



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property**

3138 W. KILBOURN AV.

**Description of work**

Reconstruction of original north façade of the Concordia Gymnasium/Tthigwe Building with new accessible entrance at NE corner in the style of other approved accessible entries previously added within the campus. Masonry repairs are to be conducted in accordance with the conditions below. A sample of masonry work and mortar has already been approved. Conditions are applied only to the masonry approvals. All other features of the project are approved as drawn, including windows, rooftop solar solar array and rooftop mechanicals.

**Date issued**

11/21/2022

PTS ID 115231 COA: DEMO/RECONSTRUCT POOL/GYM (TTHIGWE)

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

New mortar must match the original mortar in terms of color, texture, grain size, joint width, and joint finish/profile. The compressive strength of the repointing mortar shall be equal or less than the compressive strength of the original mortar and surrounding brick or stone. The replacement mortar shall contain approximately the same ingredient proportions of the original mortar. Mortar that is too hard is subject to premature failure and could damage the masonry. See the city's books *As Good As New* or *Good for Business*, Masonry Chapters, for more information. In most cases, this means a lime mortar with natural hydraulic cement rather than Portland cement. No joint of a width less than 3/8" may be cleaned of damaged/decomposed mortar with power disc grinders. No over-cutting of the joints is permitted. Remove decomposed mortar back into the wall 2.5 times the height of the joint before repointing. When installing new flashing at a masonry feature, the flashing must be stepped or cut into the mortar joints. The bricks may not be cut to install flashing at an angle.

New brick/stone/terra cotta must match as closely as possible the color texture, size, and finish of the original. A sample panel of the masonry materials and their mortar must be reviewed and approved by HPC staff prior to general installation of the material. UNDER NO CIRCUMSTANCES SHALL UNPAINTED MASONRY BE PAINTED, BE GIVEN A WATERPROOFING TREATMENT, OR CLEANED BY ABRASIVE MEANS; THIS STATEMENT SUPERSEDES ANY OTHER WORDING IN THIS DOCUMENT INDICATING THE CONTRARY.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact [hpc@milwaukee.gov](mailto:hpc@milwaukee.gov).

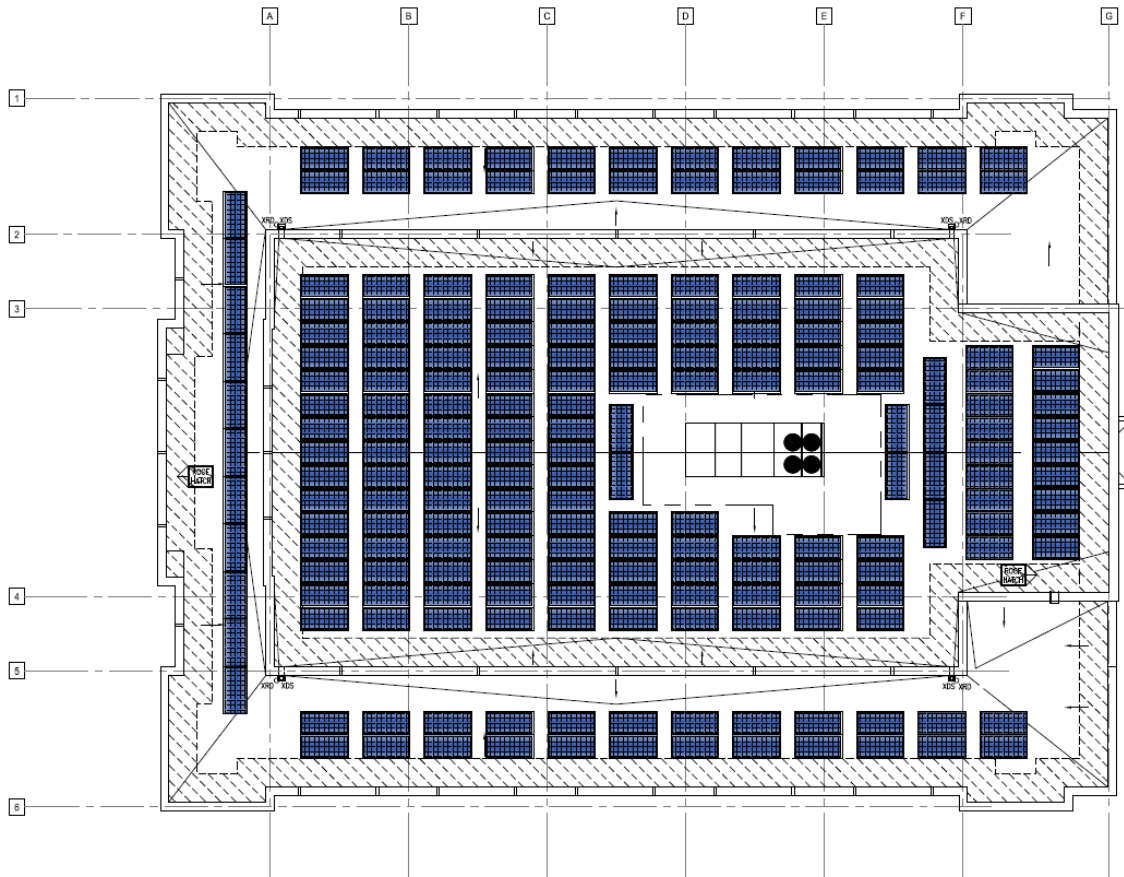
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.milwaukee.gov/build](http://www.milwaukee.gov/build), or call (414) 286-8210.

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City of Milwaukee Historic Preservation Staff

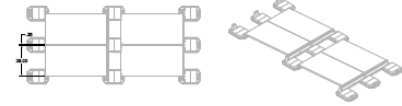
Copies to: Development Center, Ald. Robert Bauman, Contractor , Inspector Dave Pedersen (286-2540)

11 pages total



1 ROOF PLAN  
SCALE: 1/8" = 1'-0"

Solar Plan



72 CELL MODULE  
ELEVATIONS: PORTRAIT, ELEVATION/ISO VIEWS  
SCALE: NTS UNITS: INCHES

2 SOLAR PANEL MOUNTING SYSTEM EXAMPLE  
SCALE: NO SCALE



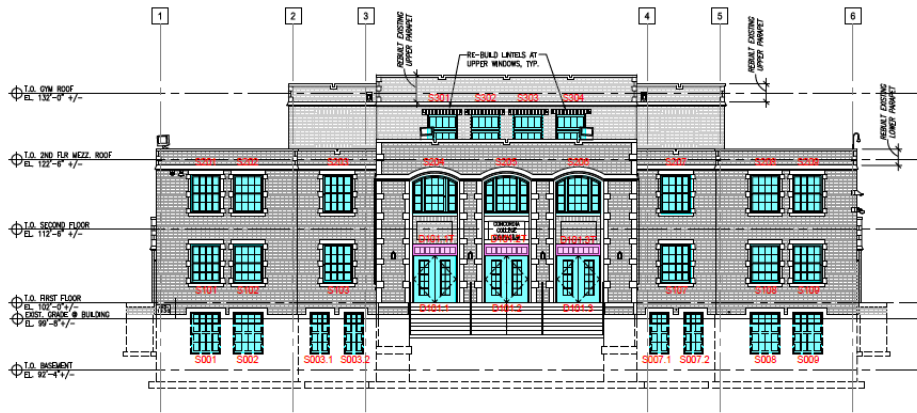
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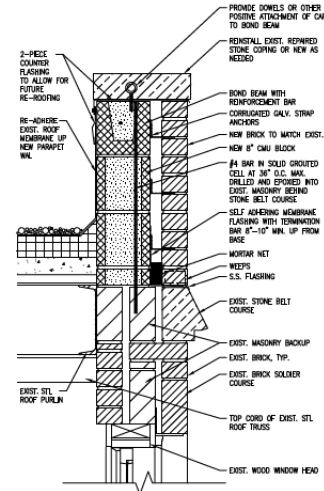
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**APPROVED**

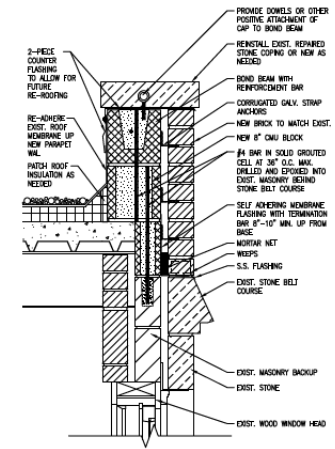
By Tim Askin - Milwaukee HPC at 1:31 pm, Nov 21, 2022



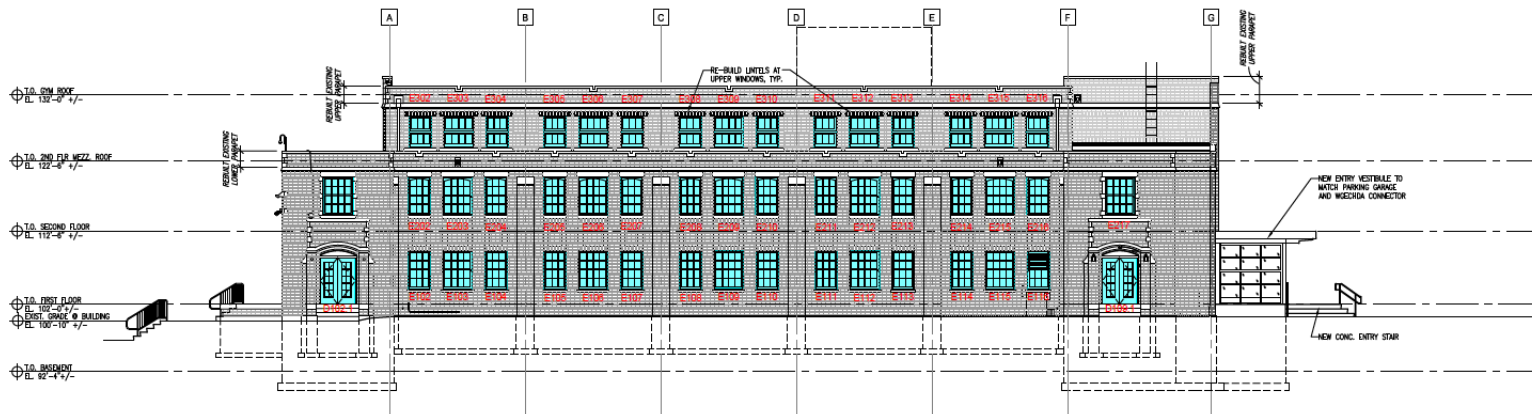
1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"  
SCALE: 18Wx6



2 EXISTING UPPER PARAPET RE-BUILD DETAIL  
SCALE: 1 1/2\"/>



3 EXISTING LOWER PARAPET RE-BUILD DETAIL  
SCALE: 1 1/2\"/>

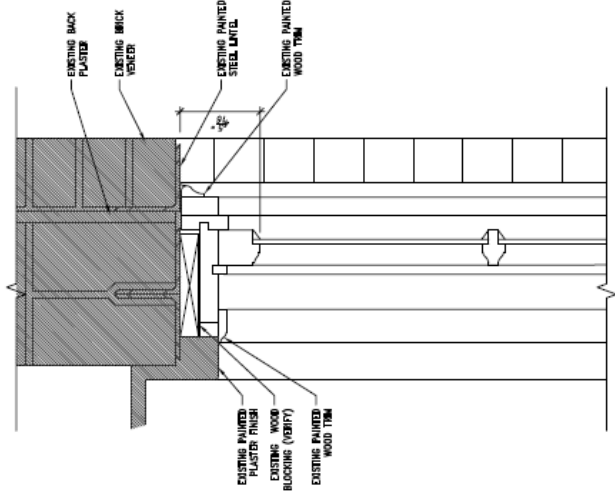


4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"  
SCALE: 18Wx6

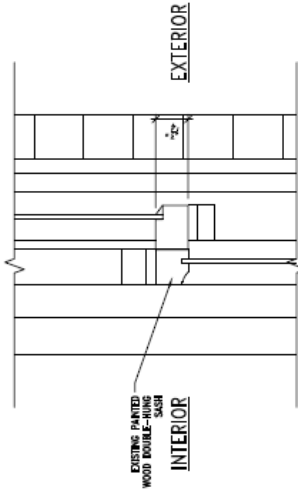
KEY:  
REPLACE

**APPROVED**  
By Tim Askin - Milwaukee HPC at 1:31 pm, Nov 21, 2022

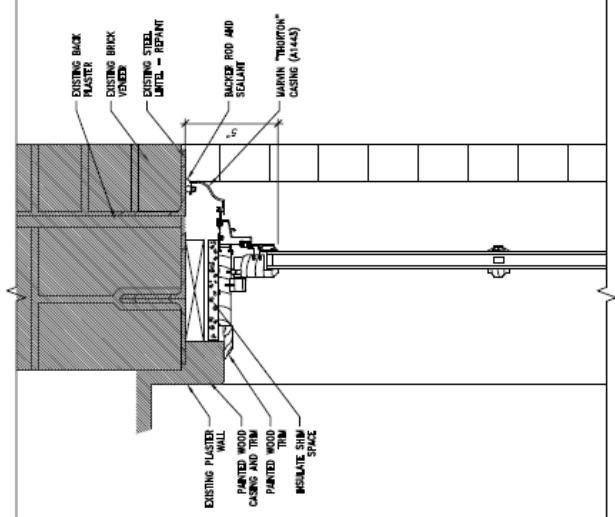
PROPOSED



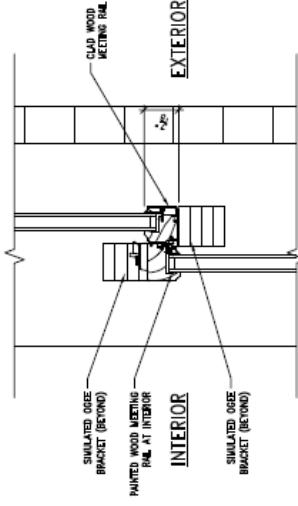
5 HEAD DETAIL AT TYPICAL EXISTING WINDOW  
SCALE: 3" = 1'-0"



4 DOUBLE-HUNG MEETING RAIL AT EXISTING WINDOW  
SCALE: 3" = 1'-0"

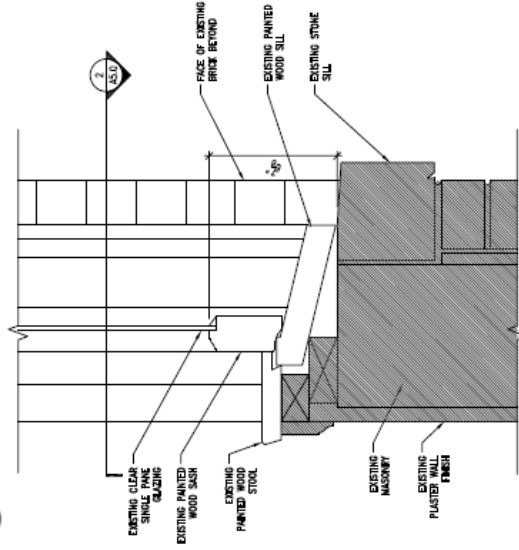


5A HEAD DETAIL AT TYPICAL REPLACEMENT WINDOW  
SCALE: 3" = 1'-0"

