



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

RECEIVED  
MAR 10 2015

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)  
Old Concordia  
ADDRESS OF PROPERTY:  
926 N. 34th Street
  
2. NAME AND ADDRESS OF OWNER:  
Name(s): Margaret McCracken  
Address: 926 N. 34th Street  
City: Milwaukee State: WI ZIP: 53208  
Email: medievalmaggie@yahoo.com  
Telephone number (area code & number) Daytime: 414-213-5823 Evening: same
  
3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)  
Name(s): \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_  
Email: \_\_\_\_\_  
Telephone number (area code & number) Daytime: \_\_\_\_\_ Evening: \_\_\_\_\_
  
4. ATTACHMENTS: (Because projects can vary in size and scope, please call the HPC Office at 414-286-5712 for submittal requirements)
  - A. REQUIRED FOR MAJOR PROJECTS:  
pending Photographs of affected areas & all sides of the building (annotated photos recommended)  
pending Sketches and Elevation Drawings (1 full size and 1 reduced to 11" x 17" or 8 1/2" x 11")  
A digital copy of the photos and drawings is also requested.  
yes Material and Design Specifications (see next page)
  
  - B. NEW CONSTRUCTION ALSO REQUIRES:  
\_\_\_\_\_ Floor Plans (1 full size and 1 reduced to a maximum of 11" x 17")  
\_\_\_\_\_ Site Plan showing location of project and adjoining structures and fences

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS  
BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED  
AND SIGNED.**

5. DESCRIPTION OF PROJECT:

Tell us what you want to do. Describe all proposed work including materials, design, and dimensions. Additional pages may be attached.

Replacement of old roof with same type and style. (Ice and water shield per code, #15 felt paper, dimensional shingles, D style painted aluminum drip edge, W style aluminum flashing in valleys, turtle style metal roof vent).


Installation of 3 thermal skylights in roof during replacement for purposes of energy conservation. Details in emailed attachment.

Restoration, repair, scraping and painting of house trim, back balcony and front porch. Restoration and repair of front porch columns, bases and capitals. No change in current appearance, all colors to remain as original.

Please see additional pages attached to a separate email describing nature of request, and also street and roof diagrams. A proper scaled diagram can be supplied by contractor of the exact proposed placement of the skylights if necessary.

(Please refer to the complete, detailed written request that was attached to the email sent to [chatal@milwaukee.gov](mailto:chatal@milwaukee.gov) regarding this matter on March 15, 2015.)

6. SIGNATURE OF APPLICANT:

  
\_\_\_\_\_  
Signature

M. McCracken  
\_\_\_\_\_  
Please print or type name

March 14, 2015  
\_\_\_\_\_  
Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Hand Deliver or Mail Form to:**  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI 53202

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)

Or click the **SUBMIT** button to automatically email this form for submission.

**SUBMIT**

RE: PTS #102016; 926 N. 34<sup>th</sup> Street

In follow up to the HPC meeting held on April 20, 2015, I would like to comment on some issues raised and attach a scale diagram of the intended location of the skylights, as requested. In addition is a photo that more precisely shows the line of visibility from the street to roof, where the skylights would be. The roof diagram is flat, and does not reflect the pitch or proportional angle of the roof, as it would be seen from the street. It does show the size of the skylights relative to the roof dimensions and where they are meant to go, however.

I do believe however, that the primary reason for my request was lost in other issues before it could be addressed. These were to more effectively manage light, ventilation, cooling and heating in my attic through statutorily approved means by the state. Installation of skylights would be consistent with current prevailing Wisconsin law that prevents local restrictions on solar or wind applications [Chapter 66.0401 (1)(m)]

Appearance from the street was also considered when I requested them. They would be placed to best possibly abate all the listed problems as well as limit visibility. They are to be located on the south rear face of the roof, slightly past the mid-point closest to the back yard. Once installed, the attic could then be fully finished—which according to Zillow adds approximately \$25,000 additional value to a property in this area.

They are far back from the sidewalk, leaving a very angle of visibility. On N. 34<sup>th</sup> Street, the south face of the roof is only seen heading north—with the longest line of sight being on the west side of the street. (There is no view of the roof heading either south on 34<sup>th</sup> or east on Kilbourn). It is also worth noting that all the photos previously provided were taken when there was no foliage on any of the trees. Now, the east end of the roof is obstructed from Kilbourn by a tree.

