



LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property**

**1139 E. KNAPP ST. First Ward Triangle Historic District**

**Description of work**

Rebuild second floor bay of windows facing east which is sagging. No new features are to be added and existing brick will be carefully salvaged for re-use. Install new lintels where needed to match exacting the Bedford limestone. Install all new copper gutters and downspouts to match original gutter details. Location of downspouts will change as needed. Replace all ornamental sheet metal finials and dormer surrounds on third story (with the exception of the rear elevation) with new matching, soldered metal material to match the original designs. All crockets and finials to be carefully duplicated. Clean and tuckpoint (as needed) brick and terra cotta. Install new red 3-tab asphalt shingles. Replace wood window sash on north and east elevation with new wood sash (both inside and out) that are fitted with clear insulating glass. Construct new porch stoop on E. Knapp elevation and in rear yard. Remove all metal storm windows. Install new all replacement sash where necessary duplicating the original glass size and any original wood profiles.

**Date issued**

4/17/2014

PTS ID 94059 COA, exterior restoration

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to the photos, drawings and specifications contained in this COA. All new glass for windows must be clear (no low-e or coated). New glazing can be insulating glass. A sample of the masonry tuckpointing must be reviewed and approved by HPC staff prior to general commencement of that work. New mortar must match the original in terms of color, texture, hardness, joint width and joint finish. A sample of the roofing shingles must be reviewed and approved by HPC staff prior to installation of the material. A sample of the duplicated crockets must be reviewed and approved an approved by HPC prior to general installation. New dormer surrounds must match exactly the existing surrounds and they must have

soldered joints and seems like the originals and be made of metal (copper or galvanized or an equivalent approved by HPC staff). Solid board wood privacy fence that will enclose trash bins in rear yard must be painted or stained upon completion. This fence will match the existing wood privacy fence in the parking lot. New all-wood storm/screen units can be installed over the prime windows if needed. No vinyl/, vinyl-clad., aluminum, aluminum-clad, steel, fiberglass or composition windows are permitted.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.milwaukee.gov/build](http://www.milwaukee.gov/build), or call (414) 286-8210.

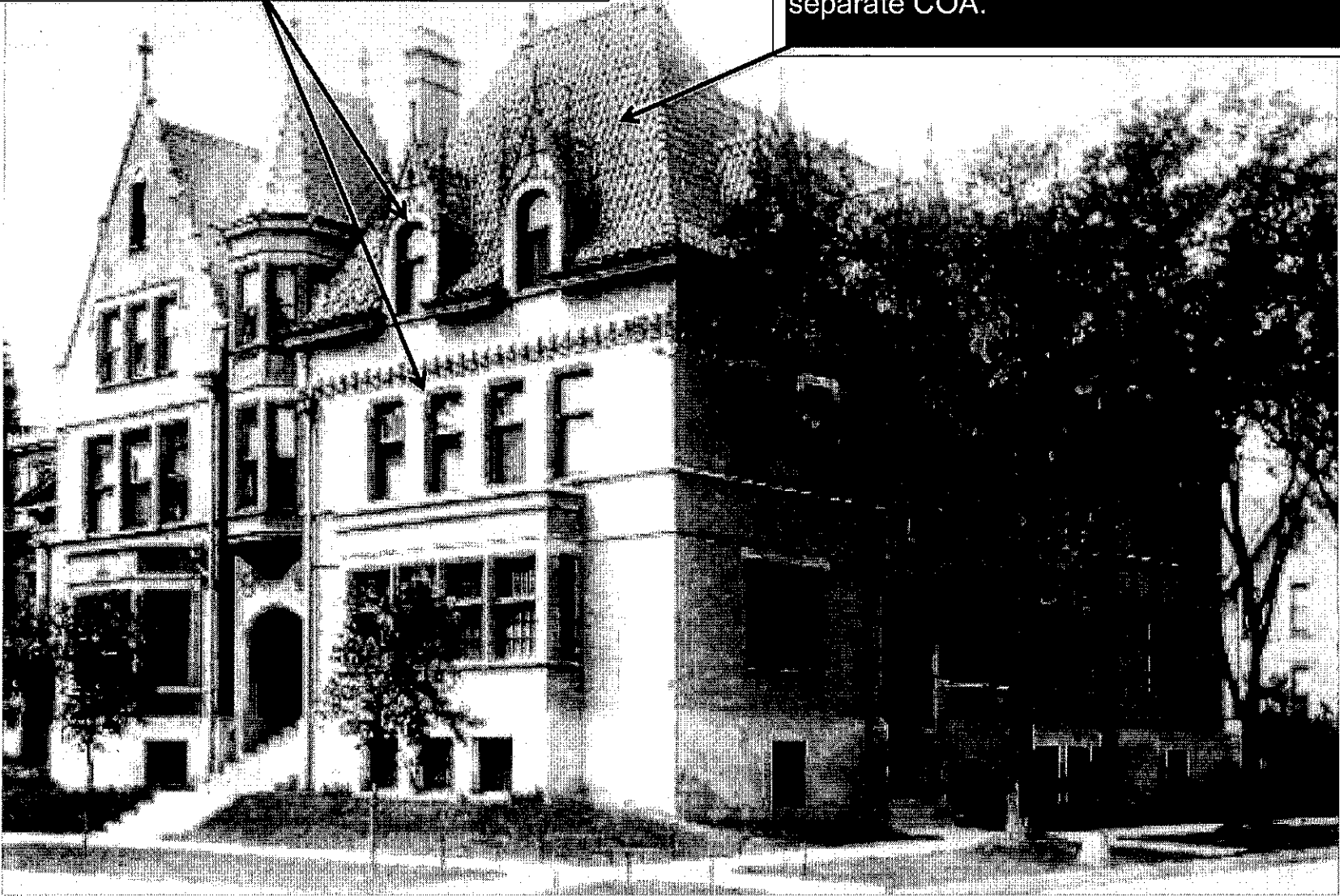
A handwritten signature in black ink, appearing to read "Paul Jakubovich", written over a horizontal line.

