



FRIEBERT, FINERTY & ST. JOHN, S.C.

Two Plaza East - Suite 1250
330 East Kilbourn Ave. • Milwaukee, Wisconsin 53202
Phone 414-271-0130 • Fax 414-272-8191 • www.ffsj.com

CITY OF MILWAUKEE

2003 JUL 14 AM 11:57

RONALD D. LEONHARDT
CITY CLERK

- ROBERT H. FRIEBERT
- JOHN D. FINERTY
- THOMAS W. ST. JOHN
- WILLIAM B. GUIB
- S. TODD FARRIS
- TED A. WARPINSKI
- BRIAN R. SMIGELSKI
- MATTHEW W. O'NEILL
- MICHAEL MISHLOVE
- LAWRENCE J. GLUSMAN
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- BRIAN C. RANDALL
- JENNIFER L. BOLGER
- CHRISTOPHER M. MEULER

July 14, 2003

VIA MESSENGER

Mr. Ronald D. Leonhardt
City Clerk
City of Milwaukee
Room 205, City Hall
200 E. Wells Street
Milwaukee, WI 53202

RE: ***Katz Properties, Inc./City of Milwaukee Historic Preservation Commission - (Appeal of a certain Certificate of Appropriateness relative to 2551 North Downer Avenue in the Third Aldermanic District of the City of Milwaukee)***

Dear Mr. Leonhardt:

Enclosed please find an original and five (5) copies of the following indicated documents:

1. Notice of Appeal from a Determination Of the Historic Preservation Commission to Issue An Incomplete Certificate of Appropriateness With Respect to the Applicants' Property; and
2. Petition in Support of Appeal by Applicants From a Determination of the Historic Preservation Commission To Issue an Incomplete Certificate of Appropriateness With Respect to the Applicants' Property.

Please file these items on our behalf and indicate date and time of filing on the copy of this letter and return to our messenger.

It is respectfully requested that a file be introduced at the Tuesday, July 17, 2003 Common Council meeting and that this matter be scheduled for review at the Zoning, Neighborhoods and Development Committee meeting on Tuesday, July 29, 2003.

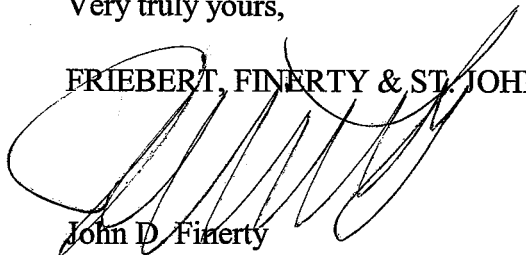
If you have any questions or comments about this request, please call me at the earliest possible moment.

Mr. Ronald D. Leonhardt
July 14, 2003
Page 2

Thank you for your attention to this communication.

Very truly yours,

FRIEBERT, FINERTY & ST. JOHN, S.C.



John D. Finerty
Writer's e-mail: jdf@ffsj.com

JDF/kg

Enclosures

cc: Commissioner Julie Penman, Secretary, Historic Preservation Commission
Attn: Brian Pionke (w/encl. via messenger)
Ald. Marlene Johnson, Chair, Zoning, Neighborhoods & Development Committee
Grant F. Langley, Jr., City Attorney (w/encl. via messenger)
Attorney for Historic Preservation Commission

STATE OF WISCONSIN: CITY OF MILWAUKEE

BEFORE THE COMMON COUNCIL OF THE CITY OF MILWAUKEE

IN THE MATTER OF the Issuance of an Incomplete
Certificate of Appropriateness with Respect to the Property
Located at 2551 North Downer Avenue in the Third
Aldermanic District of the City of Milwaukee Pursuant to
§ 308-81-9, Milwaukee Code of Ordinances

File No. _____

NOTICE OF APPEAL FROM A DETERMINATION
OF THE HISTORIC PRESERVATION COMMISSION TO ISSUE
AN INCOMPLETE CERTIFICATE OF APPROPRIATENESS
WITH RESPECT TO THE APPLICANTS' PROPERTY

TO: Mr. Ronald D. Leonhardt
City Clerk
City of Milwaukee
Room 205, City Hall
200 E. Wells Street
Milwaukee, WI 53202

Ms. Julie Penman
Executive Secretary
Historic Preservation Commission
Department of City Development
809 North Broadway
Milwaukee, WI 53202
Attn: Mr. Brian Pionke, Asst. Secretary and Exec. Director

PLEASE TAKE NOTICE that Daniel J. Katz, John B. Crichton and Thomas A. Hauck (collectively the "Applicants"), the owners of the property described in the above matter, by FRIEBERT, FINERTY & ST. JOHN, S.C., their attorneys, hereby appeal to the Common Council of the City of Milwaukee from a decision on a Certificate of Appropriateness ("COA") made on June 25, 2003 and mailed and filed on July 1, 2003 by the Historic Preservation Commission granting a COA for the above described property but omitting approval of certain major design features which accommodate the conversion of the Project into the *Downer Garage Apartments* at 2551 North Downer in the Third Aldermanic District. This appeal is taken pursuant to § 308-81-9.f.,

Milwaukee Code of Ordinances, and is based on the annexed Petition which is incorporated herein by reference as though more fully set forth at length.

Dated at Milwaukee, Wisconsin this 14th day of July, 2003

FRIEBERT, FINERTY & ST. JOHN, S.C.

John D. Finerty


State Bar No. 1009840

S. Todd Farris

State Bar No. 1006554

Brian C. Randall

State Bar No. 1029064

By: 

Brian C. Randall
Attorneys for Applicants
Daniel J. Katz, John B. Crichton
and Thomas A. Hauck

P.O. Address

Two Plaza East - Suite 1250
330 E. Kilbourn Avenue
Milwaukee, WI 53202

Informational copy to:

Grant F. Langley, Jr., Esq.
City Attorney
Room 800, City Hall
200 E. Wells Street
Milwaukee, WI 53202
Attorney for Historic Preservation Commission

STATE OF WISCONSIN: CITY OF MILWAUKEE

BEFORE THE COMMON COUNCIL OF THE CITY OF MILWAUKEE

IN THE MATTER OF the Issuance of an Incomplete Certificate of Appropriateness with Respect to the Property Located at 2551 North Downer Avenue in the Third Aldermanic District of the City of Milwaukee Pursuant to § 308-81-9, Milwaukee Code of Ordinances

File No. _____

PETITION IN SUPPORT OF APPEAL BY APPLICANTS
FROM A DETERMINATION OF THE HISTORIC PRESERVATION COMMISSION
TO ISSUE AN INCOMPLETE CERTIFICATE OF APPROPRIATENESS
WITH RESPECT TO THE APPLICANTS' PROPERTY

TO THE HONORABLE COMMON COUNCIL
OF THE CITY OF MILWAUKEE:

The Petition of Daniel J. Katz, John B. Crichton, and Thomas A. Hauck (collectively the "Applicants"), by Friebert, Finerty & St. John, S.C., their attorneys, alleges and shows as follows:

1. That the Applicants above named are engaged in the real estate management and investment business in the Milwaukee metropolitan area with offices at 316 East Silver Spring Drive, Milwaukee, Wisconsin 53217 and are the owners of the property located at 2551 North Downer Avenue and more fully described in ¶¶ 2-3 below.

2. The Applicants are the owners of record of certain property located in the City of Milwaukee and more specifically described as a three story, masonry building, built in 1916, as an automotive garage with elevator access to the upper floors for parking and workshop areas situated on a parcel of land located at 2551 North Downer Avenue (the "Property") and bears Tax Key No. 319-0341-000-3. The Property is commonly known as the "Downer Garage" and is located in the Third Aldermanic District of the City of Milwaukee.

3. The building has several commercial tenants occupying its ground floor serving the Downer Avenue retail and commercial district. The two upper floors have been vacant for many years since their use was as parking and workshop areas served by a vehicle elevator.

