



August 12, 2014

City Clerk James Owczarski
Office of the City Clerk

Commissioner Art Dahlberg
Dept. of Neighborhood Services

Commissioner Richard Marcoux
Attn: Elaine Miller
Department of City Development

City Attorney Grant F. Langley
Attn: Tom Miller
Office of the City Attorney

Commissioner Ghassan Korban
Attn: Michael Loughran
Department of Public Works

City Engineer Jeffrey S. Polenske
Attn: Michael Loughran

City Planning Manager
Vanessa Koster

Re: Air space lease petition from Northwestern Mutual Campus Connection Project

Dear Committee Members:

In accordance with Section 245-14 of the Milwaukee Code of Ordinances, I am forwarding to you materials relating to an application for an air space lease filed by Northwest Mutual Campus Connection Project. The lease is being requested for a bridge connecting the Van Buren street office building to the east side of Van Buren. The property address is 727-733 N. Van Buren Street.

I am asking that the City Clerk prepare the appropriate file for introduction at the next Council meeting.

I am asking that all of you review the enclosed materials in preparation for a meeting in September to discuss these submittals and the committee's recommendation regarding this lease.

Should you require additional information from the applicant, please give me a call at extension 8208.

Thank you.

Sincerely,

Rachel S. Doney
Development Center

Attachments

Cc: Ald Robert J. Bauman
Catherine Young

City of
Milwaukee
Development Center

Air or Subterranean Space Lease Petition

809 N. Broadway, 1st Floor / Milwaukee, WI 53202-3617 / 414-286-8208

Submit this application with \$200 application fee to:
Milwaukee Development Center
Make check payable to City of Milwaukee.
Application fee is non-refundable.

Date 7/28/2014

TO THE HONORABLE, THE COMMON COUNCIL OF THE CITY OF MILWAUKEE:

The undersigned Northwestern Mutual Campus Connection Project

(state whether petitioner is an individual, co-partnership, Wisconsin or foreign corporation)

respectfully petitions the Common Council of the City of Milwaukee, according to the provisions of Section 66.048(3) and (4) of the Wisconsin Statutes, that the following space lease be granted:

See attached Exhibit A

of which building plans, plot plans and descriptive data showing the elevations, locations, height and size of the proposed structure and its relationship to adjoining buildings are herewith submitted.

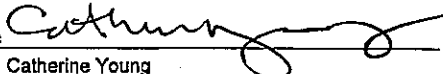
The petitioners are the owners in fee of the following described real property:

See attached Exhibit B

also known by street and number as See Exhibit B and _____
which property is located on both sides of that portion of the (street, alley or _____) to be so leased.

This petition is subject to such terms and conditions as may be agreed up on between the City of Milwaukee and the petitioner, which terms and conditions shall be set forth in a written lease pursuant to Section 66.048(3) and (4), Wisconsin Statutes. The leasing of such space shall be subject to a determination by the Common Council of the City of Milwaukee that such space is not needed for street, alley or other public purpose and that the public interest will be served by such leasing, and upon such determination as shall be authorized by ordinance duly passed by the City of Milwaukee.

Signature



Catherine Young
Address 720 E. Wisconsin Street, Milwaukee, WI 53202

Phone 414-665-2557

Corporation, firm or society Northwestern Mutual Campus Connection Project

Address 720 E. Wisconsin Street, Milwaukee, WI 53202

Title or office held in same Assistant General Counsel



TO: City of Milwaukee Development Center

FROM: Northwestern Mutual Campus Connection Project
c/o Robert Reynolds, Construction Manager (414) 216-0104
LaVon M. Johns, Legal Counsel (312) 881-5168

Re: Memorandum of Ownership: Air or Subterranean Space Lease Petition:
VOB Bridge Lease

DATE: July 29, 2014

In connection with our Air and Subterranean Space Lease Petition for a Space Lease connecting the Van Buren Street Office Building to the East side of Van Buren Street (the "VOB Bridge Lease"), we hereby state that the Applicant, Northwestern Mutual Campus Connection Project, is the owner of that certain property known as 727-733 E. Van Buren and 805 E. Mason Street, Milwaukee, Wisconsin.

Attached find the following evidence of ownership:

1. That certain Quitclaim Deed, dated April 14, 1910, recorded on Vol. 605, Page 312; and
2. That certain Warranty Deed, dated January 2, 2013, recorded January 7, 2013 as Document No. 10201786.

Should you have any questions or comments, please contact Rob Reynolds or LaVon Johns at the numbers listed above.

GONZALEZ, SAGGIO AND HARLAN, L.L.C.
Attorneys at Law

www.gshllc.com

Affiliated with Gonzalez Saggio & Harlan LLP

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Two Prudential Plaza
180 North Stetson Avenue
Suite 4425
Chicago, IL 60601
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Miami, FL
Milwaukee, WI
Nashville, TN
New York, NY

Pasadena, CA
Phoenix, AZ
Washington, D.C.
Wayne, NJ
West Des Moines, IA

DOC. # 10201786

RECORDED
01/07/2013 12:00PM

JOHN LA FAVE
REGISTER OF DEEDS
Milwaukee County, WI
AMOUNT: \$30.00
TRANSFER FEE: \$20,580.00
FEE EXEMPT #: 0

This document has been electronically recorded and returned to the submitter.

State Bar of Wisconsin Form 1-2003

WARRANTY DEED

Document Number

Document Name

THIS DEED, made between
VAN BUREN BUILDING COMPANY, A LIMITED PARTNERSHIP, a
Wisconsin limited partnership N/K/A MONROE BUILDING LP, a
Wisconsin limited partnership

("Grantor," whether one or more), and
THE NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY, a
Wisconsin corporation

("Grantee," whether one or more)

Grantor, for a valuable consideration, conveys to Grantee the following described real estate, together with the rents, profits, future and other appurtenant interests, in MILWAUKEE County, State of Wisconsin ("Property") (if more space is needed, please attach addendum):

Lots 1, 2 and 3, Block 29, in Flat of Milwaukee, East of the River, in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.

TOGETHER WITH the East 1/2 of the vacated alley adjoining said premises on the West.

ALSO TOGETHER WITH a non-exclusive easement for access, ingress and egress over and across the following tract of

continued

Grantor warrants that the title to the Property is good, indefeasible in fee simple and free and clear of encumbrances except: municipal and zoning ordinances and agreements entered under them, recorded easements for the distribution of utility and municipal services, recorded building and use restrictions and covenants, and general taxes levied in the year of closing.

Dated as of January 2, 2013

MONROE BUILDING LP BY: VAN BUREN MANAGEMENT, INC., GENERAL PARTNER



JOEL S. LEE, PRESIDENT (SEAL)

(SEAL)


(SEAL)

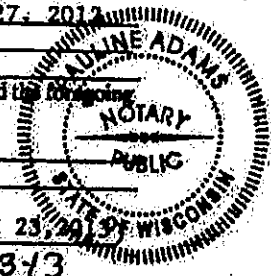
(SEAL)

AUTHENTICATION
Signature(s) _____
authenticated on _____

ACKNOWLEDGMENT
STATE OF WISCONSIN
Milwaukee COUNTY) ss.

Personally came before me on November 27, 2013
the above named JOEL S. LEE

to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Pauline Adams
Notary Public, State of Wisconsin
My commission (is permanent) (expires June 23, 2015) WISCONSIN



TITLE: MEMBER STATE BAR OF WISCONSIN
(If not, _____
authorized by Wis. Stat. S706.06)

THIS INSTRUMENT DRAFTED BY:
ATTORNEY NICHOLE M. TORIN

721-733 N. Van Buren

Chicago Title Insurance Company

20900 Swenson Drive
Suite 900
P. O. Box 987
Waukesha, WI 53187-0987
(414) 796-3800

Direct Line: (414) 796-3834
Fax Number: (414) 796-3888
E-mail: smithri@ctt.com

*South
720 E. Wisconsin
including
805 E. Miss*

December 4, 1998

Ms. Catherine M. Young, Assistant General Counsel
Law Department
The Northwestern Mutual Life Insurance Company
729 East Wisconsin Avenue
Milwaukee, WI 53202

Re: Home-Office Title Deed

Dear Catherine,

Pursuant to your request, I am enclosing a certified copy of a deed by which, in 1910, The Northwestern Mutual Life Insurance Company acquired the site of its home office. For the sake of orientation, I am also enclosing a copy of a current tax map.

Abstracts were the common form of title evidence in use in 1910. As far as we know, title insurance was unavailable until Milwaukee Title Guaranty & Abstract Company, our predecessor, issued the first title policy in Wisconsin in 1918.

If we can be of any further assistance, please contact me. Thank you for this opportunity to be of service.

Sincerely,



Richard C. Smith
Resident Vice President



July 30, 2014

Via Hand Delivery

City of Milwaukee Development Center
809 North Broadway, 1st Floor
Milwaukee, Wisconsin 53202

Re: Northwestern Mutual Campus Connection Project Air Space Lease Petition

Dear Clerk:

Please find enclosed the Air Space Lease Petition associated with the Northwestern Mutual Campus Connection Project, 825 East Mason Street, Milwaukee, Wisconsin. If you have any questions please contact Rob Reynolds at 414-216-0104.

Very truly yours,

Edward B. Witte

Enclosure

GONZALEZ SAGGIO & HARLAN LLP
Attorneys at Law

www.gshllp.com

Affiliated with Gonzalez, Saggio and Harlan, L.L.C.

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111 East Wisconsin Avenue
Suite 1000
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Boston, MA
Chicago, IL
Cleveland, OH

Indianapolis, IN
Los Angeles, CA
Nashville, TN
New York, NY
Pasadena, CA

Phoenix, AZ
Washington, D.C.
Wayne, NJ
West Des Moines, IA

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit A

1. Space Lease for bridge connecting the Van Buren Street Office Building to the East side of Van Buren Street (the "VOB Bridge Lease")
2. Space Lease for bridge connecting North Office Building to proposed office tower to be located on the South side of East Mason Street (the "NOB Bridge Lease")

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit B

1. VOB Bridge Lease—Addresses of real property to be adjoined:

727-733 N. Van Buren Street (“733 Building”) and 805 E. Mason Street.