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Uihlein-Wilson Arch., Inspector Bill Richter (286-2518), Inspector Heidi Weed

This central bay on 2<sup>nd</sup> and third stories to be rebuilt using original materials. Lintels on second floor will be re-used or made from new Bedford stone to match exactly the original pieces

Historic photo showing the house in original condition. The red clay tile roof pictured here will be duplicated and installed at a later date under a separate COA.



HISTORIC IMAGE OF HOUSE WITH CLAY TILE ROOF. FLASHING AT ROOF MUST BE RECEIVERS TO ACCEPT CLAY TILE ROOF FLASHING IN FUTURE.

# E. Knapp Street

REPLACE CONCRETE WALK AND STEPS AT GATE.

NEW WD FENCE AND GATE ENCLOSURE AROUND TRASH/RECYCLING CARTS AND HVAC UNITS FENCE TO BE 1X6 BOARDS ON 2X4 HORIZONTALS WITH 4X4 POSTS. TO MATCH EXISTING FENCE AT HAWLEY HOUSE PARKING AREA ENCLOSURE.

REFURBISH METAL GATE. REMOVE OLD PAINT, REPLACE MISSING PIECES AND PROVIDE A NEW LOCK MECHANISM.

REMOVE WOODEN FENCE AND GATE.

REMOVE EXISTING CONCRETE WALK AND REPLACE PREP FOR LANDSCAPE BY OWNER.

## New stoop

**New wood privacy fence around trash bins and condensing units. Wood must be painted or stained upon completion**

REMOVE EXISTING WOODEN STAIR AND LANDING.

ROOF CONDUCTOR - CON STORM PIPE BELOW PORN REPLACE LANDSCAPE IF PIPE BELOW GRADE. VEER ACTIVE AND CLEAR OF DE WITH INSULATION AND 2:1 AREA WELL TO AVOID FIRE

TRASH & RECYCLING CARTS

REMOVE LOWER BRANCHES FROM TREE TO A CLEAR HEIGHT OF 7' ABOVE NEW STEPS.

NEW WOODEN STAIR AND LANDING.

REMOVE STONE CAP AND KEEP FOR REUSE. REMOVE BRICK TO 4" BELOW GRADE TO ACCEPT NEW CONCRETE WALK ON TOP. REINSTALL STONE CAP AND BRICK FOR NEW OPENING IN WALL.