Measured on the west sidewalk, the rear portion of the roof does not come into view until the southern edge of the alley past the VCY building (the white wall in the attached photo). From that point heading north, *all* view of the roof ends by the mid-point of the bay window on the house at 921 N. 34<sup>th</sup> St. The photo shows the full length of this distance between the alley and that point, or the entire line of sight where the skylights might be seen. It was measured at exactly 44 feet, 6 inches—45 feet to round up. (Five 6'2" sections of sidewalk from the tree heading north, and two other larger sections to the alley going south). At best, the level of visibility from the street elevation can be described as minimal—less if those driving or walking by are not looking up as they do so.

It is also important that while some portion of the skylights might be visible for those 45 feet or so on N. 34<sup>th</sup>, they are not being requested for installation on a *primary* façade. They will also be positioned approximately 40' above the main sidewalk elevation; so much less likely to be seen by casual observation. Based on history of previous COA approvals (Ex: COA #60657, 3308 W. Kilbourn, granted specifically to accommodate *interior remodeling*; COA #49672 at 2252 N.



10

Summit Ave—adding a window due to *interior bathroom remodeling*; COA #57452 at 2857 N. Lake Drive, unit 2—reducing window heights to accommodate *interior kitchen remodeling*) I believe that if these were windows I was requesting for a secondary façade, they would most likely be approved. Remodeling any attic is contingent upon its comfort and livability, and it seems that there is little difference between this request and the others already approved.

Issues raised regarding skylight leakage were also my main concern. After significant research, I found that this as an “unavoidable” problem was largely outdated and based upon older skylight models and/or incorrect installation. Wasco skylights come with a warranty against leakage between the roof deck and window for ten years and against seal leakage for 20 years. (See attached). They will be installed by a professional contractor, and will likely last as long as the roof, possibly longer.

For comparison, my neighbors at 927 N 33<sup>rd</sup> Street have had their skylights since 1989 (26 years, and approved by this commission, along with window additions and changes). They have never leaked, nor have they ever required any maintenance during that time. Weighing all of the advantages that skylights will offer—including the definitive, documented *increase* in property value—against unlikely potential problems, the reasons for installing them are compelling and I could find no significant downside to them.

Authority over the *exterior* of a property can at times severely restrict the best advantage that an owner can make to the *interior* of a property. These create jurisdictional points of convergence. As seen by previous COA's, accommodations regarding windows, additions, and many other changes have been approved for precisely these reasons.

If the issue narrows to windows v skylights, then the standard is unequal in that the reasons for both requests are generally the same. Uneven application of HPC guidelines relative to alterations requested for the same purposes cannot be considered equitable when the result forecloses remodeling an entire section of a home greatly disadvantages many owners.

I am an avid proponent of historic preservation, but also understand that absent owning a specific, individually designated property that carries inherent and *disclosed* restrictions with its purchase, *individual property owners within a historic district* must be allowed to love their older homes, and not feel oppressed by them. Never being able to maximize the inherent advantages of beautiful, older homes is a burden, not a joy. A homeowner so restricted that they are unable to fulfill the *vision* they've had for their property is not motivated to ever plan, create or DO any longer. Decisions that infringe on the homeowner's *interior rights* are counter-productive and likely to lead to results not wanted or desired in the overall scheme of historic preservation. For example, homeowners taking exactly no action whatsoever.

Thank you,

Maggie McCracken





## E-Class Limited Warranty

SKYLIGHT MODELS EF, EFHR, EV, EVM

### WASCO E-CLASS SKYLIGHT 10 YEAR "LEAK FREE" INSTALLATION LIMITED WARRANTY



The original installation of Wasco's E-Class skylights (EF and EV), provided that they are installed strictly according to Wasco's installation instructions, are warranted not to leak water for a period of ten (10) years from the original purchase date. A "leak" is penetration of water between the E-Class and the roof deck (condensation does not constitute a leak and is not covered by this warranty). Glass is guaranteed against seal failure for a period of twenty (20) years.

Wasco will, at its sole election, perform one of the following in full satisfaction of all of its warranty obligations:

- Repair the E-Class Skylight, at its expense, or
- Replace the E-Class Skylight, at its expense, or
- Reimburse the original end user \$1,000 as liquidated damages in lieu of any and all other remedies.

(Any of these options will not extend the original warranty period.)

This warranty applies to product shipped after March 1, 2010. If proof of the original purchase date can not be determined, then the start of the Warranty will begin with the manufacture date of the skylight.

Under no circumstances shall Wasco be liable for any incidental, consequential, special or any other damages. The end user is responsible to mitigate and minimize water damage that a defective skylight may cause.