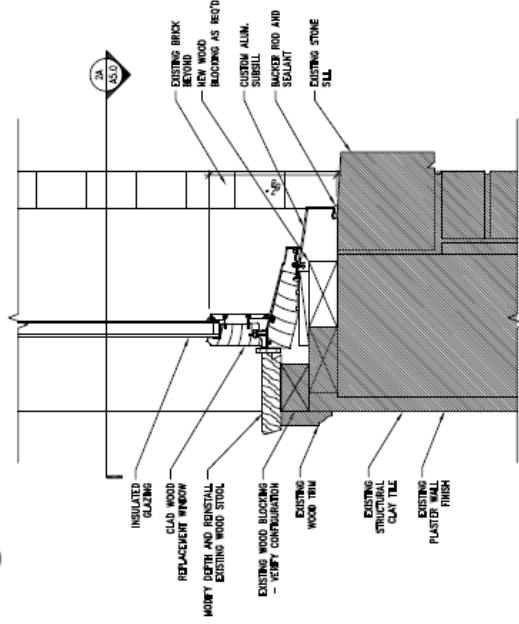


4A DOUBLE-HUNG MEETING RAIL @ REPLACEMENT WINDOW  
SCALE: 3" = 1'-0"

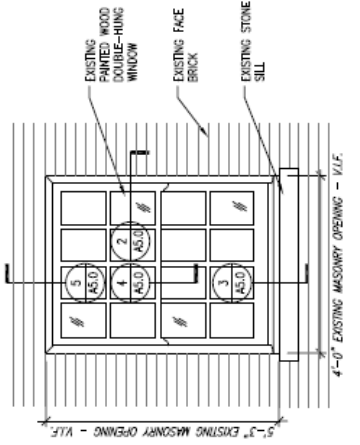
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By Tim Askin - Milwaukee HPC at 1:31 pm, Nov 21, 2022



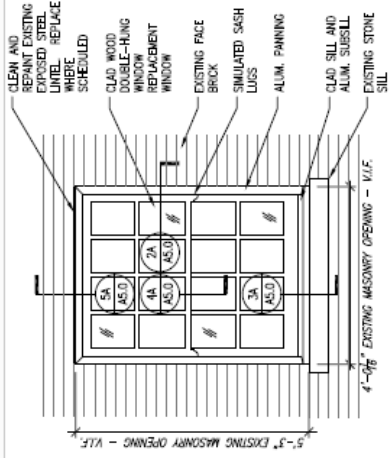
3 SILL DETAIL AT TYPICAL EXISTING WINDOW  
SCALE: 3" = 1'-0"



3A SILL DETAIL AT TYPICAL REPLACEMENT WINDOW  
SCALE: 3" = 1'-0"



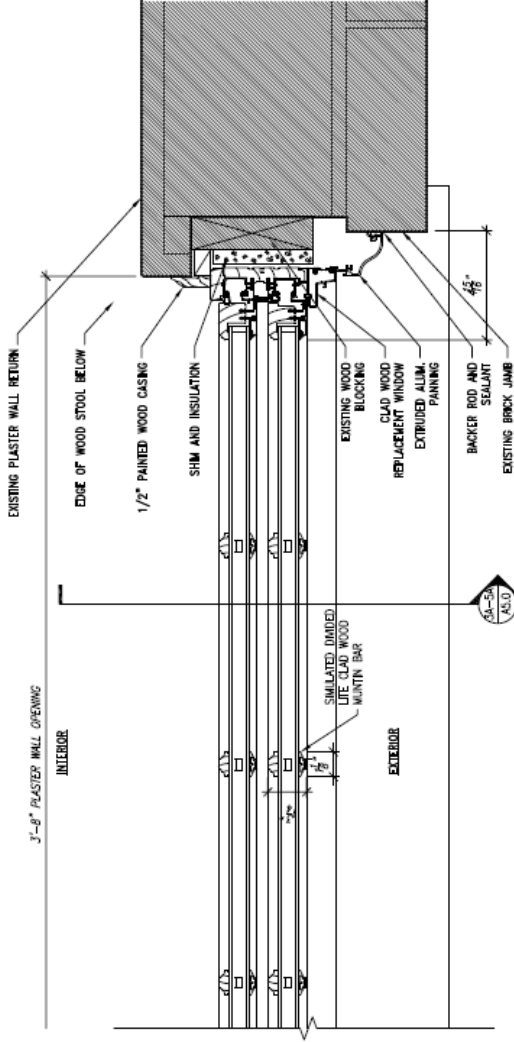
1  
EXISTING WINDOW  
TYPICAL EXTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"



1A  
PROPOSED REPLACEMENT WINDOW  
TYPICAL EXTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"

3'-8" PLASTER WALL OPENING

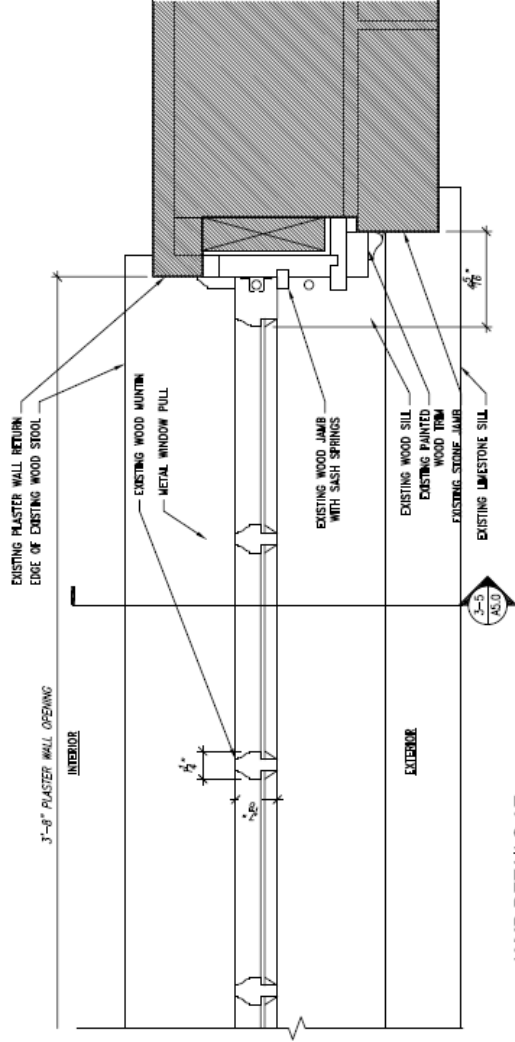
INTERIOR



2A  
JAMB DETAILS AT TYPICAL  
REPLACEMENT WINDOW  
SCALE: 3/8" = 1'-0"

3'-8" PLASTER WALL OPENING

INTERIOR



2  
JAMB DETAILS AT  
TYPICAL EXISTING WINDOW  
SCALE: 3/8" = 1'-0"

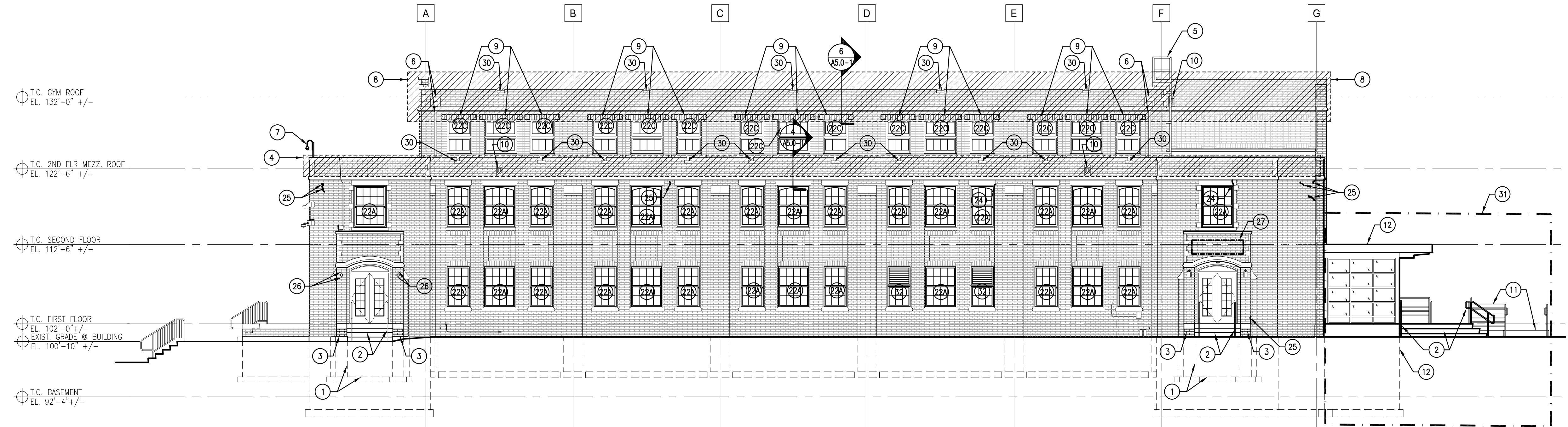
**APPROVED**  
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**GENERAL NOTES**

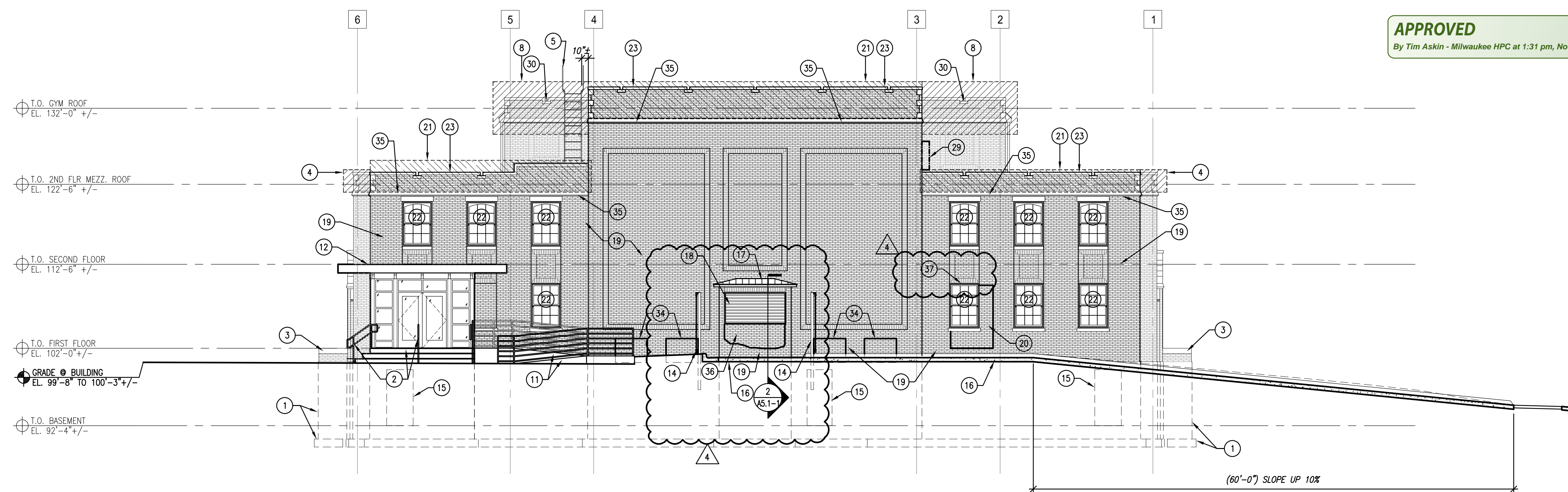
1. FIELD CONDITIONS MAY VARY FROM DRAWINGS. REFINED SURVEY OF ACTUAL EXISTING CONDITIONS WILL NEED TO TAKE PLACE ONCE SCAFFOLDING IS ERECTED AND MASONRY CAN BE CLOSELY EVALUATED.
2. STONE TYPES: ALL ORNAMENTAL STONEMWORK ARE COMPRISED OF INDIANA LIMESTONE.
3. MASK OFF ALL NON-MASONRY SURFACES THAT MAY BE DAMAGED DURING ENTIRE RESTORATION PROCESS.
4. MASONRY CONTRACTOR TO EVALUATE WITH ARCHITECT 100% OF THE EXISTING MORTAR FOR CUTTING AND REPOINTING OF ALL MASONRY SURFACES. BID TO INCLUDE REPOINTING AS NOTED PER BUILDING GENERAL NOTES.
5. REFER TO WRITTEN SPECIFICATION FOR SPECIFIC MATERIALS, PRACTICES, AND TECHNIQUES.
6. PROVIDE MOCK-UP SAMPLES ON THE BUILDING OF ALL RESTORATION TREATMENTS FOR ARCHITECT APPROVAL PRIOR TO IMPLEMENTATION. REFER TO WRITTEN SPECIFICATIONS FOR REQUIREMENTS.
7. TYPES OF STONE REPAIR
  - A. EPOXY INJECTION (TO REPAIR LARGE FRACTURES IN MASONRY UNITS), SEE SHEET A5.0-1.
  - B. DUTCHMAN (TO REPAIR LARGE CHIPS AND HOLES). SEE SHEET A5.0-1.
  - C. RESTORATION MORTAR PATCH (TO REPAIR FACE DAMAGE, SPALLING OR OTHER STONE DECOMPOSITION, AS WELL AS DETAILED ORNAMENTAL WORK). SEE SHEET A5.0-1.
8. TYPES OF BRICK REPAIR
  - A. REPLACE ALL SPALLED BRICK.
  - B. REPLACE ALL FRACTURED BRICK.
  - C. USE MATCHING SALVAGED BRICK.
9. INDIAN LIMESTONE TRIM:
  - A. MORTAR JOINTS: 100% CUT AND REPOINTING.
  - B. SPALLING: PATCH AREAS OF SPALLING WITH CUSTOM MATCHED NATURAL STONE RESTORATION MORTAR (LIME PUTTY BASED, NOT SYNTHETIC OR EPOXY).
  - C. HAIRLINE CRACKS: REPAIR WITH CUSTOM COLORED DISPERSED LIME INJECTION.
  - D. EFFLORESCENCE AND SUB-FLORESCENCE: NEUTRALIZE SALTS.
  - E. SKY JOINTS AT COPING AND TRIM: FINISH ALL JOINTS WITH APPROPRIATE SEALANT (EXAMPLE: SONNEBORN NP-1 COLORED TO MATCH THE STONE FINISHED WITH SAND). FOR A LONGER TERM FIX CONSIDER LEAD JOINTS.
10. BRICK: BRICK SHOULD BE CAREFULLY CLEANED TO REMOVE SURFACE GRIME.
  - A. REPLACEMENT: THIS TYPE OF BRICK IS STILL MANUFACTURED TODAY AND MATCHING UNITS IN THIS SIZE MAY BE AVAILABLE.
  - B. REPLACE ALL SPALLED AND FRACTURED UNITS.
11. MORTAR JOINTS: 100% CUT AND REPOINT. MORTAR IS DETERIORATED. LARGE VOIDS ARE EVIDENT BEHIND THE CURRENT FACE MORTAR.
12. INSTALL A SOFT JOINT AT WALL FACE JUNCTIONS WITH PAVED SURFACES (SONNEBORN NP-1)
13. CLEANING: RECOMMEND CLEANING ALL MASONRY TO REMOVE ATMOSPHERIC SOILING AND ORGANIC MATTER. TESTING IS VITAL TO EXECUTE ON SITE PRIOR TO ESTABLISHING THE PROPER MATERIALS AND TECHNIQUES TO NOT DAMAGE OR ETCH THE MASONRY.
14. REMOVE ALL ANCHORS BRACKETS AND BOLTS NO LONGER ESSENTIAL AND PATCH HOLES.
15. REPOINT ALL MORTAR JOINTS JUST BELOW SILLS
16. SEE SHEET A5.0-1 FOR MASONRY REPAIR DETAILS
17. NEUTRALIZE SEVERE EFFLORESCENCE. SEE SPECIFICATIONS FOR GENERAL EFFLORESCENCE
18. BUTTER JOINTS MUST BE HAND REMOVED AS SAW CUTTING WOULD WIDEN THE JOINTS AND DAMAGE THE BRICK UNITS.