4. The purpose of the renovation of the entire building is to convert the unoccupied upper floors into the "Downer Garage Apartments" (the "Project"). Since a portion of the Project is located in a historic district, the Applicants filed an application for a Certificate of Appropriateness (the "COA") with the Historic Preservation Commission of the City of Milwaukee (the "Commission") in order to permit the building conversion and renovation to proceed as quickly and efficiently as possible within the historic guidelines set by the Commission for the relevant historic district involved.

5. The application for the COA was filed in accordance with § 308-81-9.a., Milwaukee Code of Ordinances ("MCO") and was accompanied by a detailed description of the building's existing features, a comprehensive description of all proposed work for which the COA was requested, together with color photographs of all elevations of the building and other illustrative materials. A copy of the application for the COA and a description of the Project is attached hereto as Exhibit A.

6. On or about June 25, 2003, the Commission issued a COA for the work described for the Project which contained a finding that the proposed work was consistent with provision guidelines for the area and subject to certain terms and conditions. One of the limitations in the COA provided as follows:

"Balconies are approved for the rear (alley) elevation facing west only"

whereas a major component of the renovation project is the installation of balconies on the east and south elevations. A copy of the COA issued on June 25, 2003 is attached hereto as Exhibit B.

7. On or about July 1, 2003, the Commission, through the Development Center Manager of the Department of City Development ("DCD"), issued written notice dated on that day to the

Applicants forwarding the COA granted by the Commission for exterior changes but with the notation:

“... that the COA includes approval for new hanging balconies only on the west (alley) elevation of the building.”

Emphasis supplied. A copy of the notice letter dated July 1, 2003 and signed by Martha Brown, Development Center Manager for DCD, is attached hereto as Exhibit C.

8. In accordance with § 308-81-9.f., MCO, the incomplete COA described above is appropriate for review. In addition, based on the facts set forth herein, the determination of the Commission to impose the limitation described above and issue an incomplete COA must be reversed. The interest of the Applicants in using the property for their own purposes far outweighs the interest of the public in preserving the subject Property described in ¶¶ 2-3 above.

9. The interest of the public is not served by preserving the Property in a vacant condition whereby the original use, a multi-story parking and workshop garage facility serviced by a vehicle elevator, is not a current reasonable use of the Property. However, the interest of the public is served by the proposed comprehensive renovation of the Property into loft style apartments that will highlight the historic significance of the Property. The Project will retain the exposed structure and original brick walls (with stone details and decorative elements) and replace deteriorated windows with thermally efficient replicas. The original and historic Downer Garage use will be honored by the characteristics and design of the “Downer Garage Apartments.”

10. The comprehensive renovation of the subject Property and the restoration of the building consistent with the theme of the “Downer Garage Apartments” is based upon the ability of each tenant facing a public thoroughfare to have an exterior hanging balcony. These balconies, with painted steel framing and railings, will set the theme and establish the character of the Project. The inability to include the exterior hanging balconies on the major elevations on the public thoroughfares will seriously limit the ability to market the building or to rent the apartments at

market rates and will cause serious hardship for the Applicants unless the relief requested herein is granted.

WHEREFORE, the Applicants request that the Common Council confirm the COA dated June 25, 2003 but modify the same to remove the limitation and approve the new hanging balconies on the east (North Downer Avenue) and south (East Webster Street) elevations in addition to those allowed on the west or alley elevation in accordance with the Applicants' plans and specifications which accompanied the application to the Commission and provide such other relief to the Applicants as may be appropriate under the circumstances.

Dated at Milwaukee, Wisconsin this 14th day of July, 2003.

Daniel J. Katz, for himself and on
behalf of John B. Crichton and
Thomas A. Hauck, those Applicants
with whom he is united in interest

By: 

John D. Finerty, their Attorney in Fact

FRIEBERT, FINERTY & ST. JOHN, S.C.

John D. Finerty
State Bar No. 1009840
S. Todd Farris
State Bar No. 1006554
Brian C. Randall
State Bar No. 1029064

By: 

Brian C. Randall
Attorneys for Applicants

P.O. Address

Two Plaza East - Suite 1250
330 E. Kilbourn Avenue
Milwaukee, WI 53202

ACKNOWLEDGMENT

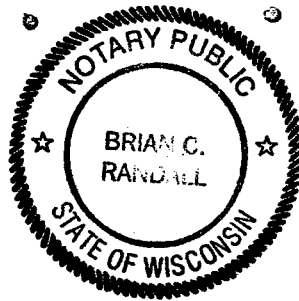
STATE OF WISCONSIN)
) ss.
MILWAUKEE COUNTY)

Personally came before me this 14th day of July, 2003, the above named John D. Finerty, Attorney in fact for Daniel J. Katz, for himself and for the Applicants John B. Crichton, and Thomas A. Hauck, the Applicants herein, such Applicants being united in interest and appealing together and that he, in that regard, being fully authorized so to do, executed the foregoing Petition for the purposes therein stated by signing his name for himself and for himself on behalf of Daniel J. Katz and for those other Applicants with whom Mr. Katz is united in interest.

Subscribed and sworn to before me
this 14th day of July, 2003.



Brian C. Randall
Notary Public, State of Wisconsin



My commission is permanent

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM
Incomplete applications will not be processed for Commission review. Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Downer Garage

ADDRESS OF PROPERTY:

2551 - 2556 North Downer (Downer at Webster)

2. **NAME AND ADDRESS OF OWNER:**

Name(s): Daniel Katz, John Chrichton, Thomas Hauck

Address: 316 East Silver Spring Drive

City: Milwaukee

State: WI

ZIP 53217

Daytime telephone number (area code & number): 332-8080

Evening telephone number (area code & number):

3. **APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): Miller Architectural Group

Address: 1661 North Water Street Suite 500

City: Milwaukee

State: WI

ZIP Code: 53202

Daytime telephone number (area code & number): 277-1450

Evening telephone number (area code & number): 277-1450

4. **ATTACHMENTS**

A. REQUIRED FOR ALL PROJECTS:

yes Photographs of affected areas & each side of property (annotated photos recommended)

yes Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

yes Material and Design Specifications (see next page)

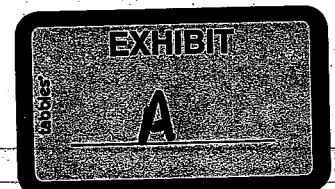
B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

yes Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.



5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

See attached pages

Photo No.

Drawing No.

A. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

See attached pages

Photo No.

Drawing No.

6. SIGNATURE OF APPLICANT:

Signature

Brian L. Miller
Print or type name

June 4, 2003
Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver Form to:
Historic Preservation Division
Department of City Development
809 North Broadway - 2nd Floor
Milwaukee, WI

or

Mail Form to:
Historic Preservation Division
Department of City Development
P. O. Box 324
Milwaukee, WI 53201-0324

PHONE: 414.286-5705

FAX: 414. 286-0730

June 4, 2003

MAGI Project No: 2038

page 1

Downer Garage Apartments Certificate of Appropriateness Application

Part One: Description of Existing Features

The building is a three story masonry structure built in 1916. It was originally built as an automotive garage, with an elevator providing access to the upper floors for parking and workshop areas. The primary structure is concrete, with longspan steel trusses on the roof.

The ground floor is currently commercial space, containing the Harry W Schwartz Bookshop and Starbucks, as well as a pottery studio. The two upper floors of this building have been vacant since their use as the Downer Garage. The structure is in very good shape. There is some surface degradation of the concrete slabs and a bit of spalling to the underside of these slabs, but the structural integrity is not compromised and repairs will be relatively easy to effect.

The roof is of built up roofing on a concrete slab. No insulation is evident. The parapet wall and other roof structures are of masonry, with a flat stone coping. All are in fair condition, and no significant deterioration is present.

There is an existing concrete exit stair at the northwest corner that will remain, although some modification may be necessary to create efficient unit layouts and comply with the building codes. Another wooden stair exists at the south wall; this stair will be removed and filled in for living space. Similarly, an existing freight elevator at the southwestern corner will be abandoned and filled to provide living space.

The exterior of the building is of brick with stone details and decorative elements. The masonry walls and features are all in very good condition, requiring little in the way of restoration.

