



October 17, 2013

City of Milwaukee
Department of City Development
809 N. Broadway
2nd Floor
Milwaukee, WI 53202

Re: Home 2 Suites
5880 S. Howell Avenue
Detailed Plan Project Description/Statement of Intent

To Whom It May Concern:

Project Description: The proposed DPD includes the development of a 110 room Home 2 Suites hotel. The hotel proposal is consistent with the previously approved general development plan for the entire property.

Analysis of Standards 295-907:

- A. Uses: The site will have two hotels. One hotel will be a limited service extended stay, 110 room hotel. The other hotel (existing) will be a full service, 143 room hotel with 3,500 sf of meeting space.
- B. Design Standards: The hotel design will consist of a mixture of aluminum, large format burnished block, cement fiber board siding and EIFS. The exterior will be articulated in a manner that breaks up the exterior wall surface and creates interest. Refer to **Drawing A6.01** for details.
- C. Density: Residential density standards are not applicable.
- D. Space Between Major Building Faces: 126 feet.
- E. Setbacks: The proposed hotels are setback from the property according to zoning standards of 25'. Please refer to **Drawing C1.2** for additional dimensions and details.
- F. Screening: The natural landscape will provide screening as well as additional landscaping to be installed around the perimeter of the buildings and site as shown on **Drawings L-1 & L-2**. Trash enclosures will be constructed of matching masonry material as to complement the architectural scheme of the buildings.
- G. Open Spaces: The open areas primarily located to the east of the site will be green space and a retention area. The heavily wooded area from the retention pond east to the property line will remain undisturbed by this development. Please refer to **Drawings L-1 & L-2** for additional landscaping information. Also note that roughly 69% of this property will remain green space after the development is built out.
- H. Circulation, Parking and Loading: The existing ingress/egress will be maintained and will provide adequate access into and out of the project. Internal circulation will be handled by a private drive which allows vehicles to move freely from west to east. Parking will be provided as a ratio of 1:16 stalls per guest room. This meets or exceeds local zoning regulations. Loading

areas will be provided for guests in a drop-off zone. Deliveries will be minimal and during off peak times where pedestrian and vehicular traffic is minimal. Please refer to **Drawing A1.01** for additional information.

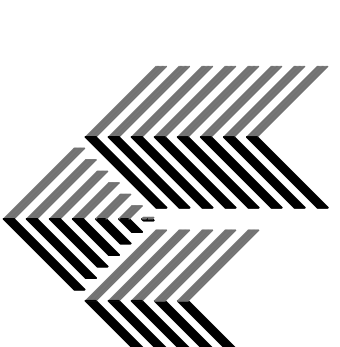
- I. Landscaping: Landscaping will be consistent with local and national codes. All vegetation will be maintained and replaced as needed. A one year warranty period for all new vegetation is typically provided through the contractor installing the original landscaping and continued landscape maintenance will be an important component of operating a high-end franchised hotel. Please refer to **Drawings L-1 & L-2** for additional landscape information.
- J. Lighting: Site lighting will be provided to maintain a safe and comfortable atmosphere for our guests. Light pollution will be minimal as cut-off fixtures will be utilized. Appropriate foot candles at the property lines will be maintained per local zoning codes.
- K. Utilities: All utility lines will be installed underground. Currently the property has overhead electric service. This will be replaced with an underground feed. Any transformers required will be located outside of the buildings in low visibility areas and will be screened with landscaping. Utilities on neighboring properties are located above ground in many cases.
- L. Signs: Sign panels will be added to the existing monumental sign. Space is already provided so sign size will not change. The existing sign is illuminated. Building signage will also be installed on the North, South & West sides of the building. The building signage will also be illuminated. Please refer to **Drawing A1.01** for existing monument sign location.

Please see **Exhibit A** which addresses the statistical relationship of the proposed development.

Exhibit A

Attachment to Detailed Plan Description/Statement of Intent
Home 2 Suites
5880 South Howell Avenue
10/18/13

- 1) Gross Land Area: 605,105 square feet (13.89 Acres)
- 2) Maximum Land Covered by Buildings:
 - a) Hilton Garden Inn: 36,000 square feet
 - b) Home 2 Suites: 22,349 square feet
 - c) Total: 58,349 square feet or 9.64% of the property
- 3) Maximum Land Devoted to Parking, Drives & Parking Structures:
 - a) Sidewalks: 9,566 square feet
 - b) Parking Lot: 118,727 square feet
 - c) Total Paving: 128,293 square feet or 21.2% of the property
- 4) Total Landscaped Open Space: 417,356 square feet or 68% of the property
- 5) Total Building Square Footage:
 - a) Hilton Garden Inn: 85,000 square feet
 - b) Home 2 Suites: 62,217 square feet
- 6) Proposed Number of Buildings: The current amendment will add one building for a total of 2.
- 7) Maximum Number of Units per Building:
 - a) Hilton Garden Inn: 143
 - b) Home 2 Suites: 110
- 8) Parking:
 - a) Existing Hotel Parking: 158
 - b) Proposed Second Hotel Parking: 136
 - c) Total Stalls per Room w/both Hotels: 1.16



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WISCONSIN 53562
608.829-1750
608.829-3056 (FAX)



HOME 2

SUITES BY HILTON

CITY RESUBMITTAL

OCTOBER 17, 2013

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PROJECT: **HOME 2 SUITES**
5880 SOUTH HOWELL AVE, MILWAUKEE, WISCONSIN
CLIENT: **HOWELL AVENUE LAND, LLC**
C/O RAYMOND MANAGEMENT COMPANY
8333 GREENWAY BOULEVARD, SUITE 200 MIDDLETON, WISCONSIN 53562

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PROJECT: 200703.1
DRAWN BY: RC
DATE: 09/20/2013
SCALE: AS NOTED
CITY SUBMITTAL: 09/20/2013
CITY RESUBMITTAL: 10/17/2013

OWNER:

HOWELL AVENUE LAND, LLC
C/O RAYMOND MANAGEMENT COMPANY
8333 GREENWAY BL VD, SUITE 200
MIDDLETON, WISCONSIN 53562
PHONE: (608) 662-8926
FAX: (608) 662-8927
PRINCIPAL CONTACT: CHRIS ZANDER

ARCHITECT:

GARY BRINK & ASSOCIATES, INC.
7780 ELMWOOD AVENUE, SUITE 204
MIDDLETON, WISCONSIN 53562
PHONE: (608) 829-1750
FAX: (608) 829-3056
PRINCIPAL CONTACT: GARY BRINK

CIVIL/SITE ENGINEER:

EXCEL ENGINEERING
100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 322-1678
FAX: (920) 928-9801
PRINCIPAL CONTACT: ERIC DRAZKOWSKI

LANDSCAPE DESIGNER:

KEN SAIKI DESIGN, INC
303 S. PATTERSON ST. STE. ONE
MADISON, WI 53703
PHONE: (608) 251-3600
EMAIL: Sbernaluksd-ha.com
PRINCIPAL CONTACT: SHANE BERNAU

PLAT OF SURVEY FOR:
5880 S. HOWELL AVENUE
A PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 6 NORTH, RANGE 22 EAST, CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
FOND DU LAC COUNTY) SS

I, RYAN WILGREEN, REGISTERED LAND SURVEYOR, HEREBY CERTIFY:

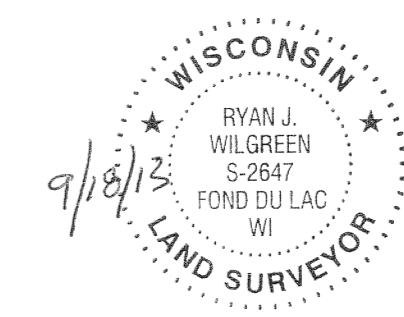
THAT I HAVE MAPPED A PARCEL OF LAND, BEING PART OF THE SW 1/4 OF THE NW 1/4 OF SECTION 33, TOWNSHIP 6 NORTH, RANGE 22 EAST, CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 1 OF CERTIFIED SURVEY MAP NO. 8167 RECORDED JULY 6, 2009 AS DOCUMENT NO. 09760421 IN THE MILWAUKEE COUNTY REGISTER OF DEEDS OFFICE.

THAT I HAVE MADE SUCH SURVEY UNDER THE DIRECTION OF HOWELL AVENUE LAND, LLC.

THAT SUCH SURVEY IS A CORRECT REPRESENTATION OF ALL THE EXISTING IMPROVEMENTS AS DEPICTED HEREON.

THIS SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



RW
Ryan Wilgreen, L.L.S. No. S-2647
ryan.w@excelengineer.com
Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935
Project Number: 1311400

Note:

- This plat of survey was completed per the City of Milwaukee plan commission detail plan development requirements. This survey does not comply with the minimum standards detailed in Chapter A-E7.
- North point referenced to the North line of the Northwest 1/4 of Section 33, Township 6 North, Range 22 East, said line having a bearing of North 88°46'52" East.

OWNER:
HOWELL AVENUE LAND, LLC
C/O RAYMOND MANAGEMENT CO.
8333 GREENWAY BLVD.
MIDDLETON, WI 53562

PROPERTY INFORMATION:
TAX KEY NUMBER: 6730001000
ADDRESS: 5880 S. HOWELL AVENUE

LEGEND:

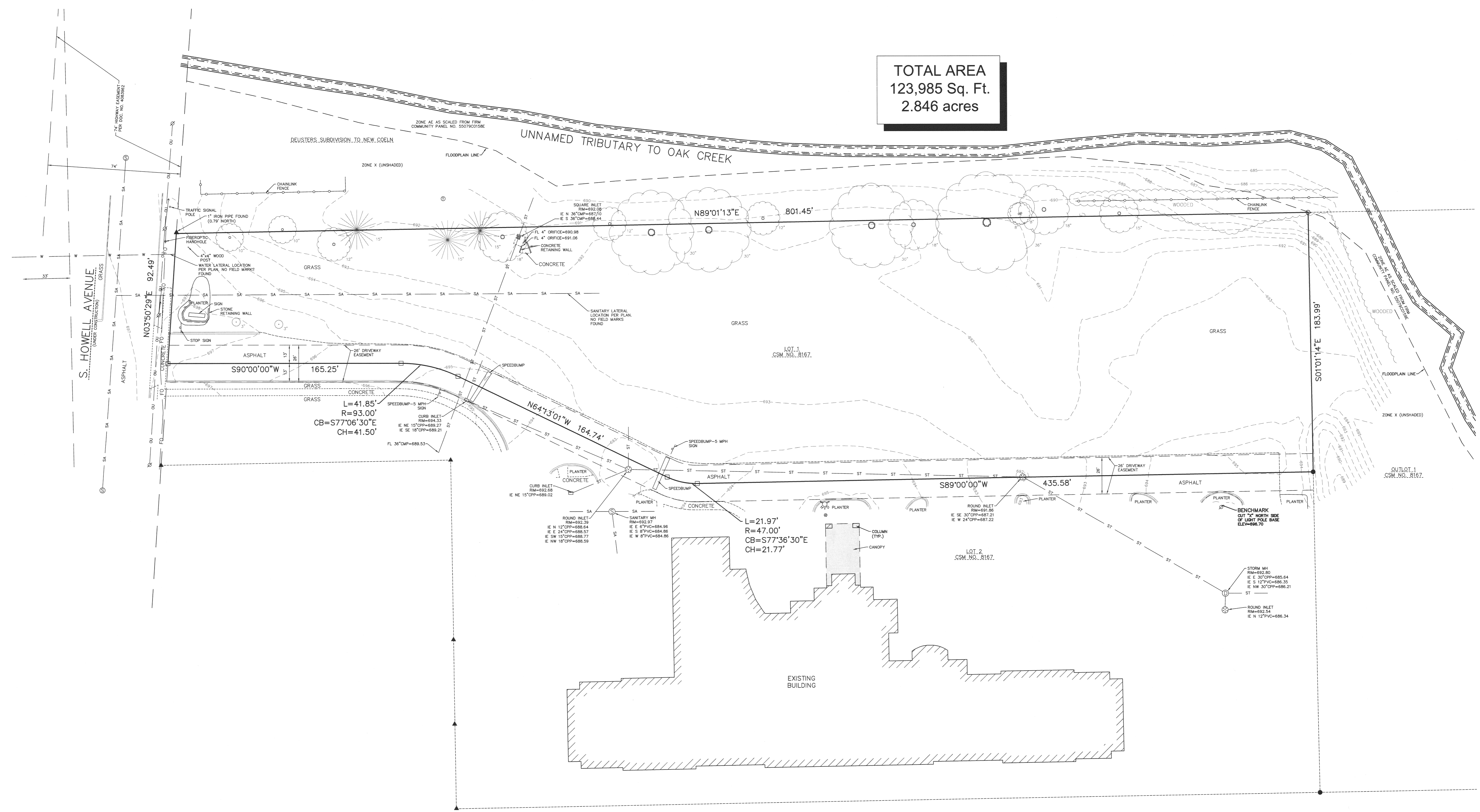
ST	EXISTING STORM SEWER AND MANHOLE
SA	EXISTING SANITARY SEWER AND MANHOLE
OU	EXISTING OVERHEAD UTILITY LINE
---	EXISTING CURB AND GUTTER
---	EXISTING GROUND CONTOUR
---	WOODED AREA
---	EXISTING CHAINLINK FENCE
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJACENT PROPERTY LINE

1" = 30'
SCALE

FEET

NOTE:
EXISTING UTILITIES SHOWN ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SEWER AND WATER, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