This warranty is exclusive and in lieu of all other warranties. This warranty gives you specific rights. You may have other rights, which vary from state to state.

**Wasco Products, Inc. 85 Spencer Drive, Unit A P.O. Box 559 Wells, ME 04090**  
800-388-0293 Fax: 207-216-4562 [cs@wascoproducts.com](mailto:cs@wascoproducts.com) [www.wascoskylights.com](http://www.wascoskylights.com)







## **Curb-Mount Limited Warranty**

SKYLIGHT MODELS GS, GSHR, GSV, GSD

### **WASCO SKYLIGHTS ARE WARRANTED NOT TO LEAK DUE TO DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF TEN (10) YEARS**

Wasco will repair or replace, at its option, materials and workmanship that fail to conform to this warranty.

The warranty applies only to the materials and workmanship of the skylights and does not apply to any defect or damage caused by improper use, improper installation, improper care or accident. This warranty does not cover glass breakage, dome breakage, or crazing of domes. Glass is guaranteed against seal failure for a period of twenty (20) years. This warranty applies only to the original consumer purchaser and is void upon transfer of title of the goods after installation.

The remedy of repair and replacement of defective products is the purchaser's sole responsibility. Under no circumstances shall Wasco Products, Inc. be liable for any other damages or costs under this warranty or costs due to reinstallation. Some states do not allow the exclusion or limitation of incidental or consequential damages, so the above limitations or exclusion may not apply to you.

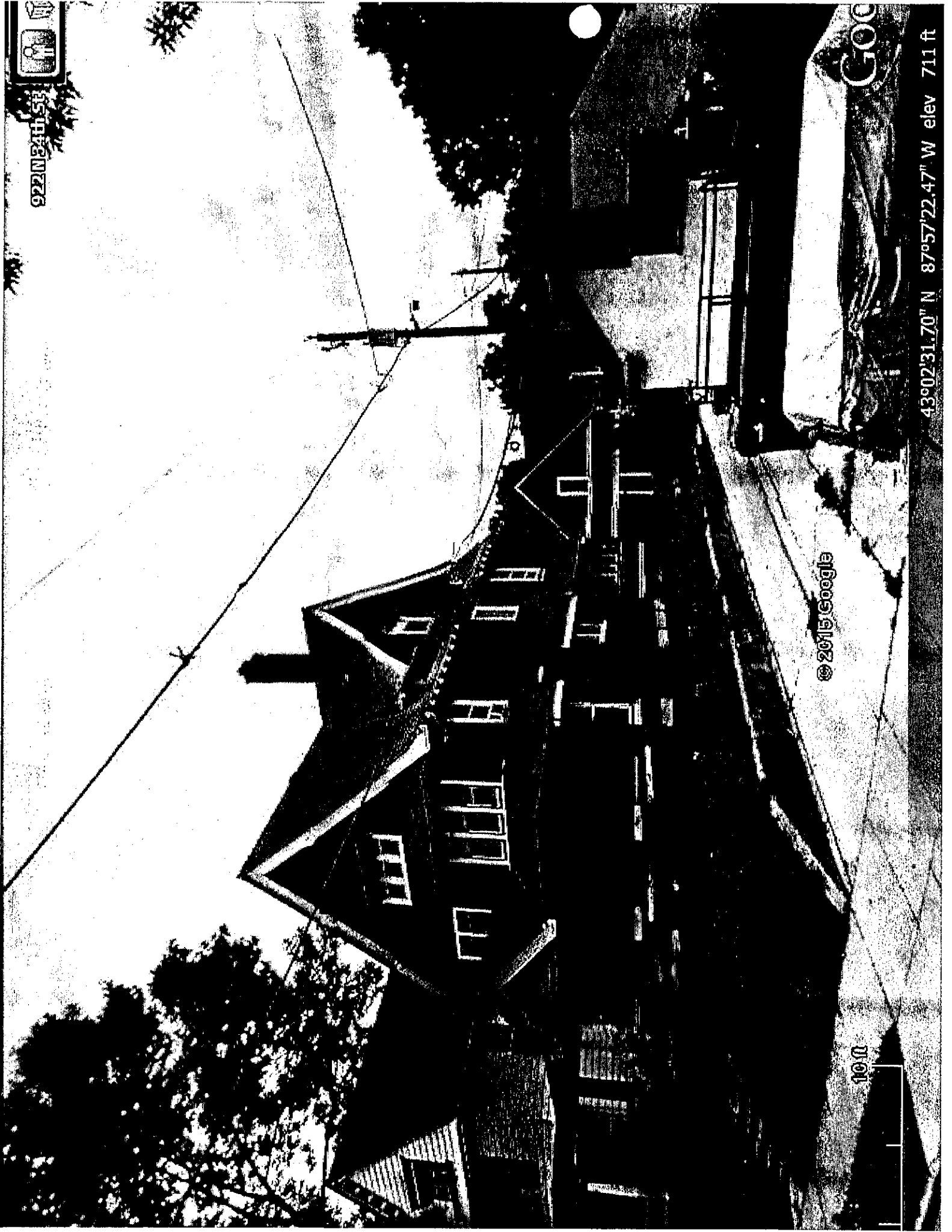
To validate this warranty and to obtain performance under this warranty, the purchaser must provide the Wasco serial number to the Wasco Customer Service representative (located on the gold tag on the outside of the skylight retainer)