The windows are predominantly wood double hung, with several divided light casement windows on the east elevation. Also on the east elevation are several divided light double hung windows, some 9/1 and some 12/1. All the existing wood windows have experienced deterioration due to neglect and weathering; rotten wood elements, including sills; broken and missing sash weights and cords; broken muntin bars; poor condition of glazing putty, threatening the integrity of the glazing; and broken, missing or inoperative hardware. The

June 4, 2003

MAGi Project No: 2038

page 2

surrounding masonry sills, lintels, and jambs are in generally good condition. The windows at the ground floor have been replaced with aluminum storefront in a medium bronze color, with untinted glass.

Part Two: Description of Proposed Work

The scope of this project involves the build-out of the upper floors into twenty-two loft style apartments. The apartments are to retain the exposed structure and brick walls; new mechanical systems will also remain exposed. A new elevator will be installed to service all the floors, including the basement. A new exit stair will also be built, allowing for the required two exits. A new lobby for the apartments will be created on the Webster street elevation, in an existing storefront opening.

The existing windows will be replaced with thermally efficient units that preserve the appearance of the building. The operation of the specific windows will remain the same, i.e. casement windows will be replaced with casements, and hung windows with hung units. See the attached window sections for specific details. The units illustrated are as manufactured by Hurd, wood clad units with pre-painted aluminum exteriors and wood interiors.

On the north elevation, new window openings will be provided as shown on the elevations. These windows will be similar in size to the windows at the west elevation.

The existing brick and masonry will be retained as is, with only minor tuckpointing anticipated. No exterior cleaning is planned. The new building entrance will receive a new building mounted exterior light. The light fixture will be selected and submitted to the HPC for approval.

The units will all receive new exterior balconies. The attached elevations and details show specifics of these structures. The balconies will consist of painted steel framing, structure, and railings, with wood or recycled plastic decking materials.

Except where indicated, the balcony access will be provided by installing custom doors into the appropriate existing window opening. In order to maintain the preservation concept of 'reversibility' the balconies will be set at the window sill height level on the primary elevations; thus avoiding alteration of the masonry openings.

At the west elevation, the window openings do not provide the opening height necessary for workable door openings. In this case, the window opening will be extended downward to the extent necessary to provide a properly sized door; the balcony level will be established at this point.

Miller Architectural Group inc.

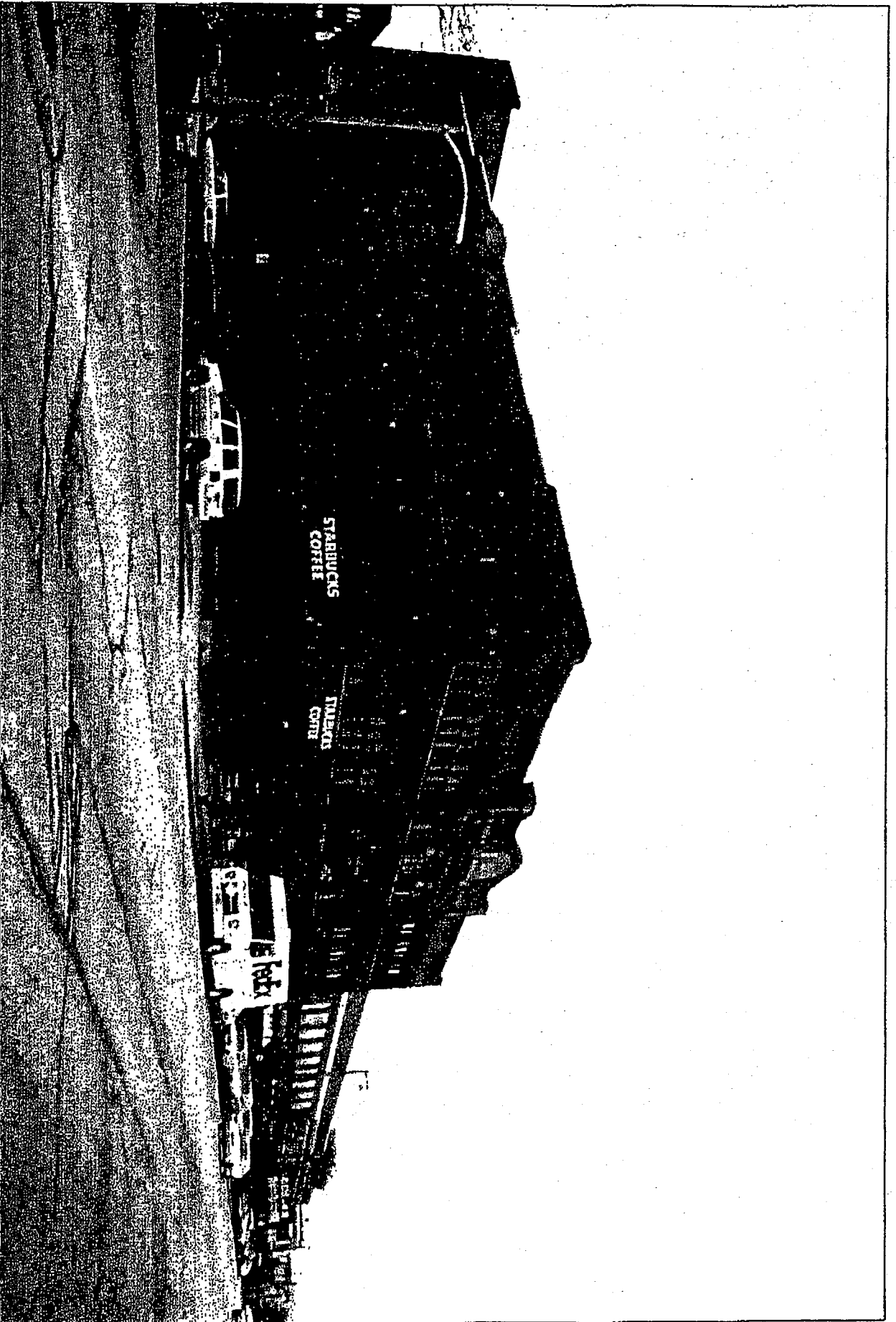
1661 NORTH WATER STREET • SUITE 500 • MILWAUKEE, WISCONSIN • 53202

June 4, 2003

MAGi Project No: 2038

page 3

The owner has removed and carefully stored the building's original 'Downer Garage' sign which will be restored and modified with the addition of 'Apartments' and the address. Sign placement to be determined; two likely locations are on the corner of the building or directly adjacent to the apartment entrance.