TOTAL AREA
123,985 Sq. Ft.
2.846 acres



OWNER:
HOWELL AVENUE LAND, LLC
C/O RAYMOND MANAGEMENT CO.
8333 GREENWAY BLVD.
MIDDLETON, WI 53562

PROJECT:
HOME 2 - MILWAUKEE
5880 S. HOWELL AVENUE
MILWAUKEE, WI

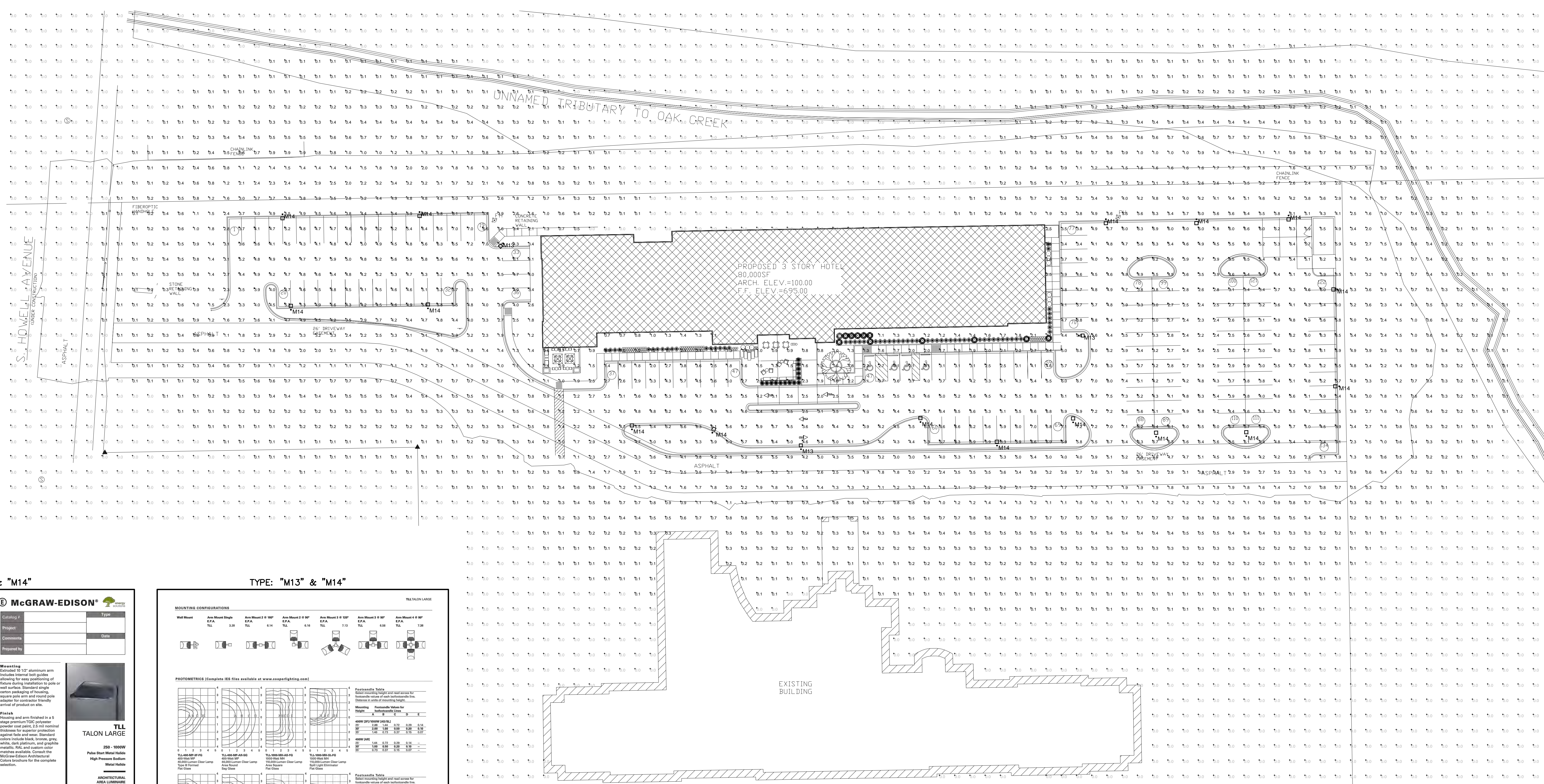
SHEET ISSUE:
09-18-2013
SEE TITLE SHEET TO CONFIRM THAT THIS SHEET HAS BEEN ISSUED FOR CONSTRUCTION

REVISIONS:

JOB NUMBER:
1311400

SHEET

PS



TYPE: "M13" & "M14"

TYPE: "M13" & "M14"

McGRAW-EDISON

DESCRIPTION
 The McGraw-Edison Talon is the most versatile, functionally designed, universally adaptable outdoor luminaire available. The Talon brings outstanding performance to walkways, parking lots, roadways, loading docks, building areas, and any security lighting application. UL listed and CSA certified for wet locations. IP65 Rated.

SPECIFICATION FEATURES

Construction: One-piece heavy-weld, die-cast aluminum construction with integral reveal channels along top surface of housing. Integral high efficiency engineered optical channels engineered to project to operate cooler. One-piece die-cast aluminum door frame with integral cast-in gasket seals optical chamber to an IP65 rating. Stainless steel latches and hinges allow for tool-free opening and removal of door frame.

Electrical: Electrical components mounted on a single sheet galvanized steel power tray with integral handle. Essential components are to be completely removed from the housing providing simple hand and tool removal for attachment of fixture during installation.

Optical REFLECTOR: Choice of 14 high efficiency optical systems utilizing horizontal and vertical lamp orientations. Optional high efficiency engineered optical systems constructed of premium 90% reflective anodized aluminum sheet. Optical systems are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clear of rivet heads, spots or other means of attachment which may create shadows in the light distribution. Standard with integral base coat. All optical modules feature quick disconnect wiring plugs and are field replaceable in 90° increments.

Finish: Housing and arm finished in a 5 stage premium TFC polyester powder coat paint. 50 mil minimum thickness for superior protection against fade and wear. Standard finish includes Black, Bronze, Gray, White, Dark Platinum, and Graphite available. PA6 and custom color finishes available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

TLL TALON LARGE
 Pulse Start Metal Halide
 High Pressure Sodium
 Neutral Halide

ARCHITECTURAL AREA LUMINAIRE

DARK SKY P0 COMPLIANT

ENERGY DATA
 CIBA Ballast Input Watts
 200W MP (P) 200W
 250W MP (P) 250W
 300W MP (P) 300W
 400W MP (P) 400W
 500W MP (P) 500W
 600W MP (P) 600W
 700W MP (P) 700W
 800W MP (P) 800W
 900W MP (P) 900W
 1000W MP (P) 1000W

SHIPPING DATA
 Approximate Net Weight:
 4000 lb (1814 kg)
 10000 lb (4536 kg)

EPA
 Maximum Radiant Area (ft.²):
 2.38 with 10.2' ADA

COOPER Lighting
 www.cooperlighting.com

MOUNTING CONFIGURATIONS

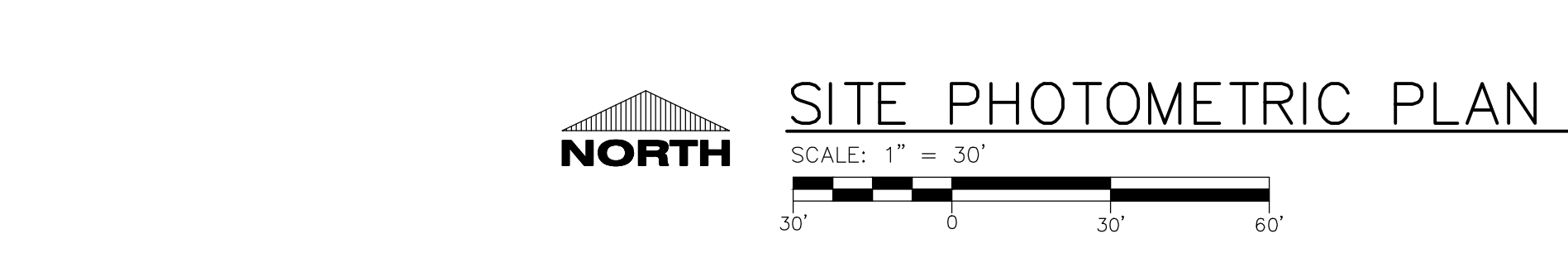
Wall Mount, Arm Mount 2 @ 90°, Arm Mount 2 @ 120°, Arm Mount 2 @ 150°, Arm Mount 2 @ 180°, Arm Mount 4 @ 90°, Arm Mount 4 @ 120°, Arm Mount 4 @ 150°, Arm Mount 4 @ 180°

PHOTOMETRICS (Complete IES files available at www.cooperlighting.com)

Photometric Data
 TLL-400-MP-XX-3S-FG
 TLL-400-MP-XX-4S-FG
 TLL-400-MP-XX-3S-FG
 TLL-400-MP-XX-4S-FG

Photometric Data
 TLL-400-MP-XX-3S-FG
 TLL-400-MP-XX-4S-FG
 TLL-400-MP-XX-3S-FG
 TLL-400-MP-XX-4S-FG

COOPER Lighting
 www.cooperlighting.com



LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts	Overall Height
□	M13	3	TLL-400-MP-XX-3S-FG	ARCHITECTURAL AREA LUMINAIRE - TYPE III DISTRIBUTION	400 WATT PULSE-START CLEAR ED-28 HORIZONTAL BURN	TLL-400-MP-XX-3S-FG.ies	42000	0.81	452	30'-0"
□	M14	16	TLL-400-MP-XX-4S-FG	MEDIUM ARCHITECTURAL AREA LUMINAIRE - TYPE IV DISTRIBUTION	400 WATT PULSE-START CLEAR ED-28 HORIZONTAL BURN	TLL-400-MP-XX-4S-FG.ies	42000	0.81	452	30'-0"

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.7 fc	8.0 fc	0.0 fc	N/A	N/A
East Parking	✕	4.6 fc	8.0 fc	2.2 fc	3.6:1	2:1:1
South Parking/Drive	✕	4.6 fc	7.1 fc	1.6 fc	4.4:1	2.9:1
West Parking	✕	5.0 fc	7.6 fc	3.4 fc	2.2:1	1.5:1

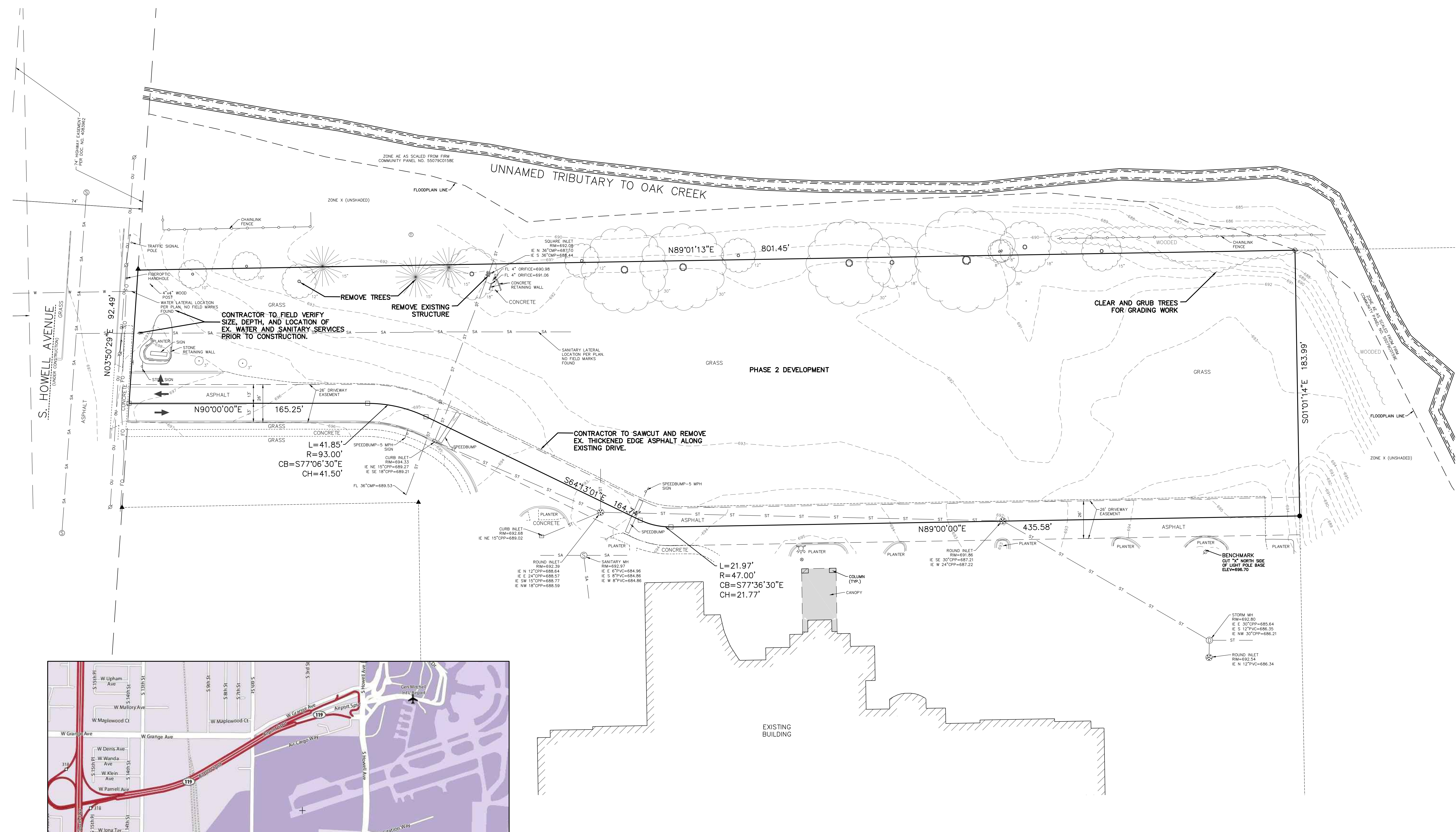
OWNER:
 HOWELL AVENUE LAND, LLC
 C/O RAYMOND MANAGEMENT CO.
 8333 GREENWAY BLVD.
 MIDDLETON, WISCONSIN 53562