21  
A-400

22  
A-400

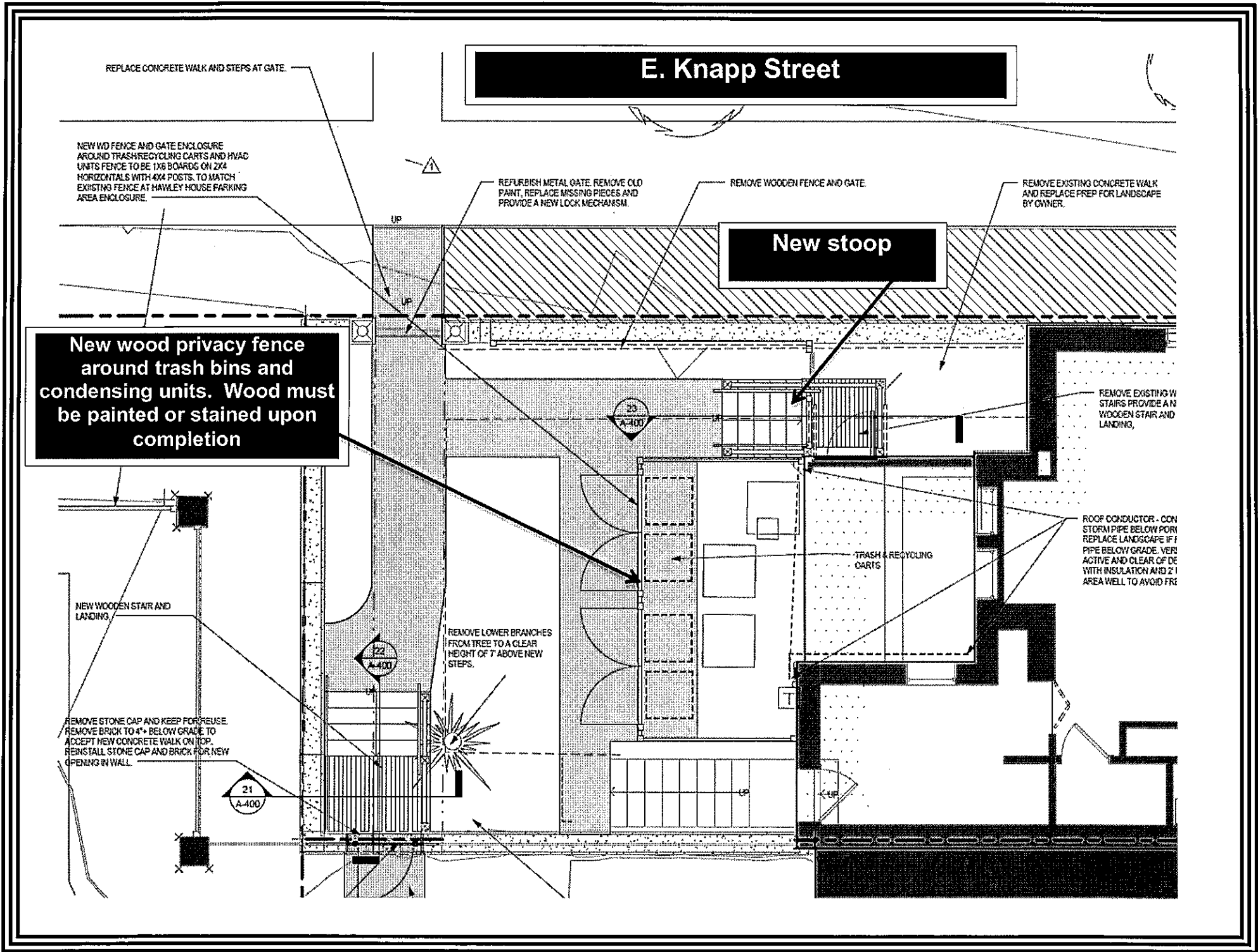
23  
A-400

UP

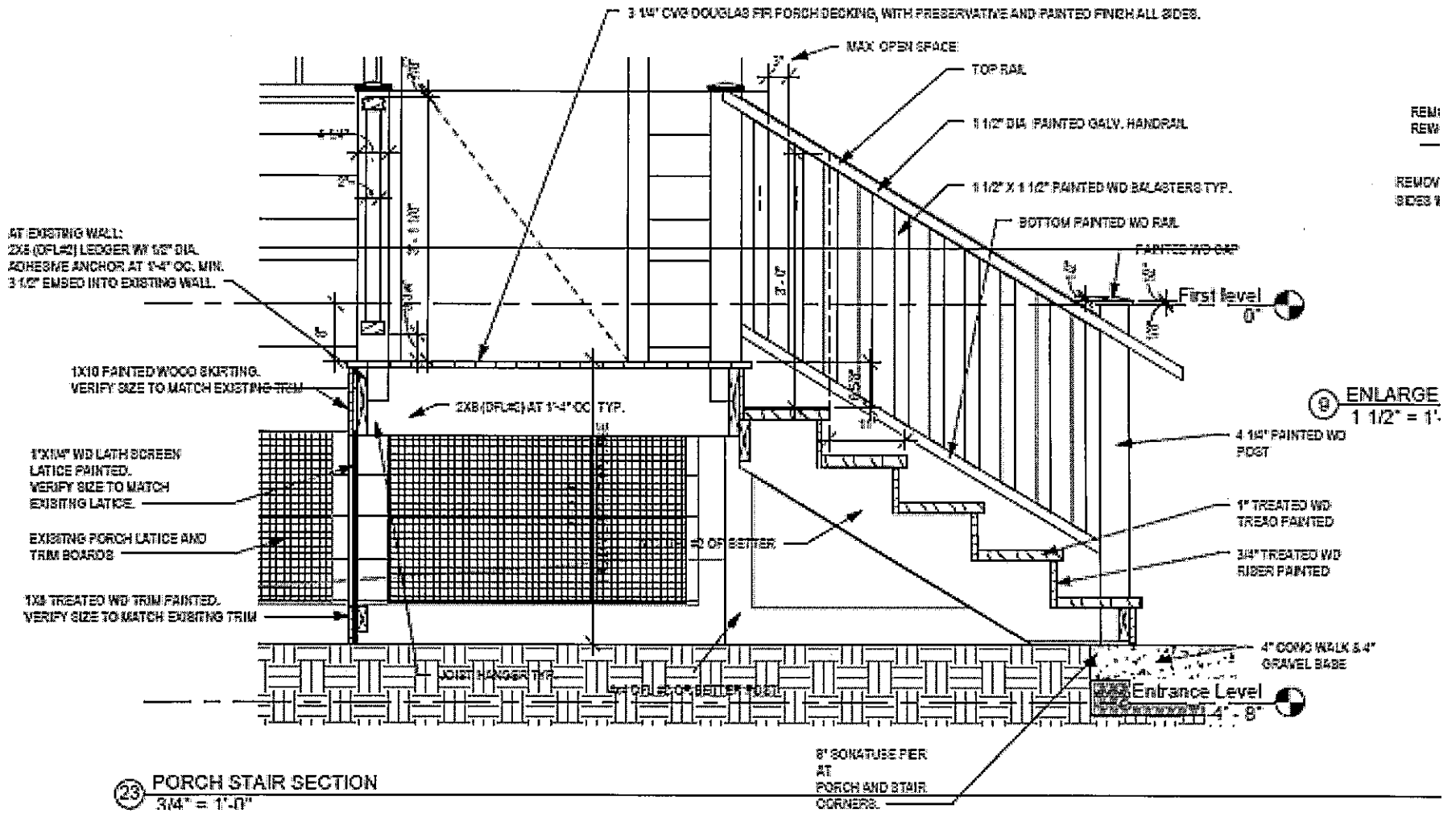
UP

UP

UP



CLOSING



**Stoop to be installed at rear of house on Knapp Street elevation.**

11 1/4" = 1'-0"