2. NOB Bridge Lease—Addresses of real property to be adjoined:

818 E. Mason Street (“North Office Building”) and 825 E. Mason Street.

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit C

Overall Easement Exhibit, having a date of July 15, 2015

**MILWAUKEE CAMPUS
EASEMENT EXHIBIT**

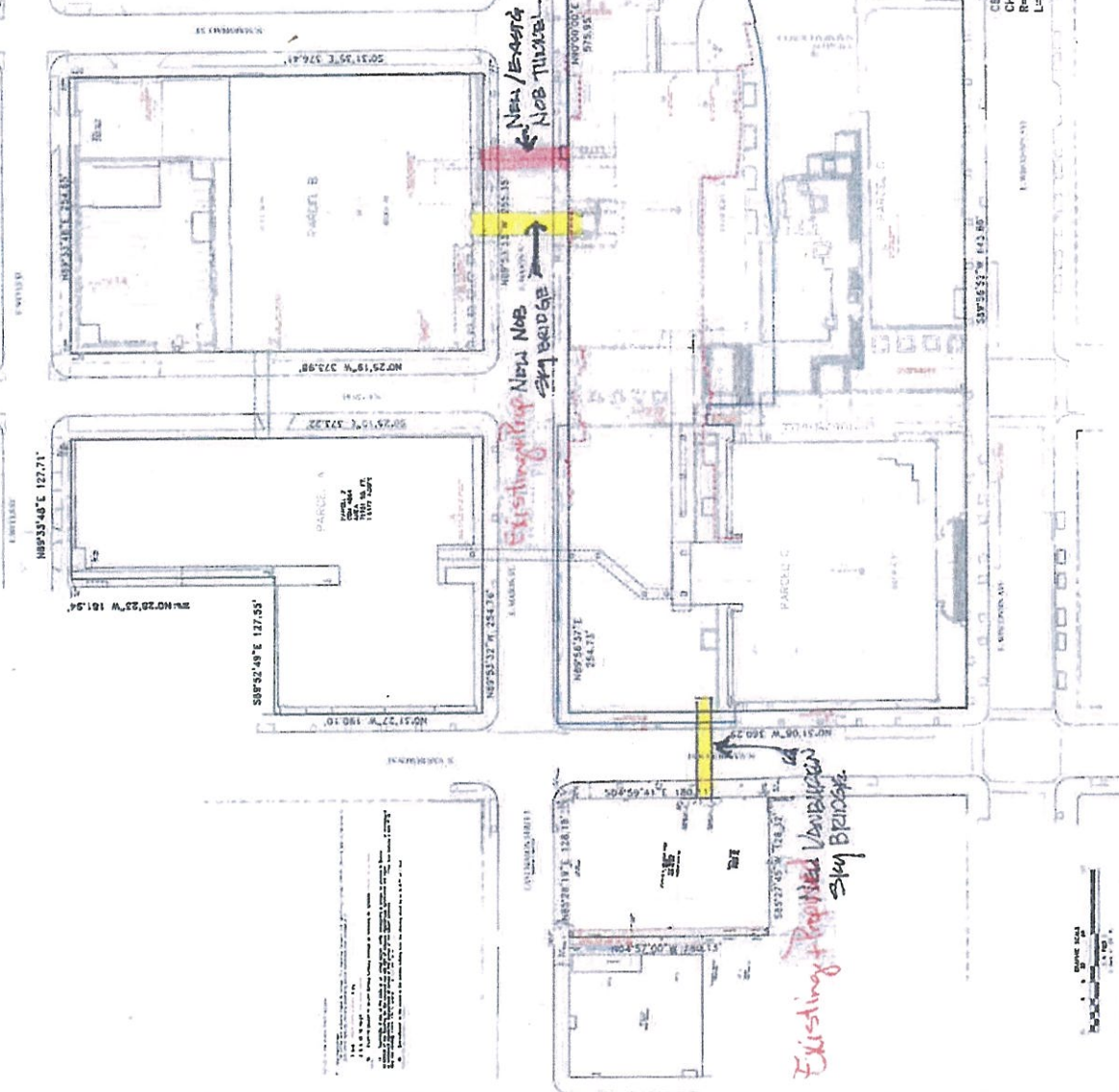
1. This easement is granted to the University of Wisconsin-Milwaukee for the purpose of providing access to the Milwaukee Campus of the University of Wisconsin-Milwaukee from the University of Wisconsin-Milwaukee campus located at the intersection of University Avenue and North Milwaukee Avenue.

2. The easement is granted for a term of years, to-wit: for the term of years specified in the following table:

Area	Term of Years
Area A	10 years
Area B	10 years
Area C	10 years
Area D	10 years
Area E	10 years
Area F	10 years
Area G	10 years
Area H	10 years
Area I	10 years
Area J	10 years
Area K	10 years
Area L	10 years
Area M	10 years
Area N	10 years
Area O	10 years
Area P	10 years
Area Q	10 years
Area R	10 years
Area S	10 years
Area T	10 years
Area U	10 years
Area V	10 years
Area W	10 years
Area X	10 years
Area Y	10 years
Area Z	10 years

3. The easement is granted subject to the following conditions:

- The easement shall be used only for the purpose specified in this exhibit.
- The easement shall be used in a reasonable and prudent manner.
- The easement shall be used in a manner that does not interfere with the normal use and enjoyment of the property.
- The easement shall be used in a manner that does not create a nuisance or other unreasonable interference with the property.
- The easement shall be used in a manner that does not create a hazard to the property.
- The easement shall be used in a manner that does not create a safety hazard to the public.
- The easement shall be used in a manner that does not create a health hazard to the public.
- The easement shall be used in a manner that does not create an environmental hazard to the public.
- The easement shall be used in a manner that does not create a fire hazard to the property.
- The easement shall be used in a manner that does not create a flood hazard to the property.
- The easement shall be used in a manner that does not create a seismic hazard to the property.
- The easement shall be used in a manner that does not create a wind hazard to the property.
- The easement shall be used in a manner that does not create a snow hazard to the property.
- The easement shall be used in a manner that does not create an ice hazard to the property.
- The easement shall be used in a manner that does not create a lightning hazard to the property.
- The easement shall be used in a manner that does not create a tornado hazard to the property.
- The easement shall be used in a manner that does not create a hurricane hazard to the property.
- The easement shall be used in a manner that does not create a typhoon hazard to the property.
- The easement shall be used in a manner that does not create a cyclone hazard to the property.
- The easement shall be used in a manner that does not create a storm hazard to the property.
- The easement shall be used in a manner that does not create a drought hazard to the property.
- The easement shall be used in a manner that does not create a famine hazard to the property.
- The easement shall be used in a manner that does not create a pestilence hazard to the property.
- The easement shall be used in a manner that does not create a plague hazard to the property.
- The easement shall be used in a manner that does not create a pandemic hazard to the property.
- The easement shall be used in a manner that does not create a global warming hazard to the property.
- The easement shall be used in a manner that does not create a climate change hazard to the property.
- The easement shall be used in a manner that does not create an environmental crisis hazard to the property.
- The easement shall be used in a manner that does not create a natural disaster hazard to the property.
- The easement shall be used in a manner that does not create a man-made disaster hazard to the property.
- The easement shall be used in a manner that does not create a terrorist attack hazard to the property.
- The easement shall be used in a manner that does not create a nuclear war hazard to the property.
- The easement shall be used in a manner that does not create a biological warfare hazard to the property.
- The easement shall be used in a manner that does not create a chemical warfare hazard to the property.
- The easement shall be used in a manner that does not create a radiological warfare hazard to the property.
- The easement shall be used in a manner that does not create a space warfare hazard to the property.
- The easement shall be used in a manner that does not create a cyber warfare hazard to the property.
- The easement shall be used in a manner that does not create a nuclear terrorism hazard to the property.
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- The easement shall be used in a manner that does not create a radiological war terrorism hazard to the property.
- The easement shall be used in a manner that does not create a space war terrorism hazard to the property.
- The easement shall be used in a manner that does not create a cyber war terrorism hazard to the property.



P.A./Smith National, Inc.
Professional Surveying
and Engineering

Scale: 1" = 100'
Date: 11/11/11



TO: City of Milwaukee Development Center

FROM: Northwestern Mutual Campus Connection Project
c/o Robert Reynolds, Construction Manager (414) 216-0104
LaVon M. Johns, Legal Counsel (312) 881-5168

Re: Memorandum of Ownership: Air or Subterranean Space Lease Petition:
NOB Bridge Lease

DATE: July 29, 2014

In connection with our Air and Subterranean Space Lease Petition for a Space Lease connecting the North Office Building to the Proposed Office Tower to be located on the South side of East Mason Street (the "NOB Bridge Lease"), we hereby state that the Northwestern Mutual Life Insurance Company (the Applicant's affiliate) is the owner of that certain property known as 818 E. Mason Street and 825 E. Mason Street, Milwaukee, Wisconsin.

Attached find the following evidence of ownership:

1. Title Policy No. 50-901-60-1016676, dated September 12, 1991.

Should you have any questions, please do not hesitate to contact either Rob Reynolds or LaVon Johns.

GONZALEZ, SAGGIO AND HARLAN, L.L.C.
Attorneys at Law

www.gshllc.com

Affiliated with Gonzalez Saggio & Harlan LLP

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Two Prudential Plaza
160 North Stetson Avenue
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New York, NY

Pasadena, CA
Phoenix, AZ
Washington, D.C.
Wayne, NJ
West Des Moines, IA

OWNER'S FORM
CHICAGO TITLE INSURANCE COMPANY
SCHEDULE A

1	2	3	4
OFFICE FILE NUMBER	POLICY NUMBER	DATE OF POLICY	AMOUNT OF INSURANCE
1016676	50-901-60 1016676	September 12, 1991 at 7:00 AM	\$90,000,000.00

1. Name of Insured:

NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY, a Wisconsin Corporation

2. The estate or interest in the land described herein and which is covered by this policy is:

FEE SIMPLE

3. The estate or interest referred to herein is at Date of Policy vested in the Insured.

4. The land referred to in this policy is described as follows:

Parcel I:

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12, Block 96, in Plat of the Town of Milwaukee on the East Side of the River, in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, including vacated alley between said lots.