PROJECT:
 HOME 2 SUITES
 5880 SOUTH HOWELL AVENUE
 MILWAUKEE, WISCONSIN

PRELIMINARY SHEET DATES:
 SEPTEMBER 19, 2013

JOB NUMBER:
 1311400
SHEET

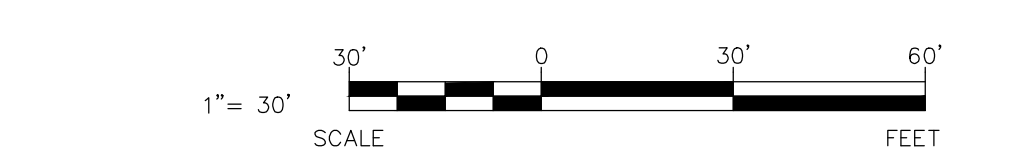
C1.1



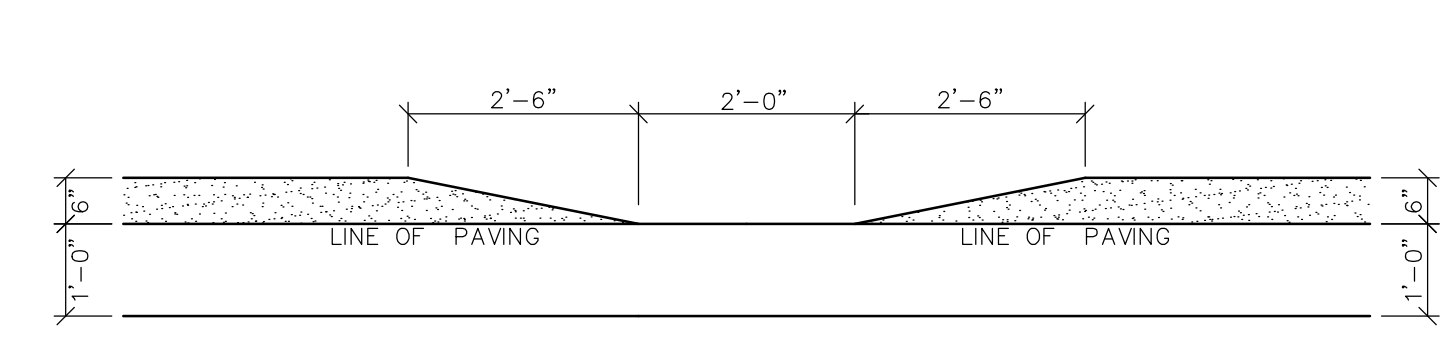
LOCATION MAP

NOTE: EXISTING UTILITIES SHOWN ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SEWER AND WATER FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

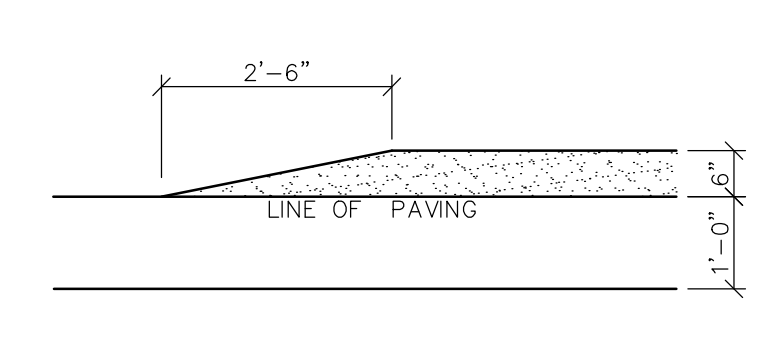
EXISTING SITE AND DEMOLITION PLAN



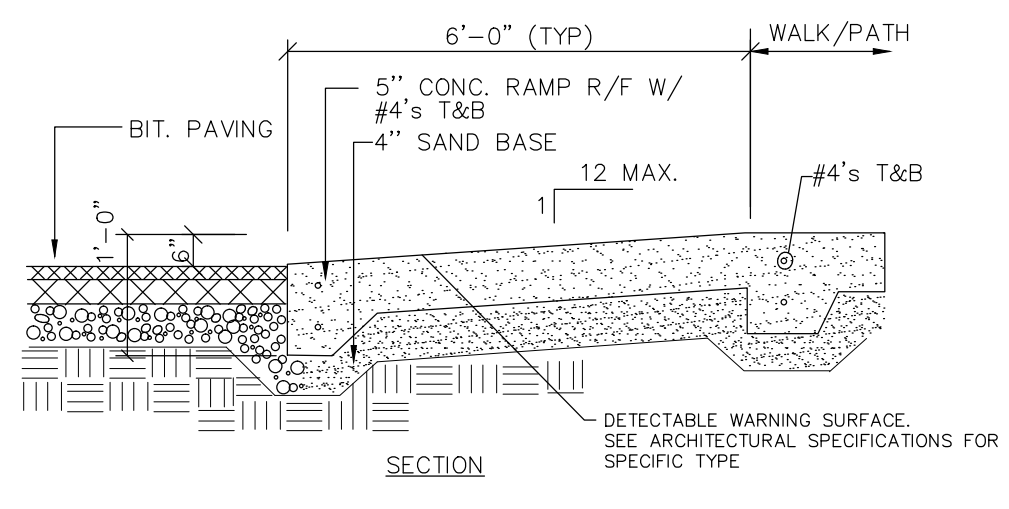
PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



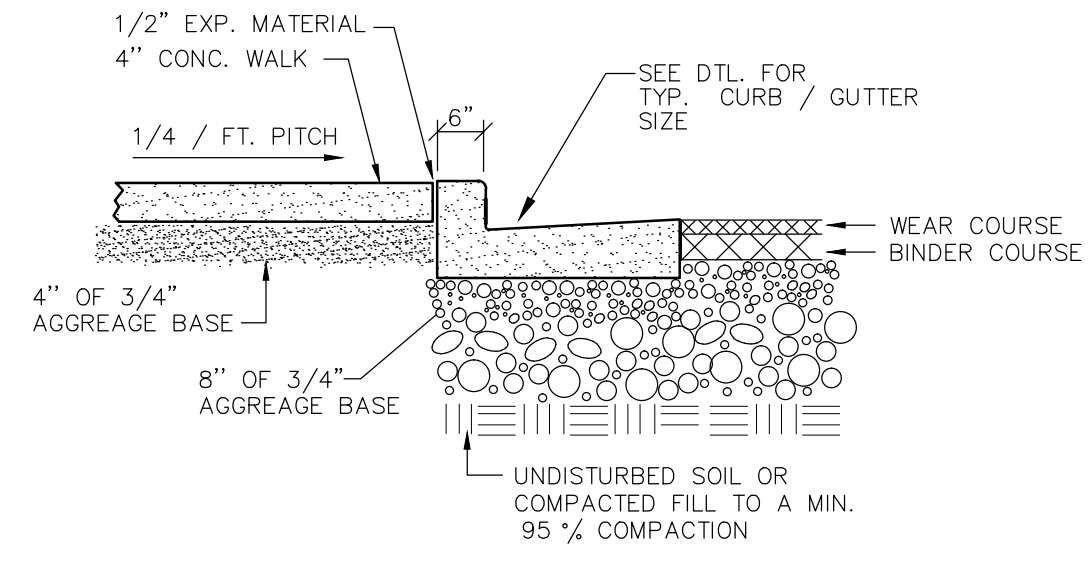
CURB CUT DETAIL
NO SCALE



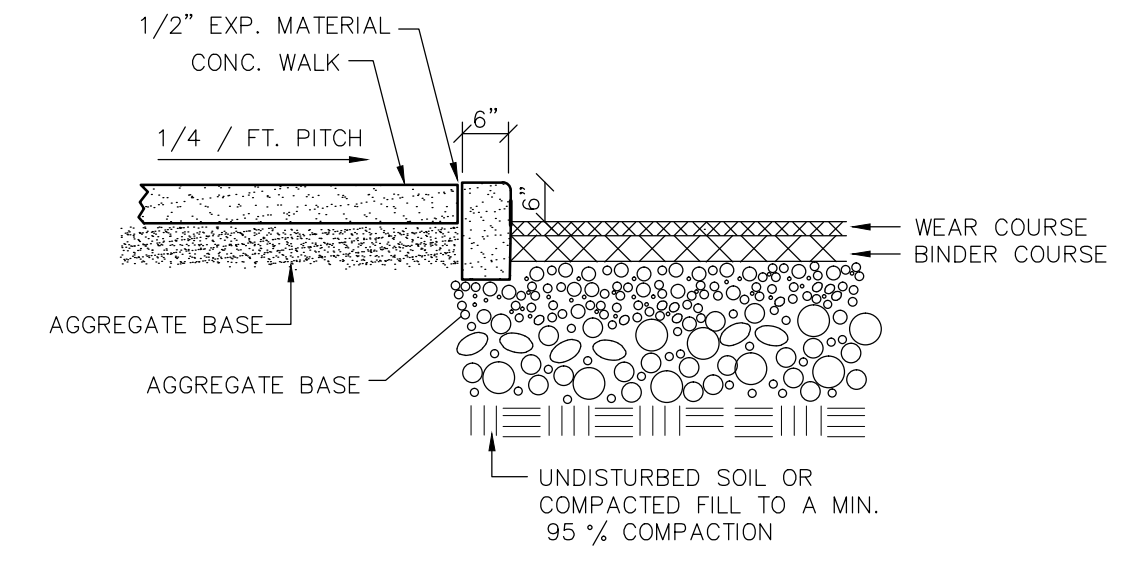
TAPERED CURB DETAIL
NO SCALE



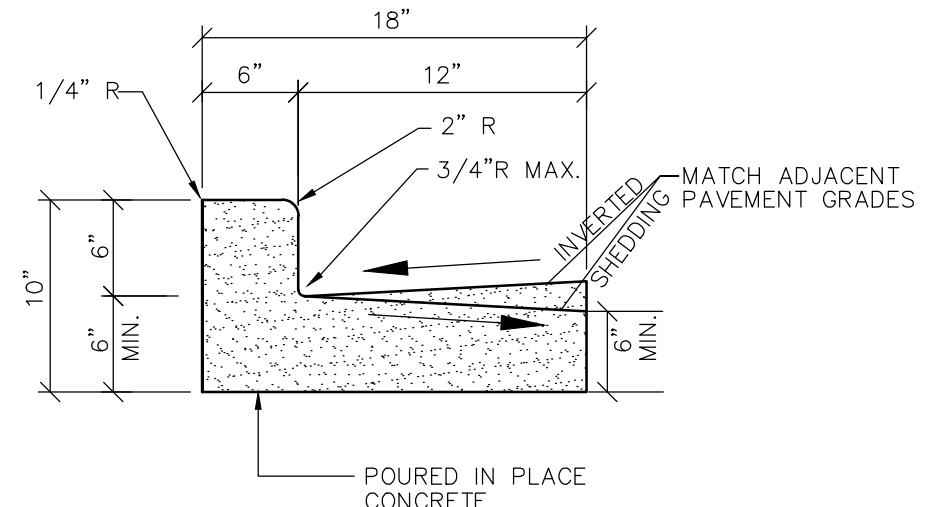
RAMP W/ DETECTABLE WARNING PLATE
NO SCALE



RAISED WALK WITH CURB AND GUTTER
NO SCALE



RAISED WALK W/ CURB
NO SCALE



18" CONCRETE CURB & GUTTER DETAIL
NO SCALE

NOTES:

- ① 4" WIDE WHITE STRIPING FOR GENERAL PARKING AND CROSSWALKS AND BLUE PAINT FOR HANDICAPPED MARKINGS AND YELLOW AT WALKWAY RAMPS. - VERIFY WITH OWNER

