



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property	2009 S. 19TH ST.	Christ Polish Baptist Church
Description of work	<p>1. Build new accessibility ramp of concrete, separated from the building by an isolation joint so that the brick of the building will not be in direct contact with the concrete. Staff discussed the possibility of an exterior wheelchair lift, but it is was determined to be impractical. The railing will be the standard HPC design and wood.</p> <p>2. Convert one window to a door on the south elevation to serve this ramp. Door shall have panel detailing similar to examples on following pages.</p>	
Date issued	8/16/2018	PTS ID 114592 COA: wheelchair ramp and new door

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Provide final door design for staff approval before installation. With the need for a 3-hour door in this location, a steel door is permitted for this property's unique situation and tightness to the adjacent house.

All finish wood must be smooth and free of knots and must be painted upon completion. Note: when new, bare wood is left exposed to the exterior elements for a period of only a week or two, the life the of the paint job subsequently applied to it will be decreased. The use of a naturally decay-resistant wood species for exterior finish applications is highly recommended but not required. Using western white pine or Ponderosa pine is "at your own risk" because this wood has no natural decay resistance and can deteriorate in some exterior settings in just a few years.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to

correction orders or citations. If you require technical assistance, please contact the Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: hpc@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Jose Perez, Contractor

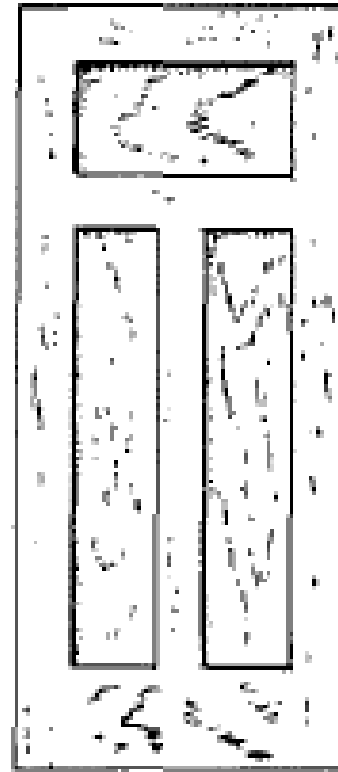


This is the ideal door for the rear, without glazing. A similar two-panel design with taller bottom panel should be the goal.



Craftsman
1905-1935

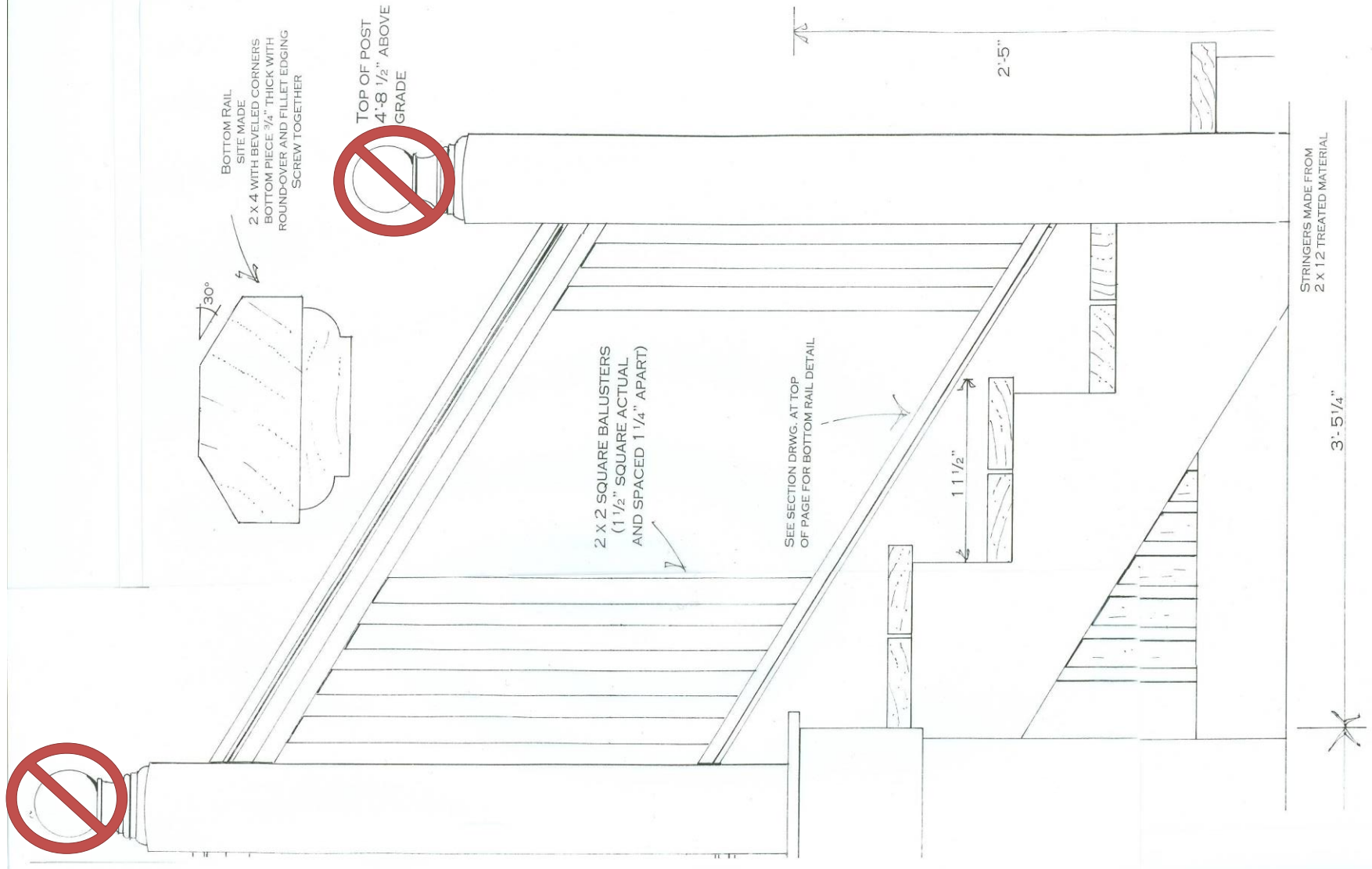
Schematic design for door at left. Again, without glazing.



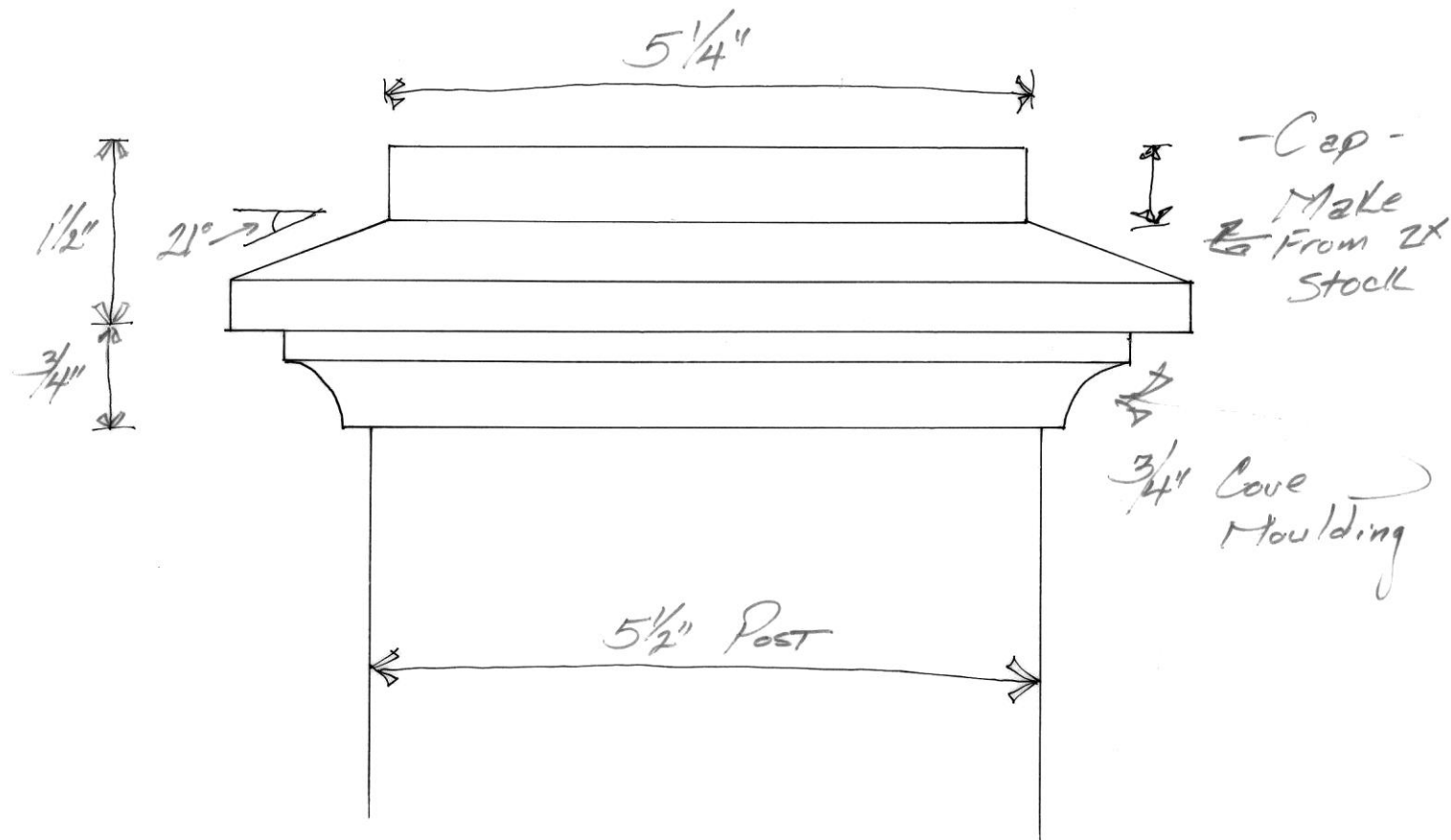
**Craftsman
1905-1935**

If 2-panel is not available, 3, 4 or 5 equal horizontal panels are acceptable. 3-panel sample above.