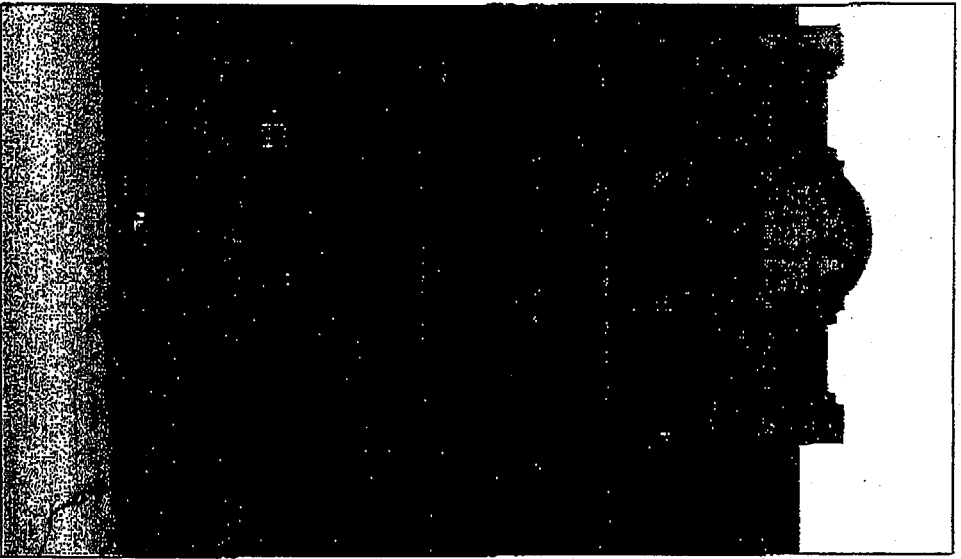
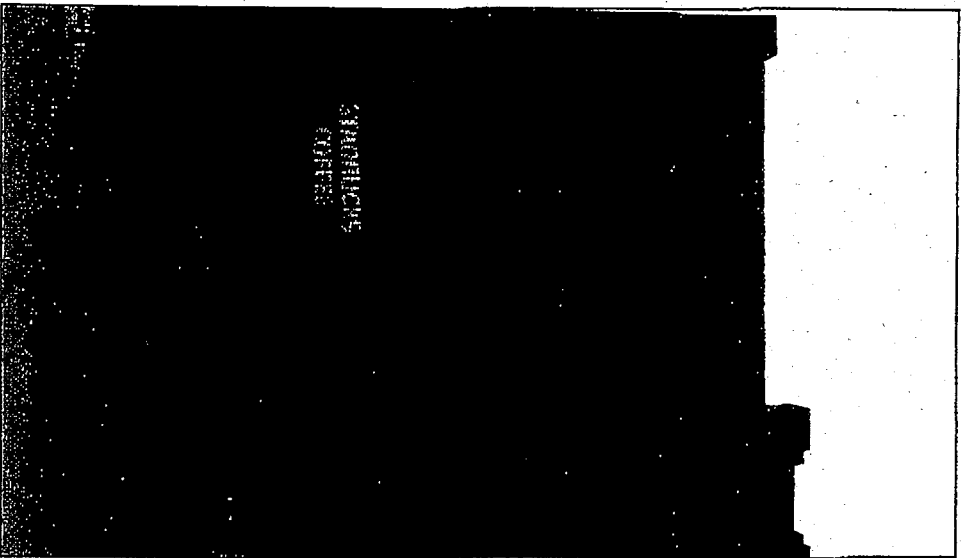
Existing View From Southeast