HATCHING KEY - SEE SPECIFICATIONS FOR MATERIAL REQUIREMENTS

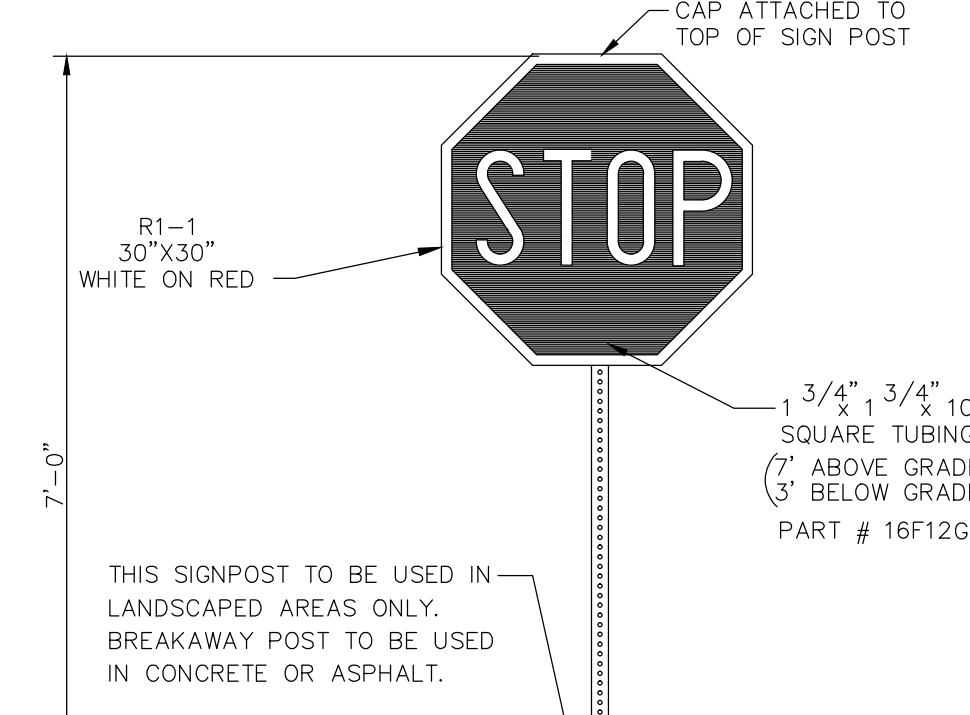
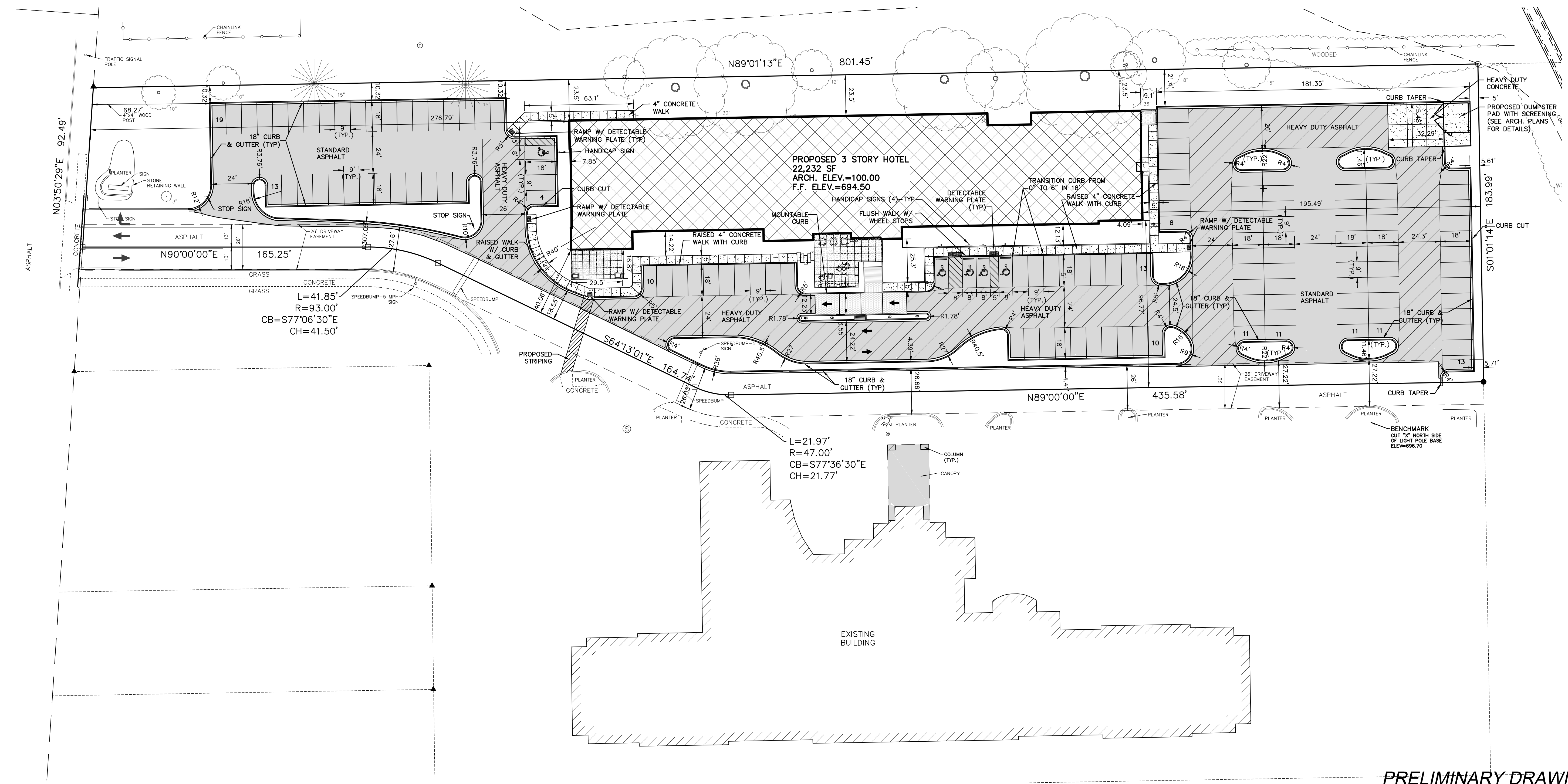
- PAVING #1: COLORED CONCRETE WITH EXPOSED AGGREGATE FINISH - REFER TO ARCH. PLANS FOR COLOR
- PAVING #2: STAMPED CONCRETE COLORED TO MATCH PAVING #1 - REFER TO ARCH. PLANS FOR COLOR
- STANDARD CONCRETE
- STANDARD ASPHALT: 1-1/2" SURFACE COURSE (E-0.3), 1-1/2" BINDER COURSE (E-0.3), 4" OF 1-1/4" CRUSHED AGGREGATE, 6" OF 3" CRUSHED AGGREGATE.
- HEAVY DUTY ASPHALT: 1-3/4" SURFACE COURSE (E-1), 2-1/4" BINDER COURSE (E-1), 6" OF 1-1/4" CRUSHED AGGREGATE, 6" OF 3" CRUSHED AGGREGATE.

SITE INFORMATION:

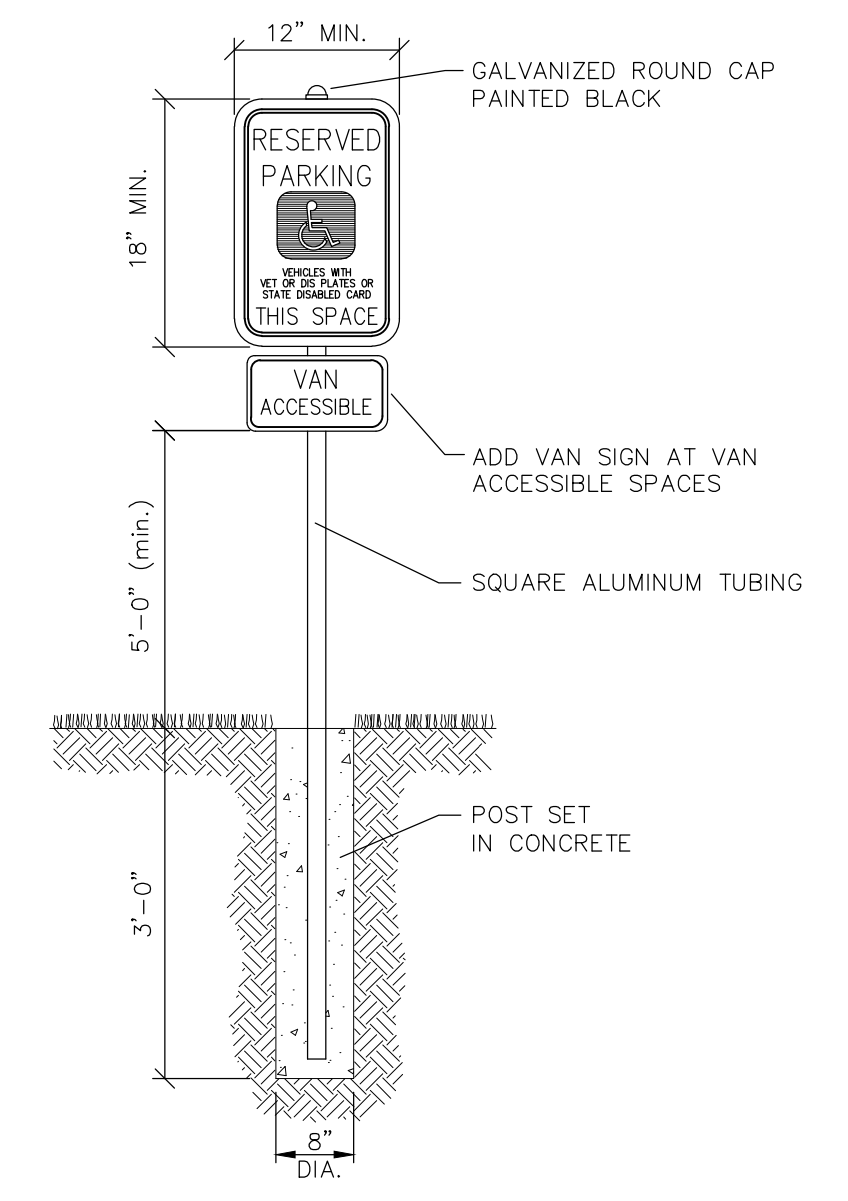
LEGAL DESCRIPTION:
 LOT 1 OF CERTIFIED SURVEY MAP NO. 8167 RECORDED JULY 6, 2009 AS DOCUMENT NO. 09760421 IN MILWAUKEE COUNTY REGISTER OF DEEDS OFFICE.
 PROPOSED LOT 1 AREA = 123,984 S.F. (2.85 ACRES).
 EXISTING ZONING: PD
 PROPOSED ZONING: PD
 PROPOSED USE: HOTEL
 SETBACKS: BUILDING: FRONT = VARIES
 SIDE = VARIES
 REAR = VARIES
 PROPOSED BUILDING HEIGHT 35' (MAX. HEIGHT NA)
 PARKING REQUIRED: 1 SPACE PER 1000 SF (67 SPACES REQ.)
 PARKING PROVIDED: 134 SPACES (5 H.C. ACCESSIBLE)
 HANDICAP STALLS REQUIRED: 5, HANDICAP STALLS PROVIDED: 5
 BUILDING OCCUPANCY CLASSIFICATION = R-1
 CLASS OF BUILDING CONSTRUCTION = 5-A PROTECTED

PROPOSED SITE DATA - PHASE 2

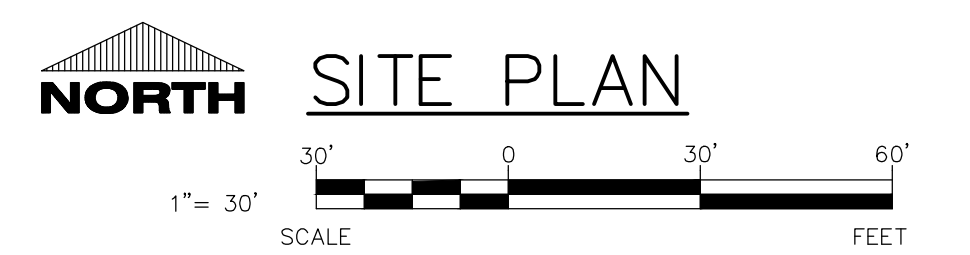
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.85	123,984	
BUILDING FLOOR AREA	0.51	22,232	18%
PAVEMENT (ASP. & CONC.)	1.58	68,860	48.4%
TOTAL IMPERVIOUS	2.09	91,092	73.4%
LANDSCAPE/OPEN SPACE	0.76	32,892	26.6%



STOP SIGN DETAIL
NO SCALE



HANDICAP SIGNAGE DETAIL
NO SCALE



SITE PLAN

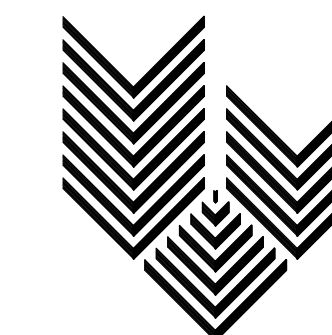
OWNER:
 HOWELL AVENUE LAND, LLC
 C/O RAYMOND MANAGEMENT CO.
 8333 GREENWAY BLVD.
 MIDDLETON, WISCONSIN 53562

PROJECT:
 HOME 2 SUITES
 5880 SOUTH HOWELL AVENUE
 MILWAUKEE, WISCONSIN

PRELIMINARY SHEET DATES:
 SEPTEMBER 19, 2013

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 1311400
SHEET

C1.2



GARY BRINK & ASSOCIATES
ARCHITECTS

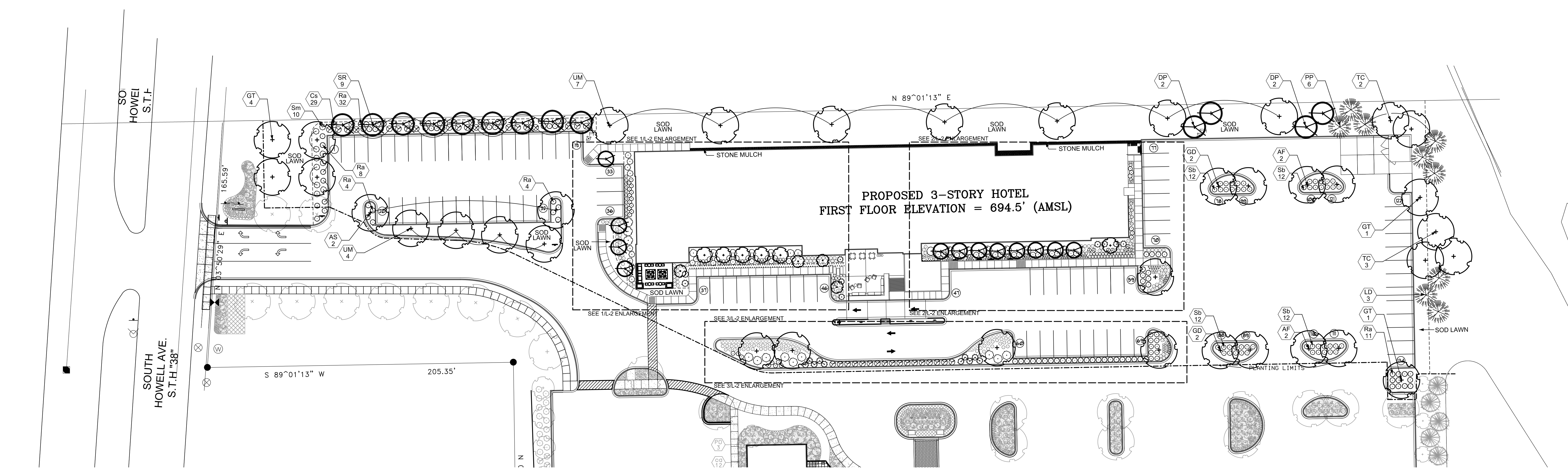
8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)