PAINTED METAL GATE TO MATCH METAL FENCE PICKETS AND RAILS. PROVIDE 2 1.2" POST WITH BALL CAPS TO MATCH FENCE. PROVIDE BRACKET FOR MAG-LOCK AND BACKBOX FOR SECURITY CARD READER. HINGES TO BE SELF-CLOSING. PROVIDE DECORATIVE MEDALLION TO MATCH ORIGINAL GATE TO THE NORTH IN CENTER OF NEW GATE.

REMOVE 2 SECTIONS OF METAL FENCE AND REWORK

EXISTING METAL FENCE PAINTED

EXISTING STONE CAP

EXISTING BRICK RETAINING WALL

First level 0"

Entrance Level -4'-8"

NEW W/D FENCE AND GATE ENCLOSURE AROUND TRASH/RECYCLING CARTS AND HVAC UNITS FENCE TO BE 1X6 BOARDS ON 2X4 HORIZONTALS WITH 4X4 POSTS. TO MATCH EXISTING FENCE AT HAWLEY HOUSE PARKING AREA ENCLOSURE.

2X TREATED WOOD STAIR AND PLATFORM. STAIR TREADS RISERS AND DECK TO BE 5/8" SPCF WOOD. WITH A LATTICE SCREEN SIDEWALL CURT PAINTED. RAILING/GUARD RAILS TO BE PAINTED METAL TO MATCH FENCE CONSTRUCTION.

12 Elevation 3 - b  
1/4" = 1'-0"

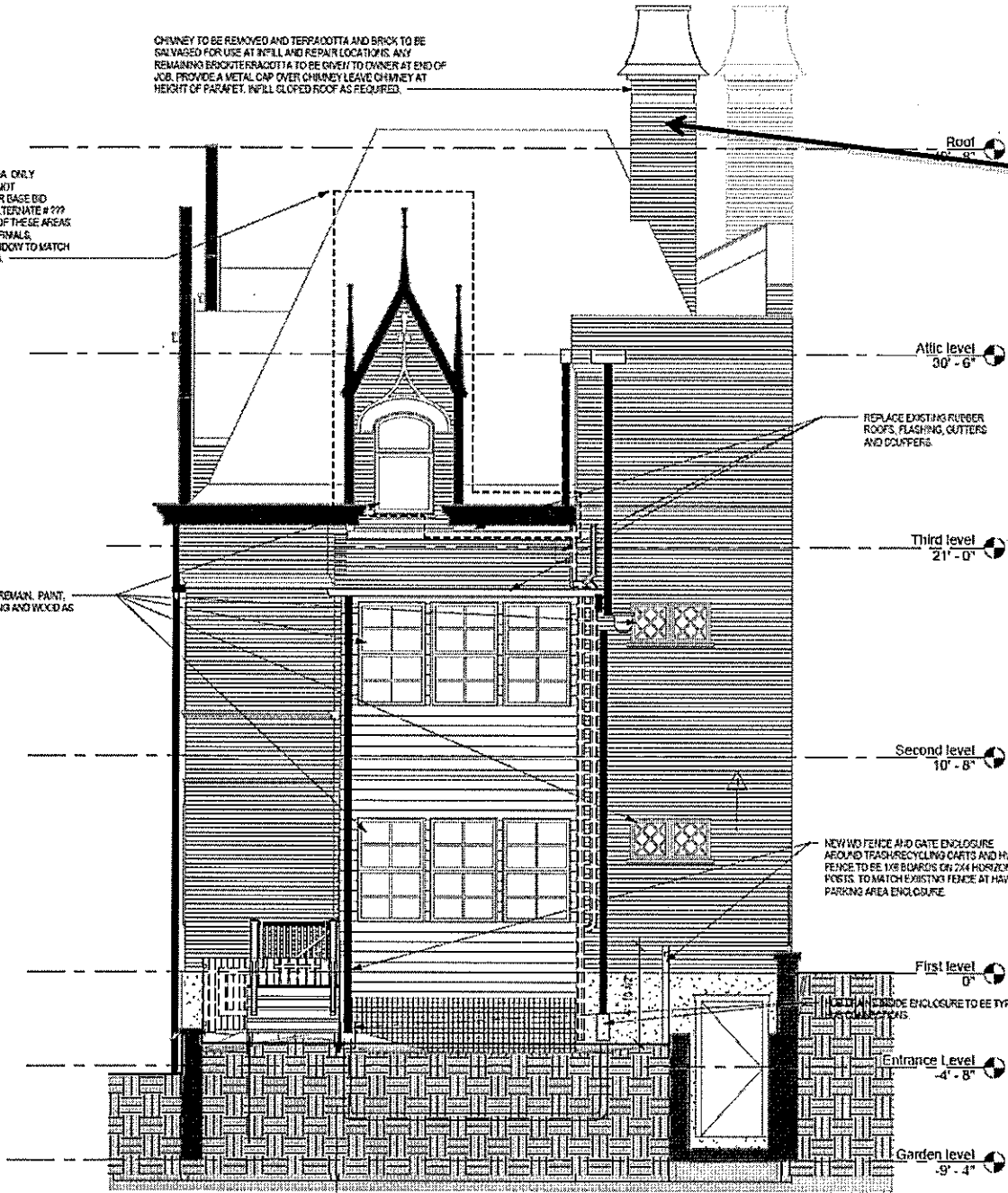
Rear yard facing E. Knapp Street. New gate, steps and concrete walk.