**CONSTRUCTION NOTES**

- 1 NEW CONC. FOUNDATIONS OR RETAINING WALLS
- 2 NEW CONC. ENTRY STAIR w/ MTL HANDRAILS
- 3 RE-BUILD PARTIAL HEIGHT BRICK WALL. REINSTALL SALVAGED LIMESTONE CAPS AND BASE.
- 4 RE-BUILD PARAPET UP FROM LIMESTONE BELT COURSE. REINSTALL SALVAGED INTACT MASONRY. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED. MATCH CONSTRUCTION OF EXISTING PARAPET. REPAIR EXISTING LIMESTONE COPING AND REPLACE SEVERELY DAMAGED WITH NEW OR SALVAGED TO MATCH EXISTING. SEE ALSO SHEET A5.0-1.
- 5 NEW FIXED LADDER w/ PARAPET PLATFORM AND ROOF SIDE RETURN TO ACCESS UPPER ROOF. SEE DETAIL 10/A5.0-1.
- 6 NEW ROOF SCUPPER AND MTL DOWNSPOUT. REINSTALL ANY EXIST. CLEANED AND REFURBISHED LIMESTONE ELEMENTS.
- 7 REINSTALL EXIST. ELECTRICAL EQUIPMENT AND/OR FIXTURE.
- 8 RE-BUILD EXISTING PARAPET UP FROM EXIST. WINDOW HEAD. REINSTALL SALVAGED INTACT MASONRY AND LIMESTONE. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED. MATCH CONSTRUCTION OF EXISTING PARAPET. REPAIR EXISTING LIMESTONE COPING AND REPLACE SEVERELY DAMAGED WITH NEW OR SALVAGED TO MATCH EXISTING. SEE ALSO SHEET A5.0-1.
- 9 INSTALL NEW LINTELS ABOVE WINDOWS, SEE STRUCTURAL
- 10 REINSTALL EXIST. REFURBISHED LIMESTONE OVERFLOW SCUPPER. REPLACE SEVERELY DAMAGED LIMESTONE ELEMENTS w/NEW LIMESTONE TO MATCH EXIST.
- 11 NEW CONC. RAMP w/ MTL GUARD AND HANDRAIL.
- 12 NEW ENTRY VESTIBULE PART OF FUTURE BID PACKAGE #2.
- 13 NEW FENCE TO MATCH EXIST.
- 14 NEW TRASH ENCLOSURE BEYOND, SEE SHEET L2.0-1
- 15 INFILL OPENING IN FOUNDATION WHERE DOOR AND FRAME HAS BEEN REMOVED BEYOND
- 16 NEW CONC. SLAB AT LOADING DOCK
- 17 NEW STANDING SEAM MTL ROOF AT MECHANICAL DOGHOUSE.
- 18 NEW MECHANICAL GRILLE
- 19 ASSESS CONDITION OF NEWLY EXPOSED BRICK VENEER AT NORTH WALL AFTER REC. CENTER HAS BEEN DEMOLISHED. PATCH, CLEAN AND TUCK POINT BRICK VENEER.
- 20 INFILL MASONRY WALL TO MATCH EXIST. CONSTRUCTION WHERE DOORS HAVE BEEN REMOVED.
- 21 ACCESS CONDITION OF THE PARAPET AFTER REC. BUILDING HAS BEEN DEMOLISHED. IF THE CONDITIONS MATCH THE PARAPETS ON THE ADJACENT WALLS DISMANTLE PARAPET DOWN TO LIMESTONE BAND AND REFER TO CONSTRUCTION NOTE 4 OTHERWISE SEE CONSTRUCTION NOTE 19.
- 22 NEW WINDOWS TO BE INSTALLED AS PART OF FUTURE BID PACKAGE #2. AFTER REMOVING WALL INFILL AT THESE LOCATIONS PROVIDE A TEMPORARY OPENING ENCLOSURE FOR BUILDING SECURITY AND PROTECTION FROM WEATHER INFILTRATION.
- 22A NEW ALUM. CLAD WOOD WINDOW w/ CLEAR GLAZING. MATCH EXIST.
- 22B NEW ALUM. CLAD WOOD WINDOW w/ OPAQUE GLAZING. MATCH EXIST.
- 22C NEW ALUM FIXED WINDOW w/ CLEAR GLAZING. MATCH EXIST.
- 23 REINSTALL SALVAGED LIMESTONE COPING CAPS FROM PREVIOUSLY REMOVED REC. BUILDING AT NEWLY EXPOSED NORTH WALL.
- 24 REPAIR CRACKED OR SPALLED LIMESTONE. SEE GENERAL NOTE #7 FOR SPECIFIC LIMESTONE REPAIR METHOD.
- 25 REPAIR CRACKING AND/OR STEP CRACKING IN BRICK. REPLACE FRACTURED, SPALLED AND/OR MISSING BRICK.
- 26 REPAIR DAMAGED BRICK AT PREVIOUS LIGHT FIXTURE LOCATION.
- 27 REPAIR HOLES IN MASONRY, SEE ALSO CONSTRUCTION NOTE 25.
- 28 CLEAN TAR OFF OF LIMESTONE WINDOW SILL
- 29 CLEAN TAR OFF OF BRICK
- 30 REPLACE SPALLED LOWER COPING LIMESTONE w/ NEW OR SALVAGED FROM REC. BUILDING TO MATCH EXIST.
- 31 NEW WORK NORTH OF GYM BUILDING TO BE PART OF FUTURE BID PACKAGE 2.
- 32 NEW MECHANICAL LOUVER AT TOP HALF OF WINDOW OPENING. NON-OPERABLE ALUM CLAD. WOOD WINDOW w/ CLEAR GLASS ON LOWER HALF OF OPENING.
- 33 NEW ALUM. CLAD WOOD WINDOW w/ MAPES INSULATED MTL PANELS AT BOTH UPPER AND LOWER SASHES TO ALLOW FOR MECH. DUCT PENETRATION. MATCH EXIST WINDOW STYLE.
- 34 REMOVE MISMATCH MASONRY OR CMU INFILL FROM PREVIOUS OPENING. RE-INFILL OPENING TO MATCH ADJACENT BRICK AND CMU FOUNDATION AS NEEDED.
- 35 REPLACE EXIST. LIMESTONE BELT COURSE w/ NEW LIMESTONE TO MATCH EXIST.
- 36 REBUILD MISSING WALL w/ 8" THICK BRICK WALL TO BOTTOM OF HISTORIC LOUVER OPENING. MATCH EXIST. BRICK
- 37 REUSE EXIST. WINDOW LINTEL IF IT REMAINS AND IS IN GOOD CONDITION. REPLACE w/ NEW STL LINTEL IF NEEDED.



**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**APPROVED**  
By Tim Askin - Milwaukee HPC at 1:31 pm, Nov 21, 2022

Revisions:  
 ▲ CONSTRUCTION DOCUMENTS 06/03/2022  
 ▲ CONSTRUCTION BULLETIN #1 06/10/2022  
 ▲ R1 #005 09/22/2022

Sheet Name:  
EXTERIOR ELEVATIONS

Date: 04/05/2022

Drawn By: CLR/CGH

Project No.: 15014.02

Sheet No.

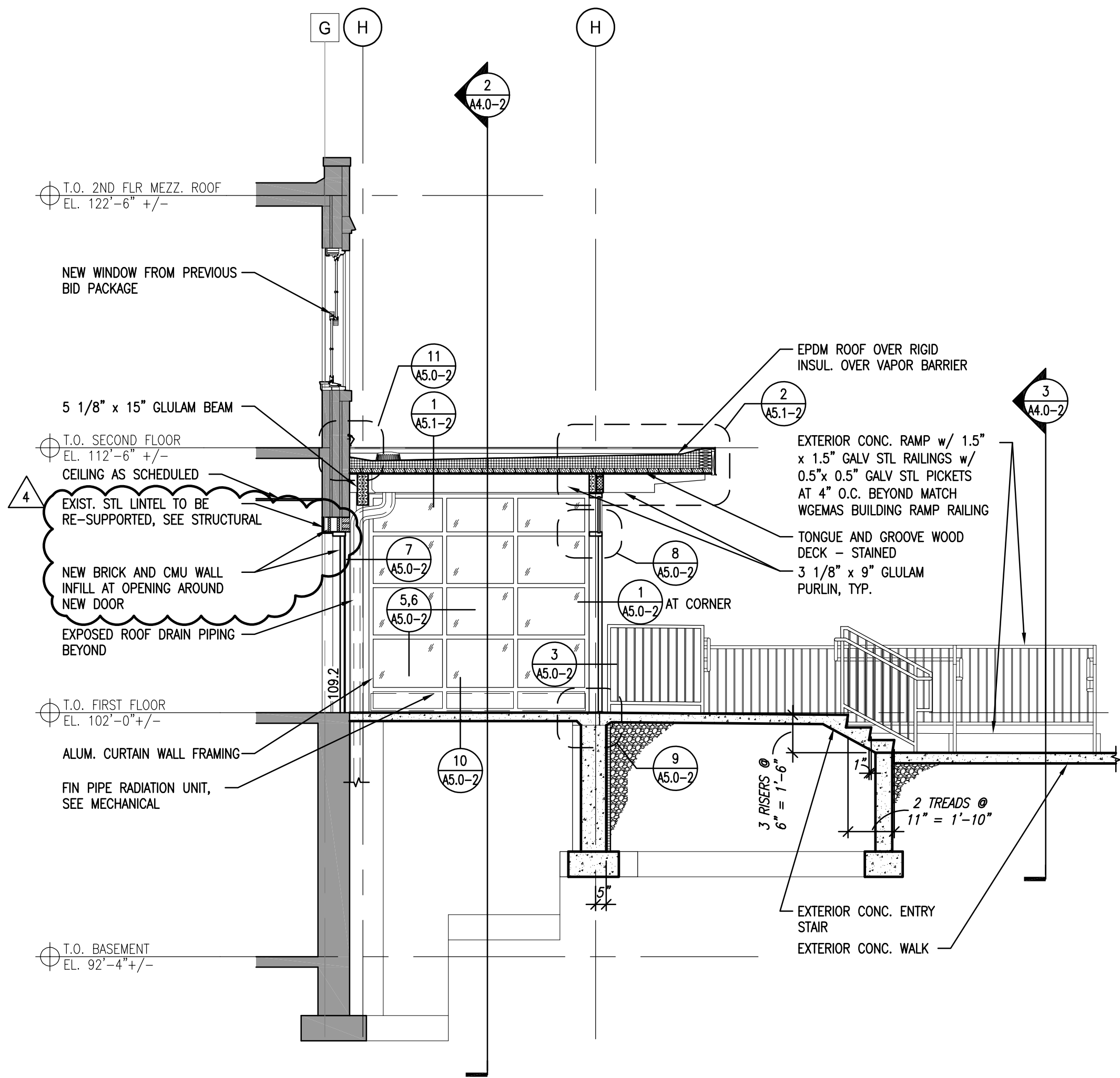
**A3.1-1**



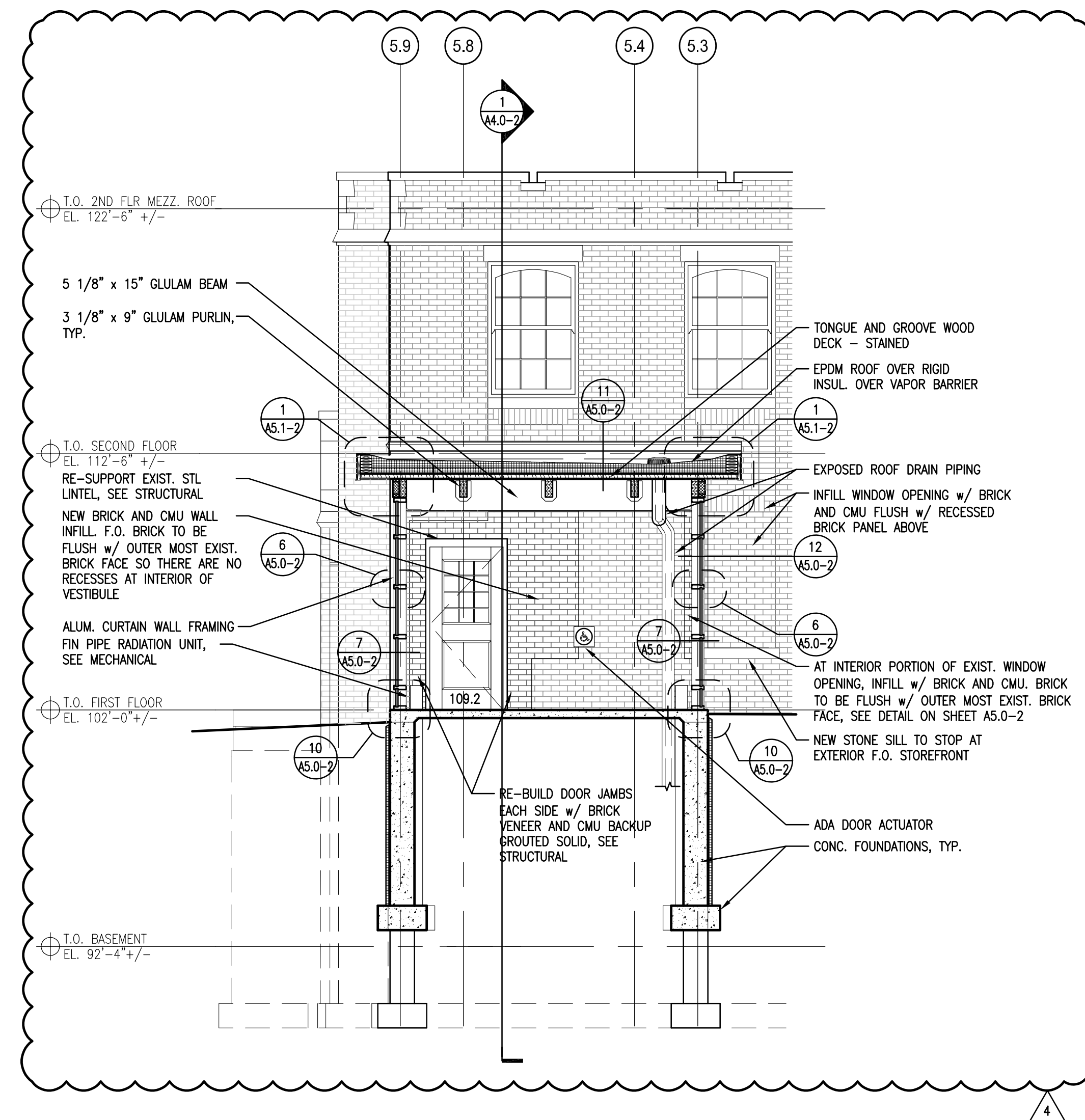
**Quorum Architects, Inc.**  
 3112 West Highland Boulevard  
 Milwaukee, Wisconsin 53208  
 Phone: 414.265.9265  
 Fax: 414.265.9465  
 www.quorumarchitects.com