Downer Garage Apartments

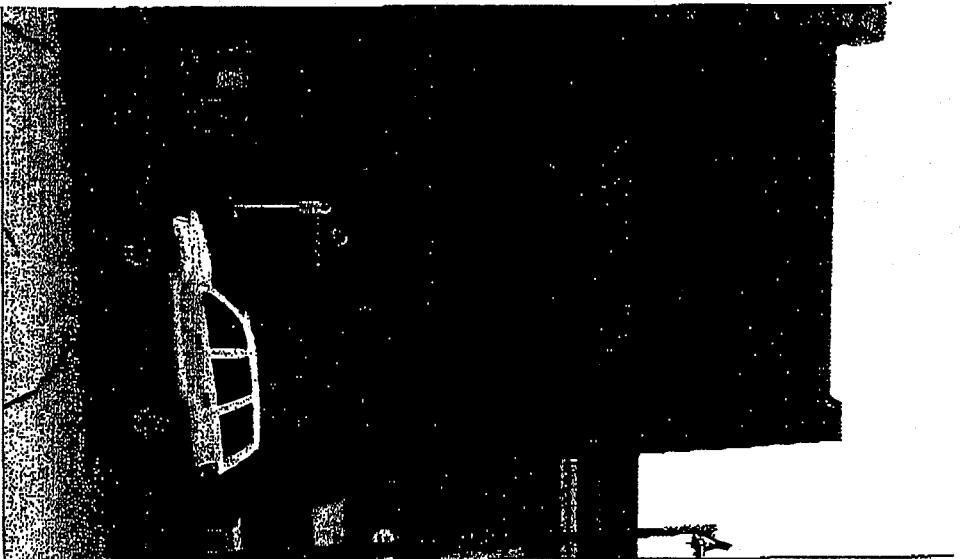
2551-56 North Downer Avenue

Milwaukee, Wisconsin





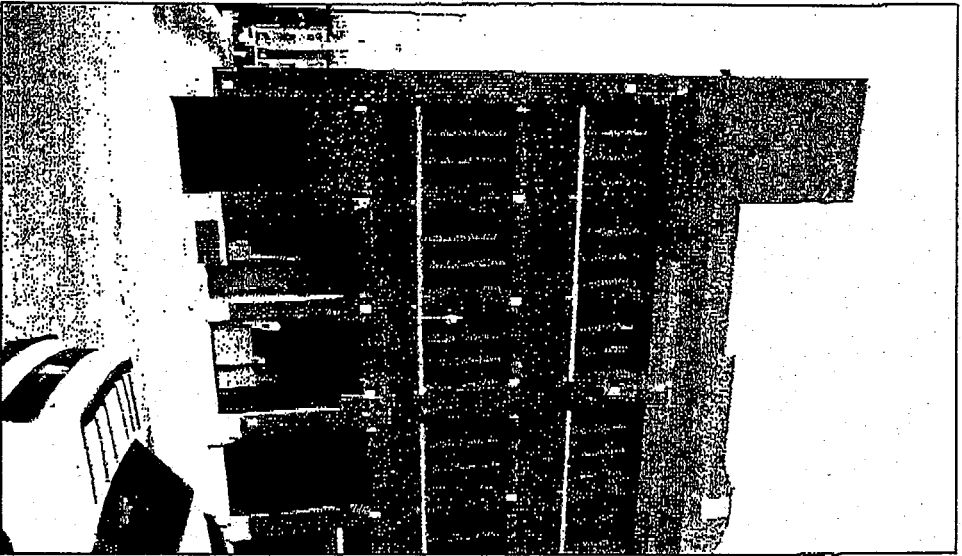
Downer Avenue Facade



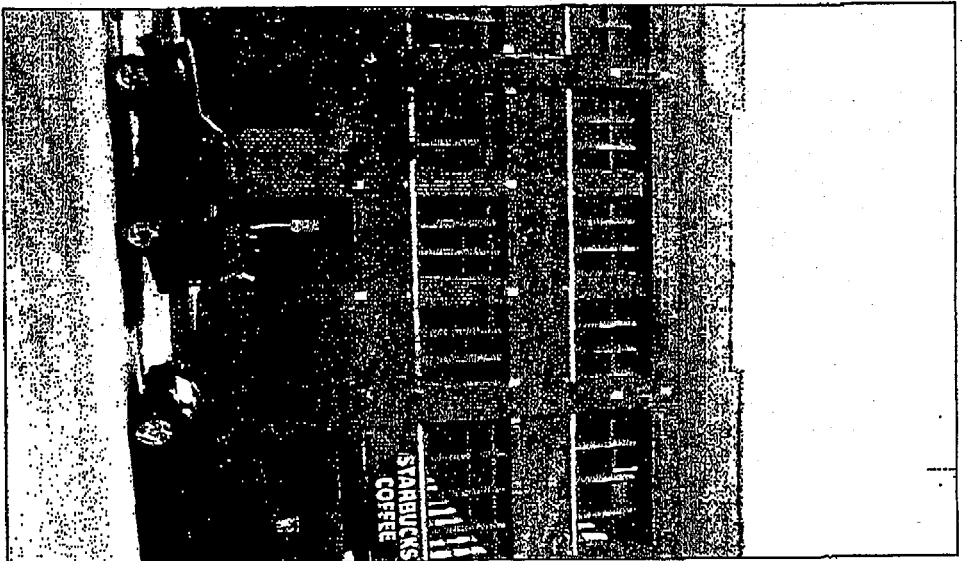
Downer Garage Apartments

2551-56 North Downer Avenue

Milwaukee, Wisconsin



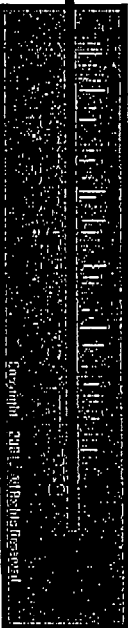
East Webster Place Facade

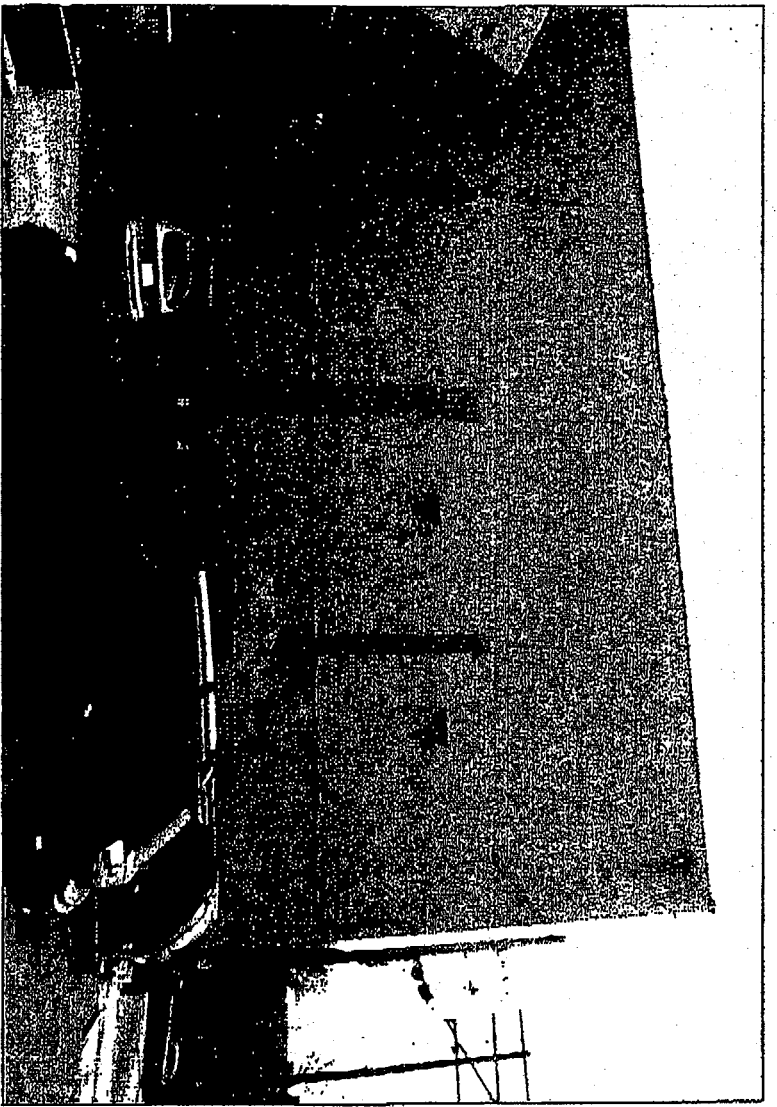


Downer Garage Apartments

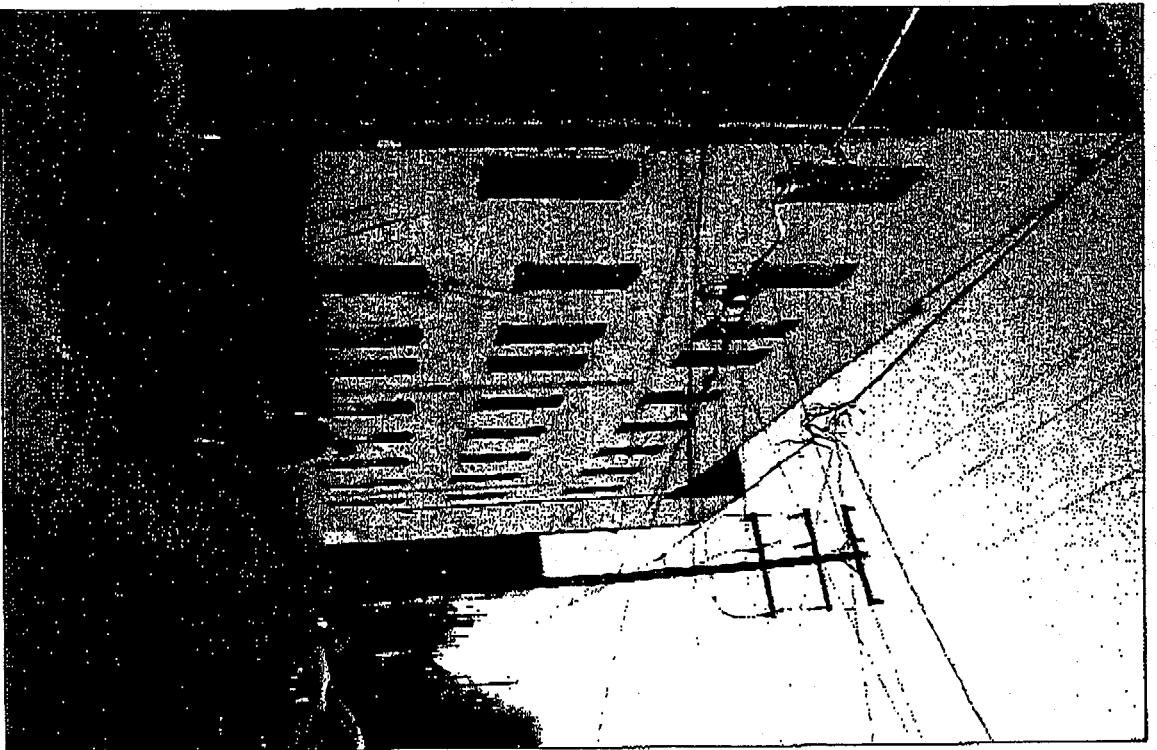
2551-56 North Downer Avenue

Milwaukee, Wisconsin





Partial North Facade at Alley

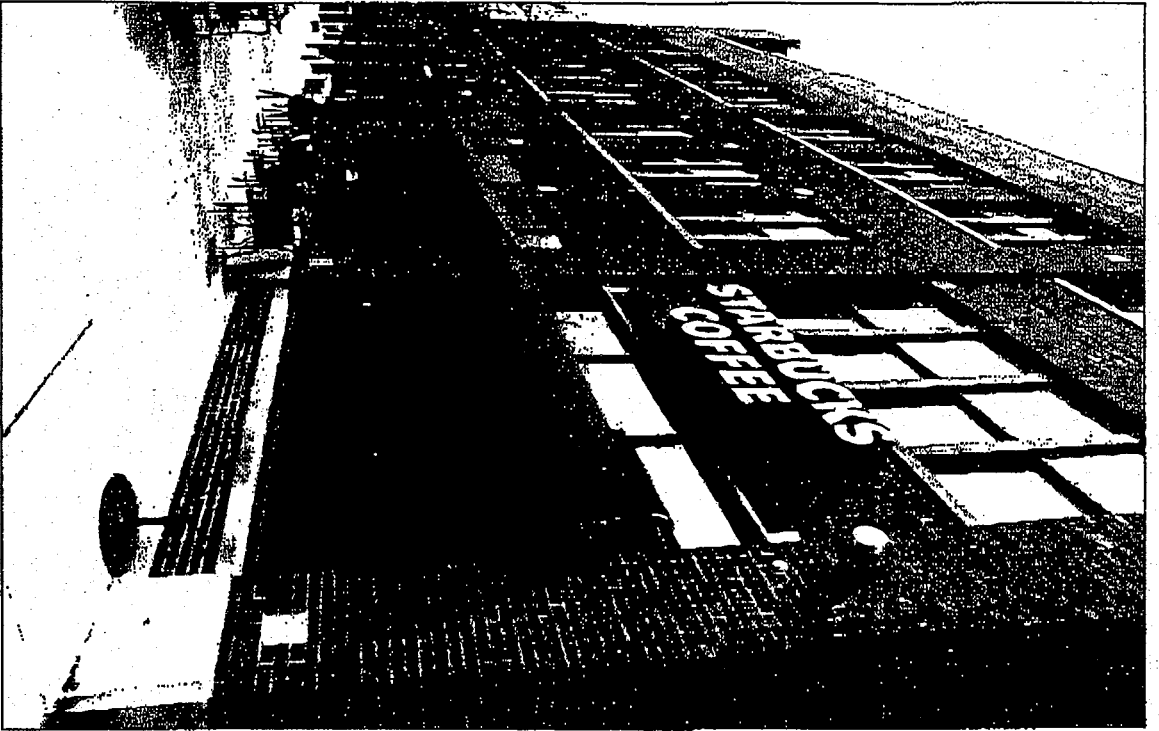


View Looking South Down Alley

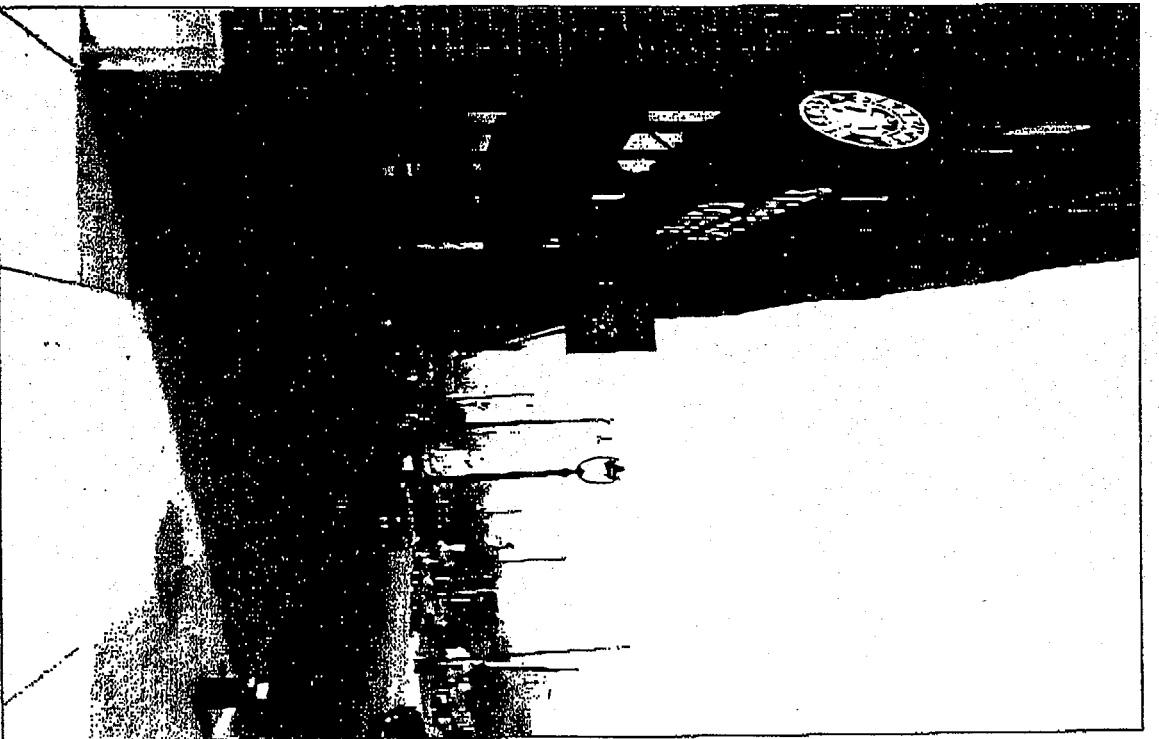
Downer Garage Apartments

2551-56 North Downer Avenue

Milwaukee, Wisconsin



View Looking West on Webster



View Looking North on Downer

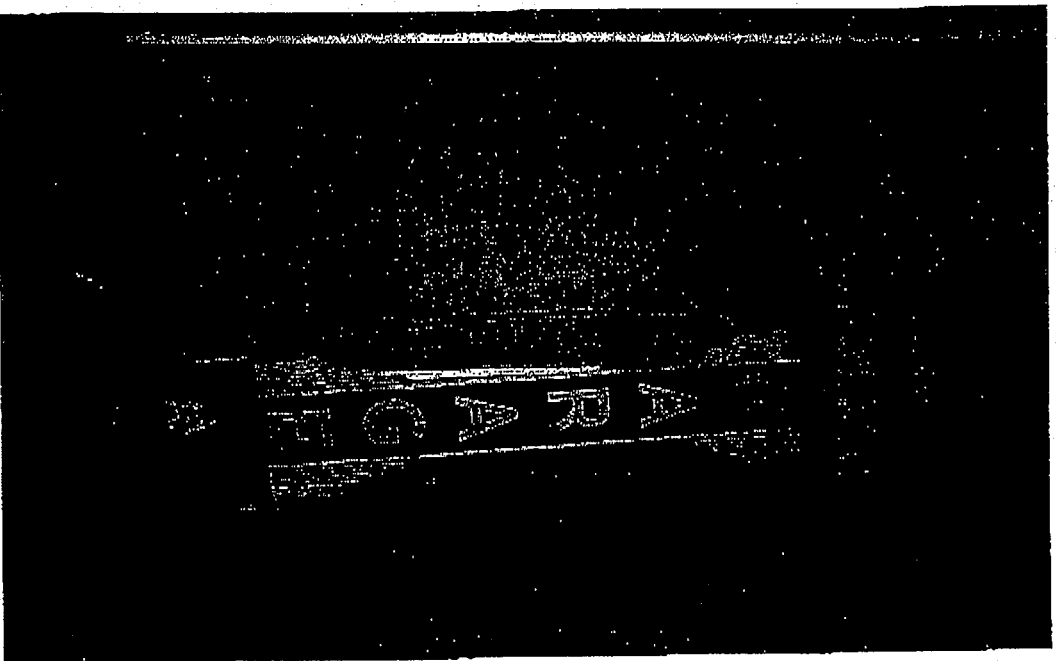
Downer Garage Apartments

2551-56 North Downer Avenue

Milwaukee, Wisconsin



Historic Photo of Building with Original Sign

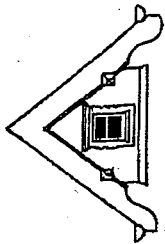


Historic Sign As Is Today

Downer Garage Apartments

2551-56 North Downer Avenue

Milwaukee, Wisconsin



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/809 N. Broadway/PO Box 324/Milwaukee, WI 53201-0324/414-286-5705

Property

2551 N. DOWNER AVE.

Description of work

Exterior changes and rehabilitation to accommodate the construction of 22 loft style apartments on the second and third floors of the building including the following: tuckpointing as needed; installation of new aluminum clad windows to match existing; and installation of eight (8) projecting steel balconies on the alley elevation facing west. A door would be cut into an existing window opening to provide access to each balcony. Also proposed is the restoration and reinstallation of the early 20th century, Downer Avenue garage