Another option for a panel door design.



Approved railing design. Disregard `post caps. Use caps on next page.



Use this post cap detail instead of ball design on previous page.

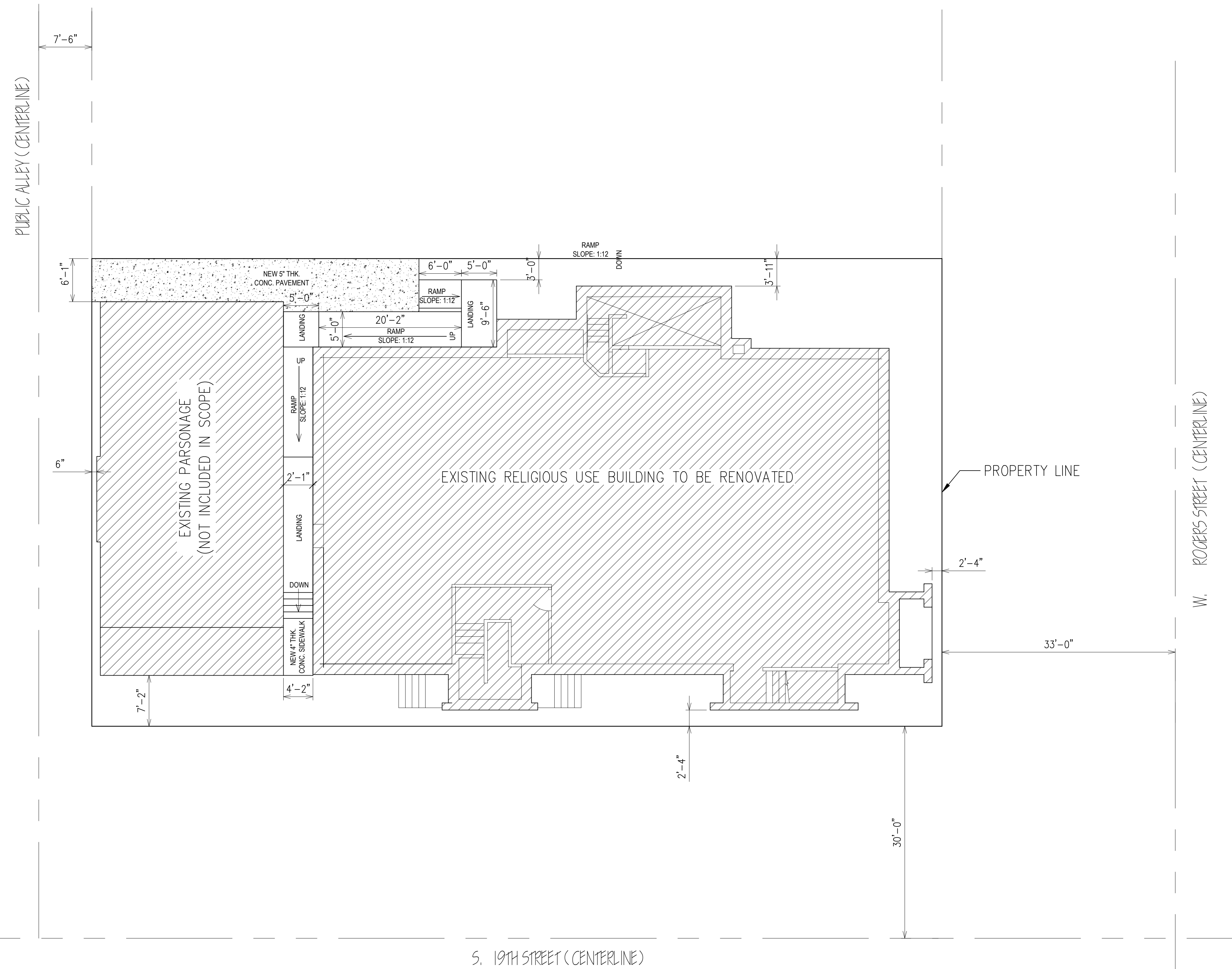
EECMS

2745 NORTH DR.
MARTIN LUTHER KING,
JR., DRIVE, STE LL1
MILWAUKEE, WI
(414) 393-0617

PROJECT:
RISALE CENTER
BUILDING
RENOVATION

2009 - 13 S 19TH ST.
MILWAUKEE, WI

APPROVED
By Tim Askin-HPC at 11:15 am, Aug 17, 2018



REVISIONS	
TAG	DESCRIPTION

EECMS PROJ. NO. | SD0102-16
SCALE | 1/8" = 1'-0"
PHASE | CD
DATE | 05.21.17

SITE PLAN

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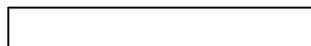
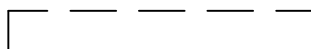
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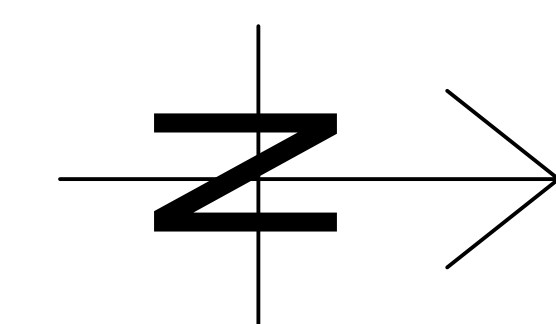
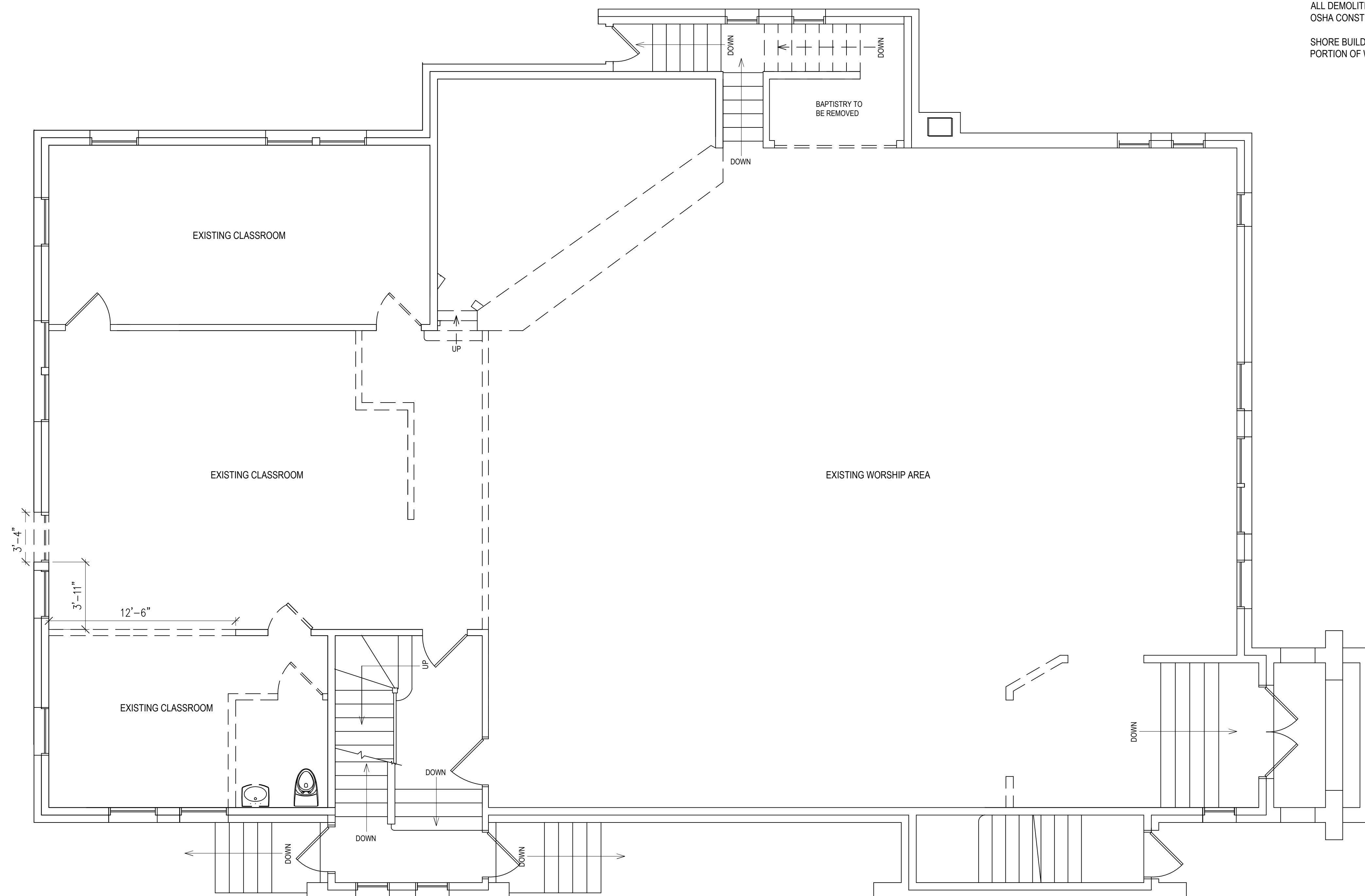
DEMOLITION KEY / LEGEND

-  EXISTING TO REMAIN
-  EXISTING TO BE REMOVED

ALL DEMOLITION WORK SHALL BE PERFORMED IN A SAFE MANNER THAT IS CONSISTENT WITH OSHA CONSTRUCTION INDUSTRY REGULATIONS

SHORE BUILDING ADEQUATELY AND CONTACT ENGINEER BEFORE REMOVING ANY COLUMN, WALL OR PORTION OF WALL.