**FOREST COUNTY  
 POTAWATOMI**

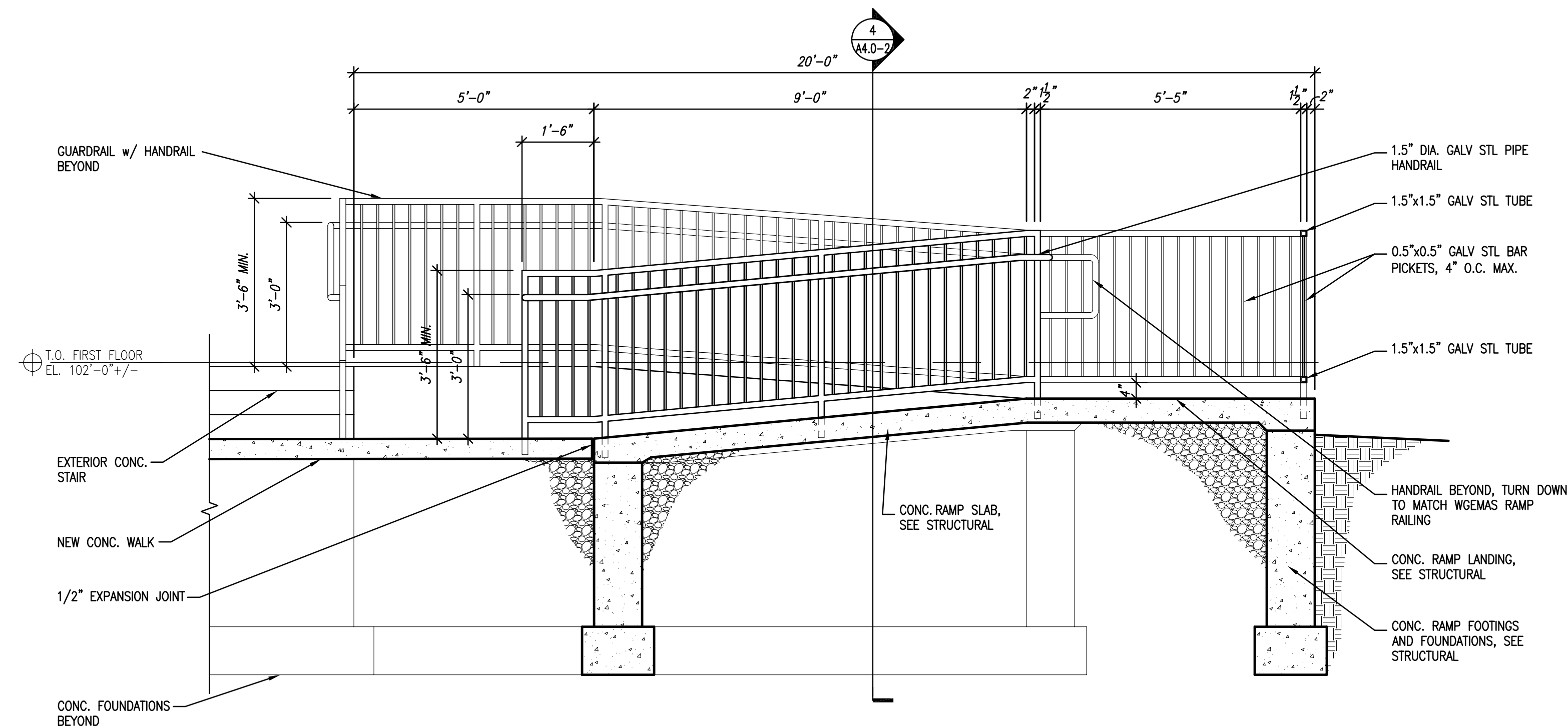


**1 ENTRY VESTBULE SECTION (LOOKING WEST)**  
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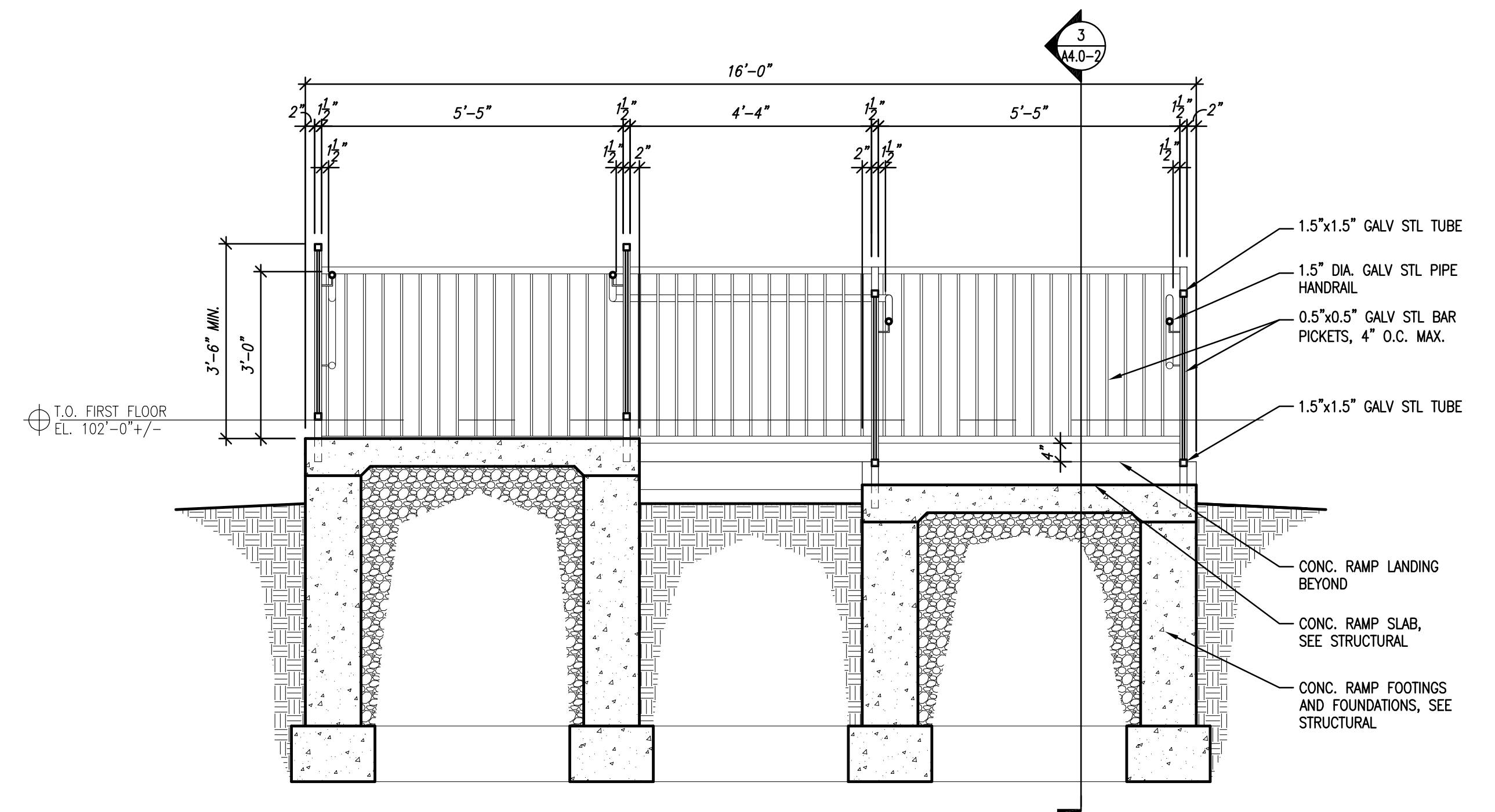


**2 ENTRY VESTBULE SECTION (LOOKING SOUTH)**  
 SCALE: 1/4" = 1'-0"

**APPROVED**  
 By Tim Askin - Milwaukee HPC at 1:31 pm, Nov 21, 2022



**3 EXTERIOR CONCRETE ENTRY RAMP SECTION**  
 SCALE: 1/2" = 1'-0"



**4 EXTERIOR CONCRETE ENTRY RAMP SECTION**  
 SCALE: 1/2" = 1'-0"

**WGEMA CAMPUS  
 TTHIGWE BUILDING REMODEL  
 BID PACKAGE 2 - BUILDING RENOVATION**

3232 West Kilbourn Avenue  
 Milwaukee, Wisconsin 53208

Revisions:  
 RFI #005  
 09/22/2022

Sheet Name:  
 BUILDING SECTIONS

Date: 06/03/2022

Drawn By: CLR/CGH

Project No.: 15014.02

Sheet No.

**A4.0-2**

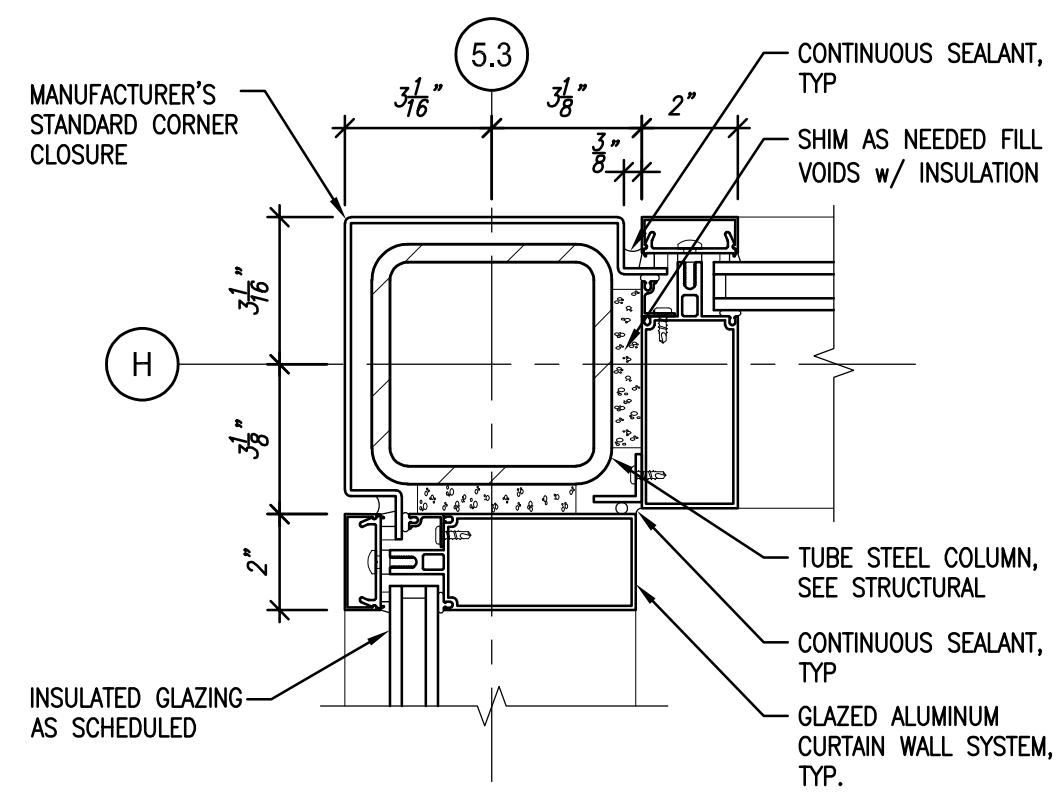




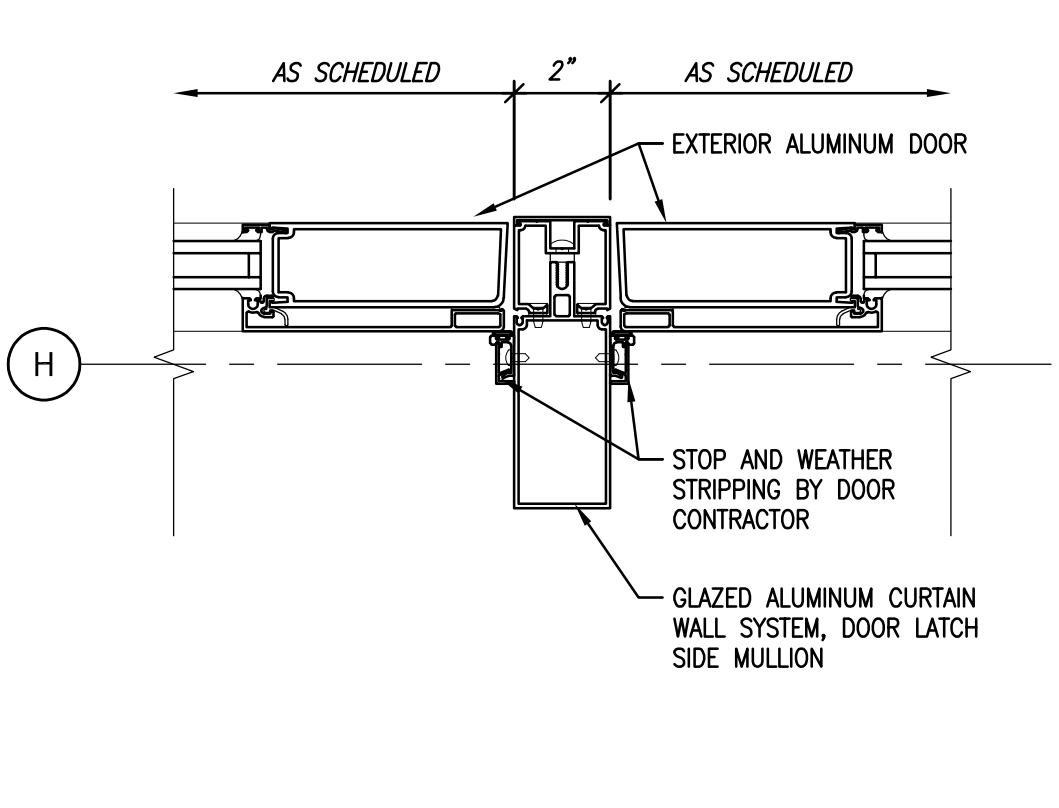
**Quorum Architects, Inc.**  
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 www.quorumarchitects.com



