



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/841 N Broadway/Milwaukee, WI 53202/phone 414-286-5722

Property Description of work

3033 W. Kilbourn Ave., Concordia Historic District

Rehabilitation of the rear carriage house, including removal of the rear dormer, a new roofing structure and underlayment and asphalt shingles to match existing, replacement of wood drop siding in-kind, restoration of shingle siding where it had been removed on the east and west façades, repair of existing historic windows, addition of personnel door, and replacement of overhead garage doors with the attached doors. See attached plans.

Date issued 8/11/2025

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

1. All finish wood must be smooth and free of knots and must be painted or treated with an opaque stain upon completion. Note: when new, bare wood is left exposed to the exterior elements for a period of only a week or two, the life of the paint job subsequently applied to it will be decreased. The use of a decay-resistant wood for is required for porch areas. Using western white pine or Ponderosa pine is "at your own risk" because this wood has no natural decay resistance and can deteriorate in some exterior settings in just a few years.
2. No chimneys, moldings parapets, or other permanent features will be altered or removed. No box vents, if used, will be visible from the street. If they are installed, they must be on a rear slope not visible from the street and they must be painted to blend with the color of the roofing material. A continuous ridge vent can be installed in place of box vents, but the vent must extend across the entire ridge and not stop short. Built-in rain gutters will be retained and patched where needed. Valleys must be metal W-shape with no interweaving of shingles. Valleys and flashing must be painted or factory-finished to match the roofing color, unless copper. When installing new flashing at a masonry feature, the flashing must be stepped or cut into the mortar joints. The bricks may not be cut to install flashing at an angle.

We strongly recommend that the Wisconsin Historical Society's best practices for re-roofing with composition shingles be used to extend the life of your new roof. (Synthetic underlayment is an acceptable alternative to 30lb felt.) <https://www.wisconsinhistory.org/Records/Article/CS4260>

All work must be done in a craftsman-like manner. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5722 E-mail: hpc@milwaukee.gov.

Permits and timeline

You are responsible for determining if permits are required and obtaining them prior to commencing work. Consult the Development Center on the web or by telephone for details: www.milwaukee.gov/lms - (414) 286-8210. If permits are not required, work must be completed within one year of the date this certificate was issued. If permits are required, permits must be obtained within one year of the date this certificate was issued.



