

FILE NO. 211891

Consideration of the appeal of the HPC denial for retroactive approval of major landscape changes to 2112 N. Lake Drive in the North Point South Historic District for Rebecca Osborn and Matthew Hetzel.

- This matter was reported to the HP staff as work in progress. No COA had been applied for or issued. The entire front yard was affected.
- The new landscaping follows the form of the earlier landscaping but with some changes.
- The walkway from the front porch to the driveway was removed and the raised landscape bed was extended back to the house and used manufactured stone and has been explicitly prohibited by our guidelines since 1997.
- The curved planting beds alongside the sidewalk steps were removed.
- The front yard was to be re-graded.
- A railroad tie border along the south side of the side yard was replaced with manufactured stone.
- A brick patio was replaced with manufactured stone and a cooking station was built with manufactured stone.
- It has been the policy of the HPC to deny any artificial or manufactured stone products for plating beds, driveways, patios, etc.



REQUIREMENTS

Because your historic property is located in a city historic district, all exterior repairs or changes to your property require a certificate of appropriateness. Your historic property is of great importance and value to the city, and this requirement helps ensure that your property maintains its unique character. The certificate application process is simple, and in most cases, certificates of appropriateness can be administratively issued for work related to:

- repointing and other masonry work
- driveway & sidewalk paving
- landscaping
- fencing
- signage
- window replacement (including security windows)
- door replacement (including security doors)
- railing replacement
- mechanical system upgrades
- roofing or siding replacement

Some cases, however, do require review by the Historic Preservation Commission, which meets monthly. Please check with the **Historic Preservation Office, 414-286-5712 or 414-286-5722**, before starting any work.



Zedler Municipal Building
841 Broadway, Room B.1
Milwaukee, WI 53202

New owners in your neighborhood?

If you have new neighbors, please share this information with them or contact us so that we can welcome them to the district.

If you have any questions about

- Historic preservation • Design Guidelines • Material selection

Call the Historic Preservation Office at
414-286-5712 or 414-286-5722



CITY REQUIREMENTS FOR YOUR HISTORIC PROPERTY



The applicants have owned this property since March 18, 2017

Brochures Mailed out to Property Owners in Historic Districts on / about January 7, 2021 and in spring 2022

The brochure outlined the requirements for obtaining a Certificate of Appropriateness and included landscaping.



PRESERVING

Preserving the integrity of your historic property

As you undertake the regular maintenance of your property, here are some of the simple items that should be preserved to maintain the history and architectural integrity of your property.

- Windows
- Doors
- Porches
- Railings
- Chimneys
- Brick finishes
- Wood siding
- Landscaping features
- Garages & accessory structures
- Awnings

FINANCIAL ASSISTANCE

As a property owner in a historic district, you may be eligible for valuable financial assistance to help you maintain your property.

State Rehabilitation Income Tax Credit program (20-25% of project costs) for State or National Register Properties through the Wisconsin Historical Society at wisconsinhistory.org/taxcredits

Rehabilitation grants and loans for income-qualified owners are available through the Neighborhood Improvement Development Corporation (NIDC). For more information, contact the NIDC Information Hotline, **414-286-5608 or 414-286-5610**.