APPROVED
By Tim Askin-HPC at 11:15 am, Aug 17, 2018



1 FIRST FLOOR PLAN - EXISTING / DEMO
SCALE: 1/4" = 1' - 0"

REVISIONS		DATE	BY	DESCRIPTION

EECMS PROJ. NO. | SD0102-16
SCALE | AS SHOWN
PHASE | CD
DATE | 05.21.17

FIRST FLOOR
EXISTING /
DEMO PLAN

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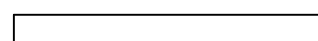
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BUILDING
RENOVATION

2009 - 13 S 19TH ST.
MILWAUKEE, WI

DEMOLITION KEY / LEGEND

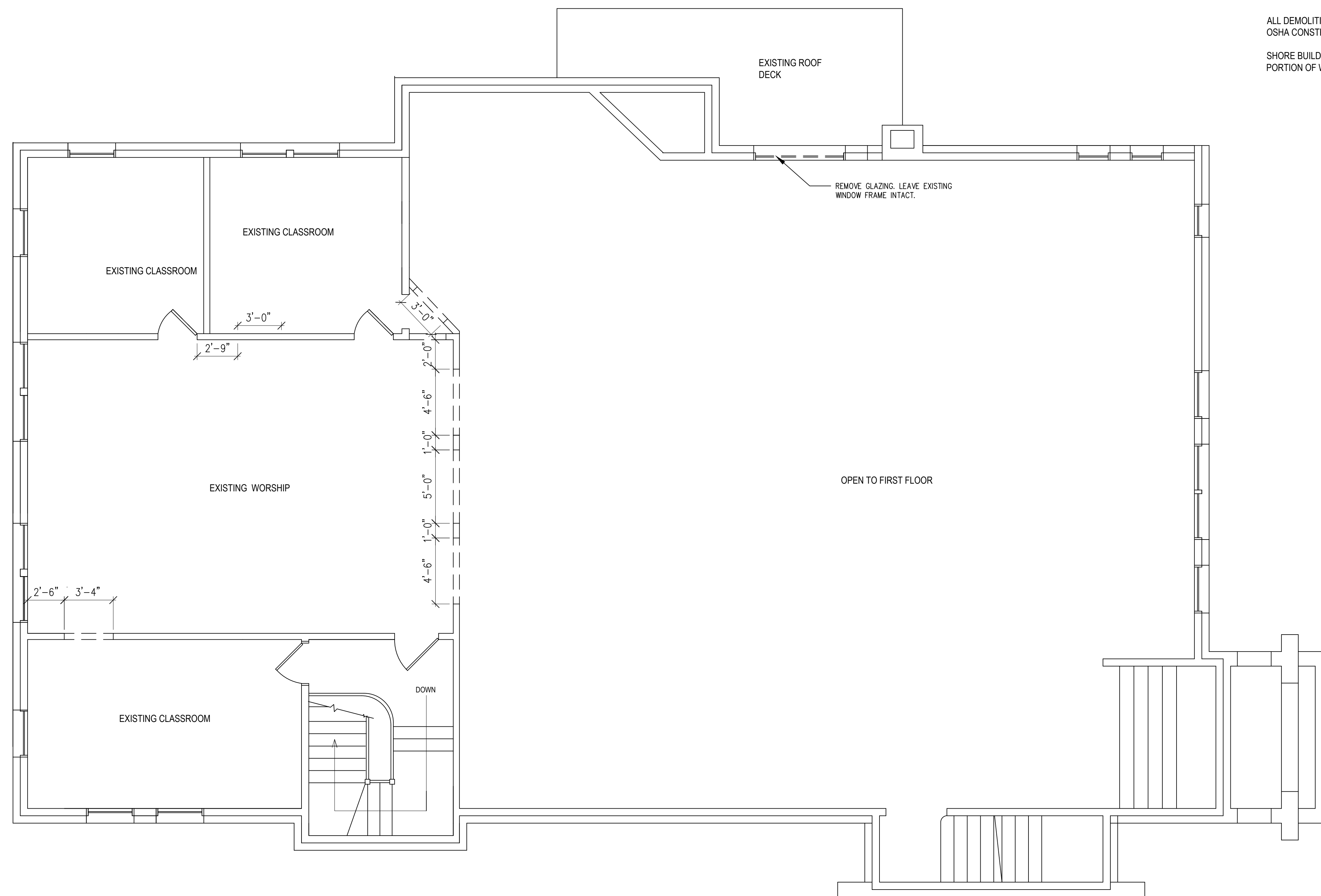
 EXISTING TO REMAIN

 EXISTING TO BE REMOVED

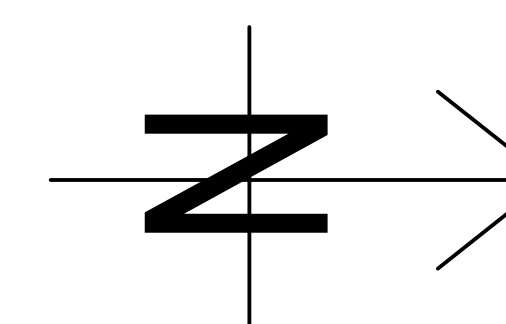
ALL DEMOLITION WORK SHALL BE PERFORMED IN A SAFE MANNER THAT IS CONSISTENT WITH OSHA CONSTRUCTION INDUSTRY REGULATIONS

SHORE BUILDING ADEQUATELY AND CONTACT ENGINEER BEFORE REMOVING ANY COLUMN, WALL OR PORTION OF WALL.

APPROVED
By Tim Askin-HPC at 11:15 am, Aug 17, 2018



1 SECOND FLOOR PLAN - EXISTING / DEMO
SCALE: 1/4" = 1' - 0"



REVISIONS	TAG	DATE	BY	DESCRIPTION

EECMS PROJ. NO. | SD0102-16
SCALE | AS SHOWN
PHASE | CD
DATE | 01.18.17

SECOND FLOOR
EXISTING/
DEMO PLAN

EECMS

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MILWAUKEE, WI
(414) 393-0617

PROJECT:

**RISALE CENTER
BUILDING
RENOVATION**

2009 - 13 S 19TH ST.
MILWAUKEE, WI

BUILDING CODE DATA

TOTAL BUILDING AREA:	8,916 S.F.
ALTERED BUILDING AREA:	(FIRST & SECOND FLOOR ONLY) 5,334 S.F.
OCCUPANCY:	GROUP A-3 - 3,584 S.F. (BASEMENT) GROUP A-3 - 3,584 S.F. (FIRST FLOOR) GROUP A-3 - 1,750 S.F. (SECOND FLOOR)
CONSTRUCTION CLASSIFICATION:	TYPE VA
SPRINKLER SYSTEM:	UNSPRINKLERED
NUMBER OF STORIES:	2
DESIGN OCCUPANT LOAD:	2

FLOOR LEVEL	OCCUPANCY	AREA	S.F./OCCUPANT	OCCUPANTS
BASEMENT	GROUP A-3	3,249 S.F. (NET)	7 S.F. (NET)/1	300 (MAX)
FIRST FLOOR	GROUP A-3	3,334 S.F. (NET)	7 S.F. (NET)/1	300 (MAX)
SECOND FLOOR	GROUP A-3	1,373 S.F. (NET)	7 S.F. (NET)/1	186
MAXIMUM EXITING DISTANCE ALLOWED:				75 FT
MAXIMUM EXITING DISTANCE PROVIDED:				57 FT
AGG. EXIT WIDTH REQ'D:				0.2" 99 = 19.8 IN
AGG. EXIT WIDTH PROVIDED:				108 IN
SANITARY FIXTURE REQUIREMENT:				
WOMEN	2 WATER CLOSET / 1 LAVATORY			
MEN	2 WATER CLOSET / 1 LAVATORY			
SANITARY FIXTURE PROVIDED:				
WOMEN	2 WATER CLOSET / 1 LAVATORY			
MEN	3 WATER CLOSET / 1 LAVATORY			

LEGEND/KEY

- 1 WUDDU SEATS SPACED @ 32" O.C. (MIN)
- 2 COUNTER TOP W/ ADA ACCESSIBLE LAVATORY
- 3 NEW WALL W/ 2x4 STUDS @ 16" C.C. AND 5/8" MOISTURE RESISTANT DRYWALL ON EACH SIDE OF THE WALL. WALL SHALL HAVE GLAZED CERAMIC TILES UP TO A MINIMUM HEIGHT OF 6'-0" ON EACH SIDE OF THE WALL.
- 4 42" HIGH GUARDRAIL CONFORMING TO THE CURRENT IBC CODE REQUIREMENTS.
- 5 NEW WALL W/ 2x4 STUDS @ 16" C.C. AND 5/8" DRYWALL ON EACH SIDE OF THE WALL.
- 6 NEW (3) 2 1/2" x 13" GLULAM (30F - 21E SP GRADE) BEAM AT EDGE OF NEW BALCONY.
- 7 NEW 6" DIAMETER STEEL PIPE COLUMN (SEE SHEET 6.0)
- 8 NEW WALL W/ 2x4 STUDS @ 16" C.C. AND 5/8" DRYWALL ON EACH SIDE OF THE WALL. WALL SHALL HAVE GLAZED TILES TO A HEIGHT OF AT LEAST 6' ON THE BATHROOM FACE OF THE WALL.
- 9 NEW WALL W/ 2x4 STUDS @ 16" C.C. AND 5/8" TYPE "X" DRYWALL ON EACH SIDE OF THE WALL.
- 10 6x6 WOOD POST TO UNDERSIDE OF HEADER
- 11 7'-0" HIGH PLEXIGLASS PARTITION
- 12 WALL MOUNTED ADA COMPLIANT H2O DRINKING FOUNTAIN.
- 13 CONCRETE STAIRS AND LANDING. STAIR TREADS TO BE NO SHALLOWER THAN 11" AND RISERS SHALL BE NO HIGHER THAN 7".
- 14 4" THICK CONCRETE WALK WAY.