CHIMNEY TO BE REMOVED AND TERRAZZOTA AND BRICK TO BE SALVAGED FOR USE AT INFILL AND REPAIR LOCATIONS. ANY REMAINING BRICKS/TERAZZOTA TO BE GIVEN TO OWNER AT END OF JOB. PROVIDE A METAL CAP OVER CHIMNEY LEAVE CHIMNEY AT HEIGHT OF PARAPET. INFILL GLOPED ROOF AS REQUIRED.

**Remove rear chimney only in order to salvage brick for rebuilding front bay**

WORK IN THIS AREA ONLY STABILIZING AND NOT REPLICATIONS FOR BASE BID. PROVIDE A GRID ALTERNATE A ??? FOR REBUILDING OF THESE AREAS OF SHEET METAL FINALS, GUTTERS AND WINDOW TO MATCH REST OF BUILDING.

WINDOWS TO REMAIN. PAINT, REPAIR GLAZING AND WOOD AS REQUIRED.



Roof 0'-0"

Attic level 30'-6"

REPLACE EXISTING RUBBER ROOFS, FLASHING, GUTTERS AND COUPLERS.

Third level 21'-0"

Second level 10'-8"

NEW WOOD FENCE AND GATE ENCLOSURE AROUND TRASH/RECYCLING CARTS AND HVAC UNITS. FENCE TO BE 1X6 BOARDS ON 2X4 HORIZONTALS WITH 4X4 POSTS TO MATCH EXISTING FENCE AT HAWLEY HOUSE. PARKING AREA ENCLOSURE.

First level 0'-0"