1987 Survey Photo



2015 Google Photo



2019 Google Photo

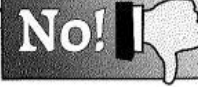
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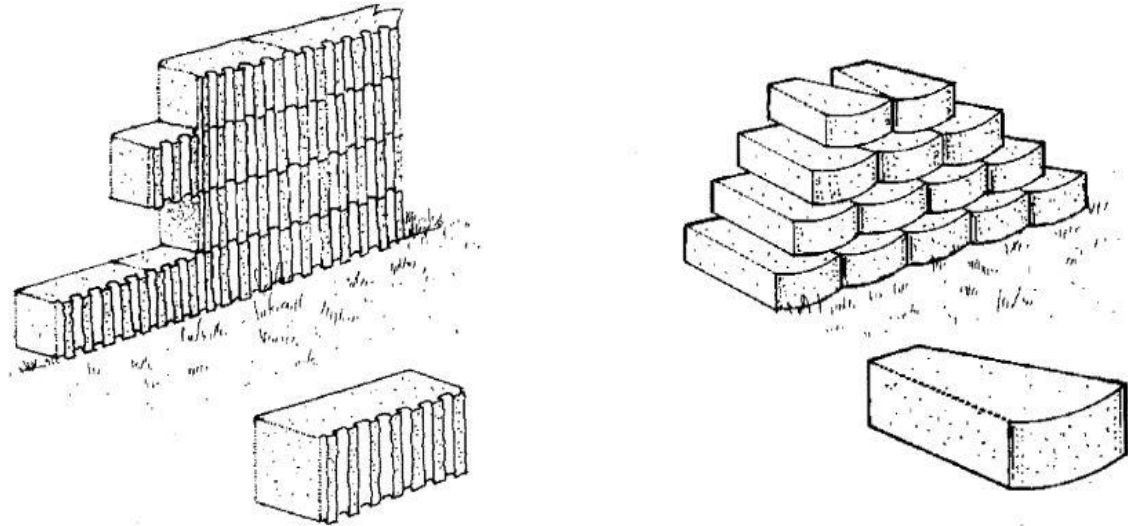
5-31-2022 2112 N LAKE DR JCR

DNS Photos taken 5-31-2022

Landscaping



Interlocking Concrete Block Retaining Walls



Interlocking concrete blocks are a modern landscape innovation that is not compatible with the architecture of houses built before 1940. Their use is generally not permitted in historic districts now, but as new products are developed it is possible that a type of interlocking block system could appear that might be permitted.

Living With History

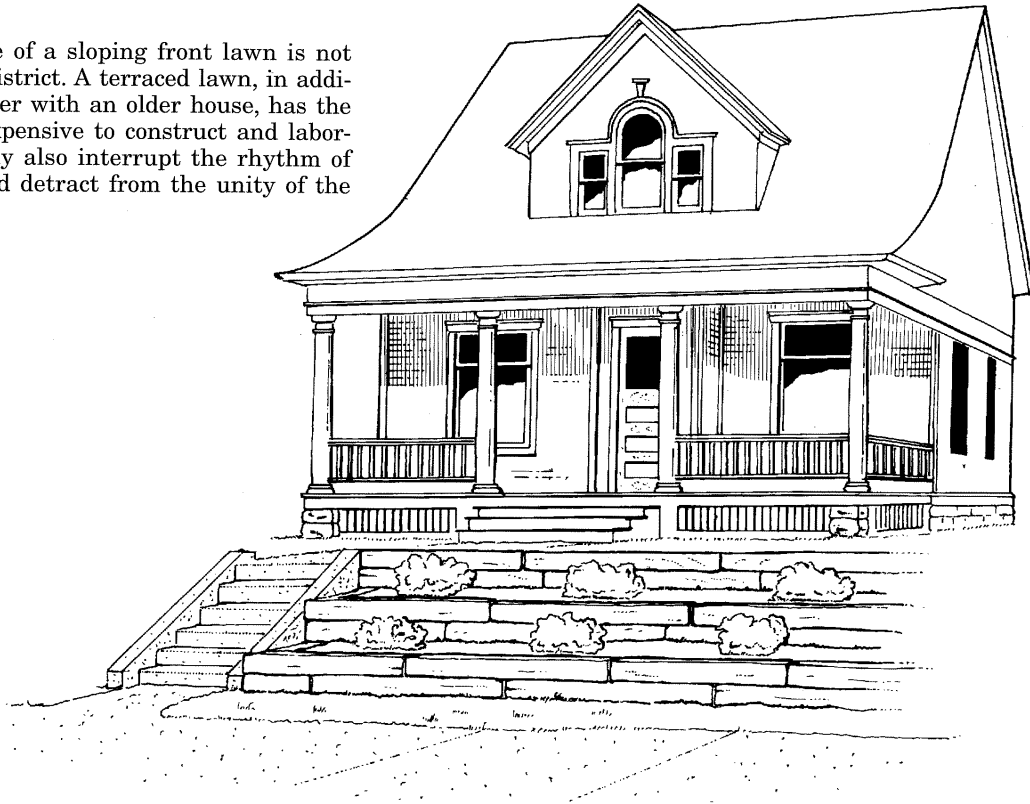
A guide to the preservation standards for historically designated houses in Milwaukee

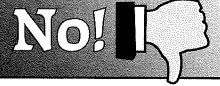




Terraced Front Lawns

Building terraces in place of a sloping front lawn is not permitted in a city historic district. A terraced lawn, in addition to looking out-of character with an older house, has the added drawbacks of being expensive to construct and labor-intensive to maintain. It may also interrupt the rhythm of bermed lawns on a block and detract from the unity of the entire streetscape.