CONSTRUCTION NOTES

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE CURRENT VERSION OF THE WISCONSIN COMMERCIAL BUILDING CODE AND THE 2009 INTERNATIONAL BUILDING CODE.
2. ALL EXITS SHALL BE PROVIDED WITH PANIC TYPE HARDWARE CONFORMING TO THE IBC.
3. NEW TOILET ROOM DOORS SHALL BE 3'-0" x 6'-6". ALL OTHER NEW DOORS SHALL BE 3'-0" x 7'-0".

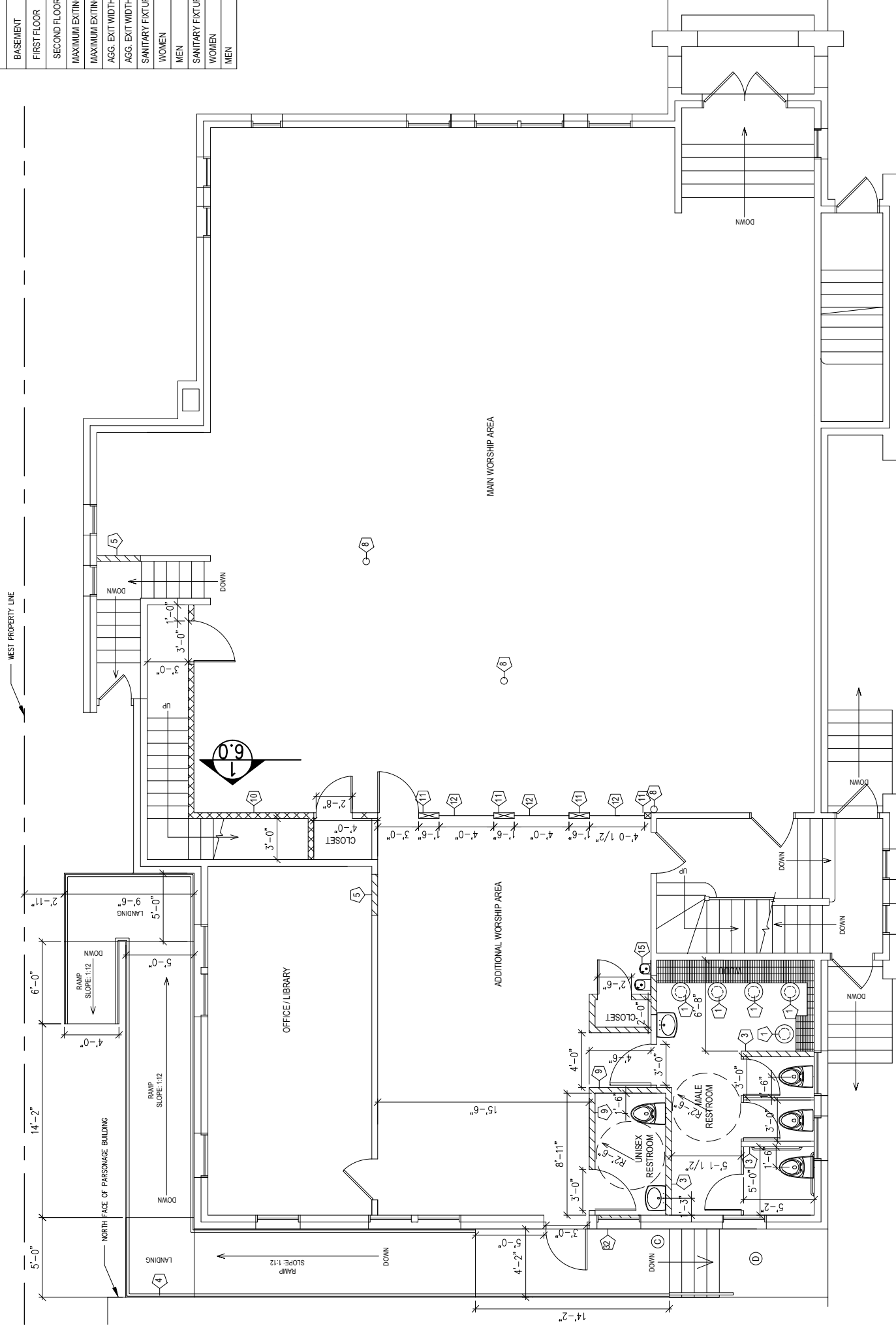
WALL KEY AND LEGEND

EXISTING WALL

EXISTING DOOR

NEW DOOR

APPROVED
By Tim Askin-HPC at 11:15 am, Aug 17, 2018



FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"

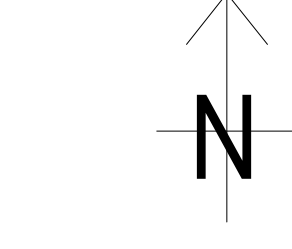
1

FIRST FLOOR
PLAN

4.0

REVISIONS	DATE	BY	DESCRIPTION
	4.20.2016		MALE TOILET ROOM MODIFIED

EECMS PROJ. NO. | S00102.16
SCALE | AS SHOWN
PAGE | 03
DATE | 08/21/17



EECMS

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RISALE CENTER
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2009 - 13 S 19TH ST.
MILWAUKEE, WI

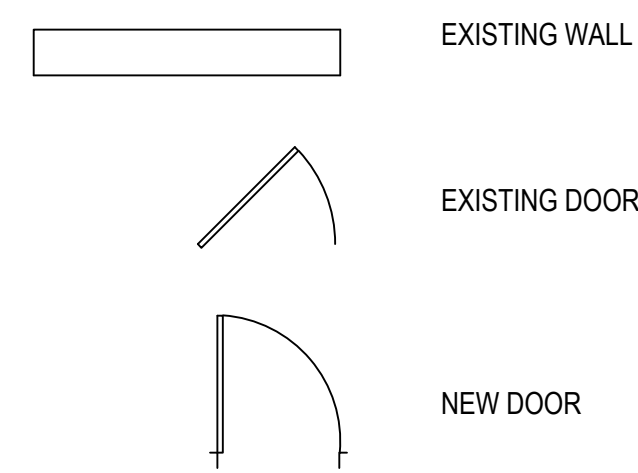
REVISIONS		DATE	BY	DESCRIPTION

EECMS PROJ. NO. | SD0102-16
SCALE | AS SHOWN
PHASE | CD
DATE | 01.18.17

SECOND FLOOR
PLAN

5.0

WALL KEY AND LEGEND



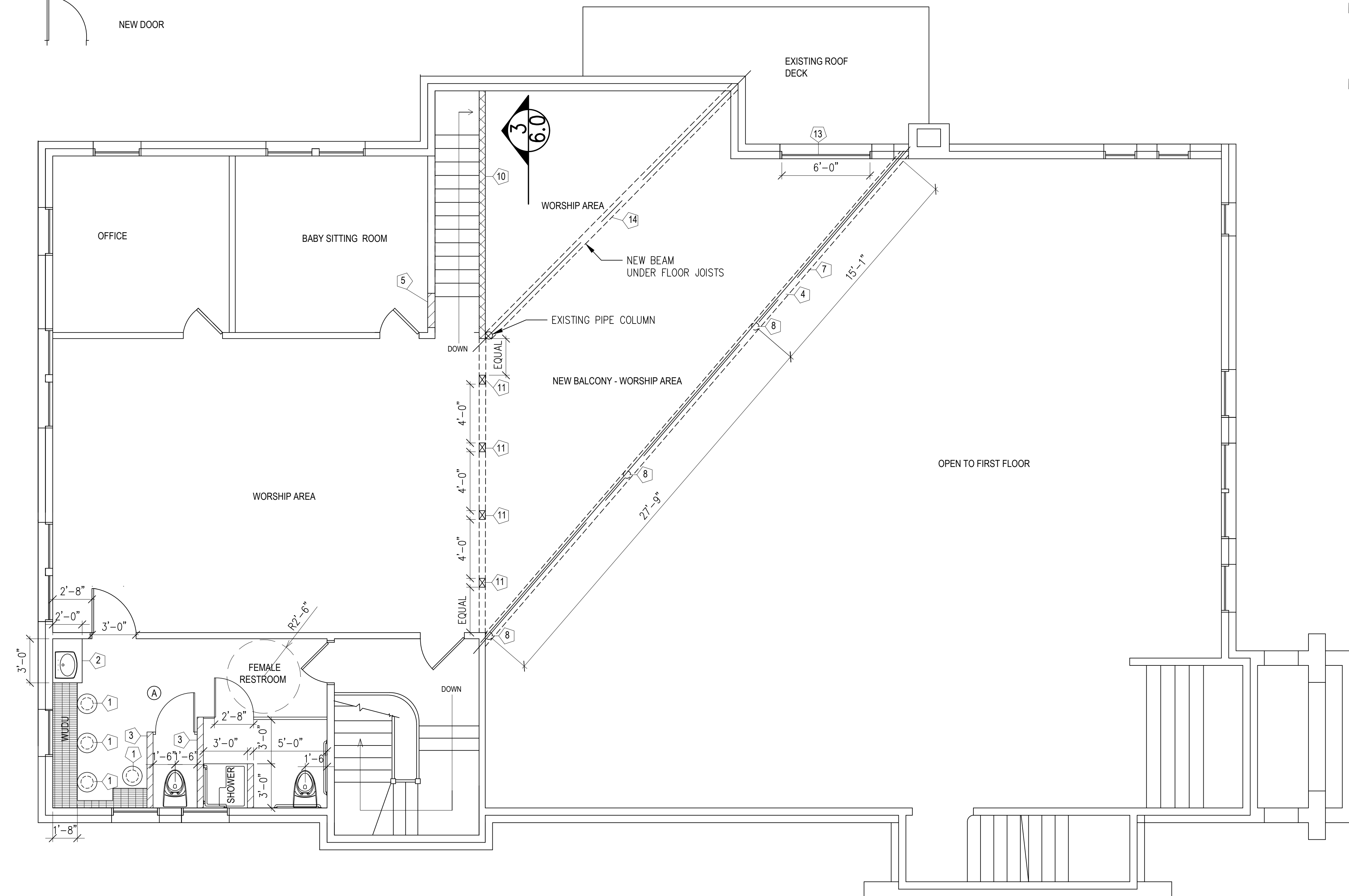
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LEGEND/KEY