KEN SALM
LANDSCAPES

5880 SOUTH HOWELL AVENUE, MILWAUKEE, WI 53207
TEL: 414-224-1111
FAX: 414-224-1112

PROJECT: HOME 2 SUITES
5880 SOUTH HOWELL AVENUE, MILWAUKEE, WI 53207
CLIENT: HOWELL AVENUE LAND, LLC
C/O RAYMOND MANAGEMENT COMPANY
8335 GREENWAY BOULEVARD, SUITE 200 MADISON, WISCONSIN 53717

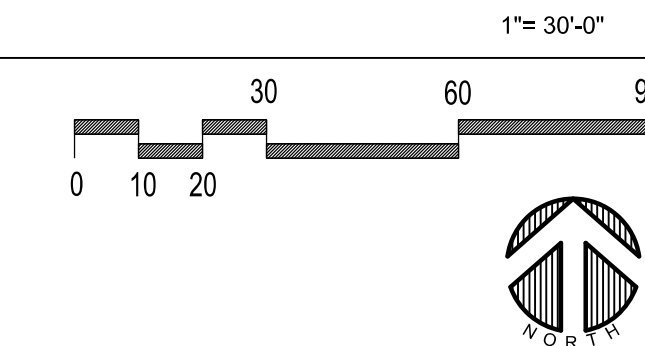


01 OVERALL PLANTING PLAN
L-1

key	PLANT LIST Milwaukee Hotels - South Howell Ave.	botanical name	common name	quant.	size	cond.	remarks
canopy trees							
AF	<i>Acer x freemanii</i> 'Morgan'	Morgan Maple		2 1/2"	Cal.	BB	
AS	<i>Acer x freemanii</i> 'Sienna Glen'	Sienna Glen Freeman Maple		2 1/2"	Cal.	BB	
BC	<i>Betula</i> 'Crimson Frost'	Crimson Frost Birch		9'	Ht.	BB	multi-stem
GT	<i>Gleditsia triacanthos</i> 'Skyline'	Skyline Honey Locust		2 1/2"	Cal.	BB	pod-less male variety
TC	<i>Tilia cordata</i> 'Greenspire'	Greenspire Linden		2 1/2"	Cal.	BB	
UM	<i>Ulmus</i> 'New Horizon'	New Horizon Elm		2 1/2"	Cal.	BB	
intermediate ornamental trees							
CE	<i>Cercis canadensis</i>	Eastern redbud		6'	Ht.	BB	multi-stem
PD	<i>Cornus alternifolia</i>	Pagoda Dogwood		6'	Ht.	BB	single stem
MC	<i>Malus</i> 'KFS-JWS'	Royal Raindrops Crabapple		1 1/2"	Cal.	BB	fruitless
SR	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory silk tree lilac		2"	Cal.	BB	single stem tree form
evergreen trees							
JC	<i>Juniperus chinensis</i> 'Iowa'	Iowa Juniper		4'	Ht.	cont/BB	
LD	<i>Larix decidua</i>	European Larch		6'	Ht.	BB	
PG	<i>Picea glauca</i> 'Densata'	Black Hills Spruce		7'	Ht.	BB	
PP	<i>Picea pungens</i>	Green Colorado Spruce		7'	Ht.	BB	
evergreen and deciduous shrubs							
Bg	<i>Buxus microphylla</i> 'Wintergreen'	Wintergreen boxwood		24"		BB	
Cs	<i>Cornus sericea</i> 'Alleman's'	Alleman's Compact Redtwig Dogwood		24"		cont./BB	
Fb	<i>Forsythia viridissima</i> 'Broxensis'	Greenstem Forsythia		#5		cont.	
Hd	<i>Hydrangea paniculata</i> 'Grandiflora'	PeeGee Hydrangea		42"		cont./BB	
Js	<i>Juniperus chinensis</i> 'Kallay's Compact'	Kallay's Compact Pfitzer Juniper		30"		cont./BB	
Po	<i>Physocarpus opulifolius</i> 'Summer Wine'	Summer Wine Purpleleaf Ninebark		24"		cont./BB	
Ra	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low aromatic sumac		#5		cont.	
Rr	<i>Rosa</i> 'Radtko'	Double Knock Out Rose		#3		cont.	
Sb	<i>Spirea betulifolia</i> 'Tor'	Tor Birchleaf Spirea		24"		cont./BB	
Sm	<i>Syringa meyeri</i> 'Palibin'	Dwarf Korean Lilac		24"		cont./BB	
Tm	<i>Taxus x media</i> 'Tauntonii'	Taunton Yew		30"		BB	
Vd	<i>Viburnum dentatum</i> 'Blue Muffin'	Blue Muffin Arrowwood Viburnum		48"		BB	
ground covers / ornamental grass / perennials							
bs	<i>Baptisia</i> x 'Solar Flare Prairieblues'	Solar Flare Prairieblues False Indigo		1 gal.		cont.	
dc	<i>Deschampsia caespitosa</i> 'Goldtau'	Gold Dew Tufted Hair Grass		1 gal.		cont.	
df	<i>Dianthus</i> 'Firewitch'	Firewitch Camation		1 gal.		cont.	
ls	<i>Liriope spicata</i>	Lily Turf		1 qt.		pot	
nv	<i>Nepeta x fassenii</i> 'Blue Wonder'	Blue Wonder Hybrid Nepeta		1 gal.		cont.	
pf	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass		1 gal.		cont.	
sa	<i>Sedum</i> 'Autumn Fire'	Autumn Fire Sedum		1 gal.		cont.	
sh	<i>Sporobolus heterolepis</i> 'Tara'	Dwarf Prairie Dropseed		1 gal.		cont.	

REQUIREMENT	STATUS
1a. PERIMETER LANDSCAPING AND EDGE TREATMENTS: 100% opacity fence shall screen residential uses w/ sufficient landscaping	N/A; exempt
1b. PERIMETER LANDSCAPING AND EDGE TREATMENTS: Trees shall be planted 25' o.c. along street frontages of light motor vehicle parking lots	FULFILLED; adequately spaced trees along parking lot edge.
2a. INTERIOR PARKING LOT LANDSCAPING: Two trees and two shrubs shall be planted for every 8 parking spaces	FULFILLED; 34 trees req., 42 provided; 34 shrubs req., 235 provided
2b. INTERIOR PARKING LOT LANDSCAPING: Landscape areas shall cover at least 5% of the surface area of the parking lot	FULFILLED; 3050 SF req., 7500 SF provided
3. VISION TRIANGLE: A 25' vision triangle is required at street and access drive intersections	FULFILLED
4. STORM WATER TREATMENT: Landscaping may be used for storm water treatment purposes	N/A

NOTES:
1. ALL FOUNDATION AND PARKING LOT ISLAND PLANTING BEDS SHALL USE 1" DIA. STONE MULCH FOR A DEPTH OF 3" UNLESS OTHERWISE NOTED. STONE MULCH SHALL BE SET OVER WEED BARRIER PER SPECIFICATIONS.
2. LANDSCAPE CONTRACTOR TO PROVIDE DECORATIVE SPLASH BLOCKS AT ALL DOWN SPOUT DISCHARGE POINTS AND AT FIRE SPRINKLER TEST DRAIN. SUBMIT SAMPLE TO ARCHITECT FOR APPROVAL.
3. ALL TREES SHALL BE TOP-DRESSED WITH 3" DOUBLE SHREDDED BARK MULCH UNLESS OTHERWISE SPECIFIED AS "STONE MULCH".
4. INSTALL EROSION CONTROL BLANKET TO ALL SEEDED AREAS WITH SLOPES GREATER THAN 3%.

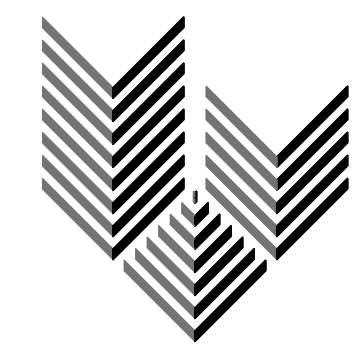


02 PLANTING SCHEDULE & NOTES
L-1

DETAILS
NTS

LANDSCAPE SITE DEVELOPMENT PLAN

L-1



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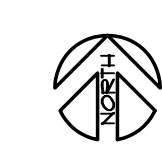
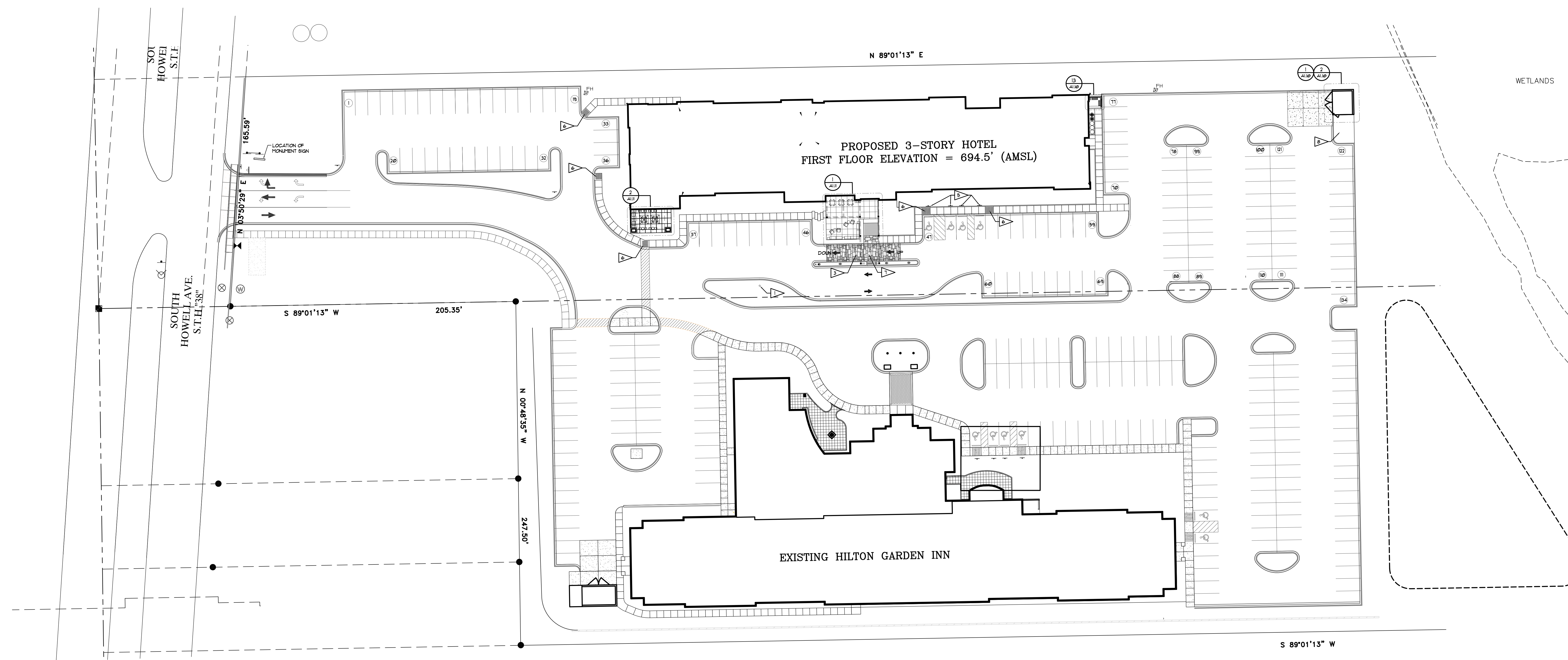
PROJECT: HOME 2 SUITES
5880 SOUTH HOWELL AVE, MILWAUKEE, WISCONSIN
CLIENT: HOWELL AVENUE LAND, LLC
C/O RAYMOND MANAGEMENT COMPANY
8333 GREENWAY BOULEVARD, SUITE 200 MIDDLETON, WISCONSIN 53562

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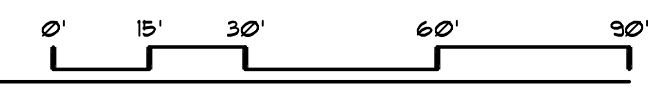
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ARCHITECTURAL
SITE PLAN