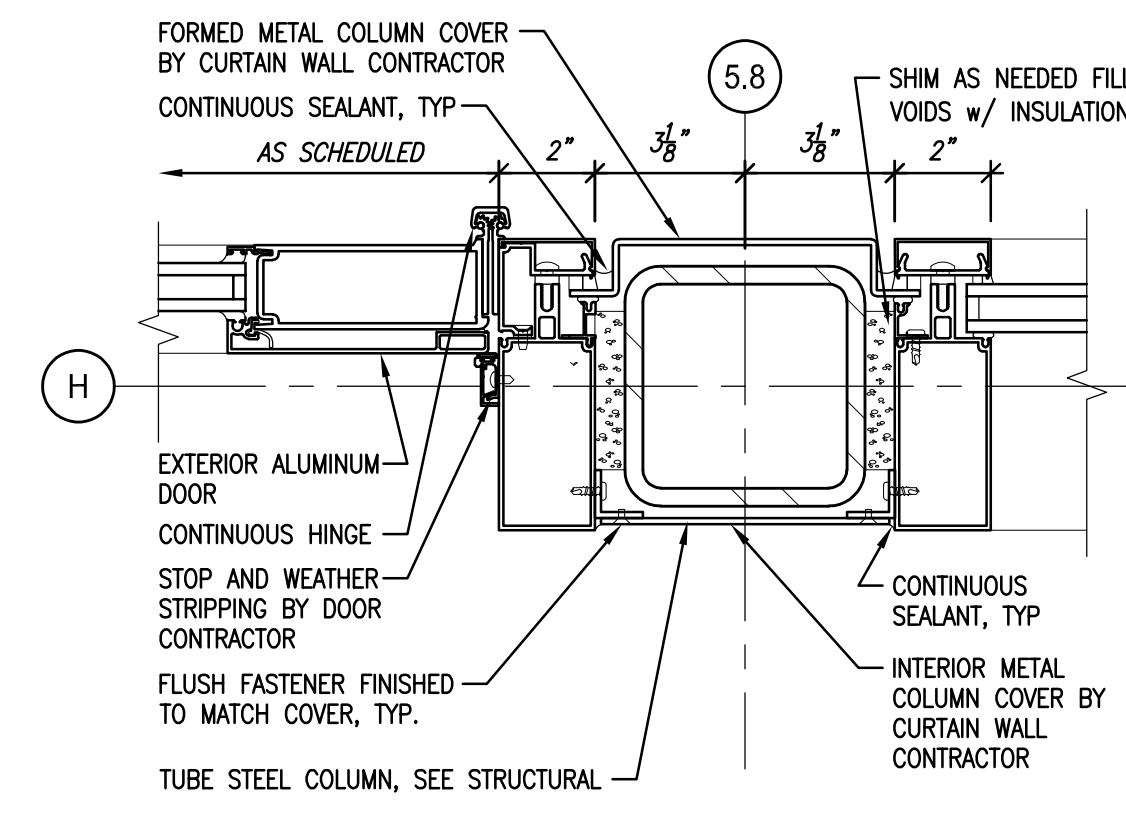
**FOREST COUNTY  
 POTAWATOMI**



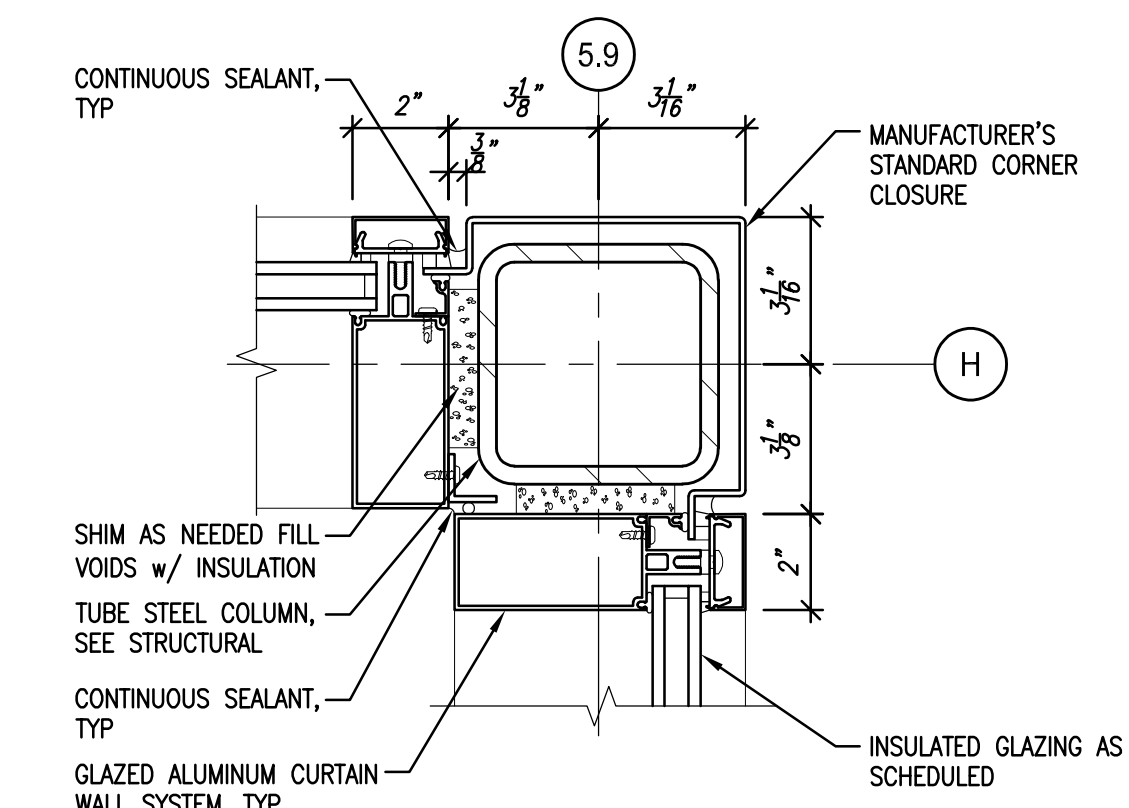
**1 CURTAINWALL CORNER DETAIL**  
 SCALE: 3" = 1'-0"



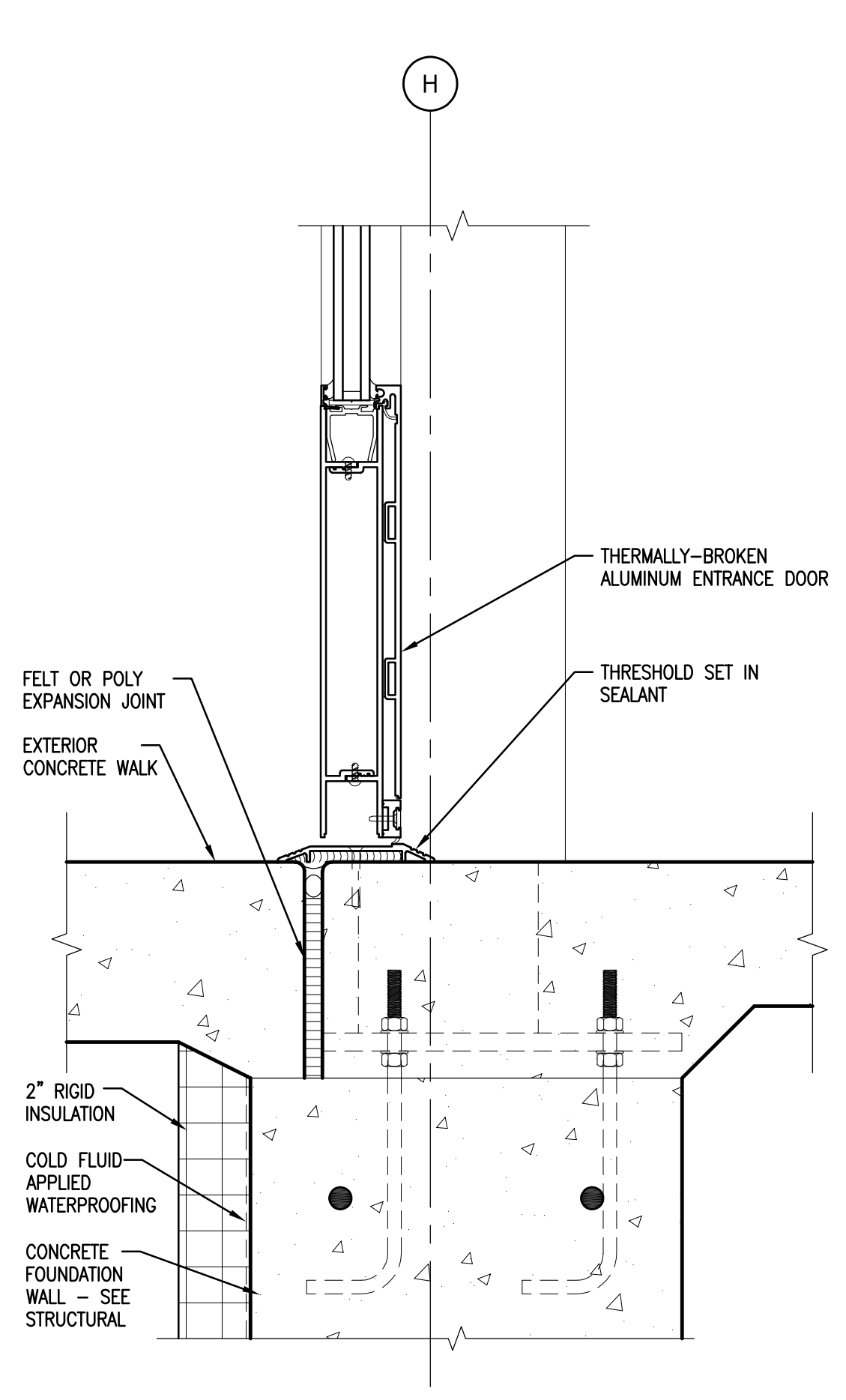
**2 EXTERIOR STOREFRONT DOOR CENTER MULLION DETAIL**  
 SCALE: 3" = 1'-0"



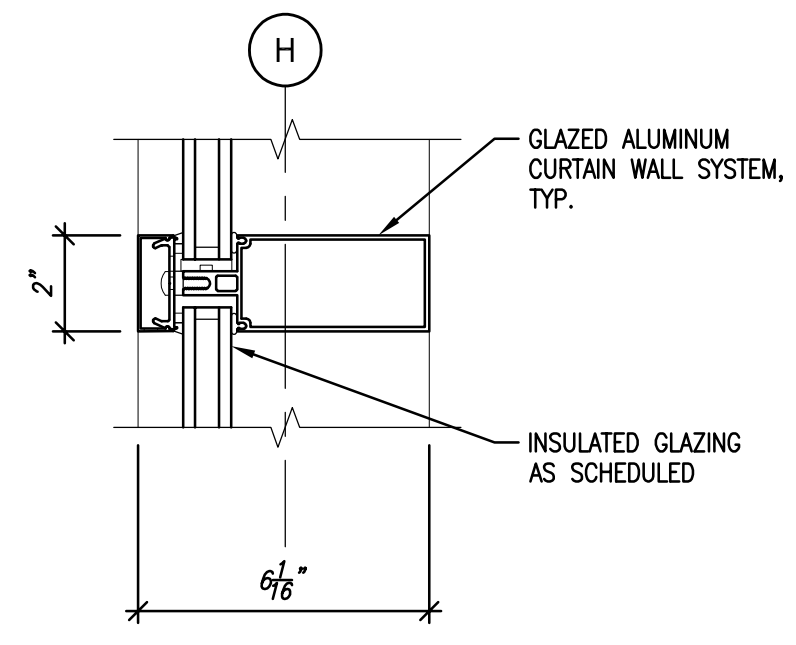
**3 EXTERIOR STOREFRONT DOOR HINGE JAMB DETAIL**  
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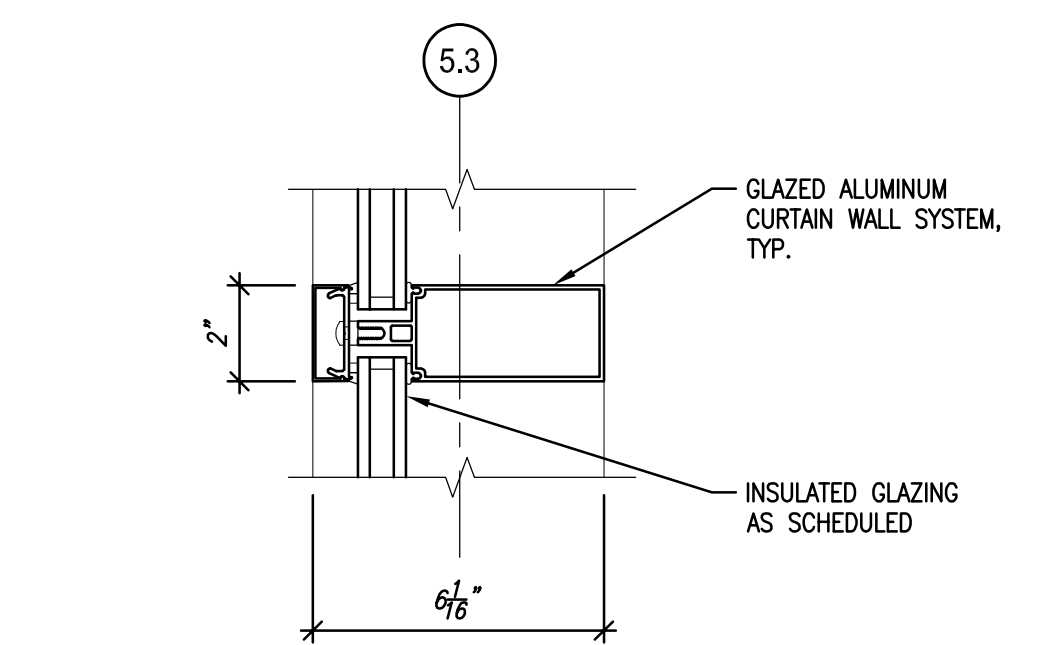
**4 CURTAINWALL CORNER DETAIL**  
 SCALE: 3" = 1'-0"