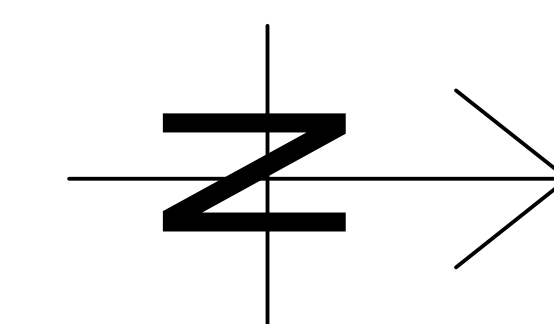
- 1 WUDU SEATS SPACED @ 32" O.C. (MIN)
- 2 COUNTER TOP W/ ADA ACCESSIBLE LAVATORY
- 3 NEW WALL W/ 2 x 4 STUDS @ 16" C.C AND 5/8" MOISTURE RESISTANT DRYWALL ON EACH SIDE OF THE WALL. WALL SHALL HAVE GLAZED CERAMIC TILES UP TO A MINIMUM HEIGHT OF 6'-0" ON EACH SIDE OF THE WALL.
- 4 42" HIGH GUARDRAIL CONFORMING TO THE CURRENT IBC CODE REQUIREMENTS.
- 5 NEW WALL W/ 2 x 4 STUDS @ 16" C.C AND 5/8" DRYWALL ON EACH SIDE OF THE WALL.
- 7 NEW BEAM AT EDGE OF NEW BALCONY (SEE SHEET 6.0).
- 8 NEW 6" DIAMETER STEEL PIPE COLUMN (SEE SHEET 6.0)
- 10 NEW WALL W/ 2 x 4 STUDS @ 16" C.C AND 5/8" TYPE "X" DRYWALL ON EACH SIDE OF THE WALL.
- 11 6 x 6 WOOD POST TO UNDERSIDE OF HEADER
- 13 REPLACE GLAZING WITHIN EXISTING WINDOW FRAME WITH CLEAR TEMPERED GLASS
- 14 NEW BEAM AT INTERIOR OF NEW BALCONY (SEE SHEET 6.0).
- (A) EXISTING FLOOR IN THIS AREA IS TO BE RAISED TO MATCH FLOOR ELEVATION IN ADJACENT SPACES

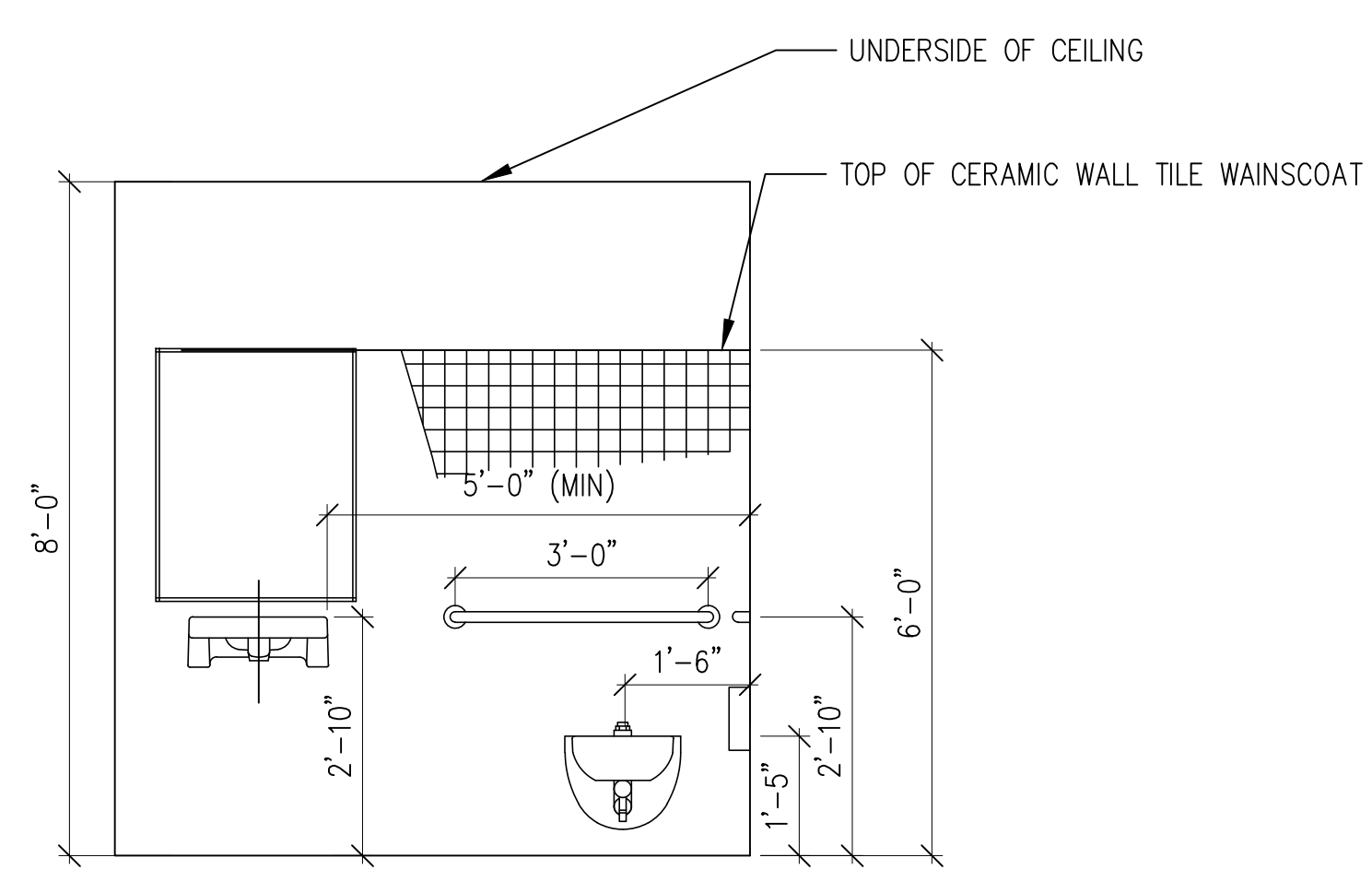
CONSTRUCTION NOTES

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE CURRENT VERSION OF THE WISCONSIN COMMERCIAL BUILDING CODE AND THE 2009 INTERNATIONAL BUILDING CODE.
2. ALL EXITS SHALL BE PROVIDED WITH PANIC TYPE HARDWARE CONFORMING TO THE IBC.
3. NEW TOILET ROOM DOORS SHALL BE 3'-0" x 6'-8". ALL OTHER NEW DOORS SHALL BE 3'-0" x 7'-0".



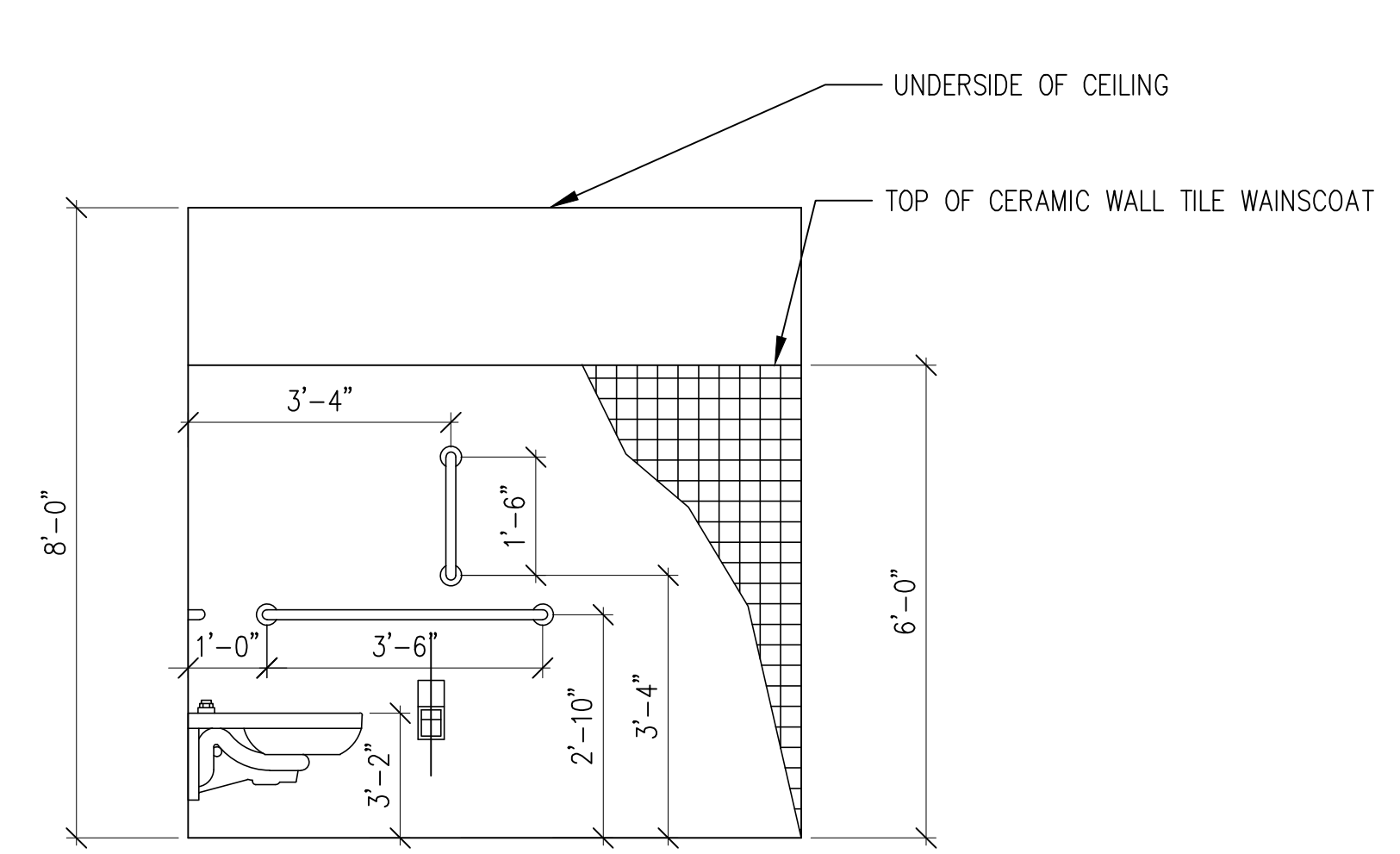
1 SECOND FLOOR PLAN
SCALE: 1/4" = 1' - 0"