City of Milwaukee Historic Preservation

Copies to: Development Center

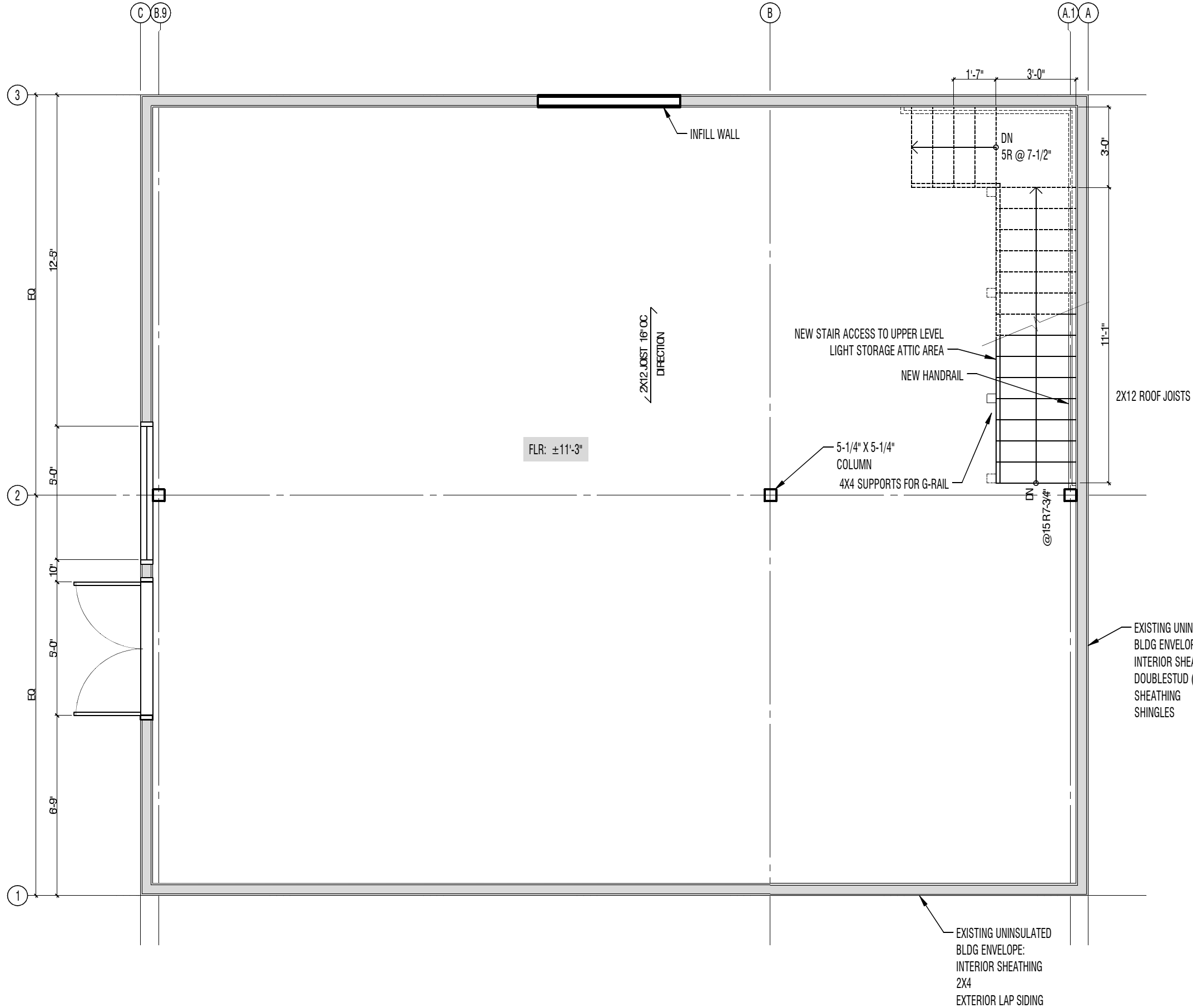


Proposed steel overhead doors.