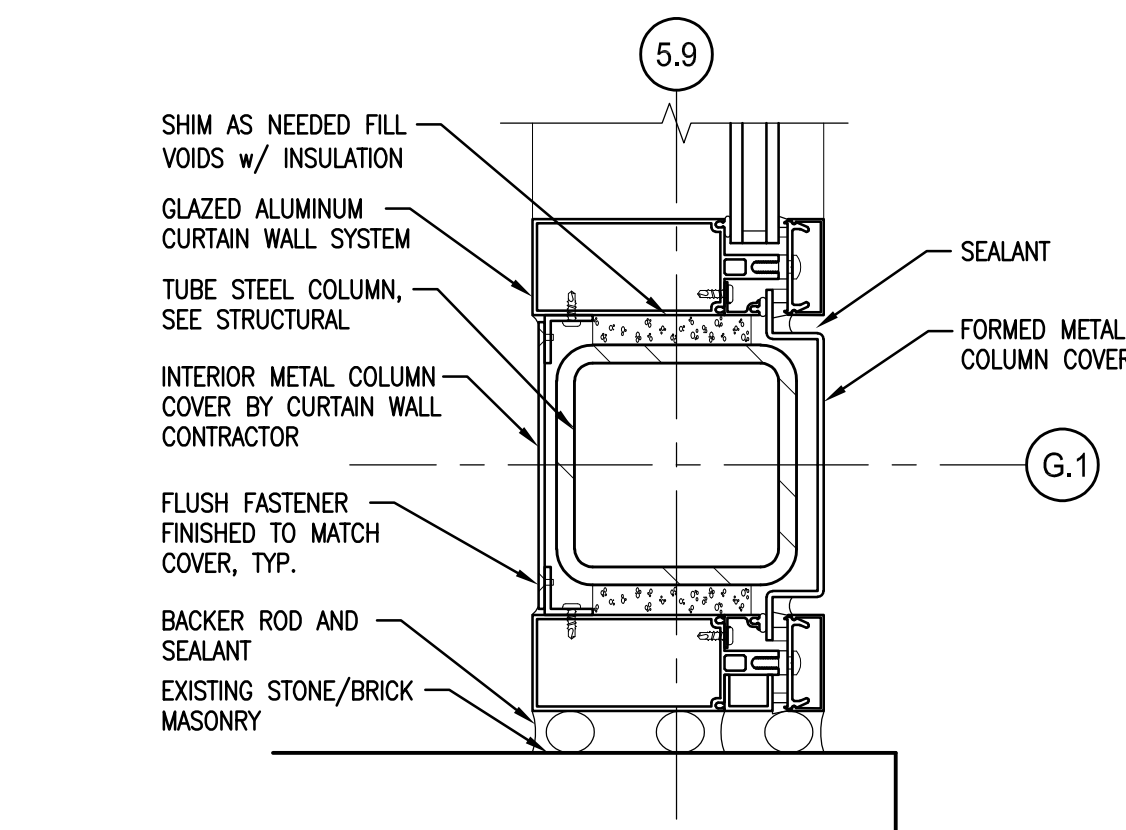
**5 EXTERIOR STOREFRONT DOOR THRESHOLD DETAIL**  
 SCALE: 3" = 1'-0"



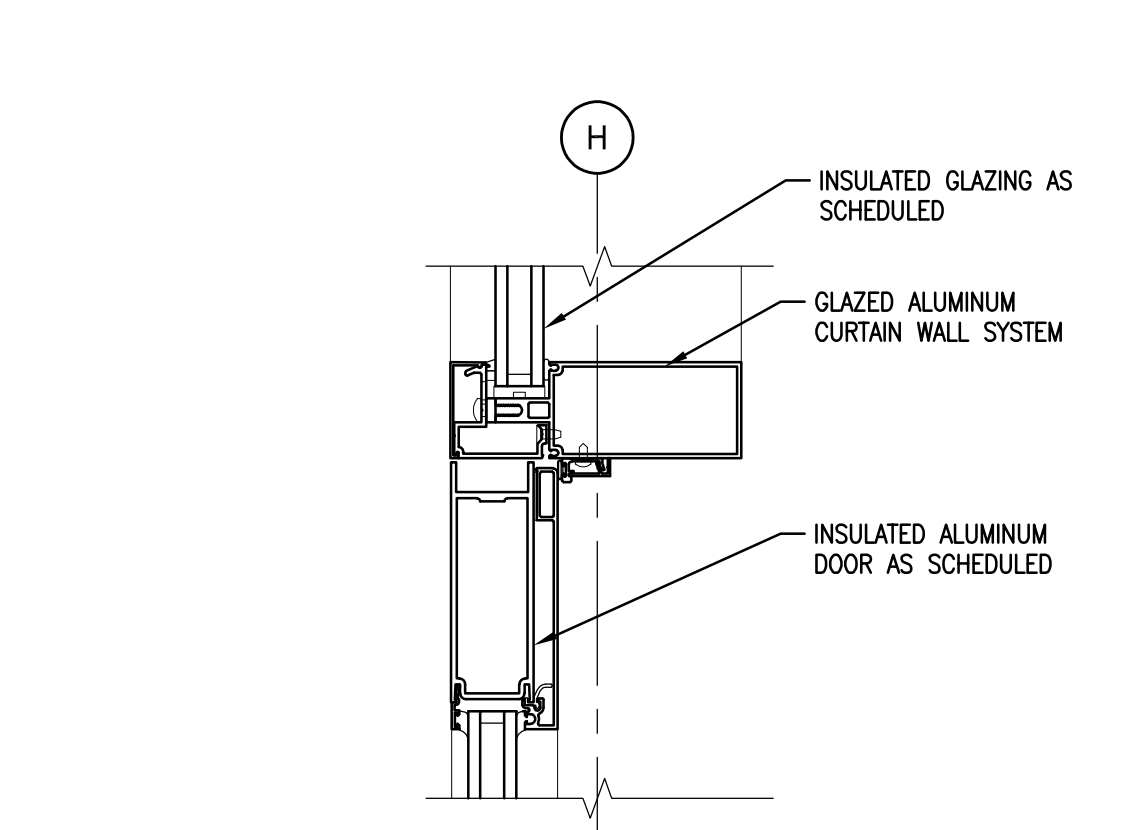
**5 CURTAINWALL HORIZONTAL MULLION**  
 SCALE: 3" = 1'-0"



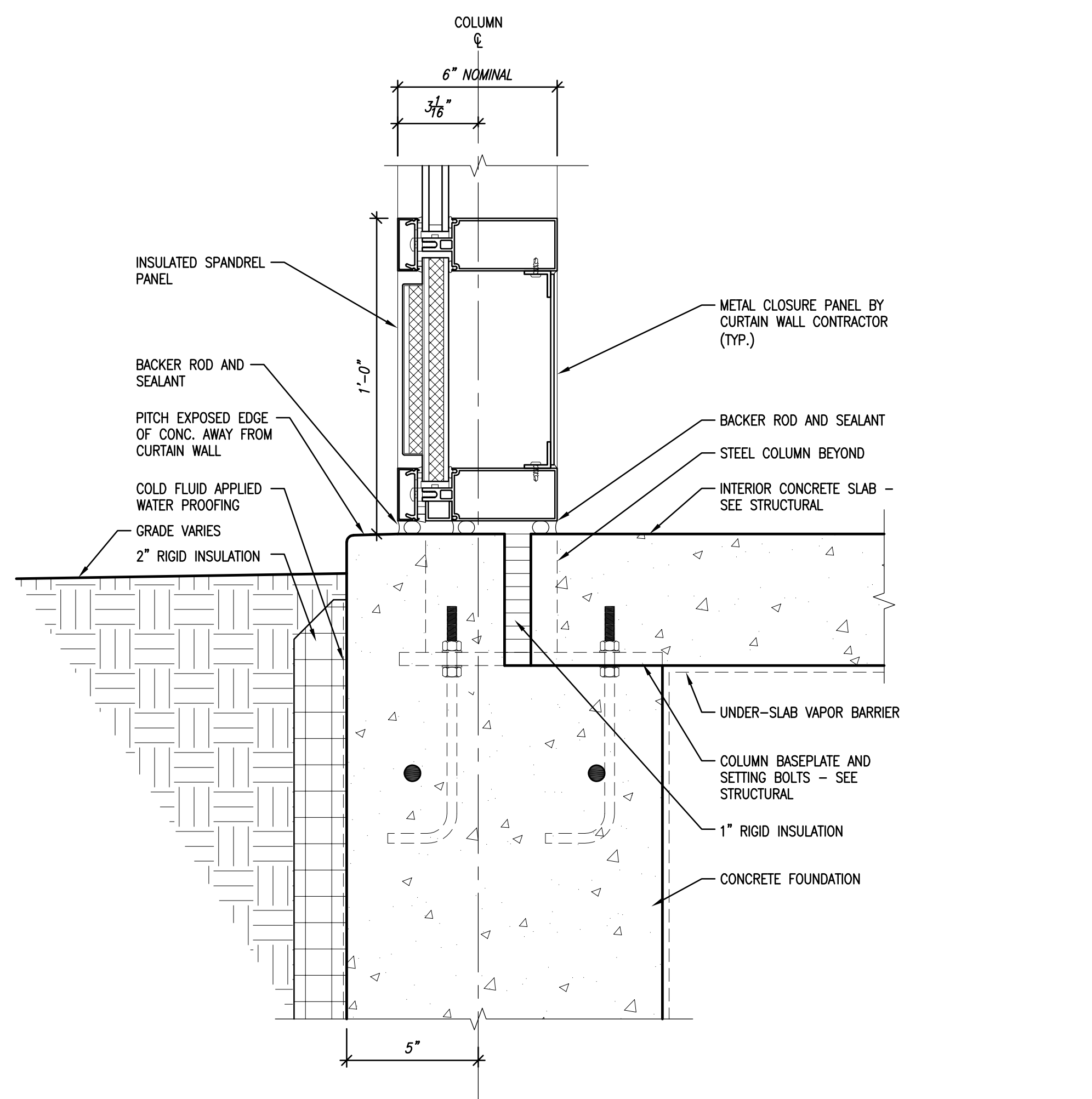
**6 CURTAINWALL VERTICAL MULLION DETAIL**  
 SCALE: 3" = 1'-0"



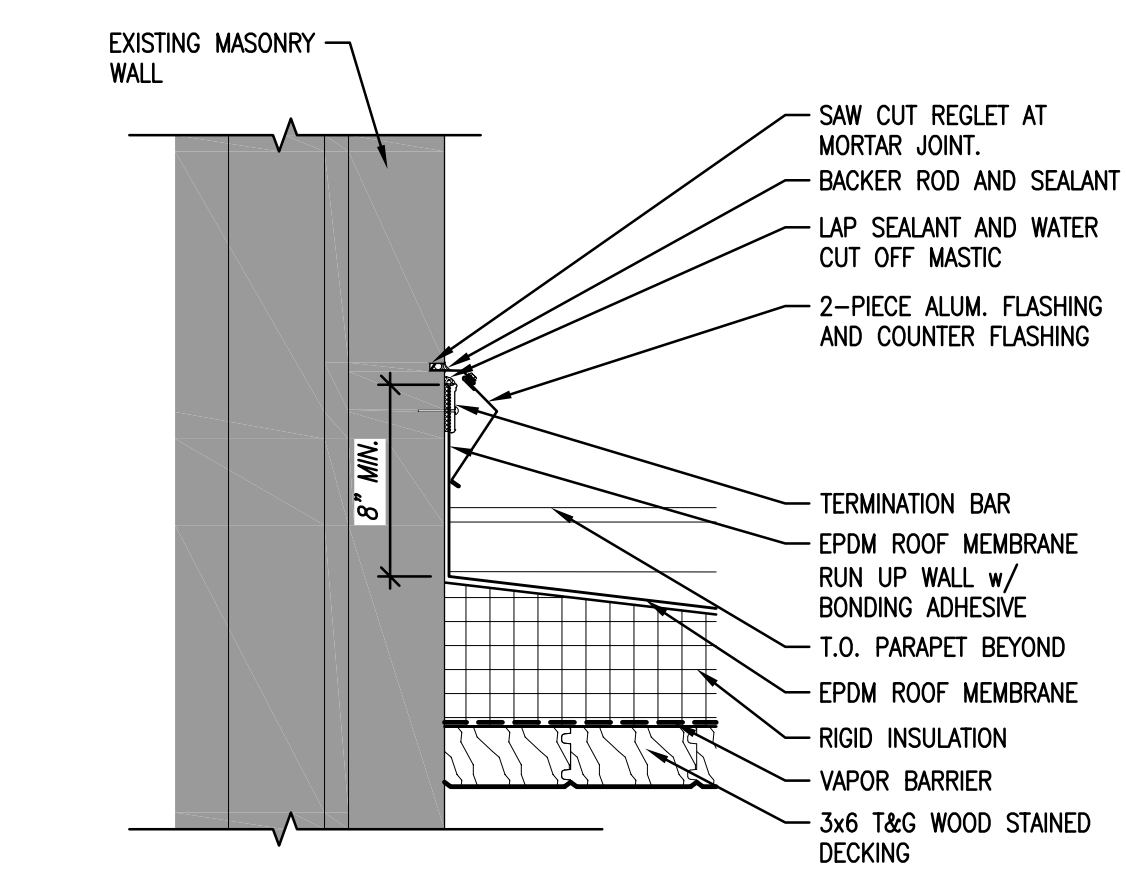
**7 CURTAINWALL DETAIL JAMB AT BUILDING**  
 SCALE: 3" = 1'-0"