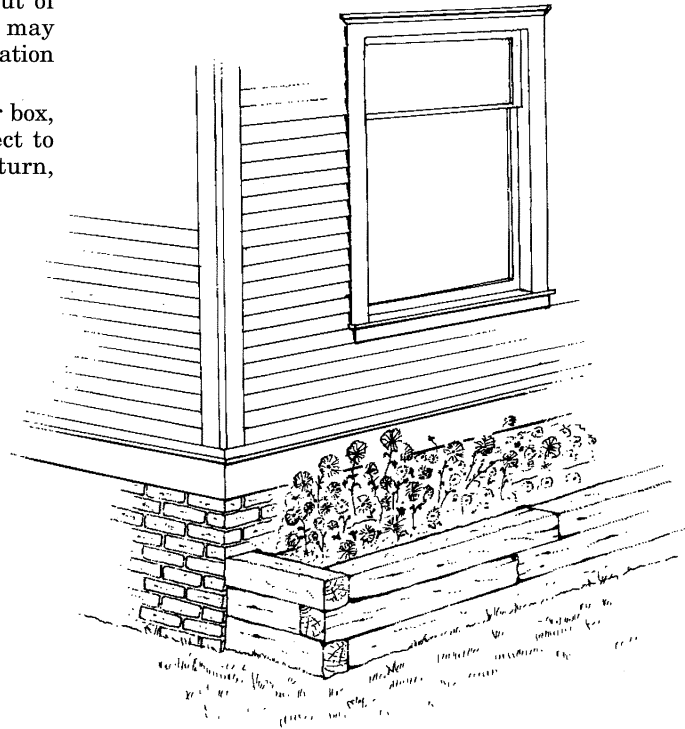




Planter Boxes

Do not build a planter box against the foundation of an older house. Not only does this type of planter look out of place with the architecture of an older house, but it may cause moisture and water damage to the adjacent foundation walls.

Another drawback is that a wooden foundation planter box, even if it is made of pressure-treated lumber, is subject to decay which can attract carpenter ants that will, in turn, invade the house.





Before brick patio



5-31-2022 2112 N LAKE DR JCR

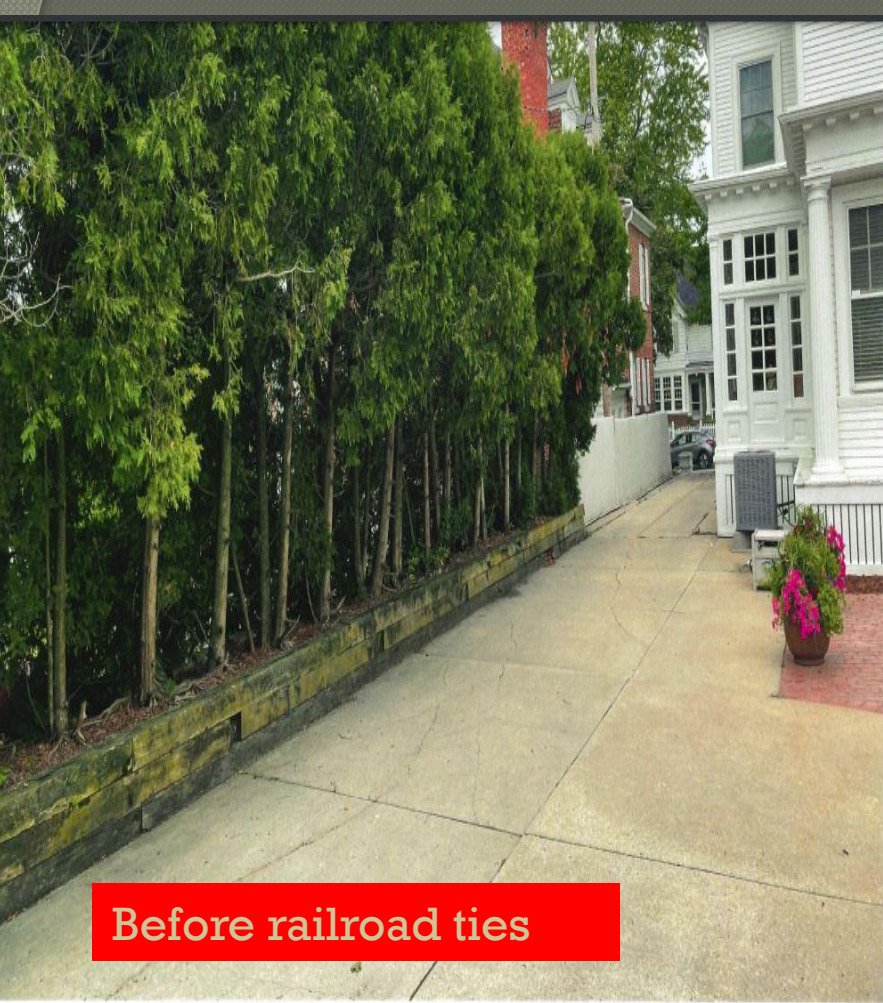
After manufactured stone and cooking station