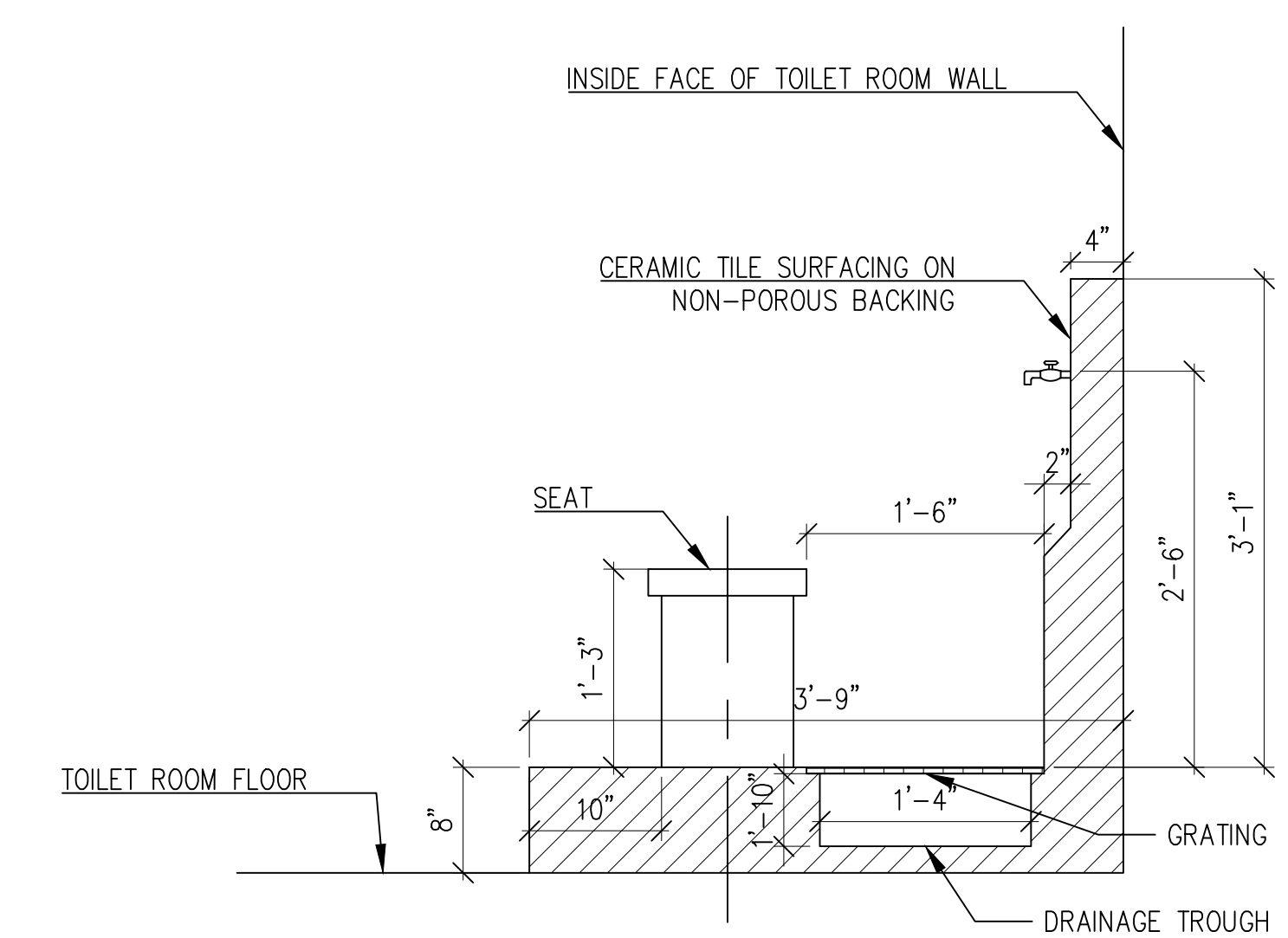
1 TYPICAL WHEELCHAIR ACCESSIBLE TOILET ROOM ELEVATION
- VIEW FROM FRONT OF WATER CLOSET

SCALE: 1/2" = 1' - 0"



2 TYPICAL WHEELCHAIR ACCESSIBLE TOILET ROOM ELEVATION
- VIEW FROM SIDE OF WATER CLOSET

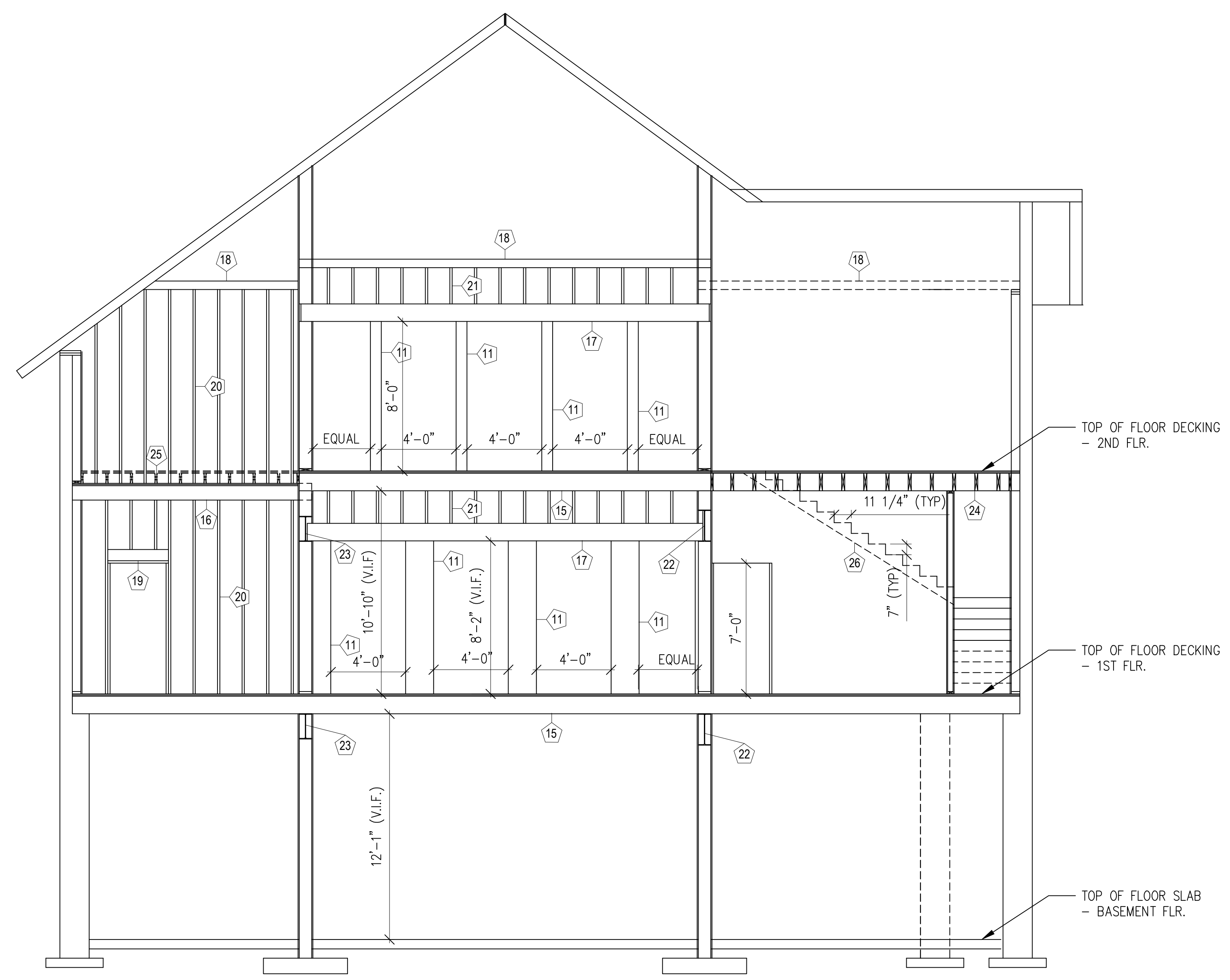
SCALE: 1/2" = 1' - 0"



4 TYPICAL SECTION THRU WUDU

SCALE: 1" = 1' - 0"

APPROVED
By Tim Askin-HPC at 11:15 am, Aug 17, 2018



3 SECTION
SCALE: 3/4" = 1' - 0"

NOTES / KEY

- 11 6 x 6 WOOD POST TO UNDERSIDE OF HEADER
- 15 EXISTING 2 x 12 FLOOR JOIST
- 16 EXISTING 2 x 10 FLOOR JOIST
- 17 NEW (2) 2 x 12 HEADER FASTENED TO POST WITHIN WALL W/ SIMPSON STRONG-TIE HUS210-2 JOIST HANGER OR EQUIVALENT.
- 18 EXISTING CEILING JOIST
- 19 EXISTING HEADER AT EXISTING DOORWAY.
- 20 EXISTING WALL STUDS
- 21 EXISTING WALL STUDS CUT TO CREATE NEW OPENING
- 22 EXISTING 20"-DEEP I-BEAM
- 23 EXISTING 15"-DEEP I-BEAM
- 24 NEW 2 x 12 BALCONY FLOOR JOISTS
- 25 NEW 2 x 6 SLEEPERS
- 26 NEW STAIRS TO SECOND FLOOR. STAIR STRINGERS SHALL BE CUT FROM 2 x 14 LUMBER AND SHALL BE FASTENED AT EACH STUD WITH (2) 16D COMMON NAILS. TREADS SHALL BE FROM 2 x 12 LUMBER.