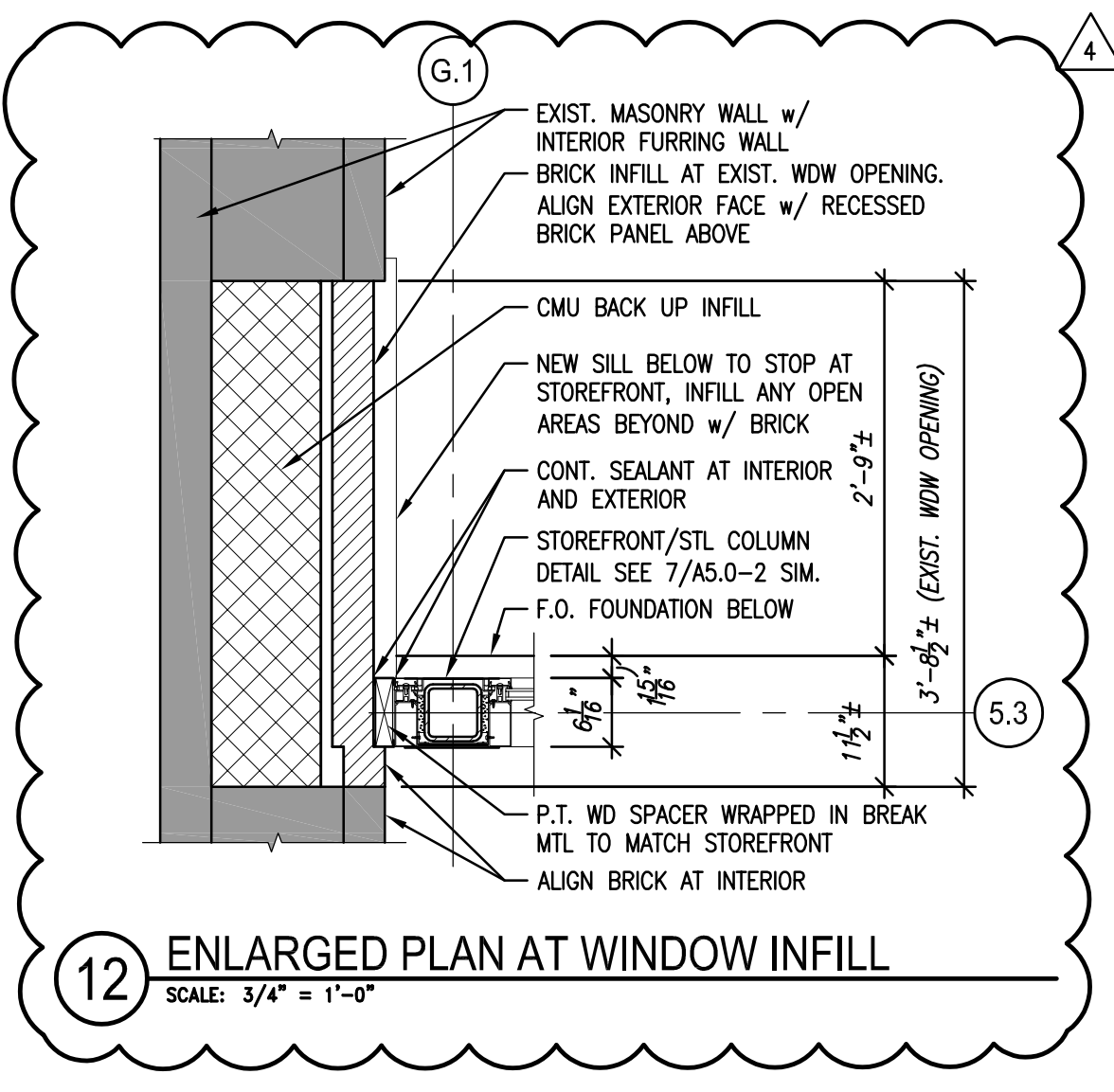
**8 EXTERIOR STOREFRONT DOOR HEAD DETAIL**  
 SCALE: 3" = 1'-0"



**10 CURTAINWALL SILL DETAIL**  
 SCALE: 3" = 1'-0"



**11 REGLET AND FLASHING DETAIL**  
 SCALE: 1 1/2" = 1'-0"



**12 ENLARGED PLAN AT WINDOW INFILL**  
 SCALE: 3/4" = 1'-0"

**APPROVED**  
 By Tim Askin - Milwaukee HPC at 1:31 pm, Nov 21, 2022

**WGEMA CAMPUS  
 TTHIGWE BUILDING REMODEL  
 BID PACKAGE 2 - BUILDING RENOVATION**

3232 West Kilbourn Avenue  
 Milwaukee, Wisconsin 53208

Revisions:  
 RFI #005  
 09/22/2022

Sheet Name:  
 EXTERIOR DETAILS

Date: 06/03/2022

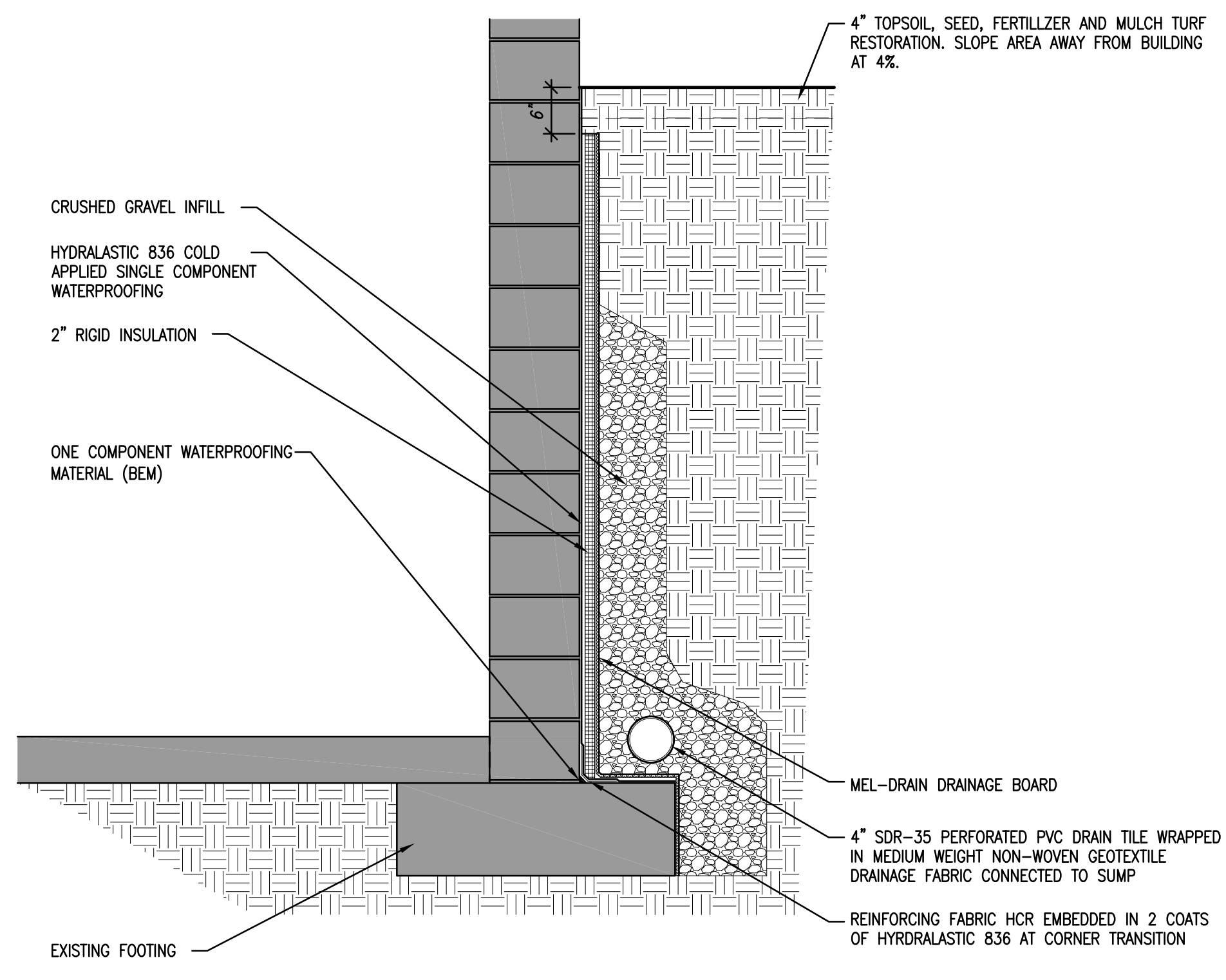
Drawn By: CLR/CGH

Project No.: 15014.02

Sheet No.

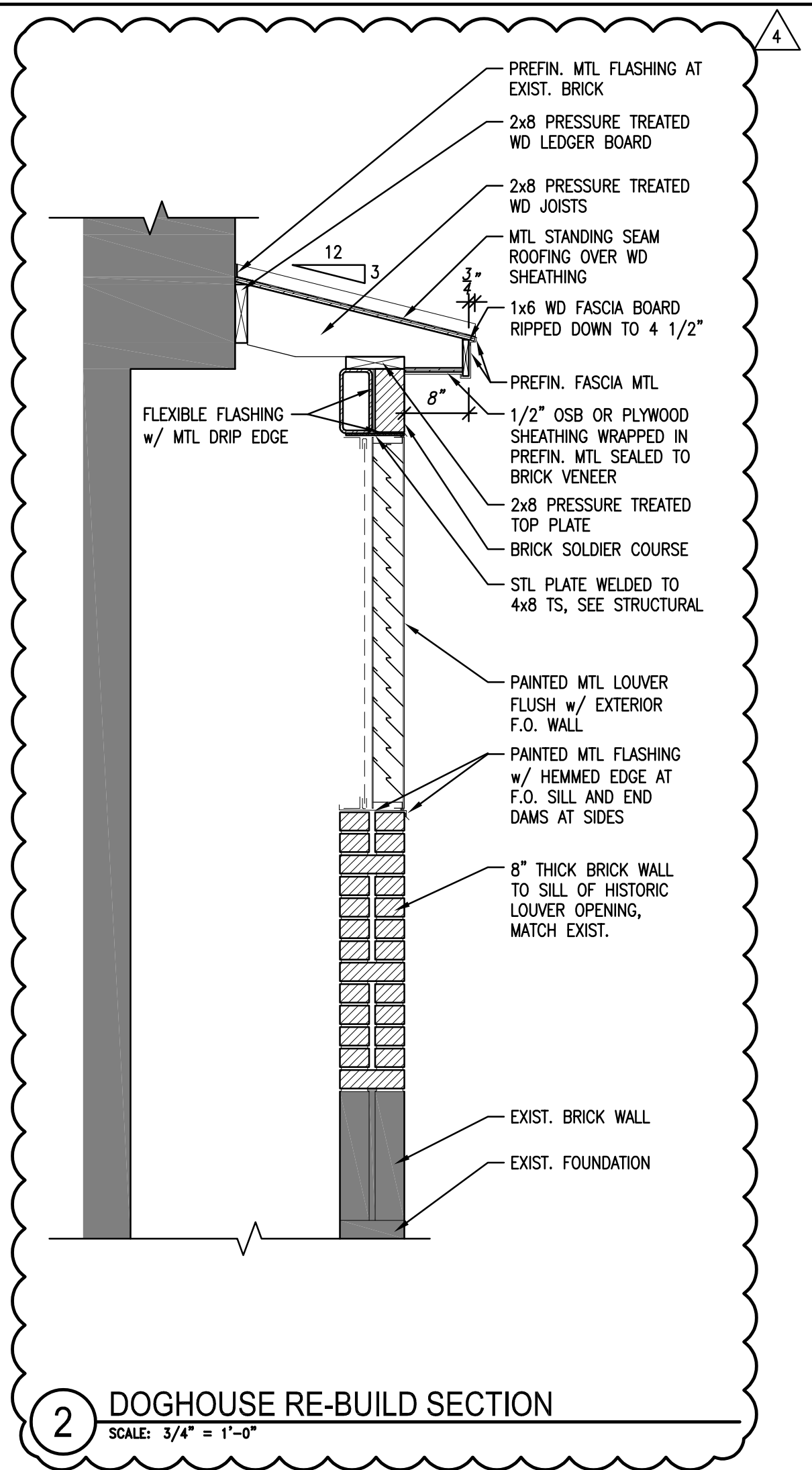
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Sep 22, 2022 - 12:36pm  
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NOTE: ALL WATERPROOFING PRODUCTS TO BE PROVIDED BY W.R. MEADOWS OR EQUAL.

1 FOUNDATION WATERPROOFING  
SCALE: 3/4" = 1'-0"



2 DOGHOUSE RE-BUILD SECTION  
SCALE: 3/4" = 1'-0"

**APPROVED**  
By Tim Askin - Milwaukee HPC at 1:31 pm, Nov 21, 2022

Revisions:

△	CONSTRUCTION BULLETIN #1
	08/10/2022
△	RFI #005
	09/22/2022

Sheet Name:  
EXTERIOR DETAILS

Date: 04/05/2022

Drawn By: CLR/CGH

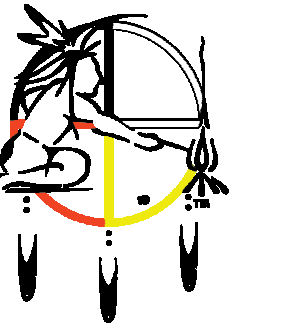
Project No.: 15014.02

Sheet No.