Parcel II:

Leasehold Estate created by Lease entered into by and between the City of Milwaukee, as lessor, and Northwestern Mutual Life Insurance Company, a Wisconsin Corporation, as lessee, dated May 10, 1988 and recorded June 2, 1988 on Reel 2217, Image 534 as Document No. 6175665, demising an air space over North Cass Street between East Mason Street and East Wells Street, in the City of Milwaukee, for the purpose of enabling Lessee to construct an enclosed pedestrian bridge joining the existing parking structure located on property known as 777 North Cass Street and the new North Office Building, to be known as 818 East Mason Street, to be located on the North side of East Mason Street with the lowest part not less than 20 feet above the present roadway of North Cass Street and consisting of not more than 14 feet in width and 23.5 feet in height, said air space being more particularly described as follows: That part of North Cass Street in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which is bounded and described as follows: Commencing at the Southwest corner of Block 96 in the Plat of Milwaukee, being in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, said point being at the intersection of the

- CONTINUED -

This policy valid only if Schedule B is attached.

Schedule A Paragraph 5 Continued

Policy Number 50- 901-60 1016676

East line of North Cass Street with the North line of East Mason Street; thence North 04° 53' 52" West along the West line of said Block 96 and the East line of North Cass Street 196.28 feet to the point of beginning of said easement; (sidewalk elevation 54.6 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence South 84° 59' 52" West 80.00 feet to a point on the West line of North Cass Street (sidewalk elevation 54.6 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence North 04° 53' 52" West along the West line of North Cass Street 14.00 feet to a point; (sidewalk elevation 54.3 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence North 84° 59' 52" East 80.00 feet to a point on the East line of North Cass Street; (sidewalk elevation 55.0 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence South 04° 53' 52" East along the East line of North Cass Street 14.00 feet to the point of beginning.

Parcel III:

Leasehold Estate created by Lease entered into by and between the City of Milwaukee, as Lessor, and Northwestern Mutual Life Insurance Company, as lessee a Wisconsin Corporation, dated May 10, 1988 and recorded June 2, 1988 on Reel 2217, Image 547 as Document No. 6175666 demising an air space over East Mason Street between North Cass Street and North Marshall Street, in the City of Milwaukee, for the purpose of enabling Lessee to construct an enclosed pedestrian bridge joining the existing East Office Building located on property known as 815 East Mason Street and the New North Office Building to be known as 818 East Mason Street to be located on the North side of East Mason Street, with the lowest part not less than 16 feet above the present roadway of East Mason Street and consisting of not more than 22 feet in width and 19.5 feet in height, said air space being more particularly described as follows:

That part of East Mason Street in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which is bounded and described as follow:

Commencing at the Southwest corner of Block 96 in the Plat of Milwaukee, being in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, said point also being at the intersection of the North line of East Mason Street with the East line of North Cass Street; thence North 85° 37' 55" East along the South line of said Block 96 and the North line of East Mason Street 105.22 feet to the point of beginning of said easement (sidewalk elevation 47.1 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence South 05° 00' 08" East 77.86 feet to a point of the South line of East Mason Street; (sidewalk elevation 46.2 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence North 85° 31' 19" East along the South line of East Mason Street 22.00 feet to a point; (sidewalk elevation 45.8 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence North 05° 00' 08" West 77.82 feet to a point on the North line of East Mason Street; (sidewalk elevation 46.6 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence South 85° 37' 55" West along the North line of East Mason Street 22.00 feet to the point of beginning.

Parcel IV:

Leasehold Estate created by Lease entered into by and between the City of Milwaukee, as lessor, and Northwestern Mutual Life Insurance Company, a Wisconsin Corporation, as lessee, dated May 10, 1988 and recorded June 2, 1988 on Reel 2217, Image 559 as Document No. 6175667 demising a space underneath the surface of East Mason Street for the purpose of enabling Lessee to construct an underground pedestrian/maintenance/utility tunnel structure joining the East Office Building at 815 East Mason Street to the proposed North office Building to be known as 818 East Mason Street, said space, consisting of an area approximately 24 feet in width and 78 feet in length with a height of approximately 17 feet to extend to a depth ranging from 1 to 20

City of
Milwaukee
Development Center



809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-8211

August 12, 2014

City Clerk James Owczarski
Office of the City Clerk

Commissioner Art Dahlberg
Dept. of Neighborhood Services

Commissioner Richard Marcoux
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Department of City Development

City Attorney Grant F. Langley
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City Planning Manager
Vanessa Koster

Re: Air space lease petition from Northwestern Mutual Campus Connection Project

Dear Committee Members:

In accordance with Section 245-14 of the Milwaukee Code of Ordinances, I am forwarding to you materials relating to an application for an air space lease filed by Northwest Mutual Campus Connection Project. The lease is being requested for a bridge connecting the Van Buren street office building to the east side of Van Buren. The property address is 727-733 N. Van Buren Street.

I am asking that the City Clerk prepare the appropriate file for introduction at the next Council meeting.

I am asking that all of you review the enclosed materials in preparation for a meeting in September to discuss these submittals and the committee's recommendation regarding this lease.

Should you require additional information from the applicant, please give me a call at extension 8208.

Thank you.

Sincerely,

Rachel S. Doney
Development Center

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Cc: Ald Robert J. Bauman
Catherine Young

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Milwaukee
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Air or Subterranean Space Lease Petition

809 N. Broadway, 1st Floor / Milwaukee, WI 53202-3617 / 414-286-8208

Submit this application with \$200 application fee to:
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Make check payable to City of Milwaukee.
Application fee is non-refundable.

Date 7/28/2014

TO THE HONORABLE, THE COMMON COUNCIL OF THE CITY OF MILWAUKEE:

The undersigned Northwestern Mutual Campus Connection Project

(state whether petitioner is an individual, co-partnership, Wisconsin or foreign corporation)

respectfully petitions the Common Council of the City of Milwaukee, according to the provisions of Section 66.048(3) and (4) of the Wisconsin Statutes, that the following space lease be granted:

See attached Exhibit A

of which building plans, plot plans and descriptive data showing the elevations, locations, height and size of the proposed structure and its relationship to adjoining buildings are herewith submitted.


The petitioners are the owners in fee of the following described real property:

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also known by street and number as See Exhibit B and _____
which property is located on both sides of that portion of the (street, alley or _____) to be so leased.

This petition is subject to such terms and conditions as may be agreed up on between the City of Milwaukee and the petitioner, which terms and conditions shall be set forth in a written lease pursuant to Section 66.048(3) and (4), Wisconsin Statutes. The leasing of such space shall be subject to a determination by the Common Council of the City of Milwaukee that such space is not needed for street, alley or other public purpose and that the public interest will be served by such leasing, and upon such determination as shall be authorized by ordinance duly passed by the City of Milwaukee.

Signature



Catherine Young

Address 720 E. Wisconsin Street, Milwaukee, WI 53202

Phone 414-665-2557

Corporation, firm or society Northwestern Mutual Campus Connection Project

Address 720 E. Wisconsin Street, Milwaukee, WI 53202

Title or office held in same Assistant General Counsel



TO: City of Milwaukee Development Center

FROM: Northwestern Mutual Campus Connection Project
c/o Robert Reynolds, Construction Manager (414) 216-0104
LaVon M. Johns, Legal Counsel (312) 881-5168

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GONZALEZ, SAGGIO AND HARLAN, L.L.C.
Attorneys at Law

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Affiliated with Gonzalez Saggio & Harlan LLP

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180 North Stetson Avenue
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Milwaukee, WI
Nashville, TN
New York, NY

Pasadena, CA
Phoenix, AZ
Washington, D.C.
Wayne, NJ
West Des Moines, IA

DOC. # 10201786

RECORDED
01/07/2013 12:00PM

JOHN LA FAVE
REGISTER OF DEEDS
Milwaukee County, WI
AMOUNT: \$30.00
TRANSFER FEE: \$20,580.00
FEE EXEMPT #: 0

This document has been electronically recorded and returned to the submitter.

State Bar of Wisconsin Form 1-2003

WARRANTY DEED

Document Number

Document Name

THIS DEED, made between
VAN BUREN BUILDING COMPANY, A LIMITED PARTNERSHIP, a
Wisconsin limited partnership N/K/A MONROE BUILDING LP, a
Wisconsin limited partnership.

("Grantor," whether one or more), and
THE NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY, a
Wisconsin corporation.

721-733 N. Van Buren

("Grantee," whether one or more)

Grantor, for a valuable consideration, conveys to Grantee the following described real estate, together with the rents, profits, future and other appurtenant interests, in MILWAUKEE County, State of Wisconsin ("Property") (If more space is needed, please attach addendum):

Lots 1, 2 and 3, Block 29, in Flat of Milwaukee, East of the River, in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.

TOGETHER WITH the East 1/2 of the vacated alley adjoining said premises on the West.

ALSO TOGETHER WITH a non-exclusive easement for access, ingress and egress over and across the following tract of

continued

Recording Area

Name and Return Address

NORTHWESTERN MUTUAL LIFE
EMERY EMERY
720 E. WISCONSIN AVENUE
MILWAUKEE WI 53202

392-0919-111-7

Parcel Identification Number (PIN)

This is NOT homestead property
(s)/(s not)

Grantor warrants that the title to the Property is good, indefeasible in fee simple and free and clear of encumbrances except: municipal and zoning ordinances and agreements entered under them, recorded easements for the distribution of utility and municipal services, recorded building and use restrictions and covenants, and general taxes levied in the year of closing.

Dated as of January 2, 2013

MONROE BUILDING LP BY: VAN BUREN MANAGEMENT, INC., GENERAL PARTNER



JOEL S. LEE, PRESIDENT (SEAL)

(SEAL)

(SEAL)


(SEAL)

AUTHENTICATION
Signature(s) _____
authenticated on _____

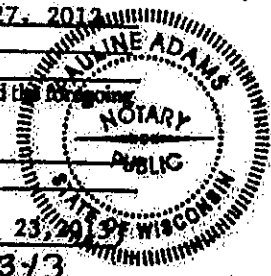
ACKNOWLEDGMENT
STATE OF WISCONSIN
Milwaukee COUNTY } ss.

Personally came before me on November 27, 2012
the above named JOEL S. LEE

to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.