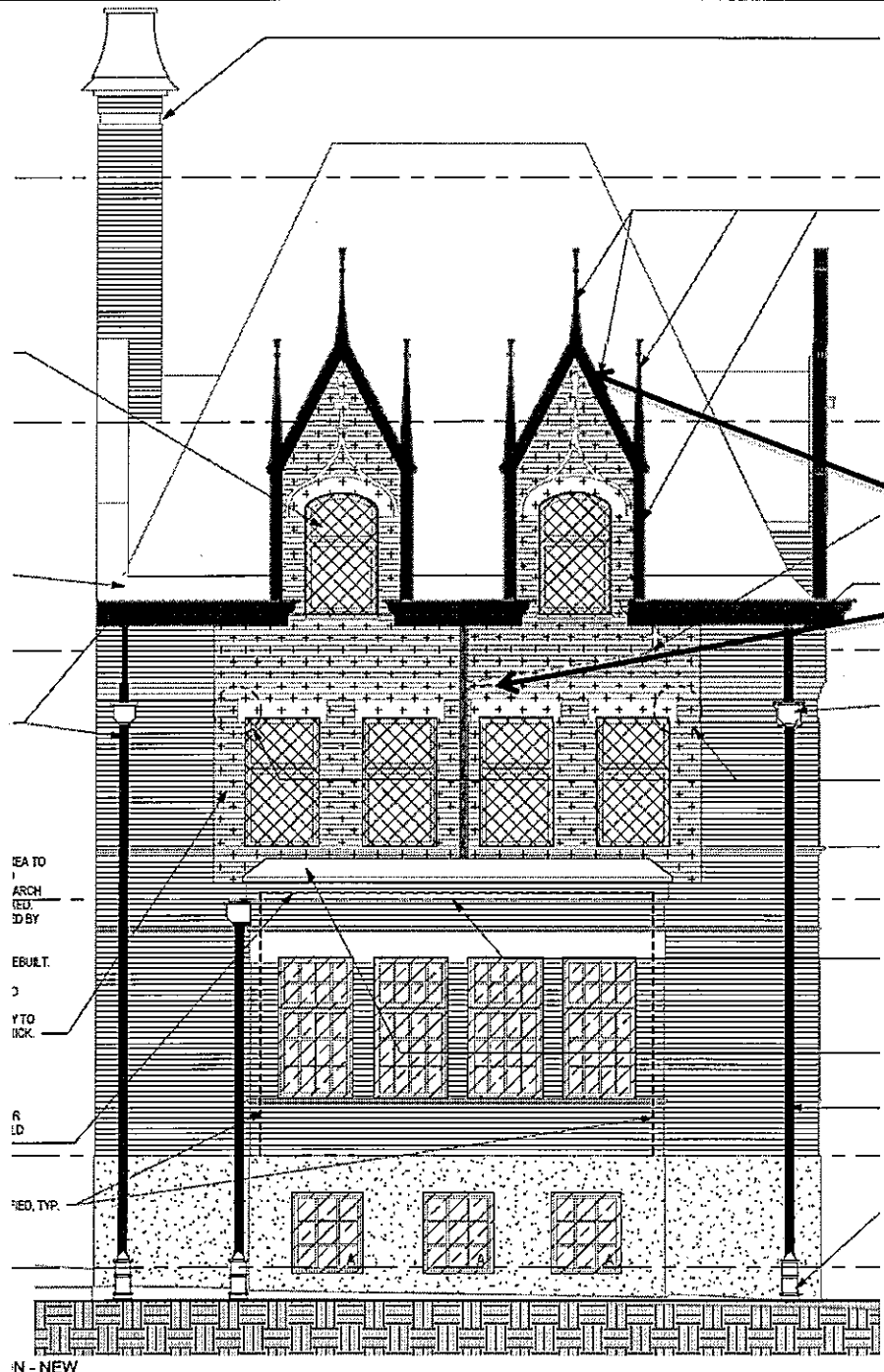
ENCLOSURE TO BE TYPICAL

Entrance Level -4'-8"

Garden level -9'-4"

**Rear elevation facing west**

③ PHASE 1 - WEST ELEVATION - NEW  
1/4" = 1'-0"

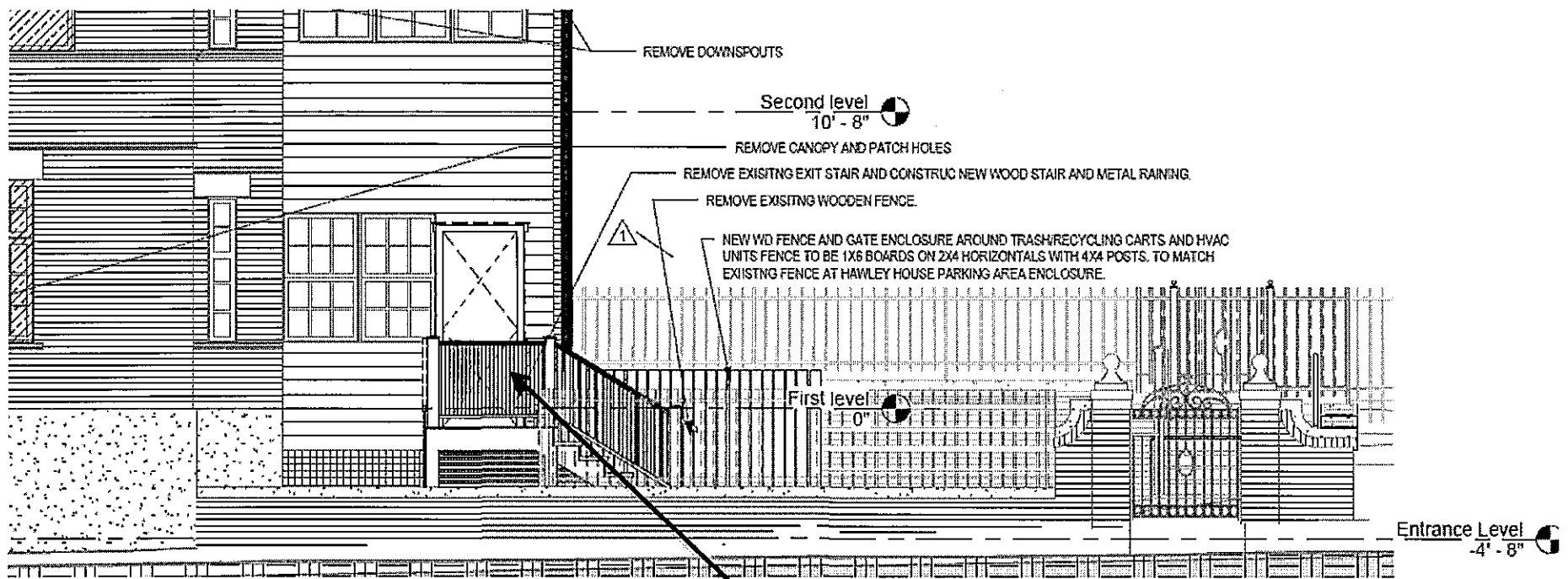


Brick in this area to be removed and re-layed with new structural elements and windows to be replaced using either originals or all-wood replacement to match exactly the original glass sizes and profiles of all moldings. Glass must be clear. No low-e or tinted. Gable surrounds will be rebuilt in copper to match exactly the originals including all crockets and finials.