sign at the street corner, which has been in storage for several years. New lighting will be installed for the entrance to the apartments on East Webster Place. The entrance to the apartments will be through an existing storefront located at about the mid-point of the Webster elevation. No alterations, other than lighting, are planned for the Webster entrance.

Date issued

6/25/2003

PTS

9267

ID

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Work will be done according to the attached drawings and photos. All tuckpointing must be done in a manner that preserves intact the existing brick. The gentlest means possible for mortar removal is encouraged such as air-actuated chisels that are specifically made for the stone trade. Tuckpoint grinders are permissible but must be specifically designed for the task and fitted with a small blade. Replacement mortar must match the old in terms of texture, color, hardness, depth and finish. Before tuckpointing can begin, specifications for the work and elevation drawings showing where the work will be done must be furnished to HPC for review and approval.

It is recommended, although not required, to restore the original projecting cornice near the top of the building. In the event this work is undertaken, the design of the cornice would require HPC approval. The top of the parapet wall was also originally topped with a stone or terra cotta coping and restoration of this feature is encouraged, although not required. It is also possible that the automobile plaque centered



in the parapet wall on the North Downer Avenue elevation originally featured small light bulbs in the centers of the carved stone headlights. If this can be determined (through site inspection with HPC staff) to be an original feature of the building, restoration is encouraged, although not required.

