/22		DD: REV CONCEPT PLANS
11/08/22		DD: HCP PLAN SUBMITTAL
01/09/23		DD: HCP PLAN SUBMITTAL
02/03/23		DD: HCP COMMENTS

PROJECT NUMBER 22-024
START DATE 04/12/2022
DRAWN BY Author
CHECKED BY Checker
SCALE As indicated

BUILDING SECTIONS

A5.00



② 3D View 5



- CEILING TRIM & CORNICE TO MATCH EXISTING - PAINTED WHITE
- WINDOW TRIM TO MATCH EXISTING - PAINTED WHITE
- OPEN AIR WOOD FRAMED OPENINGS WITH MUNTINS TO MATCH WINDOWS - PAINTED WHITE WITH INSECT SCREENS

① 3D View 4



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 SCALE

REFERENCE PERSPECTIVES

R0.01