Before crumbling steps and sandstone



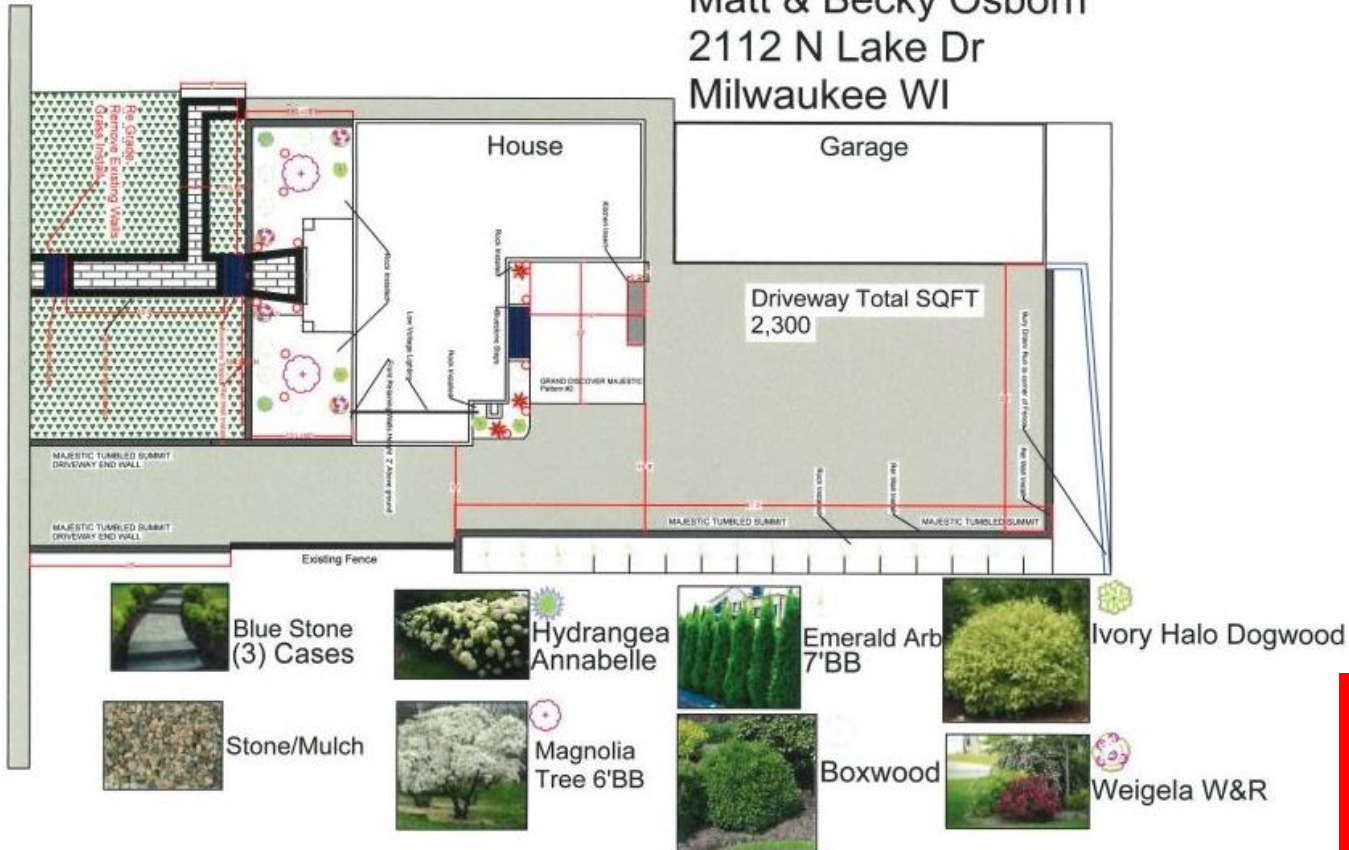
After manufactured stone; steps removed



Before railroad ties

After manufactured stone and new plantings

Matt & Becky Osborn
 2112 N Lake Dr
 Milwaukee WI



Landscape Plan

Predominantly used
 Majestic Tumbled
 Summit
 manufactured stone.
 Some use of
 bluestone.



Summit Stone Products, Inc. is a manufacturer of quality manufactured stone. We pride ourselves on producing some of the finest man-made stone around, and we welcome you to browse our site and see for yourself. Let us help you find the right stone for your project. We can customize any of the products you see on this site to fit your