SEE 6 PAGES OF PLANS ATTACHED BELOW



DRAWING No:
A01



IN PROGRESS

ISSUE:		
No.	DATE	NAME
01	4-24-2025	PROGRESS
02	4-25-2025	PROGRESS
03	5-27-2025	PROGRESS

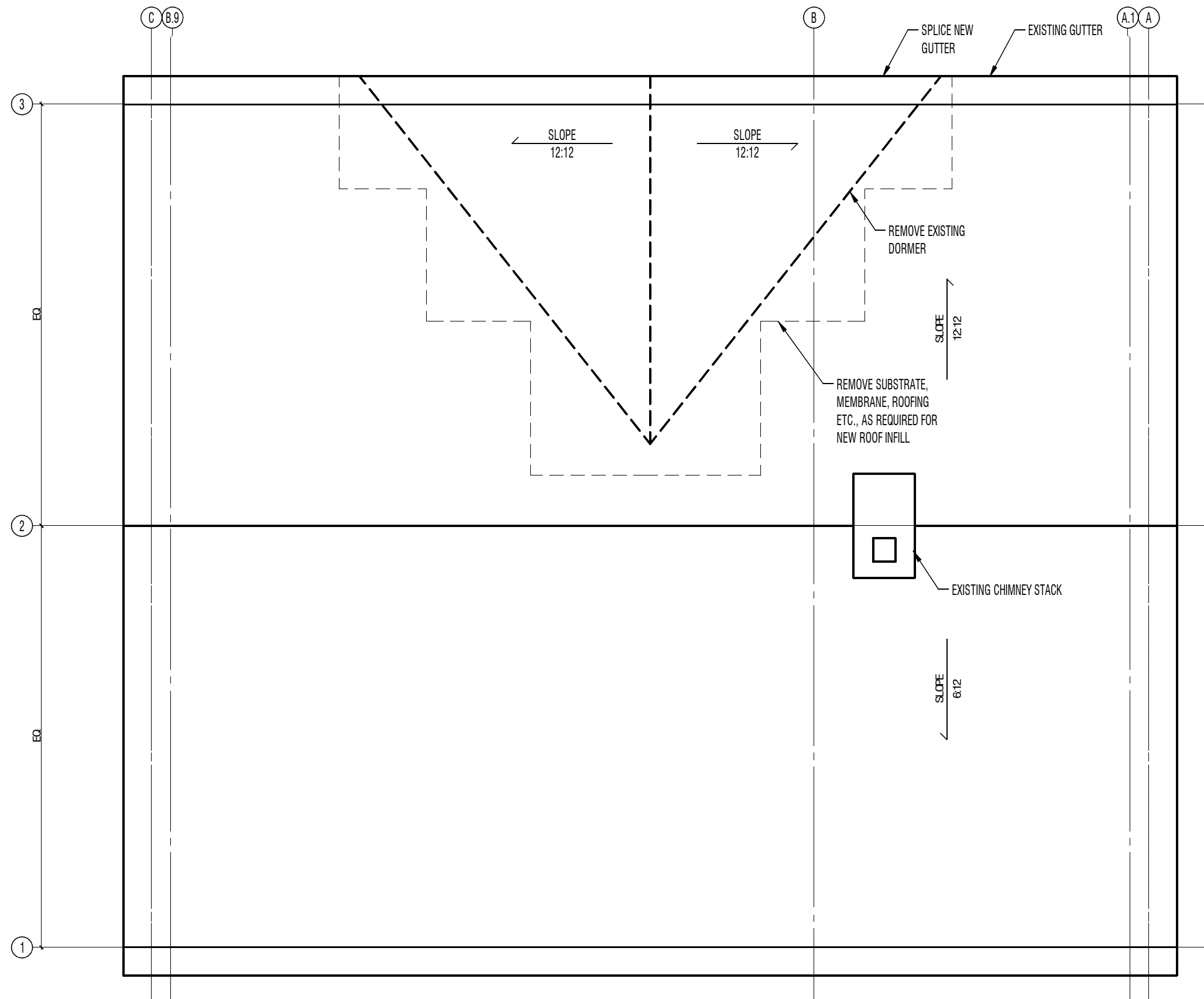
PROJECT:
BUILDING ENVELOPE AND ROOF
RENOVATION OF EXISTING
GARAGE & HOME STORAGE

ADDRESS :
3033 WEST KILBOURNE, #4033
MILWAUKEE, WI 53208

DRAWING NAME:
LEVEL 2
FLOOR PLAN

DRAWING No:
A02





1 ROOF PLAN
SCALE: 1/4" = 1'-0"

IN PROGRESS

ISSUE:
No. DATE NAME
03 5-27-2025 PROGRESS

PROJECT:
BUILDING ENVELOPE AND ROOF
RENOVATION OF EXISTING
GARAGE & HOME STORAGE

ADDRESS :
3033 WEST KILBOURNE, #4033
MILWAUKEE, WI 53208

DRAWING NAME:
ROOF PLAN

DRAWING No:
A03

T/ ROOF
±30'-8"

T/ GUTTER
±15'-11"

LEVEL 2
±11'-3"

T/ OPENING
±6'-8"

GROUND LEVEL
±0'-0"

GRADE
-0'-1"