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE CURRENT VERSION OF THE WISCONSIN COMMERCIAL BUILDING CODE AND THE CURRENT VERSION OF THE INTERNATIONAL BUILDING CODE.

REVISIONS	TAG	DATE	BY	DESCRIPTION

EECMS PROJ. NO.	SD0102-16
SCALE	AS SHOWN
PHASE	CD
DATE	01.18.17

**SECTIONS AND
DETAILS**

REVISIONS		DATE	BY	DESCRIPTION

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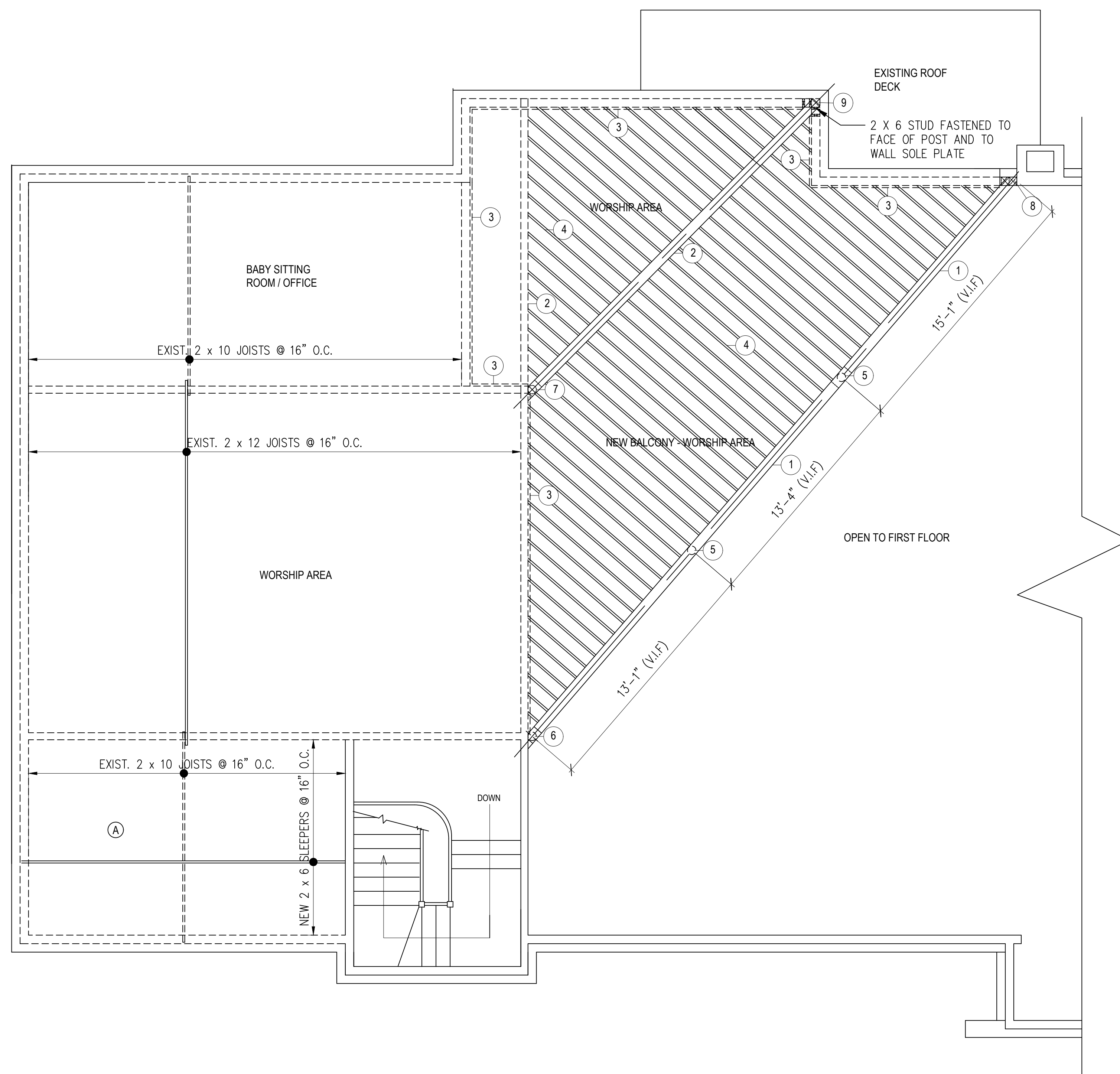
EECMS PROJ. NO.	SD0102-16
SCALE	AS SHOWN
PHASE	CD
DATE	01.18.17

SECOND FLOOR
FRAMING PLAN

FRAMING NOTES/KEY

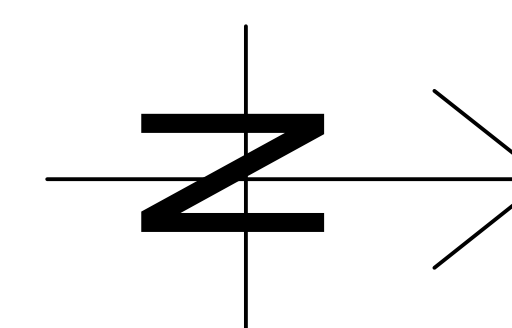
- ① (4) 1 1/2" x 24" LVL (2.0E - 2900Fb GRADE) BEAM AT EDGE OF NEW BALCONY. LVL PLIES SHALL BE FASTENED TOGETHER USING (3) - VERTICAL ROWS OF 3/4" DIA. THRU BOLTS SPACED @ 24" O.C. HORIZONTALLY. ELEVATION OF TOP OF BEAM SHALL MATCH ELEVATION OF TOP OF FLOOR JOISTS. FULL WIDTH OF BEAM SHALL BEAR ON STEEL COLUMN TOP PLATE W/ MIN. BEARING LENGTH = 6" AND FULL WIDTH OF BEAM SHALL BEAR ON FULL WIDTH 6 x 6 WOOD POST SECTION. BEAM SHALL BE FASTENED TO STEEL COLUMN TOP PLATE W/ (2) 3/4" DIA. x 5" LONG LAG BOLTS AND TO TOP OF WOOD POSTS W/ SIMPSON STRONG-TIE BC80 CONNECTOR OR EQUIVALENT.
- ② (3) 1 1/2" x 24" LVL (2.0E - 2900Fb GRADE) BEAM AT INTERIOR OF NEW BALCONY. LVL PLIES SHALL BE FASTENED TOGETHER USING (3) - VERTICAL ROWS OF 3/4" DIA. THRU BOLTS SPACED @ 24" O.C. HORIZONTALLY. ELEVATION OF TOP OF BEAM SHALL MATCH ELEVATION OF TOP OF FLOOR JOISTS. FULL WIDTH OF BEAM SHALL BEAR ON STEEL COLUMN TOP PLATE W/ MIN. BEARING LENGTH = 6" AND FULL WIDTH OF BEAM SHALL BEAR ON FULL WIDTH 6 x 6 WOOD POST SECTION. BEAM SHALL BE FASTENED TO STEEL COLUMN TOP PLATE W/ (2) 3/4" DIA. x 5" LONG LAG BOLTS AND TO TOP OF WOOD POSTS W/ SIMPSON STRONG-TIE BC60 CONNECTOR OR EQUIVALENT.
- ③ 2 x 12 SAWN LUMBER (D.F.-LARCH NO.1 OR BETTER GRADE) LEDGER BEAM FASTENED DIRECTLY TO FACE OF EACH STUD IN EXISTING WALL W/ (3) 16d COMMON NAILS. LEDGER SHALL BE ALIGNED SO THAT TOP OF LEDGER MATCHES TOP OF NEW FLOOR JOISTS.
- ④ 2 x 12 SAWN LUMBER (D.F.-LARCH NO.1 OR BETTER GRADE) JOIST SPACED @ 16" O.C. AND FASTENED AT EACH END TO LEDGER OR BEAM W/ SIMPSON STRONG-TIE HUS 210 (OR EQUIVALENT) JOIST HANGER. AT LEAST ONE (1) LAYER OF 1/2" TYPE-X GYPSUM WALLBOARD SHALL BE FASTENED TO THE UNDERSIDE OF EACH JOIST W/ 1 1/8" LONG WALLBOARD NAILS
- ⑤ 6" DIA. STANDARD WEIGHT PIPE COLUMN W/ 3/4" x 7" x 12" STEEL PLATE WELDED CONCENTRICALLY TO TOP OF PIPE. STEEL PLATE SHALL BE PROVIDED W/ (4) BOLT HOLES (1 NEAR EACH CORNER OF THE PLATE). CENTER OF BOLT HOLES SHALL BE 1 1/2" FROM NEAREST PLATE EDGE. BASE OF COLUMN SHALL BE WELDED TO TOP OF EXISTING STEEL I-BEAM BELOW. WELDS SHALL BE 3/8" FILLET WELDS USING 70 KSI ELECTRODE AND SHALL BE CONTINUOUS AROUND THE PERIMETER OF THE COLUMN. WHERE NEW PIPE COLUMN DOES NOT ALIGN WITH COLUMN IN THE BASEMENT, THE NEW PIPE COLUMN SHALL CONTINUE INTO THE BASEMENT AND SHALL BE SUPPORTED ON A 4'-6" x 4'-6" x 1'-0" THICK CONCRETE FOOTING. FOOTING SHALL BE REINFORCED AT ITS BOTTOM WITH #5 BARS SPACED AT 1'-0" CENTER-TO-CENTER.
- ⑥ 6" DIA. STANDARD WEIGHT PIPE COLUMN W/ 3/4" x 7" x 9 1/2" STEEL PLATE WELDED TO TOP OF PIPE. PLATE SHALL BE LOCATED SO THAT FRONT EDGE OF PLATE IS 6" FROM CENTER OF PIPE. STEEL PLATE SHALL BE PROVIDED W/ (2) BOLT HOLES (EACH NEAR FRONT CORNERS OF PLATE). CENTER OF BOLT HOLES SHALL BE 1 1/2" FROM NEAREST PLATE EDGE. BASE OF COLUMN SHALL BE WELDED TO TOP OF EXISTING STEEL I-BEAM BELOW. WELDS SHALL BE 3/8" FILLET WELDS USING 70 KSI ELECTRODE AND SHALL BE CONTINUOUS AROUND THE PERIMETER OF THE COLUMN.
- ⑦ 4" DIA. STANDARD WEIGHT PIPE COLUMN W/ 3/4" x 5 1/2" x 9 1/2" STEEL PLATE WELDED TO TOP OF PIPE. PLATE SHALL BE LOCATED SO THAT FRONT EDGE OF PLATE IS 6" FROM CENTER OF PIPE. STEEL PLATE SHALL BE PROVIDED W/ (2) BOLT HOLES (EACH NEAR FRONT CORNERS OF PLATE). CENTER OF BOLT HOLES SHALL BE 1 1/2" FROM NEAREST PLATE EDGE. BASE OF COLUMN SHALL BE WELDED TO TOP OF EXISTING STEEL I-BEAM BELOW. WELDS SHALL BE 3/8" FILLET WELDS USING 70 KSI ELECTRODE AND SHALL BE CONTINUOUS AROUND THE PERIMETER OF THE COLUMN.
- ⑧ 2 - 6 x 6 WOOD POST INSTALLED SIDE-BY-SIDE WITHIN THE PLANE OF EXISTING WALL. POSTS SHALL BE FASTENED AT BASE TO EXISTING WALL SOLE PLATE W/ (4) 16d COMMON NAILS AND FASTENED TO BEAM AT TOP W/ SIMPSON STRONG-TIE BC80 CONNECTOR OR EQUIVALENT.
- ⑨ 6 x 6 WOOD POST INSTALLED WITHIN THE CORNER OF EXISTING WALL. POSTS SHALL BE FASTENED AT BASE TO EXISTING WALL SOLE PLATE W/ (4) 16d COMMON NAILS AND FASTENED TO BEAM AT TOP W/ SIMPSON STRONG-TIE BC60 CONNECTOR OR EQUIVALENT.
- ⑩ EXISTING 2 x 12 FLOOR JOIST CUT TO ACCOMMODATE NEW STAIRS. JOISTS FASTENED AT CUT END TO HEADER W/ SIMPSON STRONG-TIE HUS 210 OR EQUIVALENT JOIST HANGER.
- ⑪ NEW (2) 2 x 12 HEADER. HEADER FASTENED AT EACH END TO FACE OF 6 x 6 POST W/ SIMPSON STRONG-TIE HUS210-2 JOISTS HANGER OR EQUIVALENT.
- ⑫ 6 x 6 POST INSTALLED IN PLANE OF WALL. POST SHALL BE FASTENED WALL TOP PLATE W/ (4) 16d COMMON NAILS AND TO WALL BOTTOM PLATE W/ (4) 16d COMMON NAILS.
- ⑬ STAIR MEMBERS SHALL BE FROM 2 x SAWN LUMBER OR EQUIVALENT. STAIR STRINGERS SHALL BE FASTENED TO FACE OF EACH STUD IN ADJACENT WALL W/ (2) 16d COMMON NAILS IN EACH STUD.
- Ⓐ EXISTING FLOOR IN THIS AREA IS TO BE RAISED TO MATCH FLOOR ELEVATION IN ADJACENT SPACES