This warranty is exclusive and in lieu of all other warranties. This warranty gives you specific legal rights. You may have other rights, which vary from state to state.

In the event of any warranty claim, an authorized Wasco agent must be notified in writing within 30 days after defect is discovered. Said authorized Wasco agent will arrange to have your claim investigated. If there is no authorized agent in your area, you may write to the address below.

**Wasco Products, Inc. 85 Spencer Drive, Unit A P.O. Box 559 Wells, ME 04090**  
800-388-0293 Fax: 207-216-4562 [cs@wascoproducts.com](mailto:cs@wascoproducts.com) [www.wascoskylights.com](http://www.wascoskylights.com)





922 N 34th St

© 2015 Google

10 ft

43°02'31.70" N 87°57'22.47" W elev 711 ft

GOO



March 14, 2015

Attachment to: Certificate of Appropriateness Application Form

I am requesting a Certificate of Appropriateness (COA) for a new roof and proposed installation of three (3) skylights during its replacement at 926 N. 34<sup>th</sup> Street, Milwaukee 53208 located in Old Concordia Historic District. The roof will be of the same type and style, including gutters, etc. with no changes other than what is required by code. The skylights are Wasco 22" x 46" venting, self-flashing, double-paned thermal windows—reflecting heat back into the room in the winter and outward in the summer. (Brochure attached). They were chosen not only for their quality and thermal properties, but their beauty and esthetic compatibility to the homes and area.

Many older houses have large attics that for years and years only served as storage and "cold" spaces. Improved insulation, HVAC and other technological advancements has meant that sometimes entire floors can now be used for valuable living space. This was the case with my home when the attic was remodeled sometime in the late 80's, prior to my purchase in 1996. Originally, two sets of small windows at the west and east ends of the attic were the means of ventilating out the summer's heat and keeping the lower levels of the house cool. However, once the free flow of air was disrupted by rooms created in the remodel, this never-efficient method became even less effective than it had been.

The skylights are being requested for the purposes of additional light and energy conservation. Both issues combine in the attic to create an excessive consumption of electricity that the installation of the skylights would significantly reduce. The lack of available natural light means unnecessary dependence on artificial lighting for approximately 10 or more hours per day. An air conditioner must be run almost constantly during the summer and in the winter additional electric heating is a must. All of these factors together (lights, heat and air conditioning) account for probably half of my total electric consumption averaged over all seasons (excluding necessary constants, such as a fridge, etc.)

The skylights would provide natural light all year (eliminating artificial lighting during the day), ventilate out the collected heat that has risen to the attic from the rest of the house in the summer, and help heat the area in the winter. The intended location on the south face of the roof receives the greatest and longest amount of daylight year round and is the best source for passive solar heat during the winter months. The temperature gain is significant.

Federal Energy Tax Credits remain in place until 2016 for installation of Energy Star efficient skylights and windows. All exterior trim and woodwork, including the porch and balcony, is to be restored and repaired to its original condition. It will be scraped and painted to the existing color. Skylights will provide a well-lit, hugely improved energy-efficient, livable space. Combined with the exterior work, the property value will increase and stabilize/raise the surrounding area values.

I took a very careful survey both walking and driving to determine how much visibility the skylights might have from the roadway. They would be installed on the back (eastern) half of the roof and as a result are largely shielded from view by adjoining properties and tree growth. Attached is a birds-eye-view map of the house and the only two areas where they could potentially be seen from are marked on the sidewalk areas for reference.