1 BUILDING ELEVATION, EAST
SCALE: 1/4" = 1'-0"



IN PROGRESS

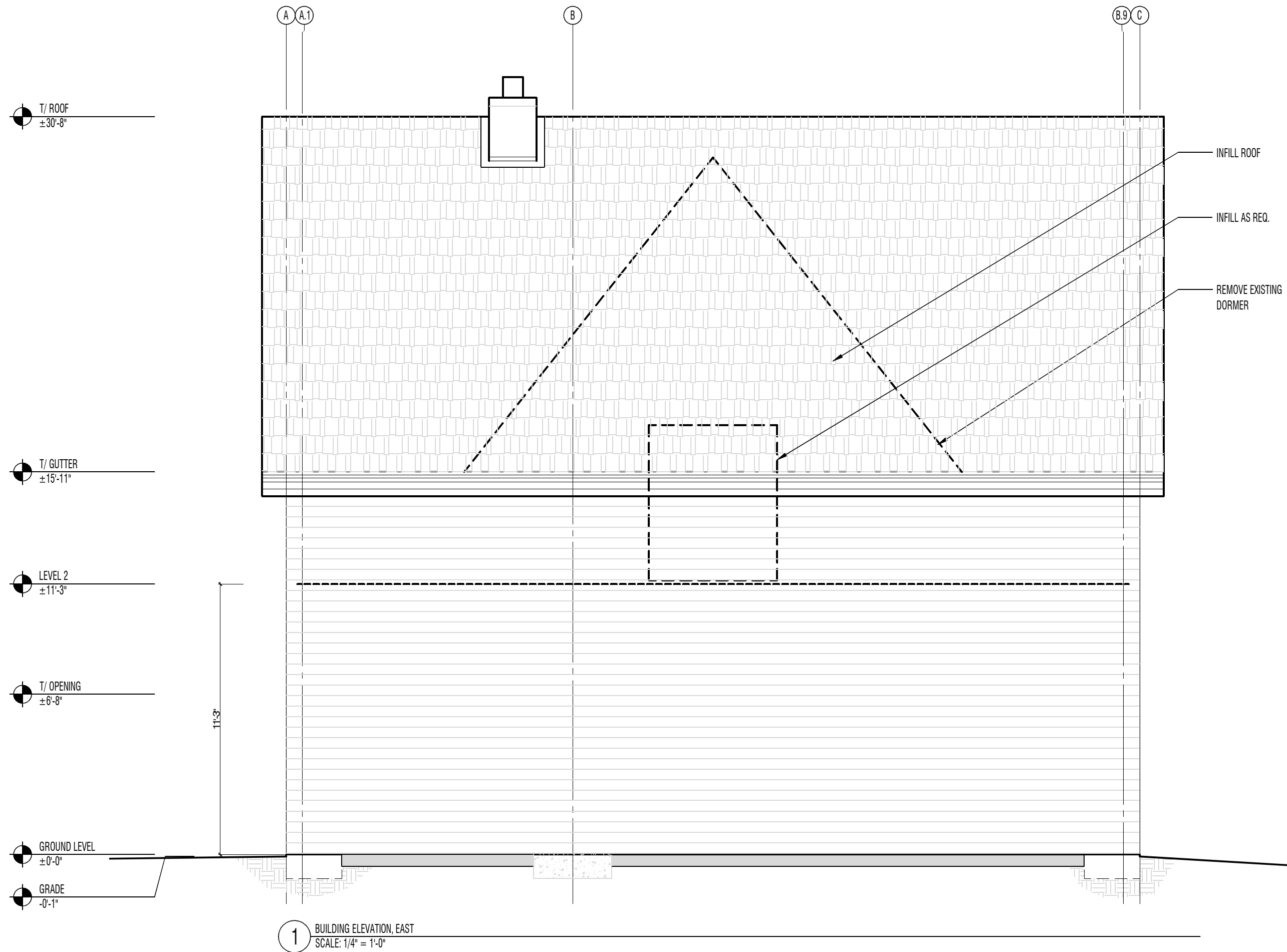
ISSUE:
No. DATE NAME
03 5-27-2025 PROGRESS