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE CURRENT VERSION OF THE WISCONSIN COMMERCIAL BUILDING CODE AND THE CURRENT VERSION OF THE INTERNATIONAL BUILDING CODE.



1 SECOND FLOOR FRAMING PLAN (FLOOR DECKING NOT SHOWN FOR CLARITY)
SCALE: 1/4" = 1' - 0"

APPROVED
By Tim Askin-HPC at 11:15 am, Aug 17, 2018



EECMS

2745 NORTH DR.
MARTIN LUTHER KING,
JR., DRIVE, STE LL1
MILWAUKEE, WI
(414) 393-0617

PROJECT:

2009 S 19TH ST
BUILDING
RENOVATION

2009 - 13 S 19TH ST.
MILWAUKEE, WI

REVISIONS	TAG	DATE	BY	DESCRIPTION

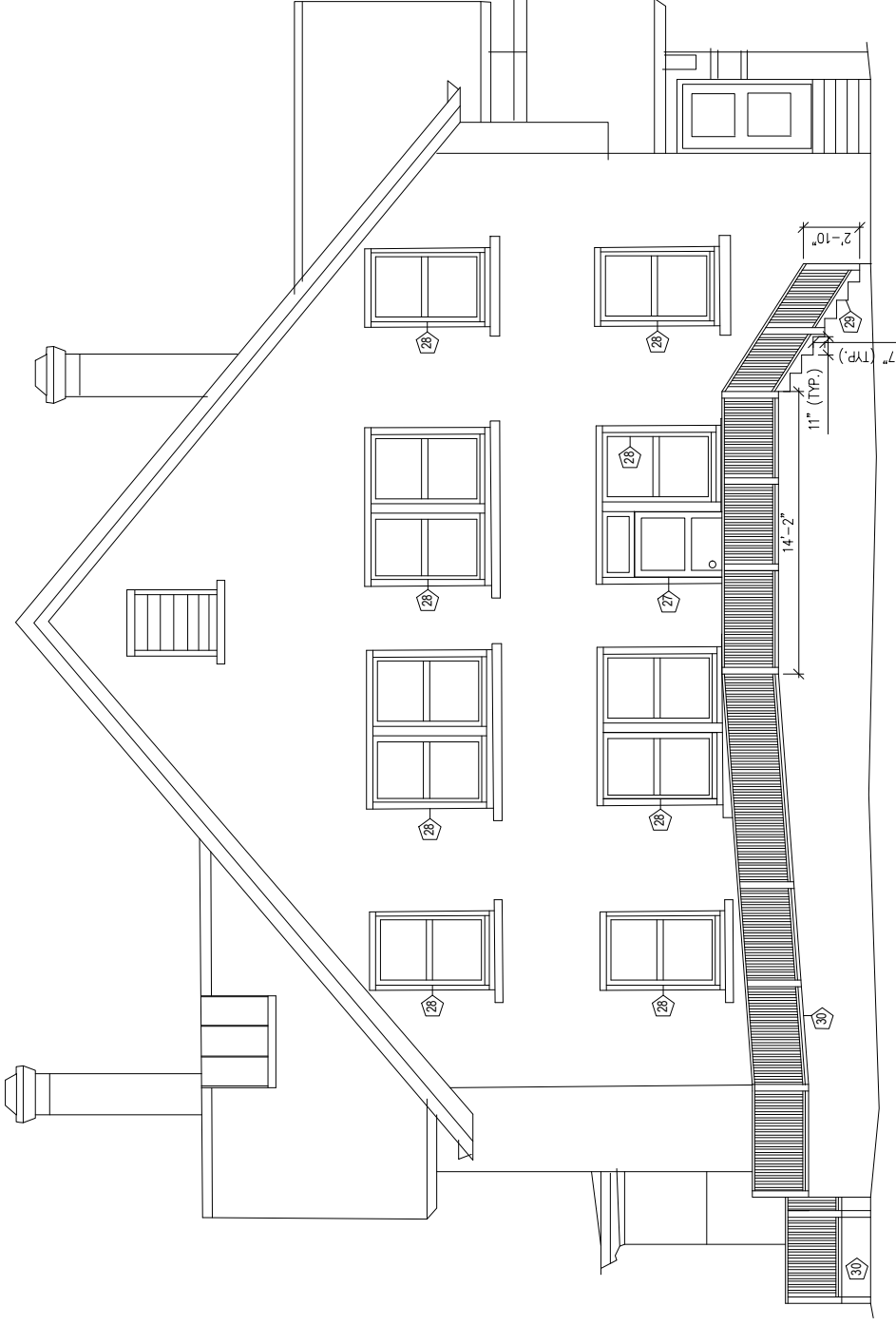
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EECMS PROJ. NO. | SD0102-16
SCALE | AS SHOWN
PHASE | CD
DATE | 04.18.18

ELEVATION

8.0

NOTES / KEY

- 27 3'-0" x 7'-0" RAISED PANEL WOOD A-RATED FIRE-DOOR w/ TRANSOM WINDOW TO MATCH EXISTING WINDOWS.
- 28 EXISTING WINDOWS TO BE RE-FINISHED TO MATCH ORIGINAL.
- 29 NEW CONCRETE STAIRS MATCHING EXISTING CONCRETE STAIRS ON EAST ELEVATION
- 30 NEW CONCRETE RAMP w/ SLIP RESISTANT SURFACE FINISH
- 31 NEW WOOD HANDRAIL w/ BALUSTERS FROM 2 x 2 WOOD SECTIONS SPACED 2-INCH CENTER-TO-CENTER.
- 32 1/2-INCH ISOLATION JOINT BETWEEN NEW CONCRETE AND EXISTING WALL



1 SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"

APPROVED
By Tim Askin-HPC at 11:15 am, Aug 17, 2018