Where the middle (2<sup>nd</sup> half) of the roof first becomes visible is at the south edge of the alley (north of VCY) on the west side of 34<sup>th</sup> street. Line of sight continues for a distance of approximately 60' to the midpoint of the property at 921 N 34<sup>th</sup> Street, then ends. This is approximately in line with the edge of the house at 920—across the street on the east side. The only other place the skylights could potentially be visible is on W Kilbourn Avenue between 3308 and 3320 where there is a vacant currently. The view would start at the tree directly in front of 3308 and continue for about 80' west. At this point the roof edge of 3320 blocks the line of sight to roof where the skylights would be. (There was a house on that lot when I bought my property, entirely blocking my own from view.) If another house is built on it again, the only visibility would lie on N. 34<sup>th</sup> as previously described. There is no casual view from any other property or angle, or in any of the alleyways due to obstructing buildings or tree growth.

I understand that the purpose and mission of the Historic Preservation Commission is to protect and perpetuate property of “special architectural character or special historical interest or value”. My particular property is historically significant only because of its age and original style-- it has been altered in many ways over the years. It is doubtful that there is anything on the exterior that is original to it anymore. It is aluminum sided—done prior to the creation of the HPC. It is almost certain that there was also a large bay window in the dining room on the south wall that has been replaced with the present long clerestory-type one. The rear balcony was replaced in 2006 to replicate what was already there at the time, but that balcony itself was not original because the supports for it had been cut into the back door frame.

The skylights are not planned for placement into a pristine, untouched example of period historic architecture and design. They will not compromise the style or “special architecture character” of the home (late Victorian) nor are they out of scale with the current structure.

As the criteria requires they will not “destroy or adversely affect any exterior architectural feature of the improvement upon which the work is to be done”. Ultimately, a roof is not permanent and skylights only a temporary modification thereupon. The roof has been replaced many times since the house was constructed, and no doubt will be done many more times going forward. There is to be no removal of original material historically significant to the time. In the event that the skylights are no longer wanted at some future point, they only need to be taken out, the openings sheeted over and then re-shingled. There will be no permanent, unwanted impact to the structure.

Skylights are historically compatible with the time period as a whole, and over the Midwest geographically. They are not anachronistic or an anomaly for the time, but were used in all

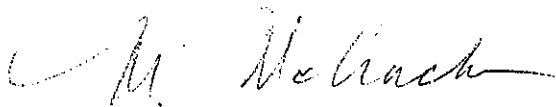
types of architecture during the 1800's and early 1900's. Roof skylights are showcased in an attic bedroom on the Wisconsin Historical Society's website, and only brief research provided Kingman Place Historic district in Des Moines, Iowa as an example of Midwestern skylights. From an earlier period, Thomas Jefferson had thirteen installed when he built Monticello. "Whether I retire to bed early or late," he wrote, "I rise with the sun."

I have great respect for the goals and mission of the Historic Preservation Commission. The criteria as provided for in the city codes and state statutes will not be violated by installation of these very lovely skylights. My home gives me great happiness, and I would like to fully, comfortably and economically enjoy a naturally well-lighted space—particularly in the depths of winter. As both an archaeologist and historian I researched the period, and then with due diligence checked any right-of-ways from which the skylights might be visible. When balancing installation of historically consistent skylights against continuing high heating, cooling and lighting costs inhibiting the full use of my house, I hope the Commission will approve the Certificate of Appropriateness I'm requesting. Basic information is attached, and any scale drawings or plans will be submitted if necessary.