PROJECT:
BUILDING ENVELOPE AND ROOF
RENOVATION OF EXISTING
GARAGE & HOME STORAGE

ADDRESS :
3033 WEST KILBOURNE, #4033
MILWAUKEE, WI 53208

DRAWING NAME:
BUILDING
ELEVATION, EAST

DRAWING No:
A04



IN PROGRESS

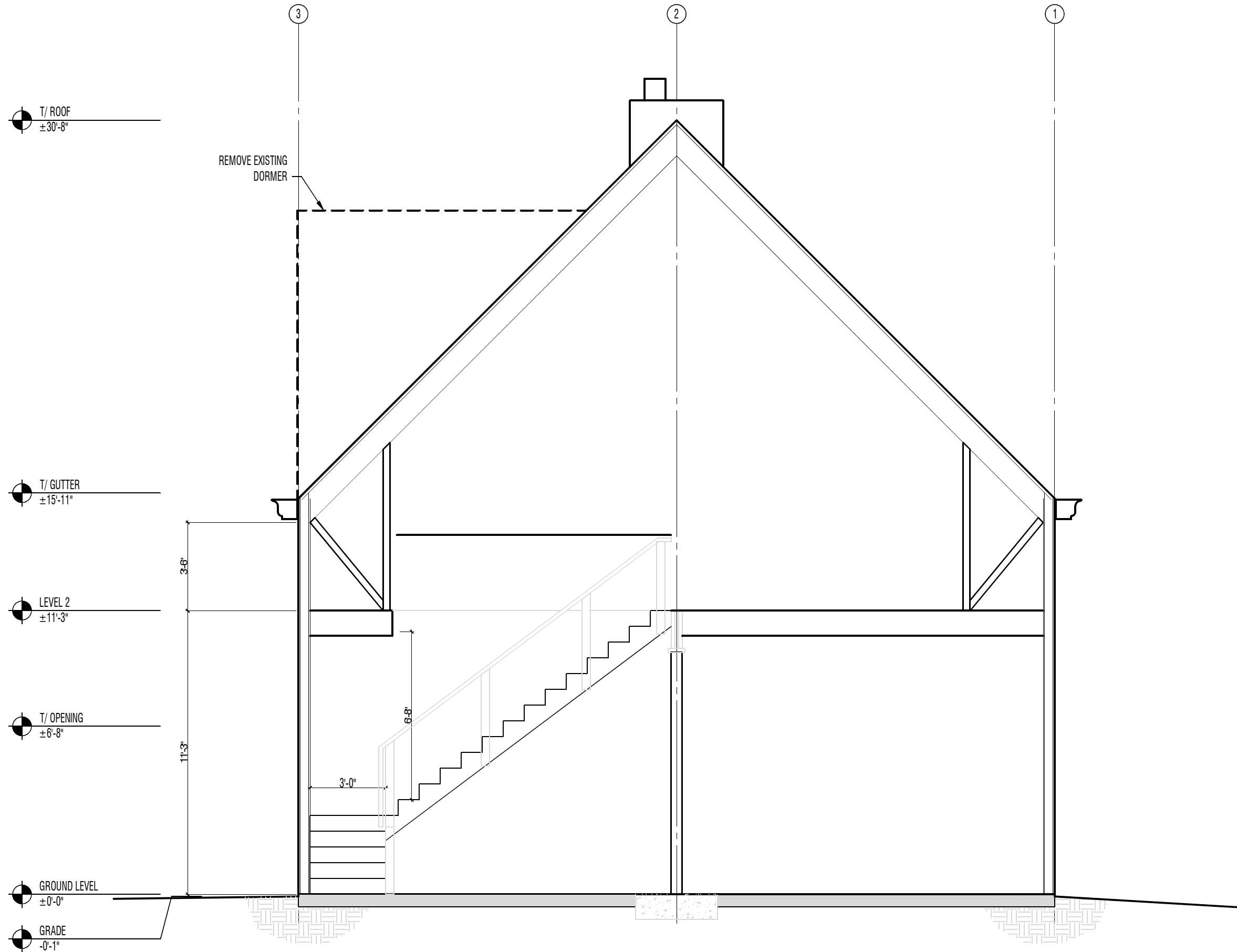
ISSUE:		
No.	DATE	NAME
03	5-27-2025	PROGRESS

PROJECT:
BUILDING ENVELOPE AND ROOF
RENOVATION OF EXISTING
GARAGE & HOME STORAGE

ADDRESS :
3033 WEST KILBOURNE, #4033
MILWAUKEE, WI 53208

DRAWING NAME:
BUILDING
ELEVATION, SOUTH

DRAWING No:
A05



1 BUILDING ELEVATION, EAST
SCALE: 1/4" = 1'-0"

IN PROGRESS

ISSUE:
No. DATE NAME
03 5-27-2025 PROGRESS

PROJECT:
BUILDING ENVELOPE AND ROOF
RENOVATION OF EXISTING
GARAGE & HOME STORAGE

ADDRESS :
3033 WEST KILBOURNE, #4033
MILWAUKEE, WI 53208

DRAWING NAME:
BUILDING
ELEVATION, EAST

DRAWING No:
A06