Pauline Adams
Notary Public, State of Wisconsin

My commission (is permanent)(expires June 23, 2015) WISCONSIN



TITLE MEMBER STATE BAR OF WISCONSIN
(If not, _____
authorized by Wis. Stat. S706.06)

THIS INSTRUMENT DRAFTED BY:
ATTORNEY MICHAEL W. TORIN

NOTE: THIS IS A STANDARD FORM. ANY MODIFICATIONS TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.
WARRANTY DEED 2003 STATE BAR OF WISCONSIN FORM NO. 1-2003

Chicago Title Insurance Company

20900 Swenson Drive
Suite 900
P. O. Box 987
Waukesha, WI 53187-0987
(414) 796-3800

Direct Line: (414) 796-3834
Fax Number: (414) 796-3888
E-mail: smithri@ctt.com

*South
720 E. Wisconsin
including
805 E. Miss*

December 4, 1998

Ms. Catherine M. Young, Assistant General Counsel
Law Department
The Northwestern Mutual Life Insurance Company
729 East Wisconsin Avenue
Milwaukee, WI 53202

Re: Home-Office Title Deed

Dear Catherine,

Pursuant to your request, I am enclosing a certified copy of a deed by which, in 1910, The Northwestern Mutual Life Insurance Company acquired the site of its home office. For the sake of orientation, I am also enclosing a copy of a current tax map.

Abstracts were the common form of title evidence in use in 1910. As far as we know, title insurance was unavailable until Milwaukee Title Guaranty & Abstract Company, our predecessor, issued the first title policy in Wisconsin in 1918.

If we can be of any further assistance, please contact me. Thank you for this opportunity to be of service.

Sincerely,



Richard C. Smith
Resident Vice President

Know all Men by these Presents, That Harace W. J. Uphaus and Mary L. Uphaus, his wife, of Milwaukee, County of Milwaukee, State of Wisconsin..... parties of the first part, in consideration of the sum of one dollar and other valuable considerations to them..... duly paid, do hereby remise, release and quit-claim unto The Northwestern Mutual Life Insurance Company of Milwaukee, County of Milwaukee, State of Wisconsin, a Wisconsin corporation..... party of the second part, and to its successors heirs and assigns, the following described real estate, situated in the County of Milwaukee..... State of Wisconsin, to-wit:

All of Block Eighty eight, in the Seventh Ward of the City of Milwaukee.

To Have and to Hold the same, together with all and singular the appurtenances and privileges therunto belonging or in anywise therunto appertaining, and all the estate, right, title, interest and claim whatsoever of the said parties of the first part, either in law or equity, either in possession or expectancy, to the only proper use, benefit and behoof of the said party of the second part, its successors heirs and assigns forever.

In Witness Whereof, the party of the first part hereunto set their hands and seals this eleventh day of April, A. D. 1910, in the presence of one thousand, nine hundred and no.....

IN PRESENCE OF

Caroline Uphaus
Margery Haldor
J. F. Roth

Harace W. J. Uphaus [SEAL]
Mary L. Uphaus [SEAL]
 [SEAL]
 [SEAL]

STATE OF WISCONSIN,
Milwaukee County.

Personally came before me this 11th day of April, A. D. 1910 the above-named Harace W. J. Uphaus and Mary L. Uphaus, his wife

to me known to be the person who executed the foregoing instrument and acknowledged the same.

Received for Record the 11th day of April, A. D. 1910, at 12:45 o'clock P.M.

L. C. Hanson Register
Deputy



J. F. Roth
 Notary Public, Milwaukee County, Wisconsin
 My commission expires August 24, 1911



July 30, 2014

Via Hand Delivery

City of Milwaukee Development Center
809 North Broadway, 1st Floor
Milwaukee, Wisconsin 53202

Re: Northwestern Mutual Campus Connection Project Air Space Lease Petition

Dear Clerk:

Please find enclosed the Air Space Lease Petition associated with the Northwestern Mutual Campus Connection Project, 825 East Mason Street, Milwaukee, Wisconsin. If you have any questions please contact Rob Reynolds at 414-216-0104.

Very truly yours,

Edward B. Witte

Enclosure

GONZALEZ SAGGIO & HARLAN LLP
Attorneys at Law

www.gshllp.com

Affiliated with Gonzalez, Saggio and Harlan, L.L.C.

Milwaukee
111 East Wisconsin Avenue
Suite 1000
Milwaukee, WI 53202
Tel (414) 277-8500
Fax (414) 277-8521

Atlanta, GA
Boca Raton, FL
Boston, MA
Chicago, IL
Cleveland, OH

Indianapolis, IN
Los Angeles, CA
Nashville, TN
New York, NY
Pasadena, CA

Phoenix, AZ
Washington, D.C.
Wayne, NJ
West Des Moines, IA

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit A

1. Space Lease for bridge connecting the Van Buren Street Office Building to the East side of Van Buren Street (the "VOB Bridge Lease")
2. Space Lease for bridge connecting North Office Building to proposed office tower to be located on the South side of East Mason Street (the "NOB Bridge Lease")

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit B

1. VOB Bridge Lease—Addresses of real property to be adjoined:

727-733 N. Van Buren Street (“733 Building”) and 805 E. Mason Street.

2. NOB Bridge Lease—Addresses of real property to be adjoined:

818 E. Mason Street (“North Office Building”) and 825 E. Mason Street.

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit C

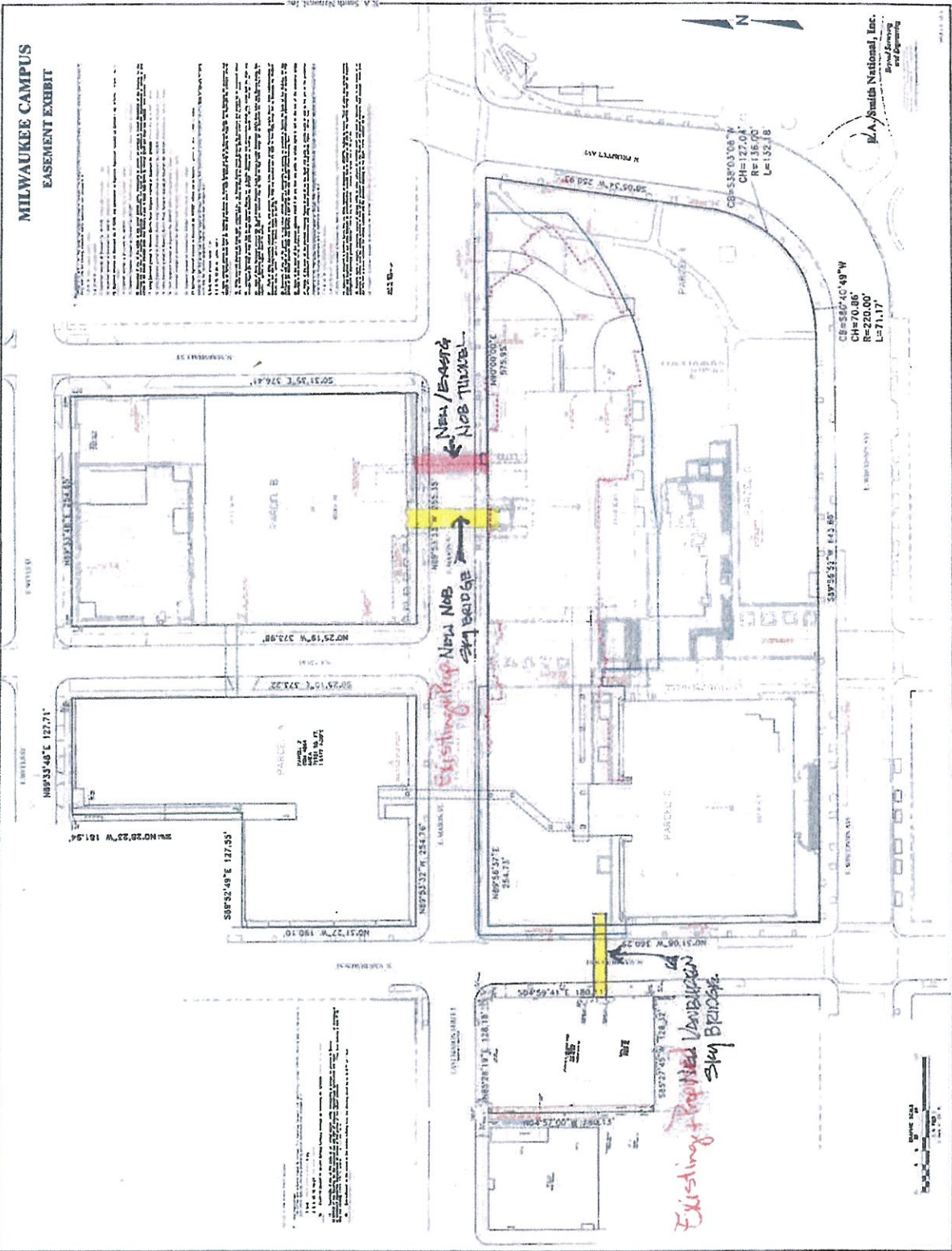
Overall Easement Exhibit, having a date of July 15, 2015

**MILWAUKEE CAMPUS
EASEMENT EXHIBIT**

THIS EASEMENT EXHIBIT IS A PART OF THE MILWAUKEE CAMPUS EASEMENT AGREEMENT, DATED AND RECORDED AS ABOVE. IT IS HEREBY CERTIFIED THAT THE EASEMENT EXHIBIT IS A TRUE AND CORRECT COPY OF THE ORIGINAL AS FILED IN THE OFFICE OF THE CLERK OF COURTS, MILWAUKEE, WISCONSIN, ON [DATE].

IN WITNESS WHEREOF, I have hereunto set my hand and the seal of said office, at Milwaukee, Wisconsin, this [DATE] day of [MONTH], 20[XX].

CLERK OF COURTS



P.A./Smith National, Inc.
Survey Engineering
and Expanding



TO: City of Milwaukee Development Center

FROM: Northwestern Mutual Campus Connection Project
c/o Robert Reynolds, Construction Manager (414) 216-0104
LaVon M. Johns, Legal Counsel (312) 881-5168

Re: Memorandum of Ownership: Air or Subterranean Space Lease Petition:
NOB Bridge Lease

DATE: July 29, 2014

In connection with our Air and Subterranean Space Lease Petition for a Space Lease connecting the North Office Building to the Proposed Office Tower to be located on the South side of East Mason Street (the "NOB Bridge Lease"), we hereby state that the Northwestern Mutual Life Insurance Company (the Applicant's affiliate) is the owner of that certain property known as 818 E. Mason Street and 825 E. Mason Street, Milwaukee, Wisconsin.

Attached find the following evidence of ownership:

1. Title Policy No. 50-901-60-1016676, dated September 12, 1991.

Should you have any questions, please do not hesitate to contact either Rob Reynolds or LaVon Johns.