A1.01



ARCHITECTURAL SITE PLAN

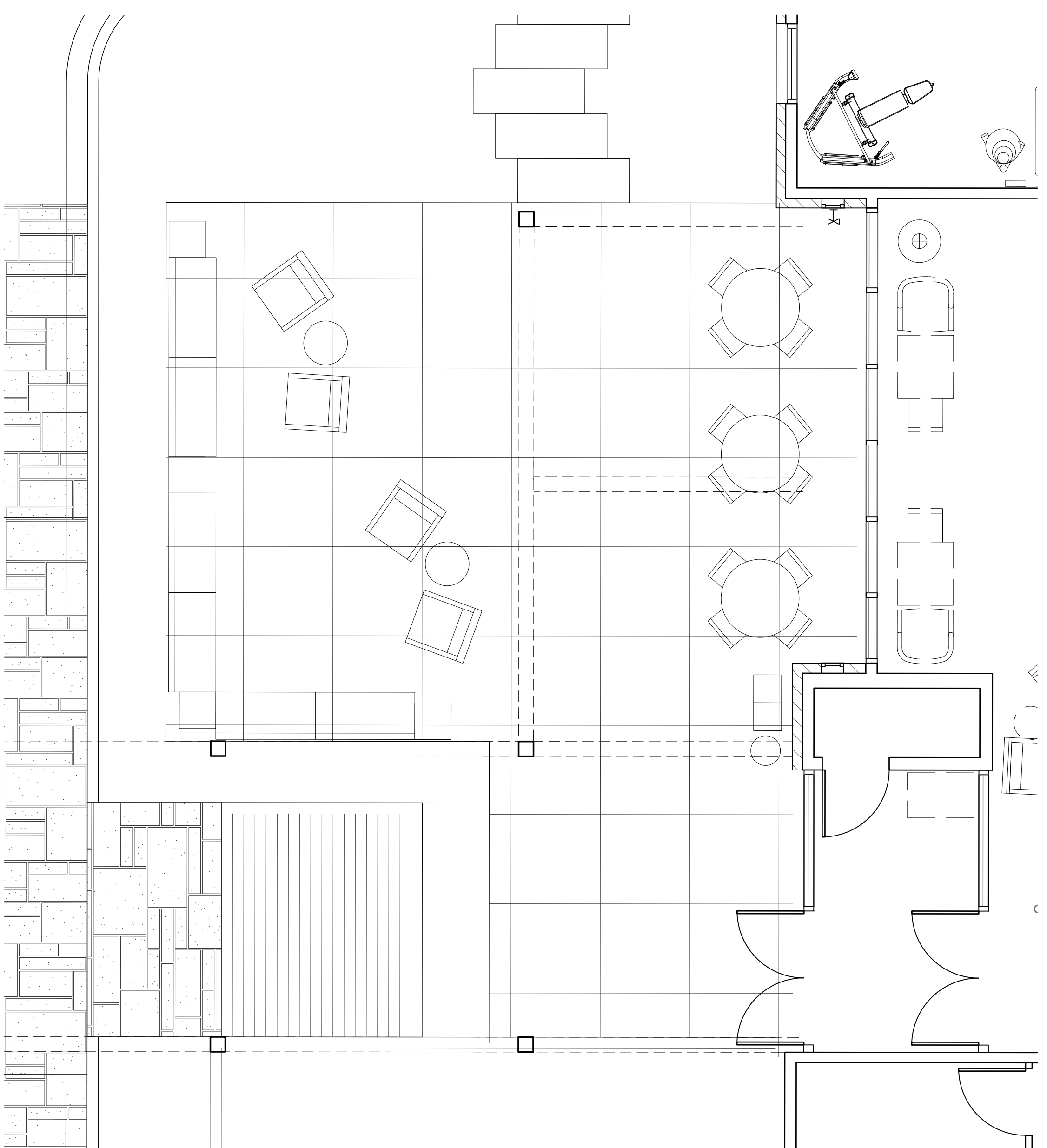


SITE PLAN COORDINATION AND GENERAL NOTES

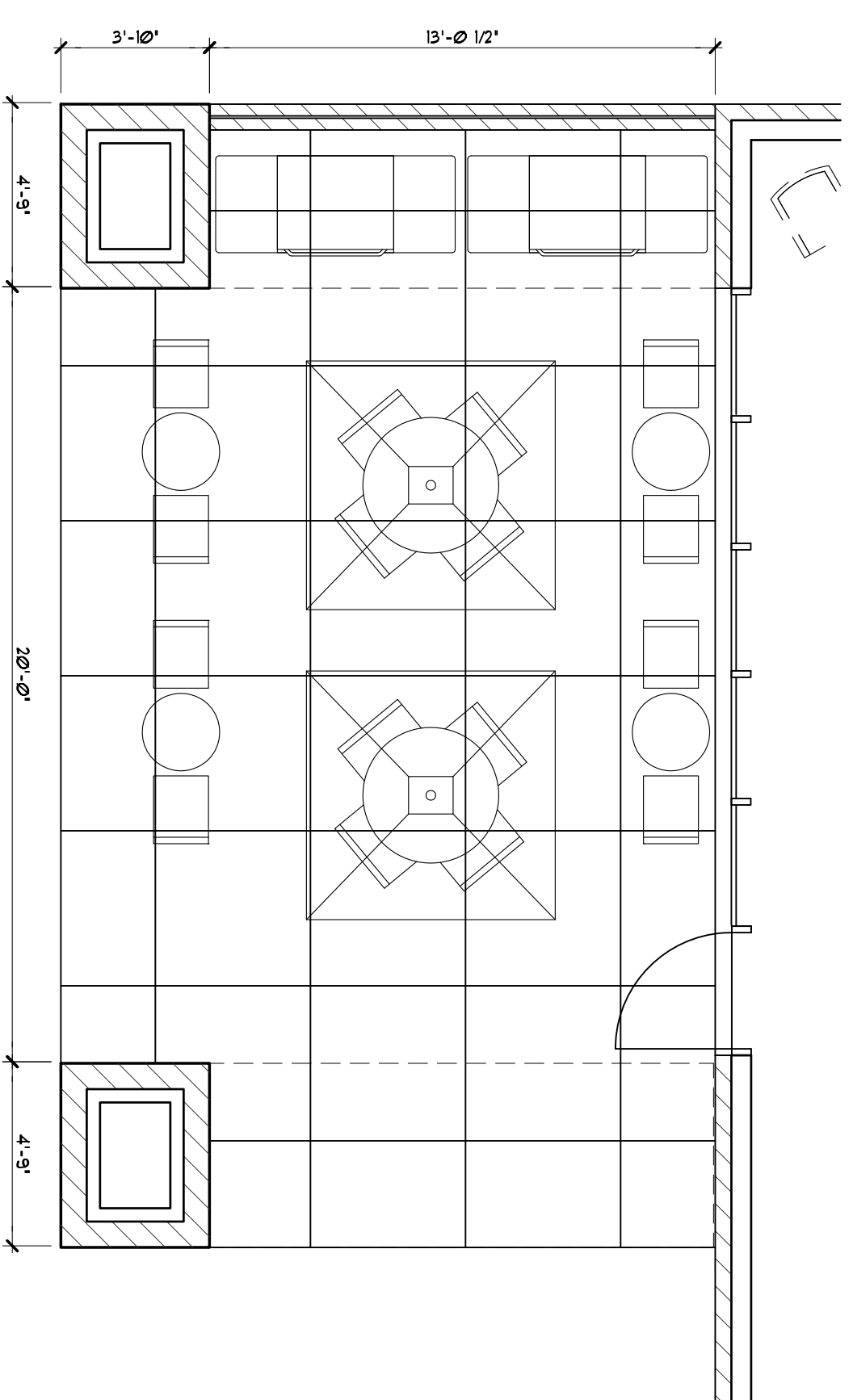
- REFER TO CIVIL DRAWINGS INCLUDED IN THIS DOCUMENT SET FOR ALL WORK TO BE INCLUDED WITHIN SCOPE.
- ANY DAMAGE OR DISRUPTION TO AREAS ADJACENT TO OR OUTSIDE THE "LIMITS OF CONSTRUCTION" SUCH AS SIDEWALKS, STREET CURBS, PAVEMENT, UNDERGROUND OR ABOVE GROUND UTILITY STRUCTURES, ECT. SHALL BE REPAIRED TO "AS NEW" CONDITIONS.
- DIMENSIONS SHOWN ON ARCHITECTURAL SITE PLAN ARE FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR LAYOUT AND DIMENSIONAL CONTROL PLAN.
- SEE CIVIL DRAWINGS FOR SITE PAVING DETAILS INCLUDING BUT NOT LIMITED TO CONCRETE CURBS, SIDEWALK PAVING JOINTS, PAVING SECTIONS, BARRIER FREE RAMPS, AND HANDICAP STRIPING.
- SEE ENLARGED PLAN SHEETS A4.01 AND A4.02 FOR ADDITIONAL INFORMATION ON PATIOS.

SITE PLAN KEY NOTES

- (1) ONE 30' FLAG POLE, SEE DETAIL 9/A110.
- EXTERIOR GAS GRILL, SEE SPECIFICATIONS SECTION 02880 SITE FURNISHINGS.
- PASSENGER DROP-OFF AREA. DROP-OFF AREA TO BE AT SAME LEVEL AS ADJACENT SIDEWALK WITH SLOPE NOT TO EXCEED 1:48.
- 6" REINFORCED TINTED CONCRETE PATIO WITH THICKENED EDGE, SEE ENLARGED ARCHITECTURAL PLANS AND STRUCTURAL DRAWINGS. SEE SPECIFICATION SECTION 02160 FOR COLOR. JOINTS AS SHOWN (NO SPECIAL PATTERN).
- ACCESSIBLE PARKING SIGNAGE ON POST, SEE CIVIL DRAWINGS.
- RAMP WITH DETECTABLE WARNING STRIPS, SEE CIVIL DRAWINGS, AND SPECIFICATION SECTION 03300.
- TINTED AND PATTERNED CONCRETE WITH 12" WIDE CONCRETE BORDER, SEE DETAILS INDICATED AND SPECIFICATIONS SECTION 02160.
- BICYCLE PARKING



1 ENTRANCE & OUTDOOR LIVING ROOM PLAN
SCALE: 1/4"=1'-0"



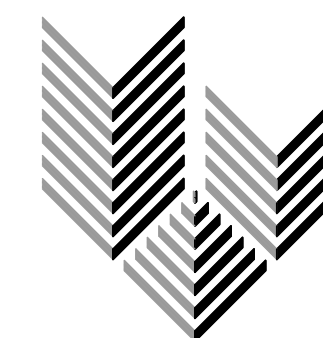
2 OUTDOOR DINING PLAN
SCALE: 1/4"=1'-0"

PROJECT:
HOME 2 SUITES
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 CLIENT:
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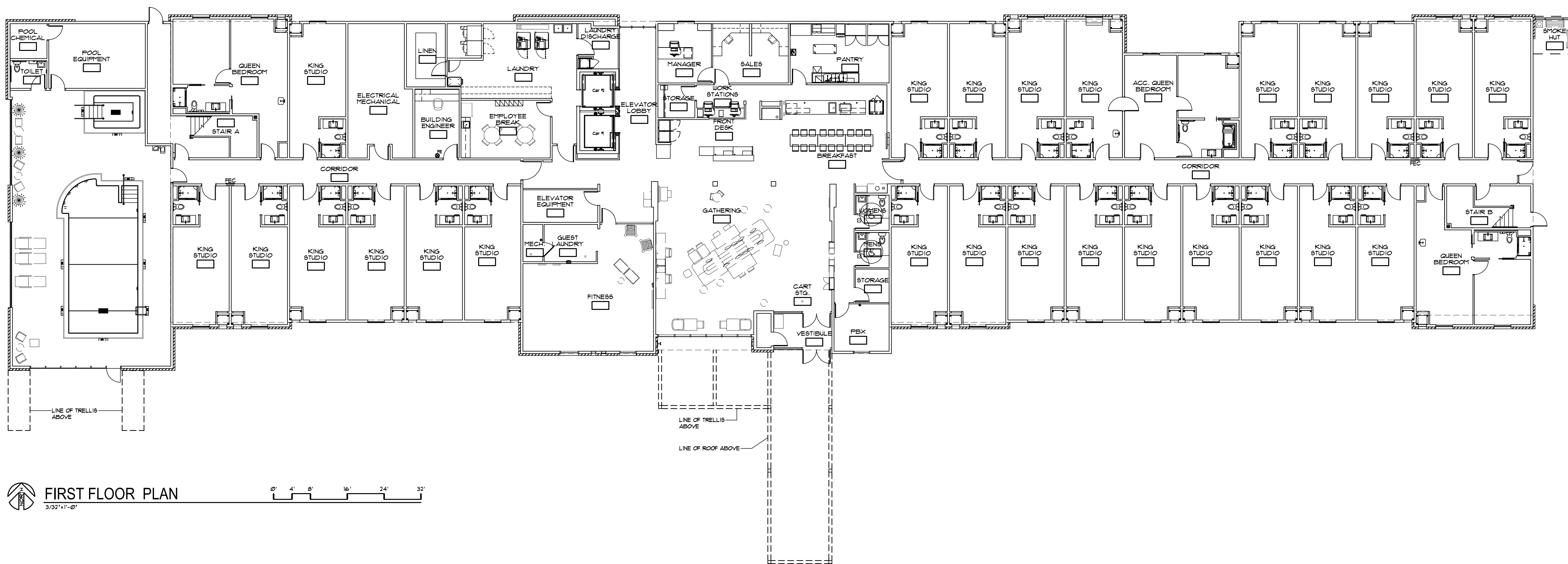
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HOME 2
 SUITES BY HILTON





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FIRST FLOOR PLAN
3/32" = 1'-0"
0' 4' 8' 16' 24' 32'

PROJECT: **HOME 2 SUITES**
5880 SOUTH HOWELL AVE, MILWAUKEE, WISCONSIN
CLIENT: **HOWELL AVENUE LAND, LLC**
C/O RAYMOND MANAGEMENT COMPANY
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GENERAL PLAN NOTES

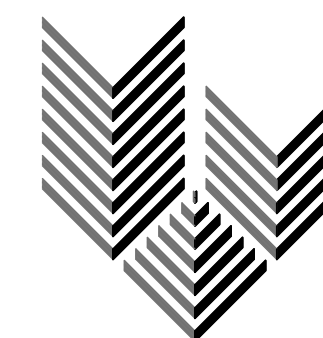
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- SEE 1/4" PLANS FOR DIMENSIONING OF SPECIFIC AREAS.
- SEE SHEET A2.00 FOR WALL TYPE CONSTRUCTION.
- SEE 1/8" PLANS FOR ALL COMMUNICATING GUESTROOM DOOR LOCATIONS, ORIENTATION OF GUESTROOM LAYOUT AND WALL TYPE CONDITIONS TO SPECIFIC AREAS AT GUESTROOMS.
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- SEE SHEET T2 FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
- OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS IN ALL REQUIRED ASSEMBLY ROOMS.