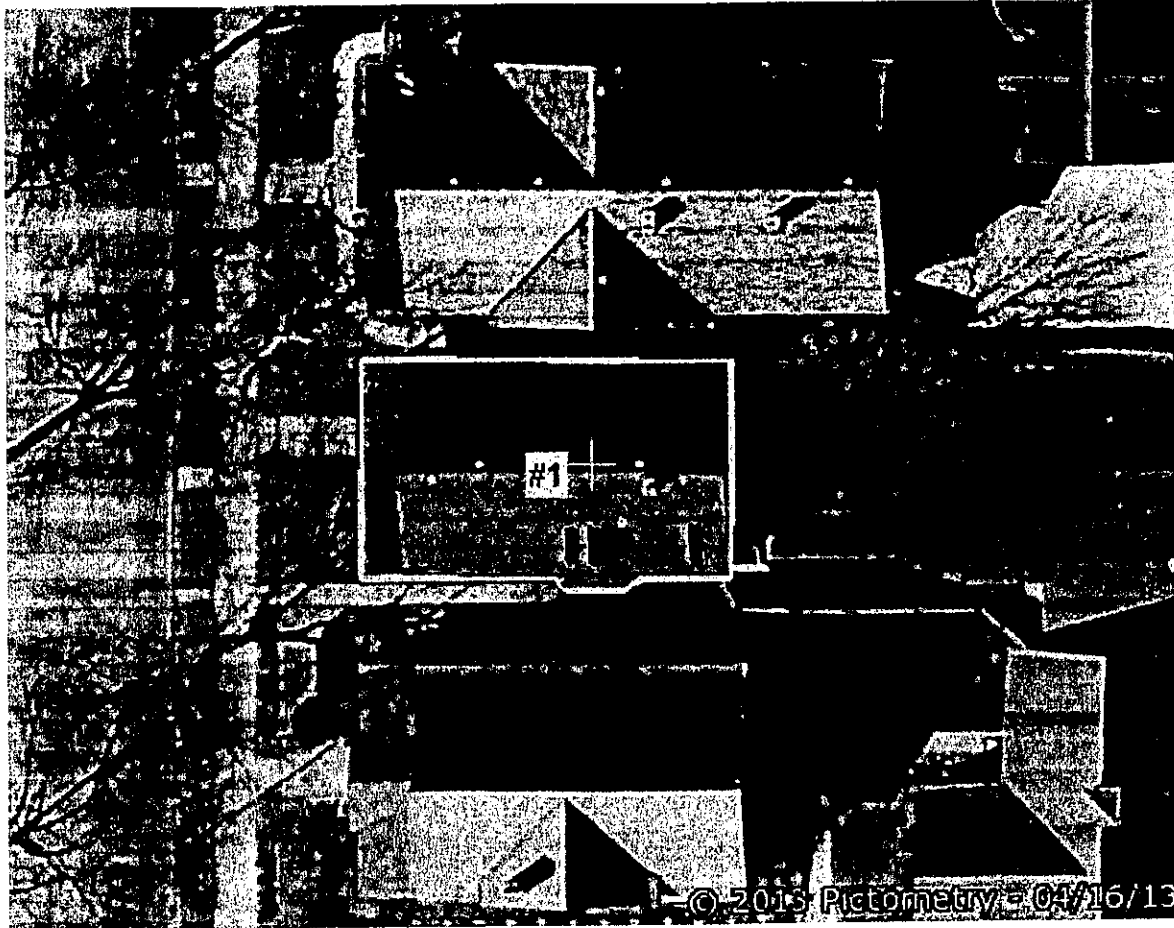
Thank you very much for your consideration.

Maggie McCracken  
926 N. 34<sup>th</sup> Street  
Milwaukee, WI 53208  
414-213-5823  
[medievalmaggie@yahoo.com](mailto:medievalmaggie@yahoo.com)

Attachments: -brochure for Wasco skylights  
-birdseye view of house/block, marked where skylights would be visible on street  
-birds-eye view of roof, marked with proposed placement of skylights (this is not to scale, but meant only to give an idea of where they are intended to go.)



## REPORT DETAILS

Roof #1 Area: **22 Squares**Predominant Pitch: **14**

This report only includes up to two structures on the property. The pitch has been factored into the calculation with no waste. Please upgrade to a Premium Report to receive measurements for additional structures.

Satisfaction Guaranteed  
[www.eagleview.com/Guarantee](http://www.eagleview.com/Guarantee)**Upgrade Your Report!**

QuickSquares is a report used to estimate the overall size of the roof; for material-ordering accuracy, contractors should upgrade to a Premium Report. The price of your QuickSquares report will be deducted from your upgrade.

## A Premium Report includes:



- 3D Roof Diagram
- Aerial Images (Top, N, S, E & W)
- Waste Calculation Table
- Square Footage Pitch Table
- Length Diagram
- Notes Diagram
- Report Summary
- Area Diagram
- Pitch Diagram
- Customizable Report

This document is provided under license by EagleView Technologies to the requestor for their Internal Use Only subject to the terms and conditions previously agreed to by the requestor when they registered for use of EagleView Technologies Services. It remains the property of EagleView Technologies and may be reproduced and distributed only within the requestor's company. Any reproduction or distribution to anyone outside of the requestor's company without EagleView's prior written permission is strictly prohibited. All aspects and handling of this report are subject to the Terms and Conditions previously agreed to by the requestor.



921

926 N 34th St

Imagery Date: 4/4/2014 43°02'31.57" N 87°57'21.10" W elev 694

90'