GONZALEZ, SAGGIO AND HARLAN, L.L.C.
Attorneys at Law

www.gshllc.com

Affiliated with Gonzalez Saggio & Harlan LLP

Chicago
Two Prudential Plaza
180 North Stetson Avenue
Suite 4425
Chicago, IL 60601
Tel (312) 236-0475
Fax (312) 236-1750

Atlanta, GA
Boca Raton, FL
Boston, MA
Cleveland, OH
Indianapolis, IN

Los Angeles, CA
Miami, FL
Milwaukee, WI
Nashville, TN
New York, NY

Pasadena, CA
Phoenix, AZ
Washington, D.C.
Wayne, NJ
West Des Moines, IA

OWNER'S FORM
CHICAGO TITLE INSURANCE COMPANY
SCHEDULE A

1	2	3	4
OFFICE FILE NUMBER	POLICY NUMBER	DATE OF POLICY	AMOUNT OF INSURANCE
1016676	50-901-60 1016676	September 12, 1991 at 7:00 AM	\$90,000,000.00

1. Name of Insured:
NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY, a Wisconsin Corporation

2. The estate or interest in the land described herein and which is covered by this policy is:

FEE SIMPLE

3. The estate or interest referred to herein is at Date of Policy vested in the insured.

4. The land referred to in this policy is described as follows:

Parcel I:

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12, Block 96, in Plat of the Town of Milwaukee on the East Side of the River, in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, including vacated alley between said lots.

Parcel II:

Leasehold Estate created by Lease entered into by and between the City of Milwaukee, as lessor, and Northwestern Mutual Life Insurance Company, a Wisconsin Corporation, as lessee, dated May 10, 1988 and recorded June 2, 1988 on Reel 2217, Image 534 as Document No. 6175665, demising an air space over North Cass Street between East Mason Street and East Wells Street, in the City of Milwaukee, for the purpose of enabling Lessee to construct an enclosed pedestrian bridge joining the existing parking structure located on property known as 777 North Cass Street and the new North Office Building, to be known as 818 East Mason Street, to be located on the North side of East Mason Street with the lowest part not less than 20 feet above the present roadway of North Cass Street and consisting of not more than 14 feet in width and 23.5 feet in height, said air space being more particularly described as follows: That part of North Cass Street in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which is bounded and described as follows: Commencing at the Southwest corner of Block 96 in the Plat of Milwaukee, being in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, said point being at the intersection of the

- CONTINUED -

This policy valid only if Schedule B is attached.

Schedule A Paragraph 5 Continued

Policy Number 50- 901-60 1016676

East line of North Cass Street with the North line of East Mason Street; thence North 04° 53' 52" West along the West line of said Block 96 and the East line of North Cass Street 196.28 feet to the point of beginning of said easement; (sidewalk elevation 54.6 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence South 84° 59' 52" West 80.00 feet to a point on the West line of North Cass Street (sidewalk elevation 54.6 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence North 04° 53' 52" West along the West line of North Cass Street 14.00 feet to a point; (sidewalk elevation 54.3 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence North 84° 59' 52" East 80.00 feet to a point on the East line of North Cass Street; (sidewalk elevation 55.0 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence South 04° 53' 52" East along the East line of North Cass Street 14.00 feet to the point of beginning.

Parcel III:

Leasehold Estate created by Lease entered into by and between the City of Milwaukee, as Lessor, and Northwestern Mutual Life Insurance Company, as lessee a Wisconsin Corporation, dated May 10, 1988 and recorded June 2, 1988 on Reel 2217, Image 547 as Document No. 6175666 demising an air space over East Mason Street between North Cass Street and North Marshall Street, in the City of Milwaukee, for the purpose of enabling Lessee to construct an enclosed pedestrian bridge joining the existing East Office Building located on property known as 815 East Mason Street and the New North Office Building to be known as 818 East Mason Street to be located on the North side of East Mason Street, with the lowest part not less than 16 feet above the present roadway of East Mason Street and consisting of not more than 22 feet in width and 19.5 feet in height, said air space being more particularly described as follows:

That part of East Mason Street in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which is bounded and described as follow:

Commencing at the Southwest corner of Block 96 in the Plat of Milwaukee, being in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, said point also being at the intersection of the North line of East Mason Street with the East line of North Cass Street; thence North 85° 37' 55" East along the South line of said Block 96 and the North line of East Mason Street 105.22 feet to the point of beginning of said easement (sidewalk elevation 47.1 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence South 05° 00' 08" East 77.86 feet to a point of the South line of East Mason Street; (sidewalk elevation 46.2 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence North 85° 31' 19" East along the South line of East Mason Street 22.00 feet to a point; (sidewalk elevation 45.8 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence North 05° 00' 08" West 77.82 feet to a point on the North line of East Mason Street; (sidewalk elevation 46.6 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence South 85° 37' 55" West along the North line of East Mason Street 22.00 feet to the point of beginning.

Parcel IV:

Leasehold Estate created by Lease entered into by and between the City of Milwaukee, as lessor, and Northwestern Mutual Life Insurance Company, a Wisconsin Corporation, as lessee, dated May 10, 1988 and recorded June 2, 1988 on Reel 2217, Image 559 as Document No. 6175667 demising a space underneath the surface of East Mason Street for the purpose of enabling Lessee to construct an underground pedestrian/maintenance/utility tunnel structure joining the East Office Building at 815 East Mason Street to the proposed North office Building to be known as 818 East Mason Street, said space, consisting of an area approximately 24 feet in width and 78 feet in length with a height of approximately 17 feet to extend to a depth ranging from 1 to 20

Schedule A Paragraph 5 Continued

Policy Number 50- 901-60 1016676

feet below grade, with the public right of way corridor over and dimensions of said tunnel being more particularly described as follows:

That part of East Mason Street in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which is bounded and described as follows:

Commencing at the Southwest corner of Block 96 in the Plat of Milwaukee, being a Subdivision of a part of the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, said point also being at the intersection of the North line of East Mason Street with the East line of North Cass Street; thence North 85° 37' 55" East along the South line of said Block 96 and the North line of East Mason Street 145.89 feet to the point of beginning of said easement; (sidewalk elevation 46.4 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence South 05° 00' 08" East 7.78 feet to a point (sidewalk elevation 46.3 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence North 84° 59' 52" East 19.50 feet to a point (sidewalk elevation 46.1 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence South 05° 00' 08" East 59.38 feet to a point (sidewalk elevation 44.8 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence South 84° 59' 52" West 0.66 feet to a point (sidewalk elevation 44.8 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence South 05° 00' 08" East 10.80 feet to a point on the South line of East Mason Street (sidewalk elevation 45.2 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence North 85° 31' 19" East along the South line of East Mason Street 24.00 feet to a point (sidewalk elevation 44.8 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence North 05° 00' 08" West 11.02 feet to a point (top of curb elevation 44.6 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence South 84° 59' 52" West 0.66 feet to a point (top of curb elevation 44.6 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence North 05° 00' 08" West 66.69 feet to a point in the North line of East Mason Street (sidewalk elevation 46.1 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence South 85° 37' 55" West along the North line of East Mason Street 42.17 feet to the point of beginning.

Tax Key No. 392-1636-110-9

ADDRESS: 818 E. Mason Street

CERTIFICATE NO. 215182
STATE OF WISCONSIN
MILWAUKEE COUNTY
OFFICE OF
REGISTER OF DEEDS



I, the undersigned,
Register of Deeds of
Milwaukee County,
hereby certify that
this document is a
true and correct copy
of the original on
file or record in
this office.

Witness my hand and
official seal this

DEC - 3 1998

[Signature]
Register of Deeds

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-1

VOB Bridge Lease

- a. Building Plans (8 copies);
- b. Legal Description of Connecting Structure (8 copies);
- c. Floor plans of areas adjacent to the connections (8 copies);
- d. Memorandum of Ownership

EXHIBIT

NORTH VAN BUREN STREET BRIDGE

That part of North Van Buren Street, being a part of the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin, bounded and described as follows:

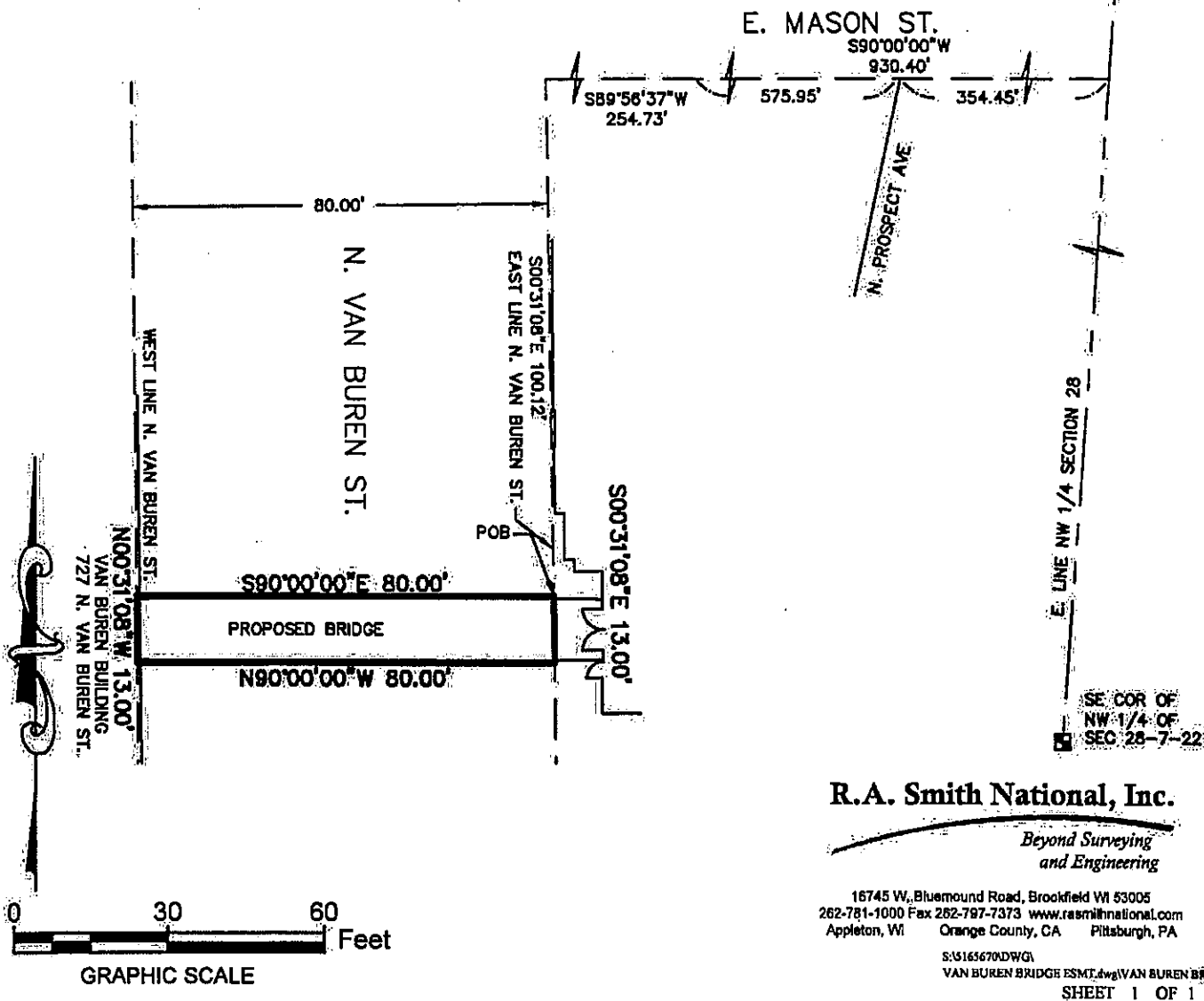
P.O.C.
NE COR OF
NW 1/4 OF
SEC 28-7-22

Commencing at the Northeast corner of said 1/4 Section; thence South 04°31'07" West along the East line of said 1/4 Section 1957.13 feet to a point in the extension of the South line of East Mason Street; thence South 90°00'00" West along said line and its extension 930.40 feet to an angle point in said South line; thence South 89°56'37" West 254.73 feet to a point in the East line of North Van Buren Avenue; thence South 00°31'08" East along said East line 100.12 feet to the point of beginning of said easement (sidewalk elevation 45.2 feet bottom of bridge elevation 73.1 feet, top of bridge elevation 90.5 feet); thence continuing South 00°31'08" East along said East line 13.00 feet to a point (sidewalk elevation 44.7 feet, bottom of bridge elevation 73.1 feet, top of bridge elevation 90.5 feet); thence North 90°00'00" West 80.00 feet to a point in the West line of North Van Buren Avenue (sidewalk elevation 45.2 feet, bottom of bridge elevation 73.1 feet, top of bridge elevation 90.5 feet); thence North 00°31'08" West along said West line 13.00 feet to a point (sidewalk elevation 45.5 feet, bottom of bridge elevation 73.1 feet, top of bridge elevation 90.5 feet); thence South 90°00'00" East 80.00 feet to the point of beginning. Elevations refer to City of Milwaukee datum. Containing 1,040 square feet.

June 24, 2014

The Northwestern Mutual Life Insurance Company

Drawing No. 165670-RMK



R.A. Smith National, Inc.

R.A. Smith National, Inc.

*Beyond Surveying
and Engineering*

16745 W. Bluemound Road, Brookfield WI 53005
262-781-1000 Fax 262-787-7373 www.rasmithnational.com
Appleton, WI Orange County, CA Pittsburgh, PA

S:\165670\DWG\1
VAN BUREN BRIDGE ESMT.dwg VAN BUREN BRIDGE
SHEET 1 OF 1

VOB Plans



Northwestern Mutual
100 N. WISCONSIN ST.
MILWAUKEE, WISCONSIN

BOYD & NEUBAUER
Development Engineer
PETERSON ARCHITECTS, INC.
Design Architect
KERNAL PRINCE ASSOCIATES, INC.
Architect
VALERIO FANIEL TRACY ASSOCIATES
Interior Architect
MCKENZIE ENGINEERING ASSOCIATES
Structural Engineer

ALVAREZ & ASSOCIATES
Mechanical Engineer
THE OFFICE OF JAMES SUMMERT
Landscape Architect
GRANZAGA, INC.
Civil Engineer

BOYD & NEUBAUER
Structural Engineer
M&A CONSULTING, INC.
Building Management and
Energy Management
CITIMARK & ASSOCIATES
Architectural Consultant
CONCRETE TRENDS ASSOCIATES
Living Consultant

PERKINS+WILL ASSOCIATES, INC.
Electrical Consultant
ENTREPRENEUR CORPORATION
Building Technology Consultant
M&A CONSULTING, INC.
1800 Corliss
MCCA NEVILL & BROWN
Pool Service Consultant
QUONIAM ARCHITECTS, INC.
Civil Engineer

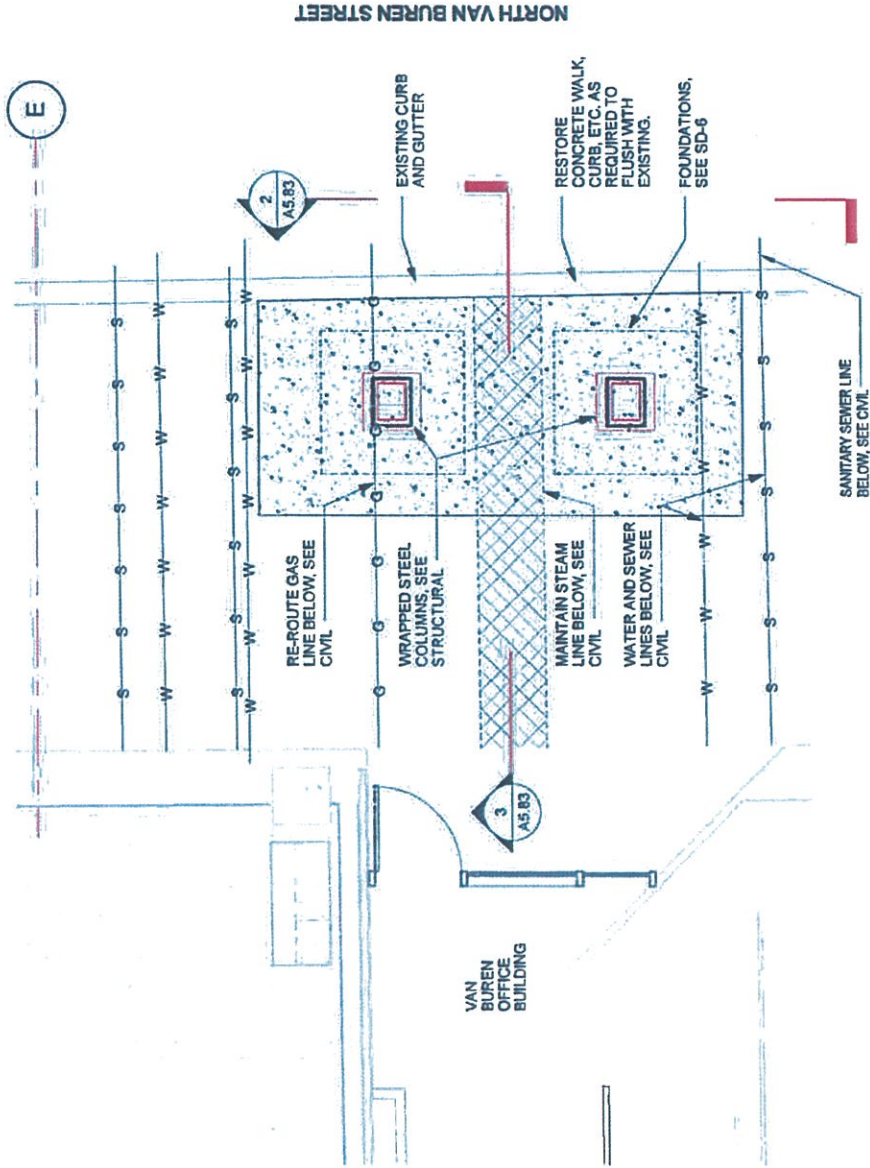
CHONG & HANSEN CONSULTANTS
Civil Engineer

DRAWING TITLE

STREET LEVEL -
VAN
BUREN
BRIDGE

17 JUNE 14 10:59 AM
NO. DATE REVISION
12033

DRAWING NUMBER
SD-5



1/4" = 1'-0"

STREET LEVEL - VAN BUREN BRIDGE

1

PROJECT NO.
12033

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-1(b)

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

VOB Bridge Lease
Bridge Legal Description

THAT PART OF NORTH VAN BUREN STREET, BEING A PART OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 28, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID $\frac{1}{4}$ SECTION; THENCE SOUTH $04^{\circ}31'07''$ WEST ALONG THE EAST LINE OF SAID $\frac{1}{4}$ SECTION 1957.13 FEET TO A POINT IN THE EXTENSION OF THE SOUTH LINE OF EAST MASON STREET; THENCE SOUTH $90^{\circ}00'00''$ WEST ALONG SAID LINE AND ITS EXTENSION 930.40 FEET TO AN ANGLE POINT IN SAID SOUTH LINE; THENCE SOUTH $89^{\circ}56'37''$ WEST 254.73 FEET TO A POINT IN THE EAST LINE OF NORTH VAN BUREN AVENUE; THENCE SOUTH $00^{\circ}31'08''$ EAST ALONG SAID EAST LINE 100.12 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT (SIDEWALK ELEVATION 45.2 FEET BOTTOM OF BRIDGE ELEVATION 73.1 FEET, TOP OF BRIDGE ELEVATION 90.5 FEET); THENCE CONTINUING SOUTH $00^{\circ}31'08''$ EAST ALONG SAID EAST LINE 13.00 FEET TO A POINT (SIDEWALK ELEVATION 44.7 FEET, BOTTOM OF BRIDGE ELEVATION 73.1 FEET, TOP OF BRIDGE ELEVATION 90.5 FEET); THENCE NORTH $90^{\circ}00'00''$ WEST 80.00 FEET TO A POINT IN THE WEST LINE OF NORTH VAN BUREN AVENUE (SIDEWALK ELEVATION 45.2 FEET, BOTTOM OF BRIDGE ELEVATION 73.1 FEET, TOP OF BRIDGE ELEVATION 90.5 FEET); THENCE NORTH $00^{\circ}31'08''$ WEST ALONG SAID WEST LINE 13.00 FEET TO A POINT (SIDEWALK ELEVATION 45.5 FEET, BOTTOM OF BRIDGE ELEVATION 73.1 FEET, TOP OF BRIDGE ELEVATION 90.5 FEET); THENCE SOUTH $90^{\circ}00'00''$ EAST 80.00 FEET TO THE POINT OF BEGINNING. ELEVATIONS REFER TO CITY OF MILWAUKEE DATUM. CONTAINING 1,040 SQUARE FEET.