PLAN SYMBOLS

- WALL-MOUNTED FIRE EXTINGUISHER, 4-A 80BC, 10-10 NOMINAL CAPACITY WITH MOUNTING BRACKET BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
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- INDICATES WALL TYPE, REFER TO DRAWING FOR WALL TYPE CONSTRUCTION
- FLOOR DRAIN
- DOOR TYPE, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.

FIRST FLOOR PLAN

A2.01

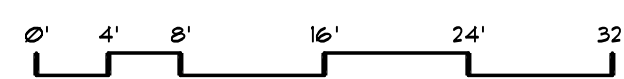


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SECOND FLOOR PLAN

3/32"=1'-0"



PROJECT: **HOME 2 SUITES**
5880 SOUTH HOWELL AVE, MILWAUKEE, WISCONSIN
CLIENT: **HOWELL AVENUE LAND, LLC**
C/O RAYMOND MANAGEMENT COMPANY
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GENERAL PLAN NOTES

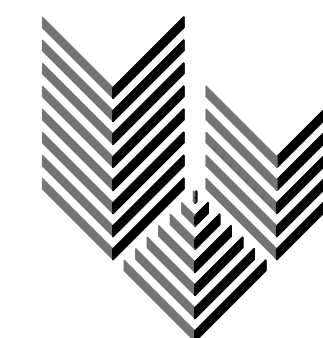
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PLAN SYMBOLS

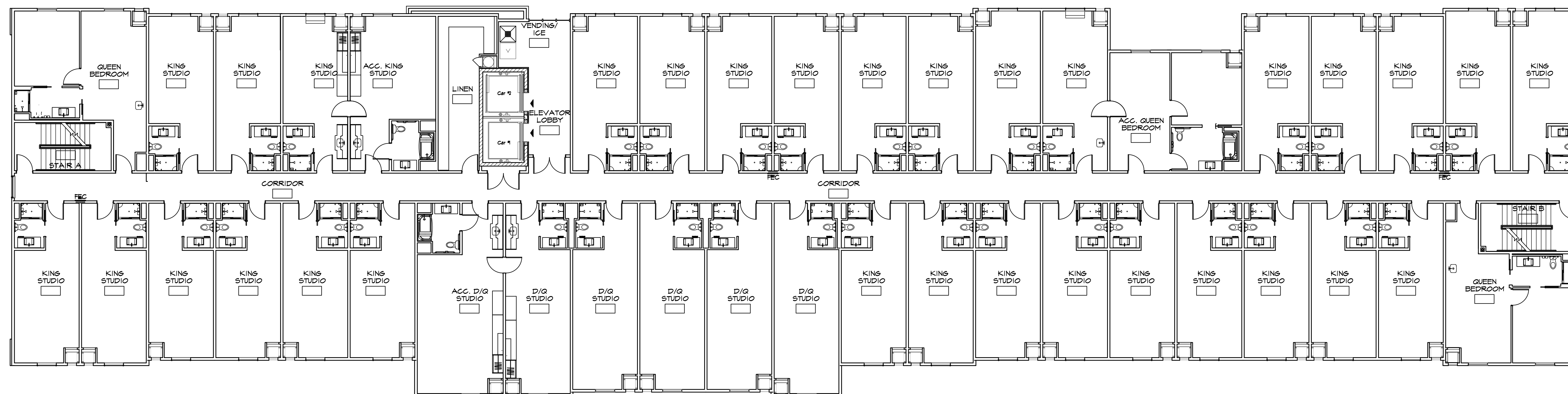
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- DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.


SECOND FLOOR
PLAN

A2.02



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 **THIRD FLOOR PLAN**
3/32" = 1'-0"

0' 4' 8' 16' 24' 32'

PROJECT: **HOME 2 SUITES**
5880 SOUTH HOWELL AVE, MILWAUKEE, WISCONSIN
CLIENT: **HOWELL AVENUE LAND, LLC**
C/O RAYMOND MANAGEMENT COMPANY
8333 GREENWAY BOULEVARD, SUITE 200 MIDDLETON, WISCONSIN 53562

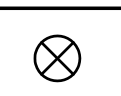
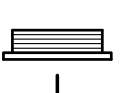
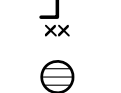
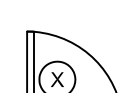
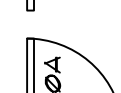

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DATE: 09/20/2013
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CITY SUBMITTAL 09/20/2013
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GENERAL PLAN NOTES

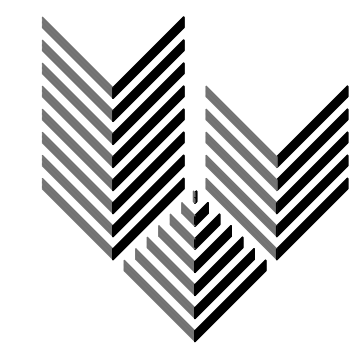
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-  FLOOR DRAIN
-  DOOR TYPE, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
-  DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.

THIRD FLOOR PLAN

A2.03



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ROOF ASSEMBLY LEGEND

ROOF ASSEMBLY I:
FULLY-ADHERED, 60 MIL E.P.D.M. ROOFING SYSTEM OVER 4" MINIMUM POLY-ISOCYANURATE INSULATION (TAPERED WHERE INDICATED) OVER HORIZONTAL CEILING/ROOF ASSEMBLY TYPE 2 ON SHEET A2.1.

ROOF ASSEMBLY II:
FULLY-ADHERED, 60 MIL E.P.D.M. ROOFING SYSTEM OVER 1/2" MINIMUM TAPERED INSULATION OVER HORIZONTAL CEILING/ROOF ASSEMBLY TYPE 2 ON SHEET A2.1.

ROOF ASSEMBLY III:
BALLASTED, 60 MIL E.P.D.M. ROOFING SYSTEM OVER 4" MINIMUM POLY-ISOCYANURATE INSULATION (TAPERED WHERE INDICATED) OVER HORIZONTAL CEILING/ROOF ASSEMBLY TYPE 2 ON SHEET A2.1.

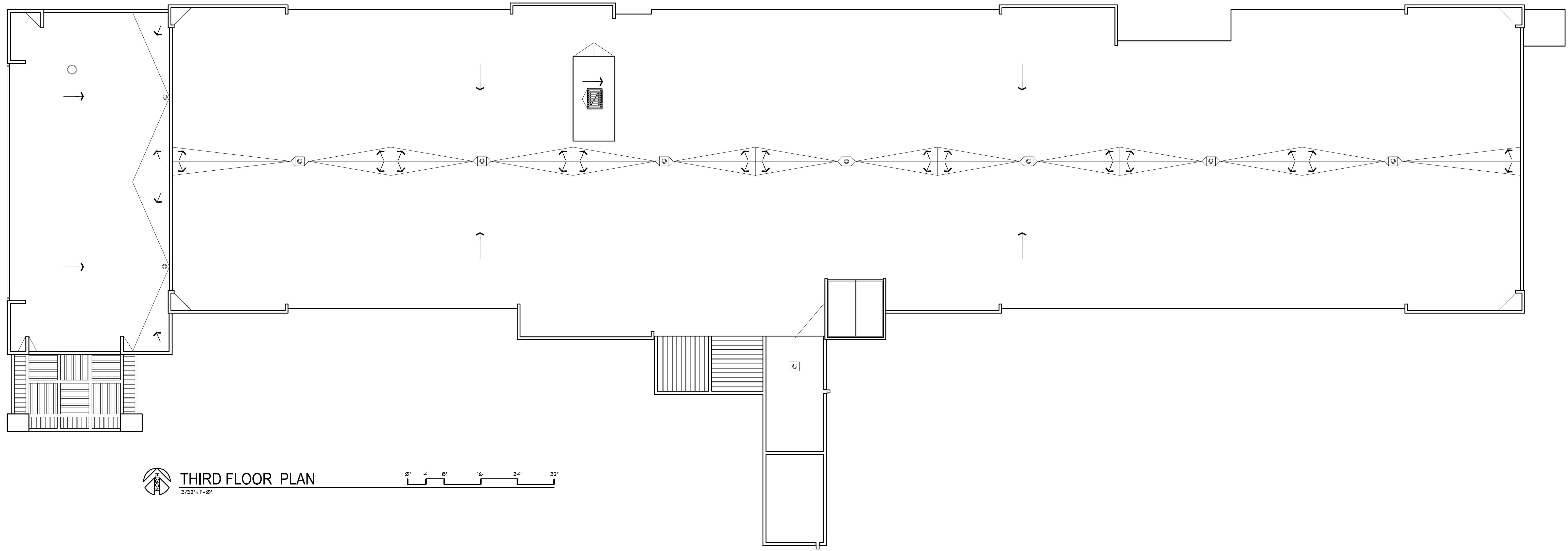
ROOF ASSEMBLY IV:
BALLASTED, 60 MIL E.P.D.M. ROOFING SYSTEM OVER 1/2" MINIMUM TAPERED INSULATION OVER HORIZONTAL CEILING/ROOF ASSEMBLY TYPE 2 ON SHEET A2.1.

ROOF KEY NOTES

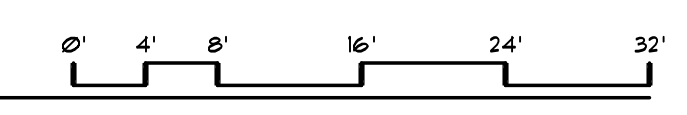
- 1. FULLY-ADHERED E.P.D.M. ROOFING SYSTEM OVER 4" POLY-ISOCYANURATE INSULATION OVER 3/4" ROOF DECK. IN SOME AREAS, PROVIDE TAPERED INSULATION AS INDICATED.
- 2. AT AREAS INDICATED THIS PROVIDE TAPERED INSULATION IN ADDITION TO MINIMUM RIGID INSULATION.
- 3. PROVIDE SADDLE AT HIGH SIDE OF ALL ROOF CURBS.
- 4. FULLY-ADHERED E.P.D.M. OVER TAPERED INSULATION. PROVIDE MINIMUM OF 1/2" COVER AT LOW POINT OF ROOF SURFACE.
- 5. 24 GA. PRE-FINISHED STEEL GRAVEL STOP & FASCIA.
- 6. THRU-WALL SCUPPER SEE DETAIL 6 & 4 1/4" A1.1.
- 7. ROOF DRAIN SEE DETAIL 1/A1.1.
- 8. ROOF HATCH AND ROOF ACCESS LADDER, SEE DETAILS 6 & 4 1/4" A1.41 AND SPECIFICATIONS.
- 9. NOT USED
- 10. 24"x24" WALKWAY PADS (APPROXIMATE ROUTING AS INDICATED). SEE DETAIL 16/A1.41.
- 11. ROOF KITES
- 12. ROOF TOP EQUIPMENT SCREENING (ROOF SCREEN MFR TO COORDINATE ROOF TOP EQUIPMENT CLEARANCES WITH THE ROOF TOP EQUIPMENT MFR).

GENERAL ROOFING NOTES

1. ARROWS ON ROOF PLAN DESIGNATE INTENDED DIRECTION OF WATER SURFACE DRAINAGE AND/OR PITCH OF SLOPED STRUCTURE.
2. REFER TO PLUMBING AND MECHANICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS AND ROOFING DETAILS NOT SHOWN, (INCLUDING PLUMBING VENTS).
3. REFER TO EXTERIOR ELEVATIONS FOR THRU-WALL RELIEF SCUPPER LOCATIONS. SEE DETAIL 6 & 4 1/4" A1.1.
4. PROVIDE CRICKETS/SADDLES AT HIGH SIDE OF ALL MECHANICAL EQUIPMENT.
5. SEE SECOND FLOOR PLAN FOR ADDITIONAL INFORMATION ON LOWER ROOF AREAS.
6. MINIMUM ROOF COVERING CLASSIFICATION: CLASS C, PER TABLE 1505.1 IBC 2009



THIRD FLOOR PLAN
3/32"=1'-0"

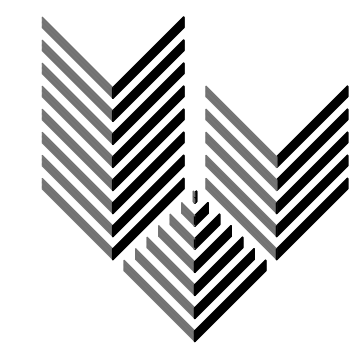


PROJECT: **HOME 2 SUITES**
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CLIENT: **HOWELL AVENUE LAND, LLC**
C/O RAYMOND MANAGEMENT COMPANY
8333 GREENWAY BOULEVARD, SUITE 200, MIDDLETON, WISCONSIN 53562