Replacement windows as proposed are acceptable provided they match the originals with respect to size, muntins, mullions, and meeting rails. True-divided light replacement windows will be installed where they presently exist on the building (note attached photos). Clear glass (not tinted in any fashion) will be used in the replacement windows. Samples/drawings or photos of the divided lite replacement window units must first be reviewed and approved by HPC staff. Divided lite windows will not be installed in openings where none ever existed. Installation of the historic sign at the street corner in its original position is part of this approval. Balconies are approved for the rear (alley) elevation facing west only. Doors can be installed to provide access to the balconies but the design of the doors must first be reviewed and approved by HPC staff. Each door should be no wider than the existing window opening and the segmental arch top of each window opening should be preserved intact in the final design. Architect has indicated that the designs for the steel hanging balconies are not final and HPC staff must review and approve final design before installation.

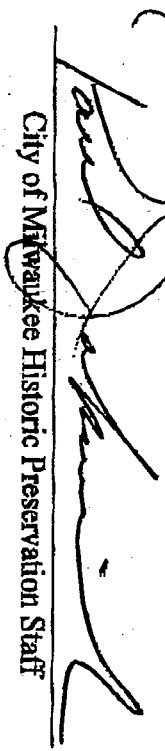
In sum, final drawings and samples or photos must be furnished, reviewed and approved for doors on rear elevation, all of the divided lite replacement windows, hanging steel balconies for rear elevation, and lighting for Webster Place entrance before these features can be installed. Areas to be tuckpointed should be identified and specifications for the mortar should also be submitted.

In the event you wish to appeal the Historic Preservation Commission's decision, you must contact the City Clerk, Mr. Ronald Leonhardt (286-3781) in writing within 20 days of receipt of this certificate.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-5712 E-mail: pjakub@mnkdedd.org.

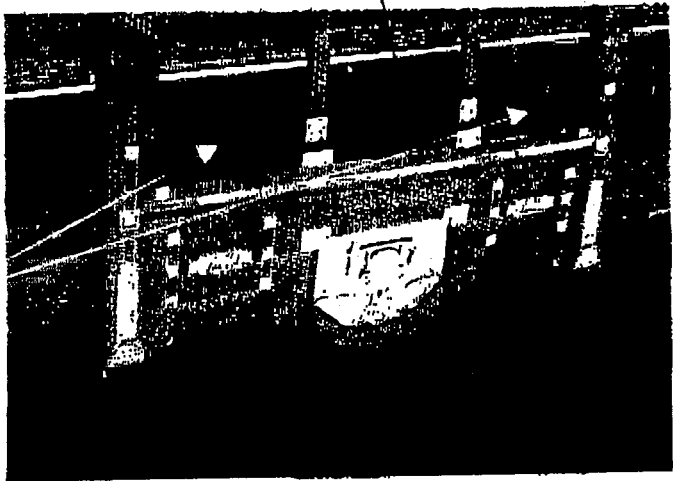
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mnkdedd.org/build, or call (414) 286-8210.

Copies to: Development Center, Ald. Michael D'Aurizio, Architect, Inspector district 5 (286-2513)

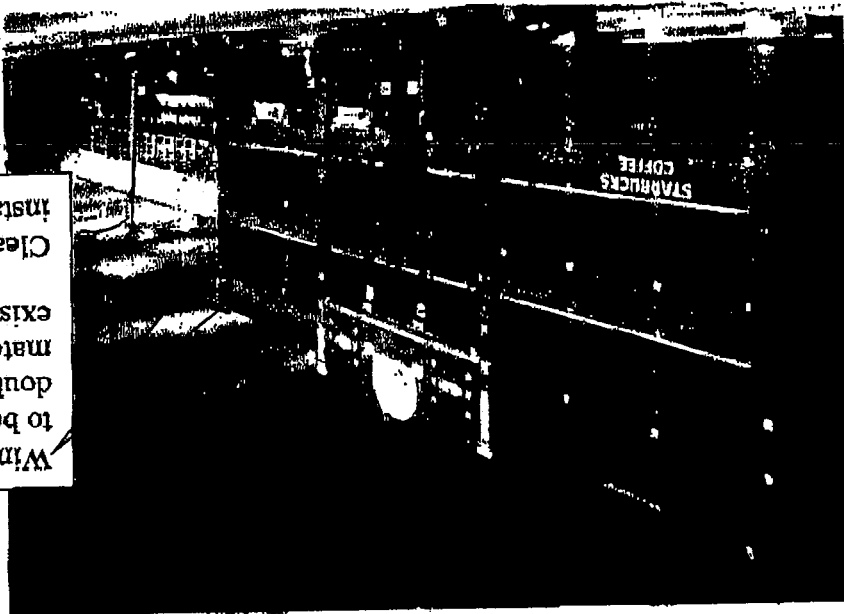


City of Milwaukee Historic Preservation Staff

New casement made in true divided lites will be installed to match the existing units. Similar casements are located immediately below these on second floor.

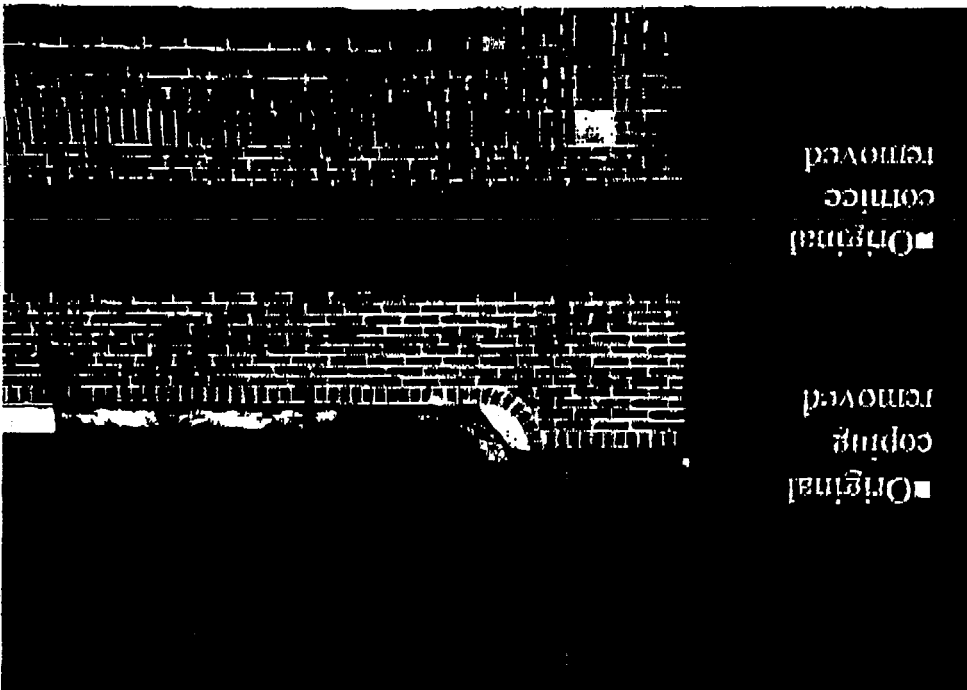
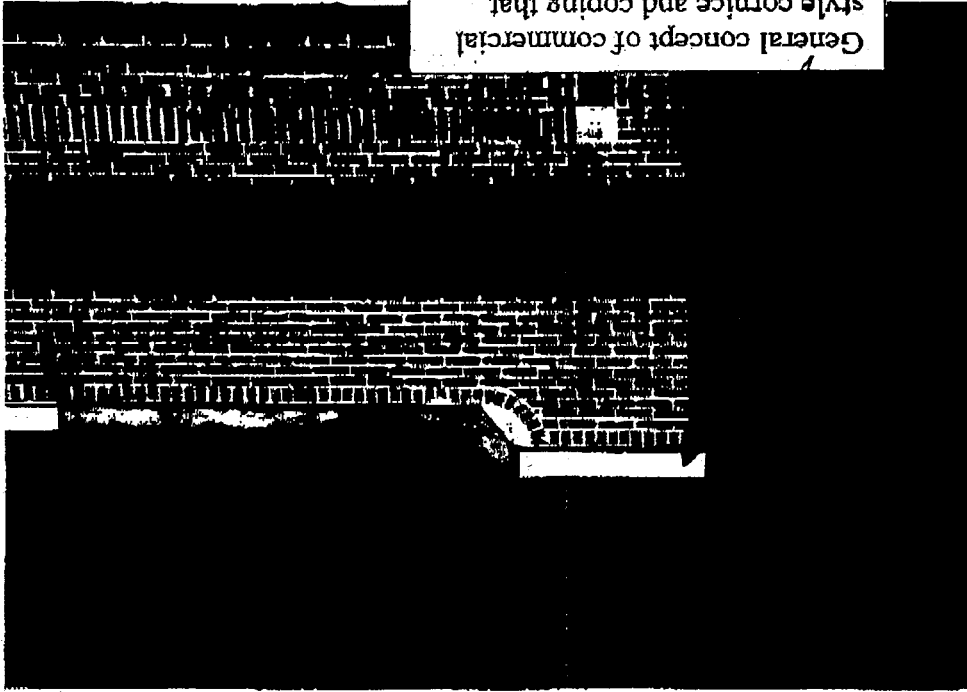


True divided lite replacement top sash will be installed in these bays of third floor windows and second floor windows beneath them on N. Downer Ave. elevation



Windows on second and third floors to be replaced with metal clad double hungs. Replacements will match size, depth and appearance of existing windows. Clear glass (not tinted) must be installed.