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-1(c)

VOB-Floor Plans



Nordwestern Mutual
 FINANCIAL SERVICES GROUP
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

ROTHMAN GROUP MUTUAL
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

FRANCOIS CHATON ARCHITECTS, INC.
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

VERBAUW/REYNOLDS ASSOCIATES, INC.
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

VALDES TRAVEL TRAVEL ASSOCIATES
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

ALUMINUMSILLS IN TECHNICAL ASSOCIATES
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

ALVAREZ & ASSOCIATES
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

THE OFFICE OF JAMES BURNEY
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

GRANZMAN, INC.
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

ADRI P&C
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

MARK CONSULTING, INC.
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

CONCRETE CONSULTANTS
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

CONCRETE CONSULTANTS
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

CONCRETE CONSULTANTS
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

CONCRETE CONSULTANTS
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 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

CONCRETE CONSULTANTS
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

CONCRETE CONSULTANTS
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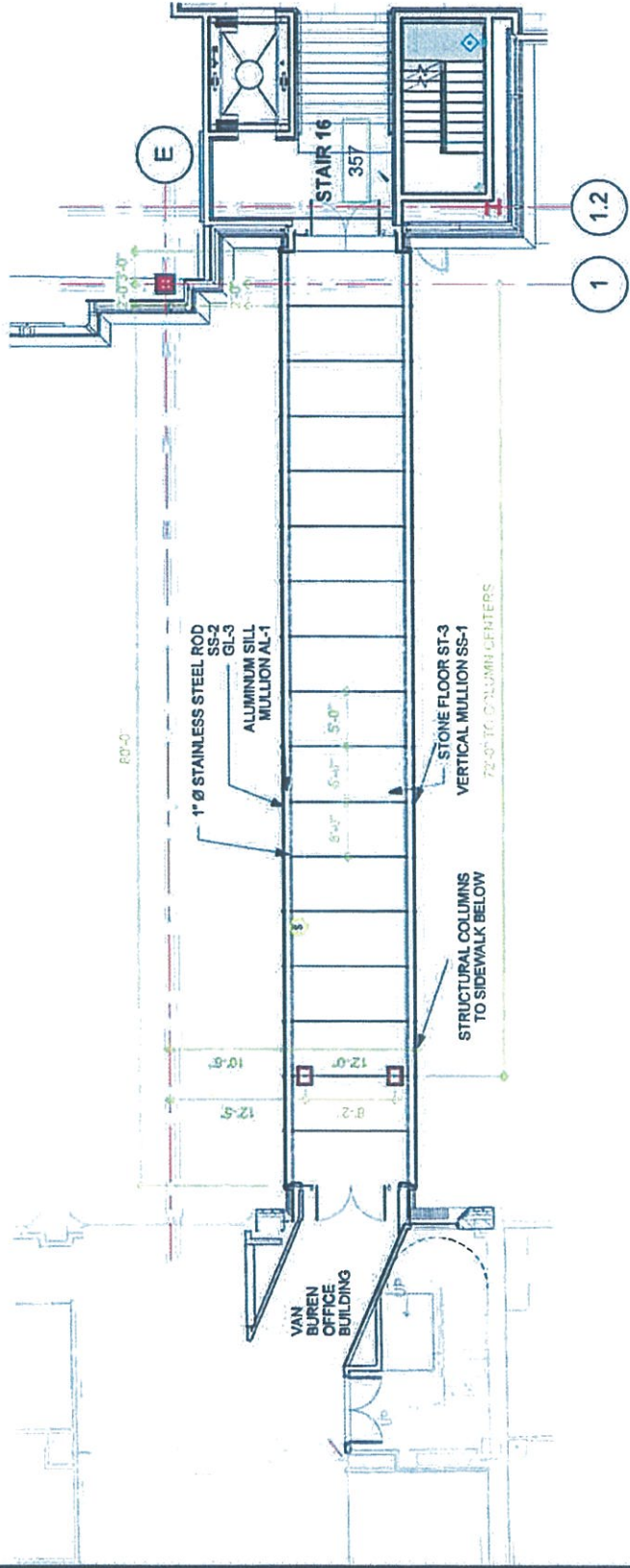
CONCRETE CONSULTANTS
 100 WEST WASHINGTON
 MILWAUKEE, WISCONSIN 53201

DRAWING TITLE

VAN BUREN OFFICE BUILDING BRIDGE

NO.	DATE	ISSUE
1	17 JUNE 14	ISSUING PERMITTING

PROJECT NO. **12033**
 DRAWING NUMBER **SD-3**



1" = 10'-0"

VAN BUREN BRIDGE FLOOR PLAN

1

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-1(d)

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-2

NOB Bridge Lease

- a. Building Plans (8 copies);
- b. Legal Description of Connecting Structure (8 copies);
- c. Floor plans of areas adjacent to the connections (8 copies);
- d. Memorandum of Ownership

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-2(a)

NOB Plans

EXHIBIT

EAST MASON STREET BRIDGE

That part of East Mason Street, being a part of the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin, bounded and described as follows:

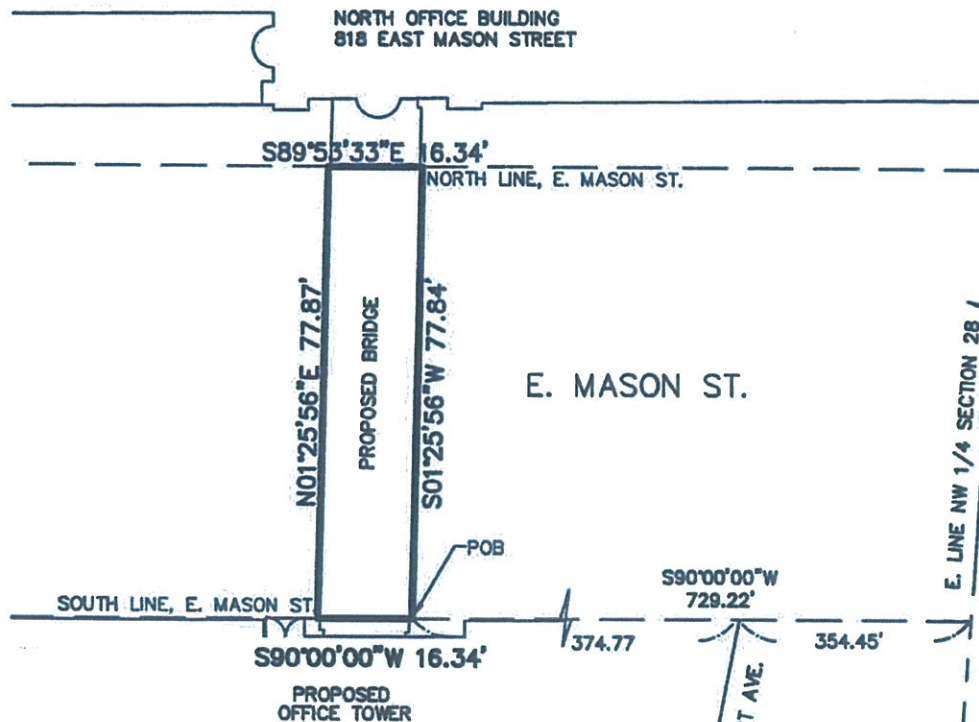
P.O.C.
NE COR OF
NW 1/4 OF
SEC 28-7-22

Commencing at the Northeast corner of said 1/4 Section; thence South 04°31'07" West along the East line of said 1/4 Section 1957.13 feet to a point in the extension of the South line of East Mason Street; thence South 90°00'00" West along said line and its extension 729.22 feet the point of beginning of said easement (sidewalk elevation 45.9 feet, bottom of bridge elevation 66.0 feet, top of bridge elevation 84.7 feet); thence continuing South 90°00'00" West along said South line 16.34 feet to a point (sidewalk elevation 46.2 feet, bottom of bridge elevation 66.0 feet, top of bridge elevation 84.7 feet); thence North 01°25'56" East 77.87 feet to a point in the North line of East Mason Street (sidewalk elevation 46.9 feet, bottom of bridge elevation 66.0 feet, top of bridge elevation 84.7 feet); thence South 89°53'33" East along said North line 16.34 feet to a point (sidewalk elevation 46.8, bottom of bridge elevation 66.0 feet, top of bridge elevation 84.7 feet); thence South 01°25'56" West 77.84 feet to the point of beginning. Elevations refer to City of Milwaukee Datum. Containing 1,272 square feet.

June 24, 2014

The Northwestern Mutual Life Insurance Company

Drawing No. 165670-RMK



R.A. Smith National, Inc.