East elevation



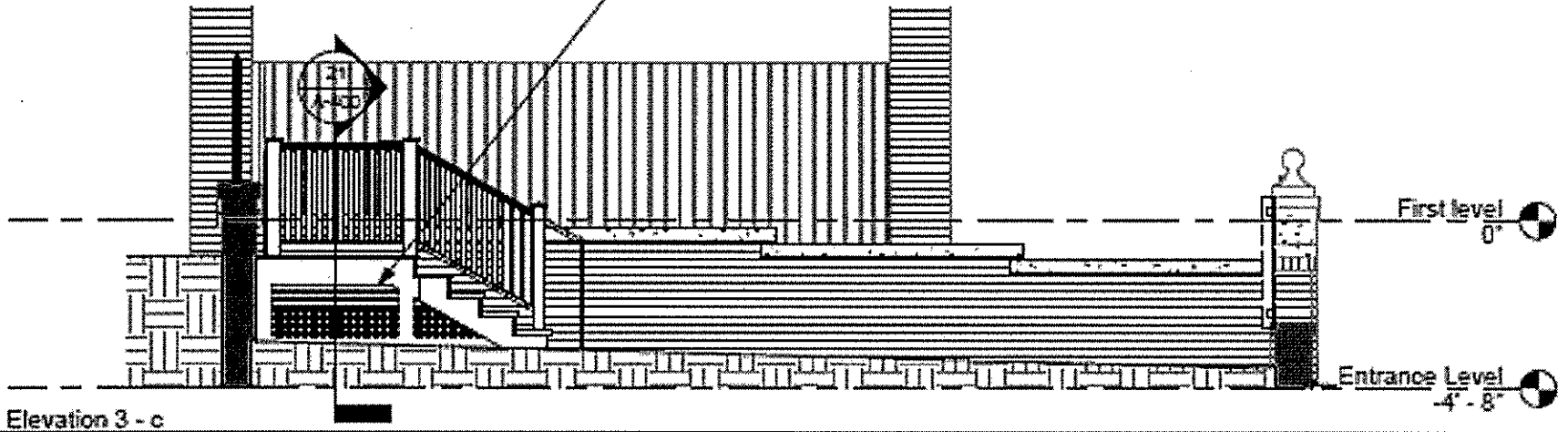




**Detail of new rear stoop and railings.**

1'-0"

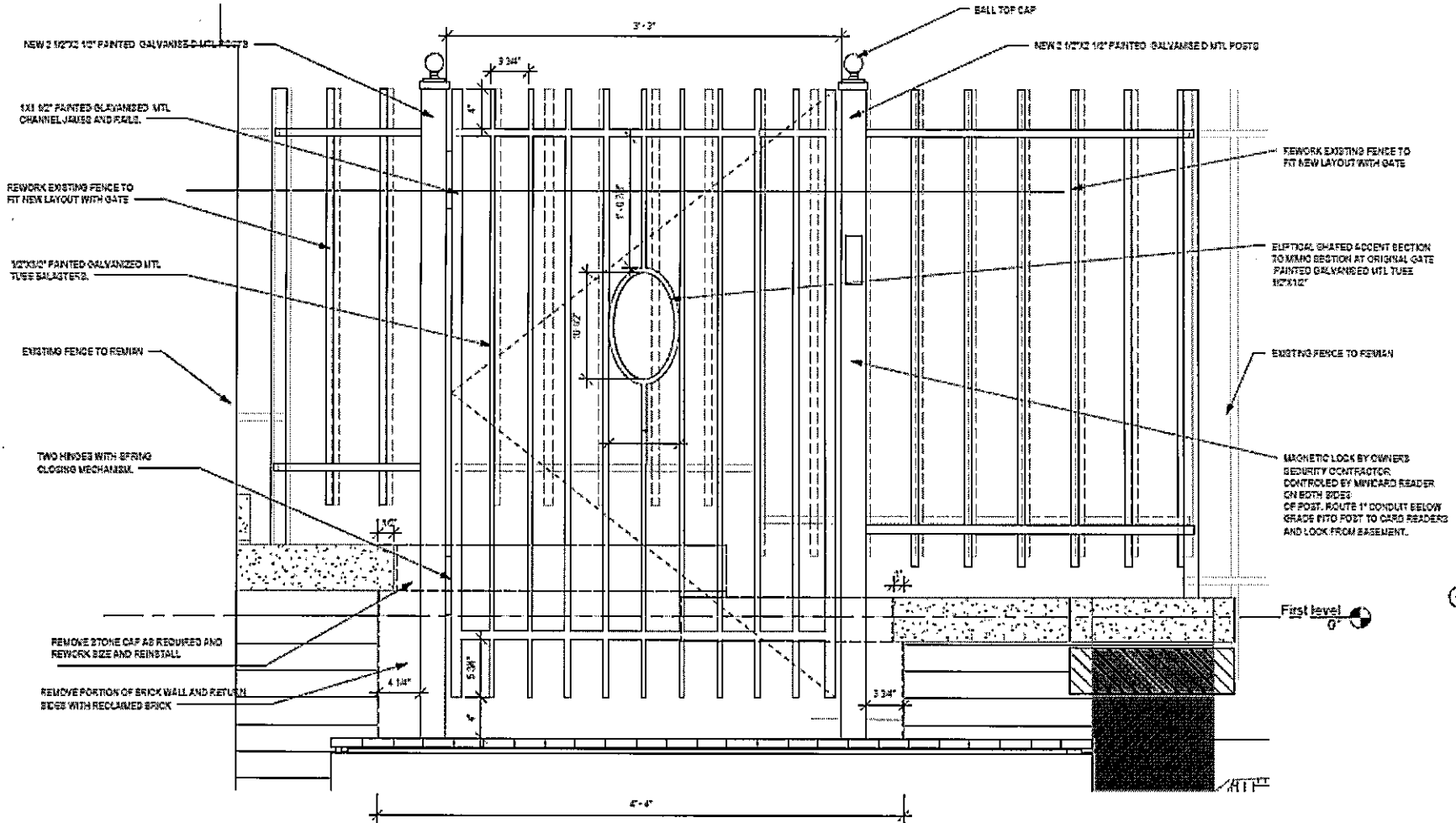
2X TREATED WOOD STAIR AND PLATFORM. STAIR TREADS RISERS AND DECK TO BE 5/8" PEE WOOD. WITH A LATTICE SCREEN SIDEWALL SKIRT PAINTED. RAILINGS/GUARD RAILS TO BE PAINTED METAL TO MATCH FENCE CONSTRUCTION.