General concept of commercial
style cornice and coping that
could be installed (optional)



251-16 North Downer Avenue
Milwaukee, Wisconsin

Downer Garage Apartments

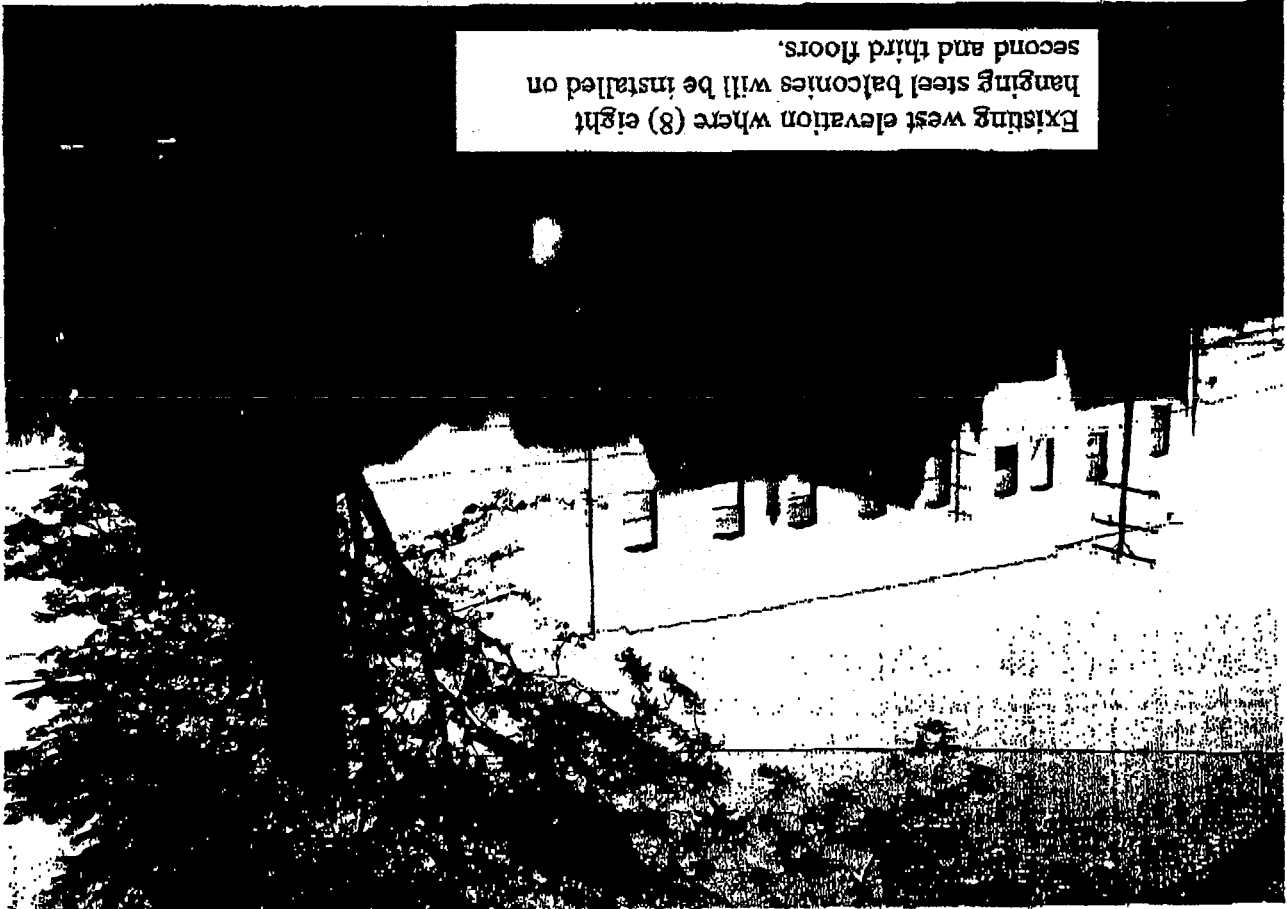
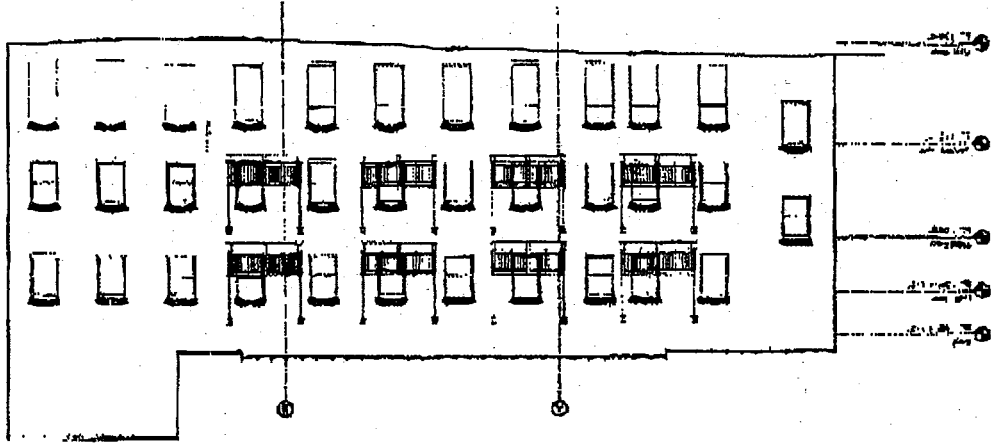
Historic Downer Garage sign will be restored and reinstalled at street corner

Historic Photo of Building with Original Sign

Historic Sign As It Today

Possible original location of lamps. Must first be verified with HPC before possible reinstallation. (optional)

West elevation showing location of eight new hanging steel balconies.
Final design for the door to each balcony must first be reviewed by HPC staff.



Existing west elevation where (8) eight hanging steel balconies will be installed on second and third floors.

Possible huckpointing on these elevations should be reviewed first with HPC staff

Webster elevation facing south will be fitted with exact replacement double hung windows on second and third stories. Replacement units will exactly match size of existing window units. Clear glass will be used (no tinting of glass).





c: Brian Miller
Ron Leonhardt

Development Center Manager

Martha Brown
Martha Brown

Sincerely,

The Certificate of Appropriateness granted by the Historic Preservation Commission for exterior changes to 2551 N. Downer Avenue is enclosed. Please note that the COA includes approval for new hanging balconies only on the west (alley) elevation of the building. Should you wish to appeal the Commission's decision on this matter, you must contact the City Clerk, Mr. Ronald Leonhardt in writing within 20 days of receipt of this certificate. Should you have further questions about the appeal process, please contact Mr. Leonhardt at (414) 286-3781.

Gentlemen:

Mr. Daniel Katz
Mr. John Chrichton
Mr. Thomas Hauck
316 E. Silver Spring Drive
Milwaukee, WI 53217

7/1/2003

809 N. Broadway/P.O. Box 324/Milwaukee, WI 53201-0324/414-286-8211



City of
Milwaukee
Development Center