specific needs. We have a wonderful selection of manufactured stone for any project. We can also customize to fit your specific needs. Please have a look around our site and when you're ready contact us to get started.

Summit Stone

Our Stone



Castlestone



Fieldstone



Ledgestone



Limestone



Quickfit/Drystack



Hackett Stone



How is manufactured stone made?

The mixture is poured into molds cast from real stones, and allowed to dry. It is then pulled from the molds and ready for delivery. Colors on and in the stones are varied using Iron Oxide Dyes to create its natural look.

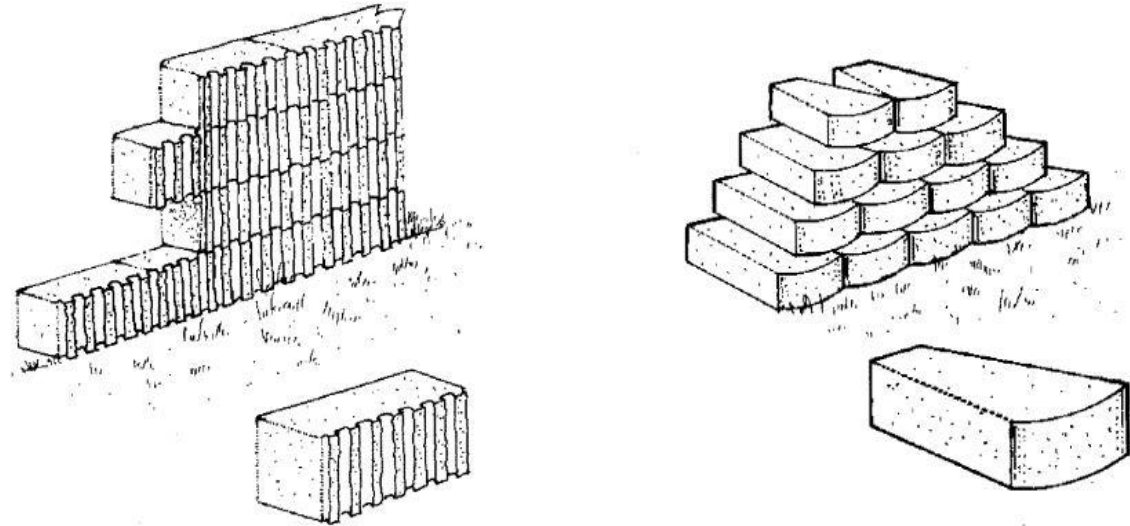
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