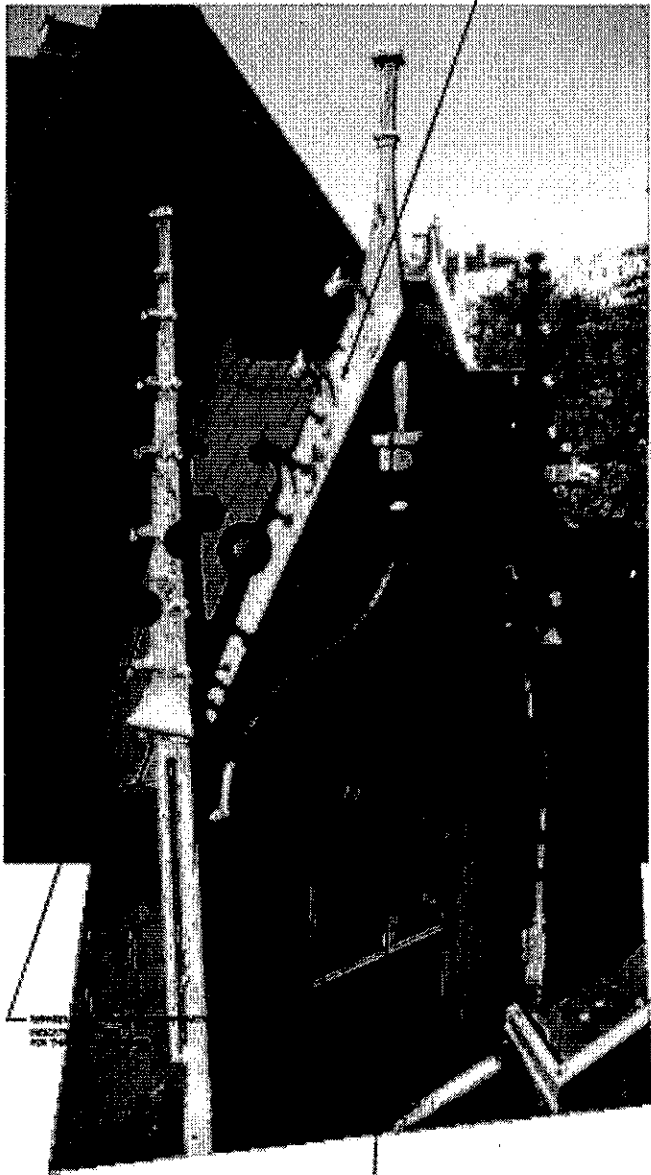
13 Elevation 3 - c  
1/4" = 1'-0"

PAINTED METAL GATE TO MATCH METAL FENCE PICKETS AND

**New stoop and steps for backyard**



**Detail of steel gate in rear yard.**



CROCKETS ARE USED TO FASTEN COPING AND FINIAL TO ROOF



TRICK: ON SITE, THE LEAD COATED COPING AND WATER IS INTO GREENHALL, VA



BACK SIDE OF FINIAL



Image of finial and coping with no missing crockets.



Crocket size changes as you go up finial.

**Third floor dormer surrounds to be removed and replaced with new soldered copper dormer surrounds that will match exactly the existing dormer surrounds. Metal storm windows to be removed on east and north elevations. New wood sash with CLEAR insulating glass to be installed on north and east elevations to match existing glass size and muntin patterns.**

PROVIDE LEAD COATED COPPER TRANSITION ASSEMBLY AT  
BREAK IN SLOPE OF ROOF.

EXISTING ROOF STRUCTURE AND DECK.  
REPLACE ANY ROTTEN OR BROKEN PIECES.

REMOVE AND REPLACE TO MATCH ASPHALT SHINGLES  
AS IDENTIFIED ON ROOF PLAN. ICE AND WATER SHIELD  
ENTIRE AREA AND DOWN INTO GUTTER.

LEAD COATED COPPER DRIP EDGE WITH CLEAT  
AND RECEIVER FOR GUTTER.

LEAD COATED COPPER GUTTER  
WITH ICE AND WATER SHIELD AND ROBIN  
PAPER SLIP SHEET. PROVIDE A DRIP EDGE  
WITH CLEAT FOR GUTTER REPAIR IN THE  
FUTURE.

REMOVE EXISTING RUBBER GUTTER AND  
TROUGH INFILL.

EXISTING MET. FASCIA TO BE EVALUATED IN  
THE FIELD TO DETERMINE IF IT CAN BE  
REUSED AND REPAIRED WHERE DAMAGED.  
PROVIDE AN ALTERNATE TO COMPLETELY  
REPLACE FASCIA WITH LEAD COATED  
COPPER TO MATCH EXISTING PROFILE, TO BE  
PAINTED.

EXISTING WOOD STRUCTURE TO BE  
EVALUATED IN THE FIELD AND ANY ROTTEN  
PIECES TO BE REPLACED.

PAINTED LEAD COATED COPPER DOWNSPOUT

EXISTING BRICK

Third level  
21'-0"

Details of relining built-in gutter  
system and matching existing  
profiles outside the gutter box.

① Section At Roof Eave  
1/2" = 1'-0"