S:\165670\DWG\MASON BRIDGE ESMT.dwg. 6/24/2014 1:56:32 PM, Jpc



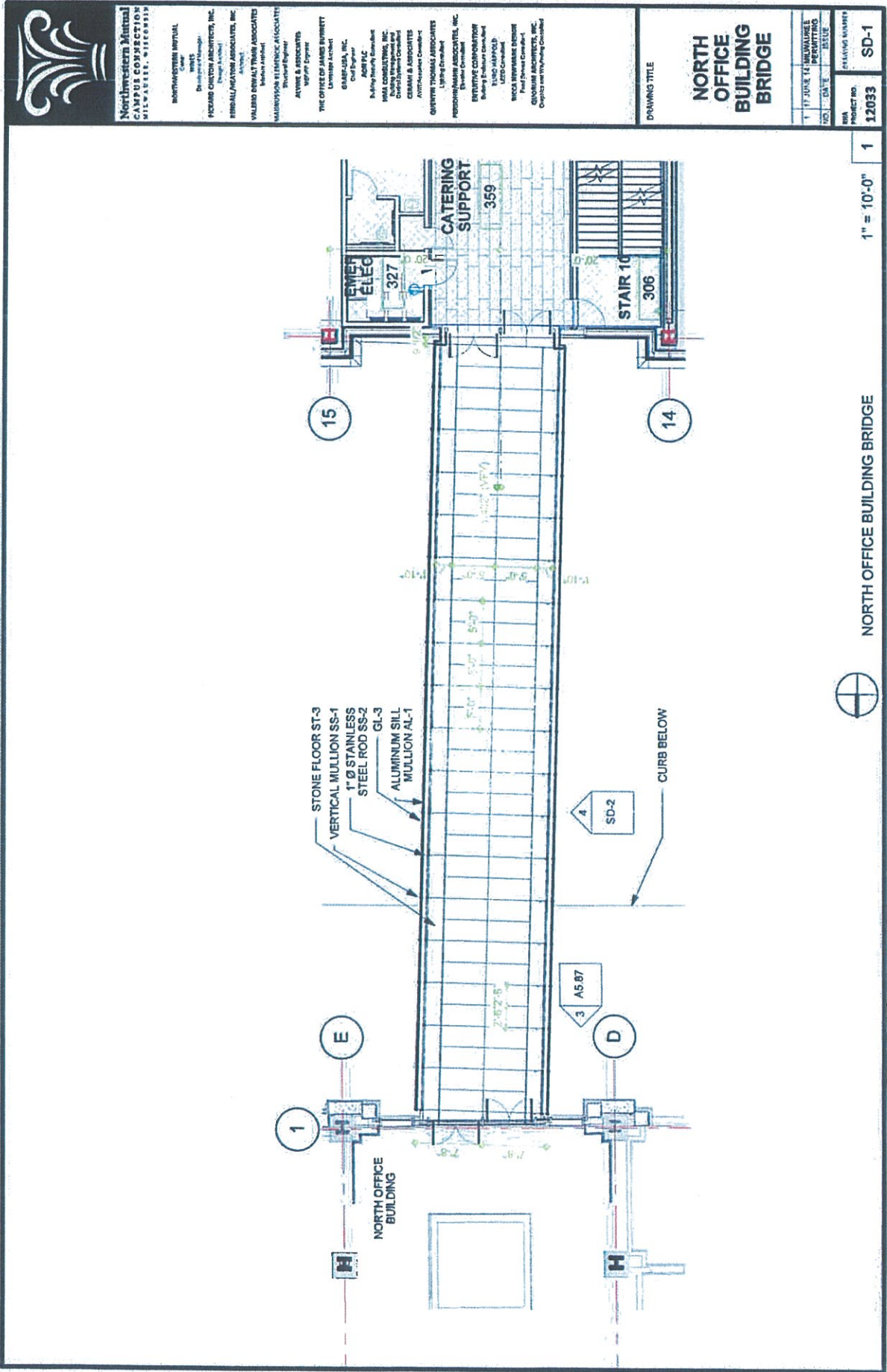
R.A. Smith National, Inc.

*Beyond Surveying
and Engineering*

16745 W. Bluemound Road, Brookfield WI 53005
262-781-1000 Fax 262-787-7373 www.rasmithnational.com
Appleton, WI Orange County, CA Pittsburgh, PA

S:\165670\DWG\MASON BRIDGE ESMT.dwg\MASON BRIDGE

NOB Plans



Northwestern Mutual
CAMPUS CONNECTION
 MILWAUKEE, WISCONSIN

ARCHITECTS:
 THE OFFICE OF JAMES BURRY
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

STRUCTURAL ENGINEER:
 ALVIN & ASSOCIATES
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

MECHANICAL ENGINEER:
 FICKLER CONSULTING ASSOCIATES, INC.
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

ELECTRICAL ENGINEER:
 FICKLER CONSULTING ASSOCIATES, INC.
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

PLUMBING ENGINEER:
 FICKLER CONSULTING ASSOCIATES, INC.
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

GENERAL CONTRACTOR:
 THE BRIDGE GROUP
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

GENERAL CONTRACTOR:
 THE BRIDGE GROUP
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

GENERAL CONTRACTOR:
 THE BRIDGE GROUP
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

DRAWING TITLE
NORTH OFFICE BUILDING BRIDGE

NO. DATE REVISION
 1 17 JUNE 14 MILWAUKEE PERMITTING

PROJECT NO.
 12033

DATE
 17 JUNE 14

SCALE
 1" = 10'-0"

PROJECT NO.
 12033

DATE
 17 JUNE 14

SCALE
 1" = 10'-0"

PROJECT NO.
 12033

DATE
 17 JUNE 14

SCALE
 1" = 10'-0"



NORTH OFFICE BUILDING BRIDGE

1" = 10'-0"

SD-1

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-2(b)

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

NOB Bridge Lease
Bridge Legal Description

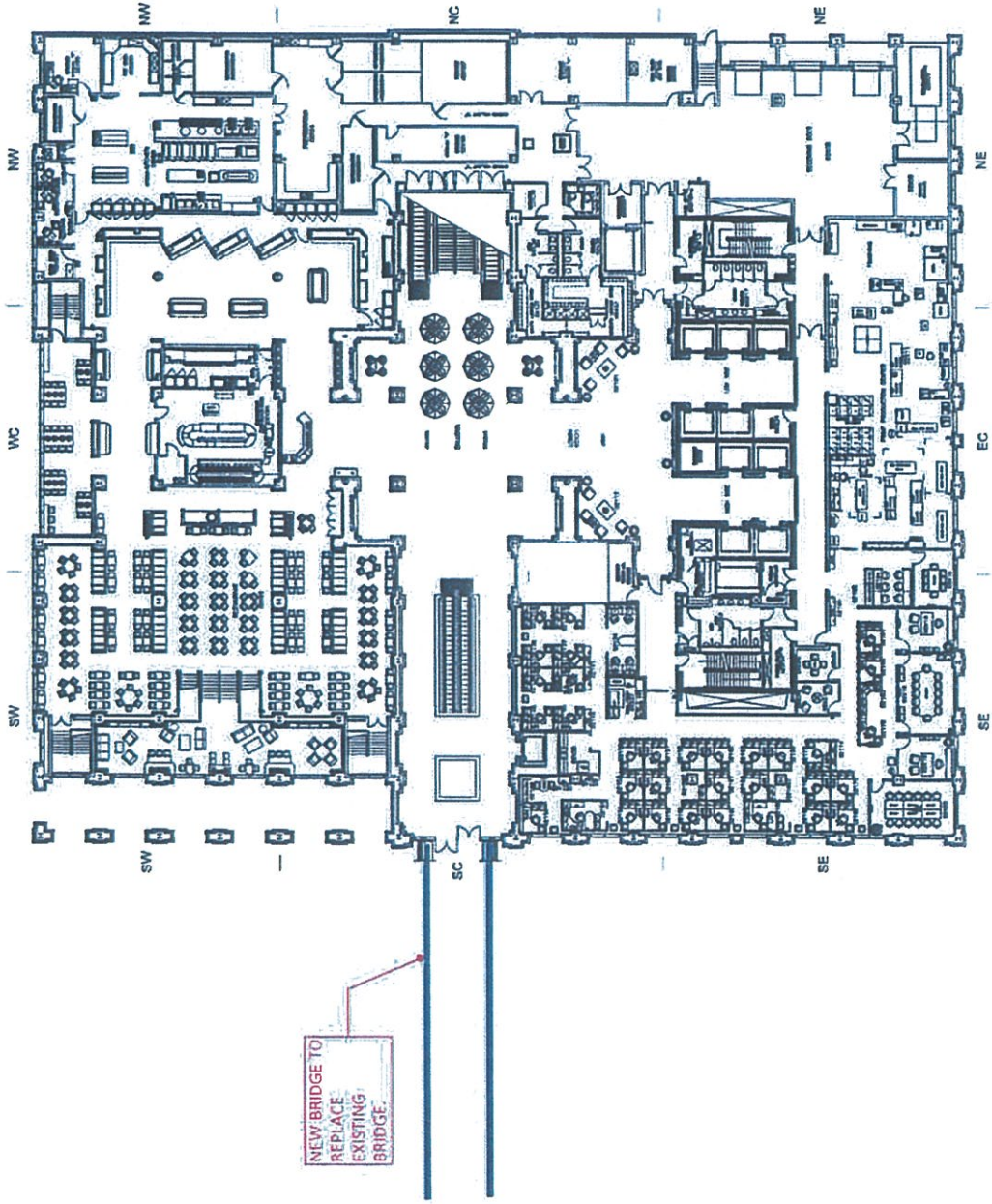
THAT PART OF EAST MASON STREET, BEING A PART OF THE NORTHWEST 1/4 OF SECTION 28, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID 1/4 SECTION; THENCE SOUTH 04°31'07" WEST ALONG THE EAST LINE OF SAID 1/4 SECTION 1957.13 FEET TO A POINT IN THE EXTENSION OF THE SOUTH LINE OF EAST MASON STREET; THENCE SOUTH 90°00'00" WEST ALONG SAID LINE AND ITS EXTENSION 729.22 FEET THE POINT OF BEGINNING OF SAID EASEMENT (SIDEWALK ELEVATION 45.9 FEET, BOTTOM OF BRIDGE ELEVATION 66.0 FEET, TOP OF BRIDGE ELEVATION 84.7 FEET); THENCE CONTINUING SOUTH 90°00'00" WEST ALONG SAID SOUTH LINE 16.34 FEET TO A POINT (SIDEWALK ELEVATION 46.2 FEET, BOTTOM OF BRIDGE ELEVATION 66.0 FEET, TOP OF BRIDGE ELEVATION 84.7 FEET); THENCE NORTH 01°25'56" EAST 77.87 FEET TO A POINT IN THE NORTH LINE OF EAST MASON STREET (SIDEWALK ELEVATION 46.9 FEET, BOTTOM OF BRIDGE ELEVATION 66.0 FEET, TOP OF BRIDGE ELEVATION 84.7 FEET); THENCE SOUTH 89°53'33" EAST ALONG SAID NORTH LINE 16.34 FEET TO A POINT (SIDEWALK ELEVATION 46.8, BOTTOM OF BRIDGE ELEVATION 66.0 FEET, TOP OF BRIDGE ELEVATION 84.7 FEET); THENCE SOUTH 01°25'56" WEST 77.84 FEET TO THE POINT OF BEGINNING. ELEVATIONS REFER TO CITY OF MILWAUKEE DATUM. CONTAINING 1,272 SQUARE FEET.

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-2(c)

NOB Floor Plans



NEW BRIDGE TO
REPLACE
EXISTING
BRIDGE.

12/9/11 LATEST UPDATE	87	Northwestern Mutual	NORTH OFFICE BUILDING 2nd FLOOR LAYOUT	6/22/12 DATE PRINTED	FLR02N	NORTH
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NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-2(d)