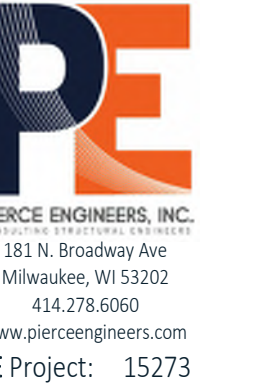
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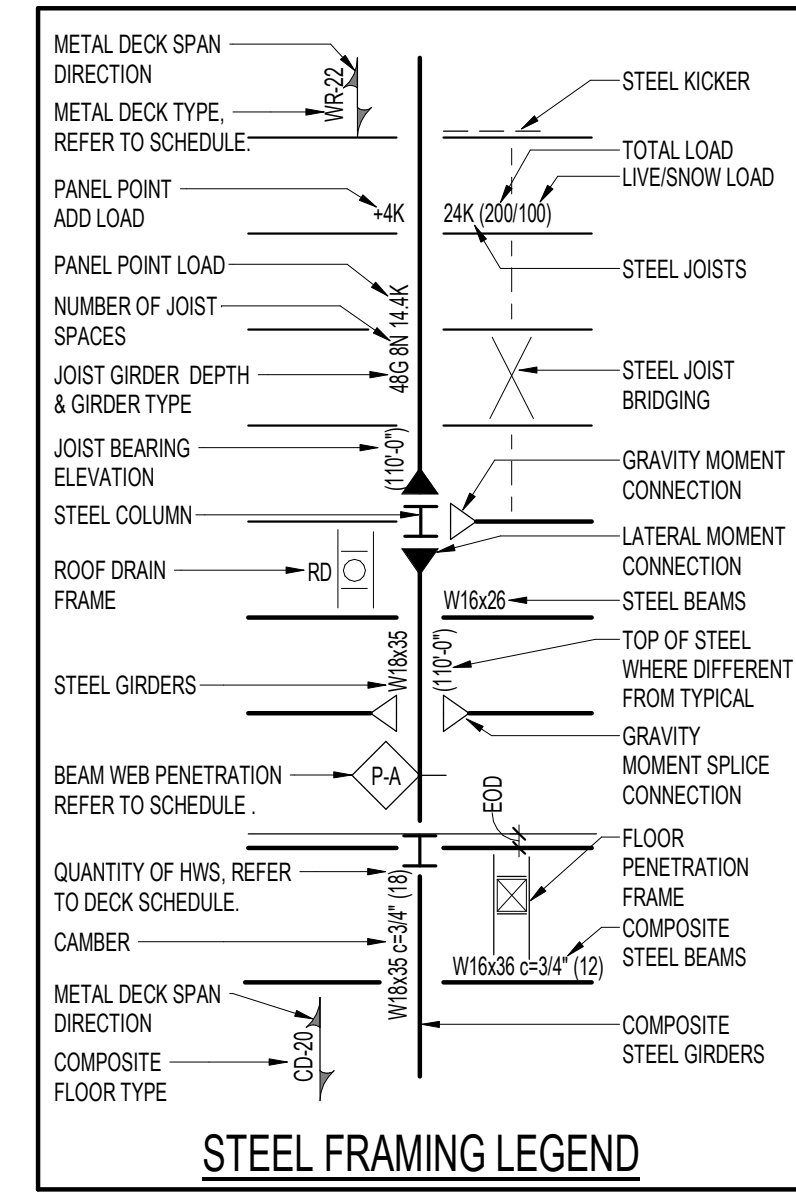
**Quorum Architects, Inc.**  
3112 West Highland Blvd  
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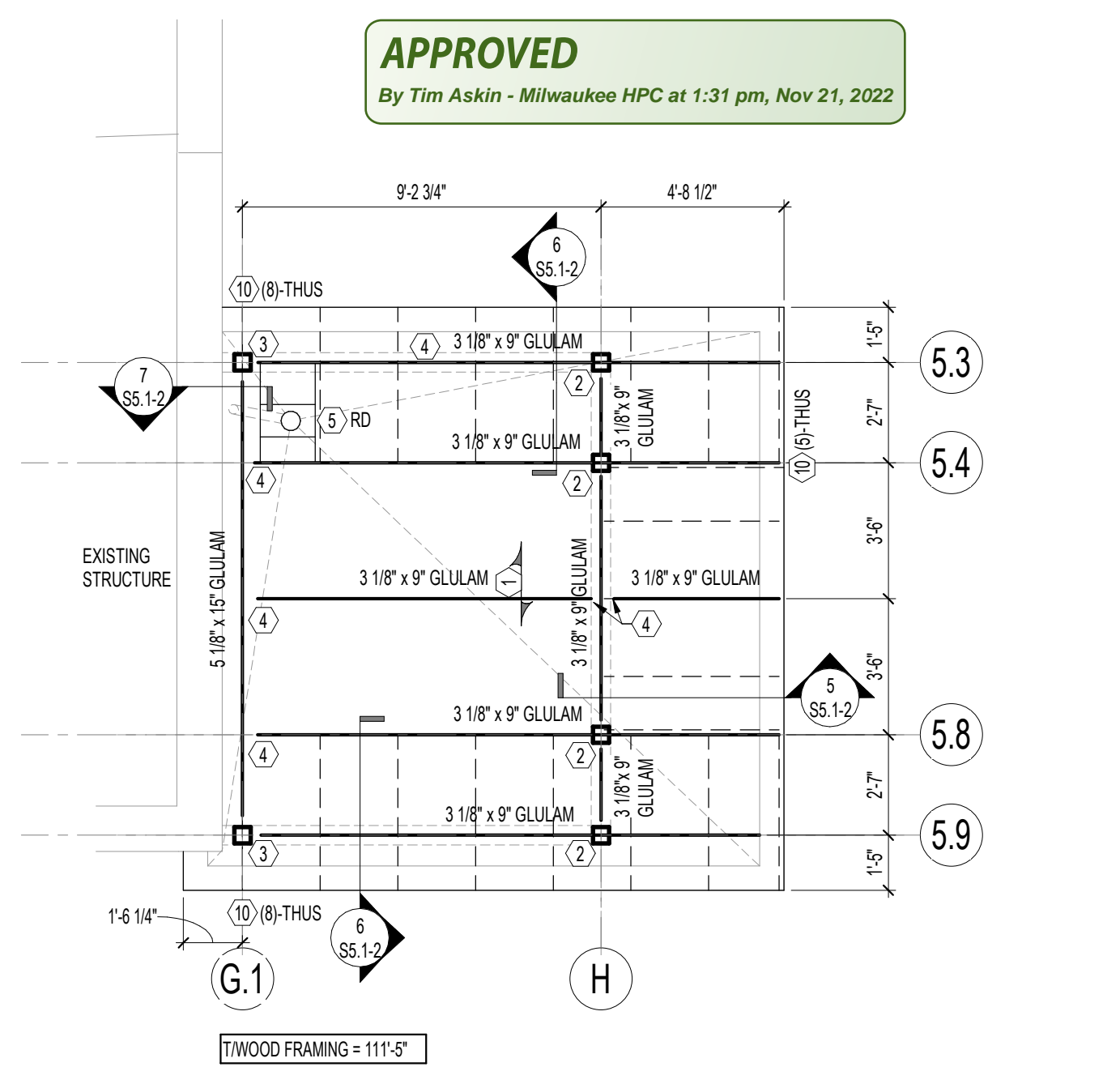
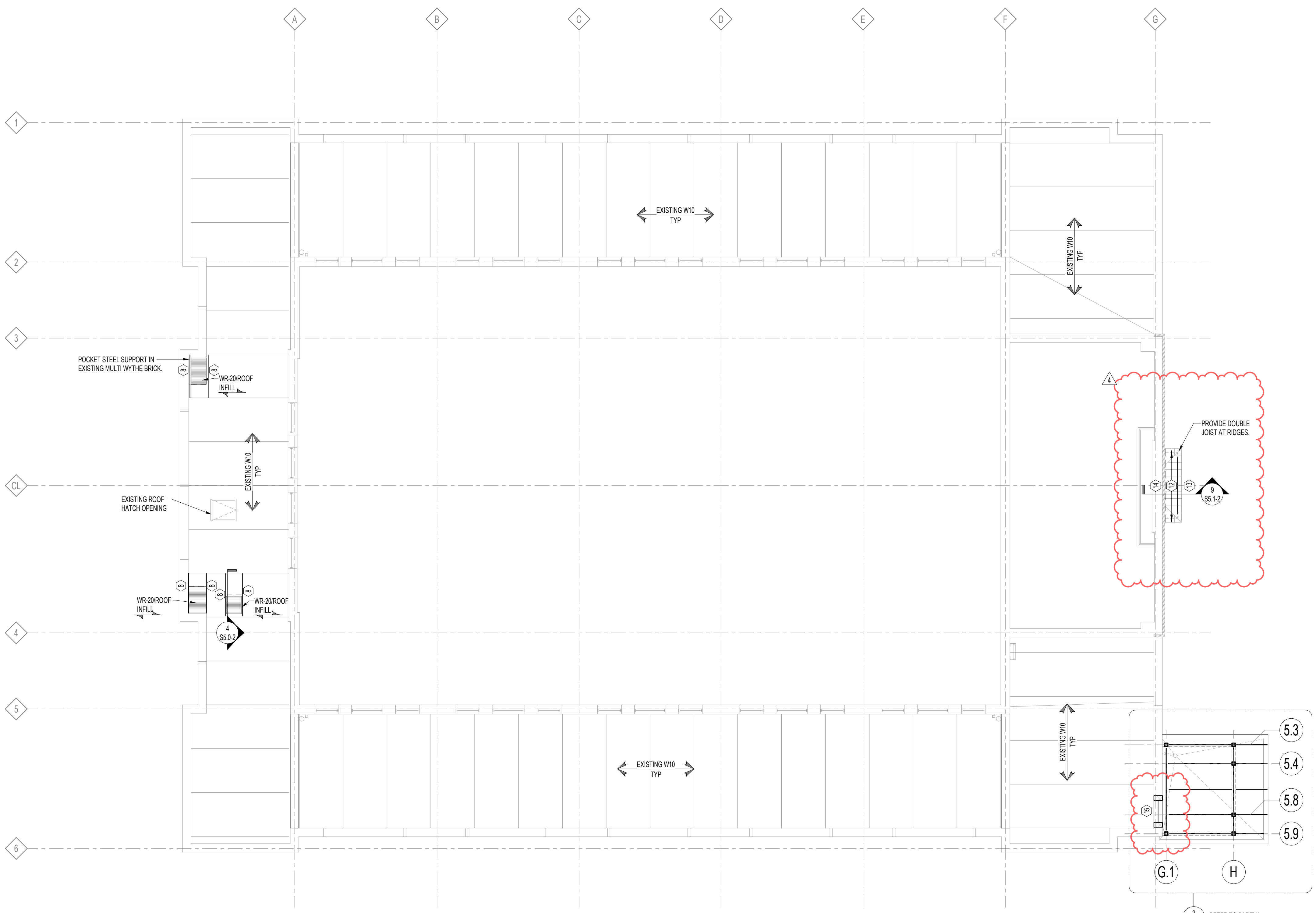
**FOREST COUNTY  
POTAWATOMI**  
Keeper of the Fire



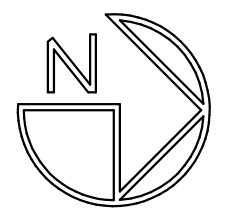
**PIERCE ENGINEERS, INC.**  
181 N. Broadway Ave.  
Milwaukee, WI 53202  
414.278.6000  
www.pierceengineers.com  
PE Project: 15273



STEEL ROOF FRAMING PLAN NOTES:	STEEL ROOF FRAMING PLAN KEYED NOTES:
<p>PLAN NOTES APPLY TO ALL STEEL ROOF FRAMING PLANS INDIVIDUAL NOTES DO NOT NECESSARILY APPLY TO ALL SHEETS.</p> <ol style="list-style-type: none"> <li>REFER TO S0.1-2 SERIES FOR GENERAL STRUCTURAL NOTES, INCLUDING COMPONENT DESIGN CRITERIA.</li> <li>REFER TO S5.0-2 SERIES FOR STEEL DETAILS AND SCHEDULES NOT CUT ON PLAN.</li> <li>REFER TO SHEET S0.3-2 FOR LOADING PLANS.</li> <li>ALL STEEL IS EQUALLY SPACED BETWEEN COLUMN LINES UNLESS DIMENSIONED OTHERWISE.</li> <li>NEW SOLAR EQUIPMENT AND BALLAST PLACED ON EXISTING ROOF SHALL HAVE A MAXIMUM GROSS WEIGHT OF 10 PSF DL.</li> <li>REFER TO DETAIL 4/SS.2.2 FOR LINTEL FOR NEW PENETRATIONS THRU EXISTING MULTI WYTHE BRICK WALL. REFER TO HVAC DRAWINGS FOR PENETRATIONS THROUGH EXISTING.</li> </ol>	<p>KEYED NOTES APPLY TO ALL STEEL ROOF FRAMING PLANS ALL NOTES DO NOT NECESSARILY APPEAR ON ALL SHEETS.</p> <ol style="list-style-type: none"> <li>5/8" APA RATED EXTERIOR GRADE WOOD SHEATHING OVER 3/8" TONGUE AND GROOVE WOOD DECKING IN CONTROLLED RANDOM LAYUP OR 3-SPAN CONTINUOUS LAYUP</li> <li>PAINTED FABRICATED STEEL SEAT AT GLULAM BEAM. REFER TO DETAIL 2/SS.1-2</li> <li>PAINTED FABRICATED STEEL SEAT AT GLULAM BEAM. REFER TO DETAIL 3/SS.1-2</li> <li>PAINTED FABRICATED STEEL SEAT AT GLULAM BEAM. REFER TO DETAIL 3/SS.1-2</li> <li>GLULAM SUPPLIER TO PROVIDE H-FRAMING AND CONNECTIONS AT ROOF DRAINS TYP.</li> <li>ROOF TOP UNIT. REFER TO PLAN FOR MAXIMUM WEIGHT (INCLUDING ROOF CURB).</li> <li>REINFORCE EXISTING TRUSS PER DETAIL 1/SS.2.2</li> <li>06x13 DECK SUPPORT PER DETAIL 4/SS.0-2</li> <li>PROVIDE W10x17 BEAM TO SUPPORT EXISTING ROOF DECK.</li> <li>(2)-2x6 OUTRIGGER BOLTED TO WOOD FRAMING BELOW.</li> <li>14 GA STRAP w/ (16)-10# NAILS TO TOP OF EACH SIDE OF GLULAM BEAM. REFER TO DETAIL 8/SS.1-2</li> <li>PT SYP No 2 2x6 JOISTS AT 16" o/c.</li> <li>HSS8x4x1/4 LINTEL w/ 1/4" BOTTOM PLATE. BEAR LINTEL 6" ON EXISTING WALL EACH END.</li> <li>PT. 2x6 LEDGER FASTENED TO EXISTING w/ 1/2" DIA RODS. DRILL AND EPOXY THREADED RODS INTO EXISTING MULTI WYTHE WALL w/ HULTI HIT-HY270. PROVIDE 6" EMBED.</li> <li>SUPPORT EXISTING STEEL LINTEL w/ NEW MASONRY PIER EACH END (8"x16" MINIMUM). BUILD EXISTING PIER TIGHT TO UNDERSIDE OF EXISTING LINTEL. DRY PACK FOR CONSTANT BEARING. PROVIDE (1)-#4 VERTICAL IN EACH CELL GROUTED SOLID.</li> </ol>



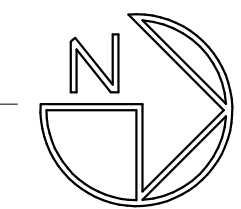
**1 LOWER ROOF FRAMING PLAN**  
S2.2-2  
SCALE: 1/8" = 1'-0"



ALL INFORMATION CONCERNING EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OR MATERIAL FABRICATION. NOTIFY ENGINEER FOR POSSIBLE REMEDIAL ACTION IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN HERE. REFER TO EXISTING CONSTRUCTION CONDITIONS NOTES ON GENERAL NOTES SHEET FOR SPECIFICS.

2 REFER TO PARTIAL FRAMING PLAN.

**2 PARTIAL LOWER ROOF FRAMING PLAN**  
S2.2-2  
SCALE: 1/4" = 1'-0"



**WGEMA CAMPUS  
TTHIGWE BUILDING REMODEL  
BID PACKAGE 2 - BUILDING RENOVATION**  
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4 RFI #005  
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Sheet Name:  
**LOW ROOF FRAMING PLAN**

Date: 06/03/2022

Drawn By: PE

Project No.: 15014.02

Sheet No.

**S2.2-2**