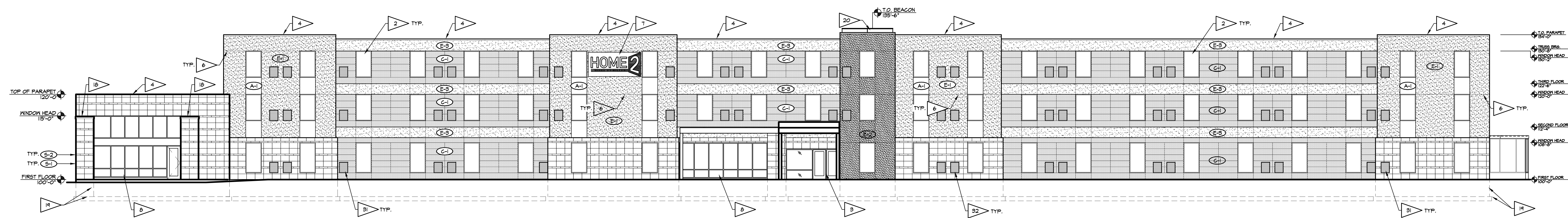
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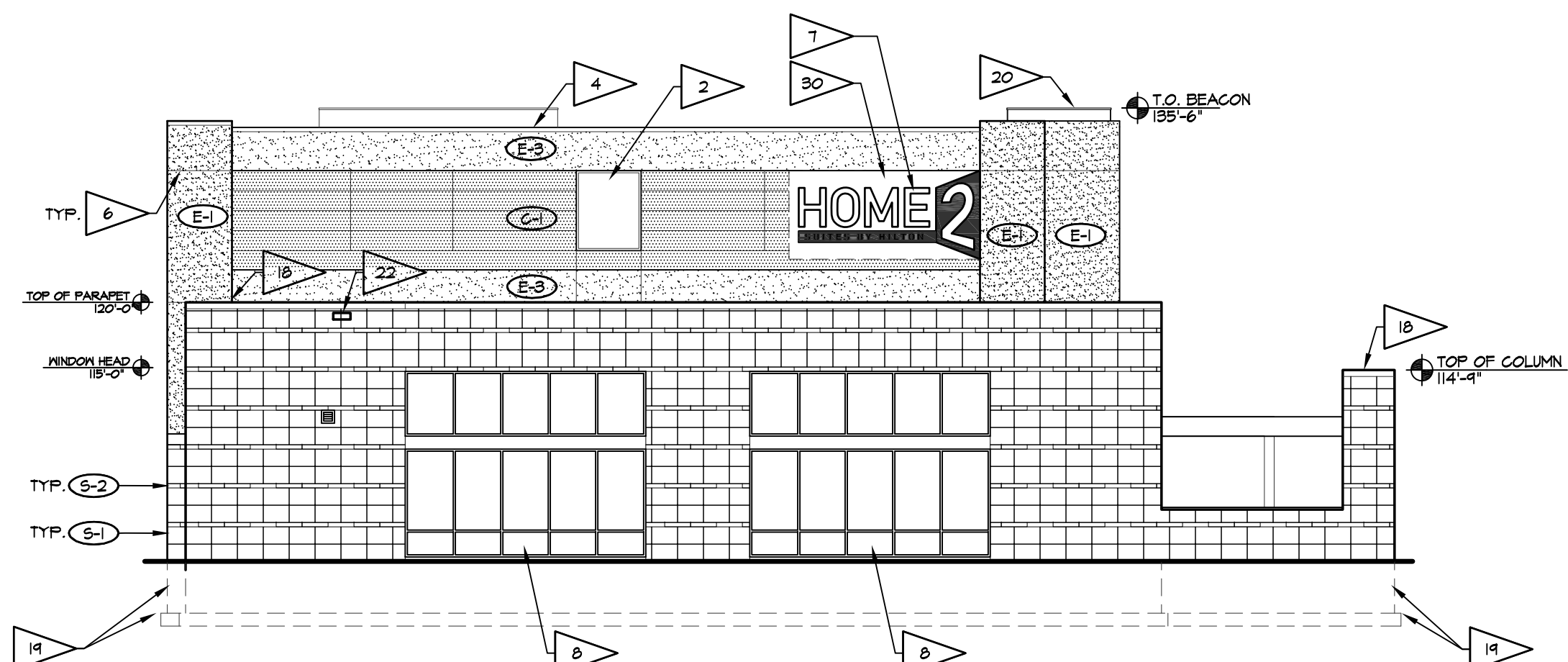
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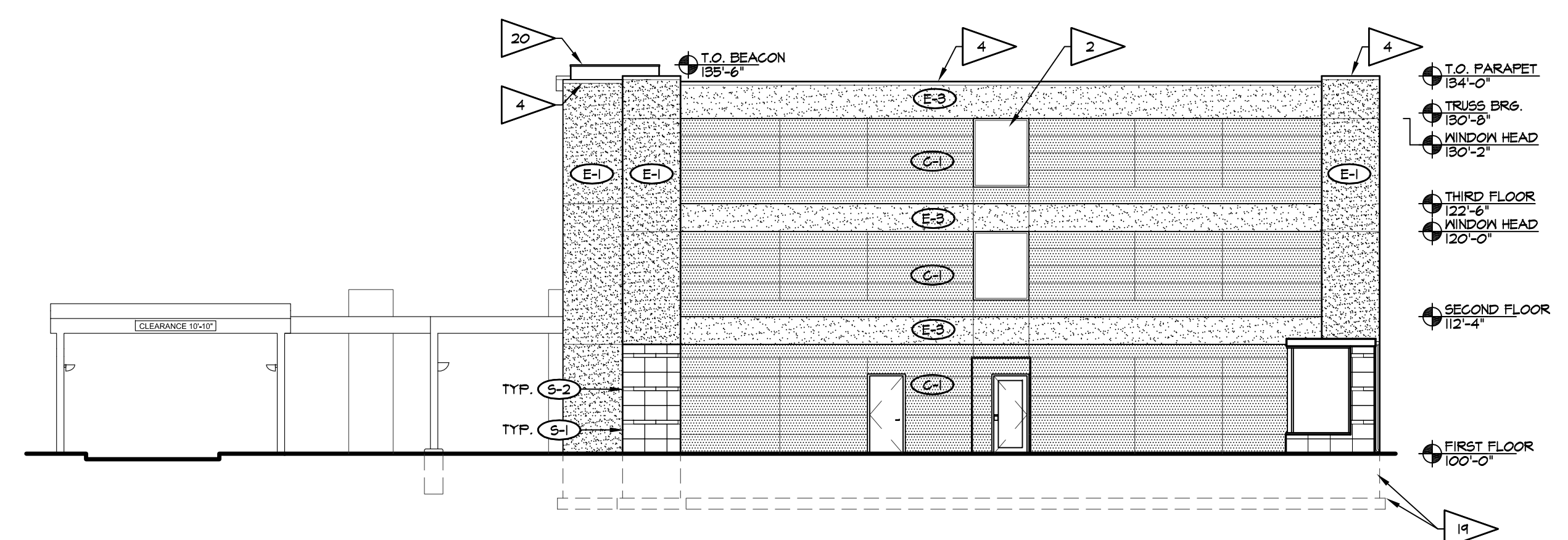
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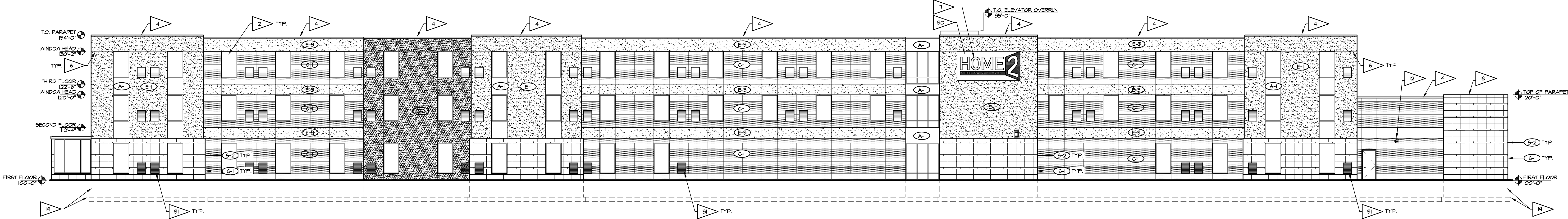
1 SOUTH ELEVATION
SCALE: 3/32"=1'-0"



2 WEST ELEVATION
SCALE: 3/32"=1'-0"



4 EAST ELEVATION
SCALE: 3/32"=1'-0"



3 NORTH ELEVATION
SCALE: 3/32"=1'-0"

XX EXTERIOR ELEVATION KEY NOTES	
1	EXTERIOR LIGHT, SEE ELECTRICAL DRAWINGS.
2	ALUMINUM FIXED WINDOW WITH THERMALLY BROKEN FRAME, INSULATED GLAZING WITH CLEAR ANODIZED FINISH, SEE SHEET A8.01 FOR MORE INFORMATION.
3	ALUMINUM ENTRY DOOR WITH THERMALLY BROKEN FRAME AND INSULATED GLAZING, SEE SHEET A8.01 FOR MORE INFORMATION.
4	24 GA. PRE-FINISHED STEEL COPING.
5	3/4" DEEP V-JOINT IN E.I.F.S. (V.J.).
6	E.I.F.S. CONTROL JOINT (C.J.).
7	INTERNALLY ILLUMINATED BUILDING SIGN, REFER TO SIGNAGE PACKAGE AS PART OF OWNER'S PROJECT CRITERIA FOR ADDITIONAL INFORMATION AND MOUNTING REQUIREMENTS. ELECTRICAL CONTRACTOR TO COORDINATE LOCATION OF AND PROVIDE POWER TO J-BOX.
8	ALUMINUM STOREFRONT SYSTEM WITH THERMALLY BROKEN FRAME AND INSULATED GLAZING, FRAME FINISH TO BE CLEAR ANODIZED, SEE SHEET A8.02 FOR ADDITIONAL INFORMATION.
9	PRE-FINISHED ALUMINUM PANEL SYSTEM.
10	CONDUCTOR HEAD AND DOWNSPOUT WITH SPLASH BLOCK AT GRADE.
11	INSULATED HOLLOW METAL DOOR AND FRAME, SEE SHEET A8.01.
12	HOTEL LAUNDRY DRYER LOUVER, PAINT TO MATCH SURFACE MATERIAL FIELD IT IS MOUNTED WITHIN.
13	EXHAUST VENT / LOUVER, PAINT TO MATCH SURFACE MATERIAL FIELD IT IS MOUNTED WITHIN.
14	MASONRY EXPANSION / MOVEMENT JOINT (M.J.). SEE DETAIL 9/A1.42.
15	CONCRETE BOLLARDS, SEE SPECIFICATIONS.
16	CONCRETE FILLED PIPE BOLLARDS, SEE DETAIL 10/A1.10.
17	NOT USED.
18	PRECAST COPING.
19	CONCRETE FOOTING AND FOUNDATION WALL, SEE STRUCTURAL DIAGS.
20	BEACON SEE DETAILS 243/A1.02 FOR MORE INFORMATION, 4 SPECIFICATION SECTION 08800.
21	PAINTED STEEL CANOPY WITH STAINED WOOD TRELLIS.
22	OVERFLOW SCUPPER SEE DETAIL 6 4 T/A1.21.
23	NOT USED.
24	NOT USED.
25	NOT USED.
26	OVERHEAD CLEARANCE SIGNAGE, SEE SPECIFICATION SECTION 10400.
27	6" ALUMINUM LETTERS, PROVIDE BLOCKING / STANDOFFS AS REQUIRED, SEE SPECIFICATION SECTION 10800.
28	BUTT GLAZED POLYCARBONATE PANEL IN CLEAR ANODIZED ALUMINUM FRAMES.
29	EXHAUST VENT / LOUVER, PAINT TO MATCH SURFACE MATERIAL FIELD IT IS MOUNTED WITHIN.
30	5/8" P.T. PLYWOOD SHEATHING IN SIGN FIELD (AREA SHOWN DASHED-V.I.F.).
31	PRE-FINISHED ALUMINUM VTAC LOUVER (TYP.), COLOR TO MATCH SURFACE MATERIAL FIELD IT IS MOUNTED WITHIN, SEE SHEET A8.02 FOR ADDITIONAL INFORMATION.

GENERAL NOTES - ELEVATIONS	
1.	ALL E.I.F.S. TO BE 1/2" THICK EXPANDED POLYSTYRENE (EPS).
2.	ALL WINDOWS TO BE TYPE 'A', UNLESS NOTED OR SHOWN OTHERWISE. REFER TO A8.01 FOR WINDOW TYPES.
3.	ALL LOUVERS, HVAC GRILLES, VTAC LOUVERS, VENT COVERS, ETC. TO BE CUSTOM COLOR AND POWDER-COATED TO MATCH ADJACENT MATERIAL COLOR, UNLESS NOTED OR SHOWN OTHERWISE. SUBMIT COLOR SAMPLE TO ARCHITECT FOR APPROVAL.
4.	ALL LINTELS ON EXTERIOR WALLS TO BE GALVANIZED, UNDERSIDE TO BE PAINTED TO MATCH EXTERIOR FINISH / COLOR IT SUPPORTS.
5.	ALL WINDOW AND DOOR GLAZING TO BE FULLY-TEMPERED.
6.	REFER TO SIGNAGE PACKAGE INCLUDED IN OWNER'S PROJECT CRITERIA FOR EXACT SIGNAGE LOCATIONS, SIZES, AND ADDITIONAL REQUIREMENTS.
7.	ALL METAL FINISHES TO BE XXXXX IN COLOR.
8.	REFER TO SPECIFICATION SECTION 0716001 FOR TYPICAL FLASHING COLOR SCHEDULE.

GRAPHIC	EXTERIOR FINISH KEY
	(A-1) ALUMINUM WALL PANEL
	(S-1) LARGE FORMAT CMU
	(E-1) E.I.F.S. NO. 1
	(E-2) E.I.F.S. NO. 2
	(E-3) E.I.F.S. NO. 3
	(C-1) CEMENT FIBER BOARD PANEL W/ ALUMINUM REVEAL

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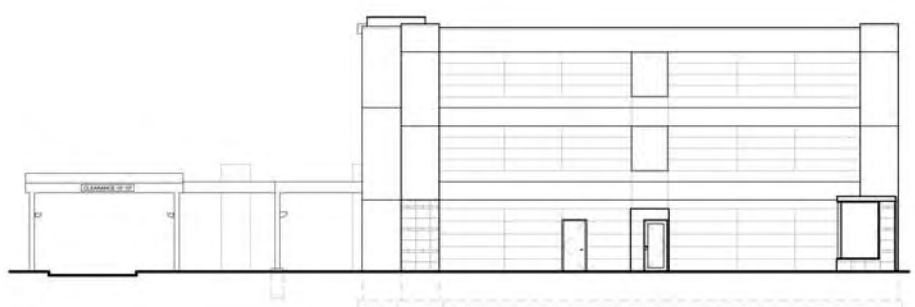
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