



The Hills Luxury Commons - Block B

MILWAUKEE, WISCONSIN | JUNE 5, 2017

ROYAL CAPITAL
Group LLC

Engberg
Anderson
ARCHITECTS

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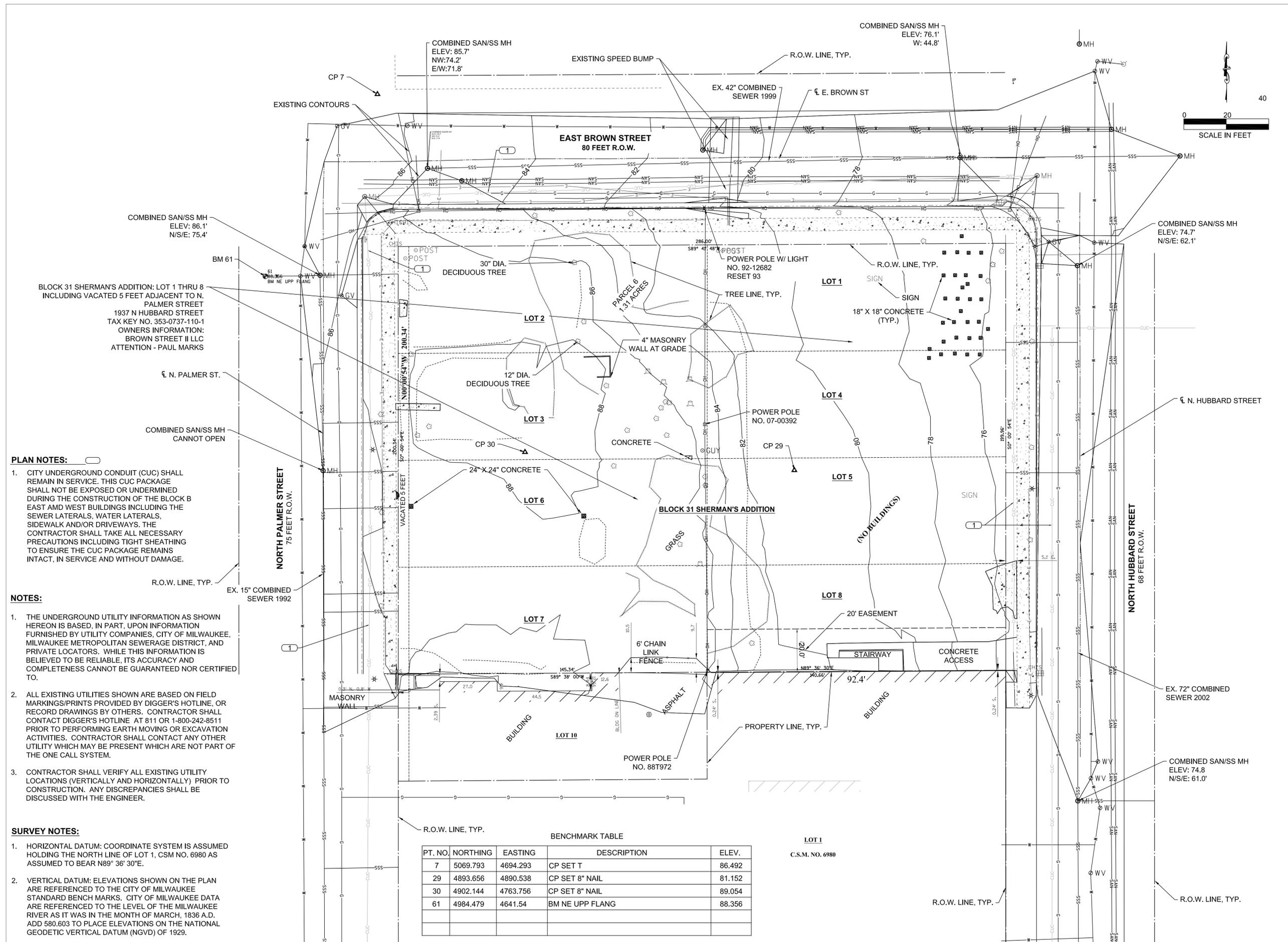
TITLE: BLOCK B EXISTING CONDITIONS
PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK B
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST.
MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION
01	04/24/17	CITY ZONING SUBMITTAL

DRAWN BY CMB	DATE 04/24/2017
CHECKED BY APS	DATE 04/24/2017

EXISTING CONDITIONS
BLOCK B
(NORTH BLOCK)

C002B



PLAN NOTES:

- CITY UNDERGROUND CONDUIT (CUC) SHALL REMAIN IN SERVICE. THIS CUC PACKAGE SHALL NOT BE EXPOSED OR UNDERMINED DURING THE CONSTRUCTION OF THE BLOCK B EAST AND WEST BUILDINGS INCLUDING THE SEWER LATERALS, WATER LATERALS, SIDEWALK AND/OR DRIVEWAYS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING TIGHT SHEATHING TO ENSURE THE CUC PACKAGE REMAINS INTACT, IN SERVICE AND WITHOUT DAMAGE.

NOTES:

- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, CITY OF MILWAUKEE, MILWAUKEE METROPOLITAN SEWERAGE DISTRICT, AND PRIVATE LOCATORS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD MARKINGS/PRINTS PROVIDED BY DIGGER'S HOTLINE, OR RECORD DRAWINGS BY OTHERS. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE AT 811 OR 1-800-242-8511 PRIOR TO PERFORMING EARTH MOVING OR EXCAVATION ACTIVITIES. CONTRACTOR SHALL CONTACT ANY OTHER UTILITY WHICH MAY BE PRESENT WHICH ARE NOT PART OF THE ONE CALL SYSTEM.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS (VERTICALLY AND HORIZONTALLY) PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE ENGINEER.

SURVEY NOTES:

- HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
- VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.

BENCHMARK TABLE

PT. NO.	NORTHING	EASTING	DESCRIPTION	ELEV.
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29	4893.656	4890.538	CP SET 8" NAIL	81.152
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61	4984.479	4641.54	BM NE UPP FLANG	88.356

EROSION CONTROL NOTES

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MILWAUKEE AND EMPLOY EROSION CONTROL METHODS AS SHOWN IN THE DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS WHICH CAN BE FOUND AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5" OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP AND REMOVAL OF ALL SEDIMENT AND ALL SEDIMENT CONTROL STRUCTURES. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH DAY. ALL RECORDS OF THE INSPECTION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL BE KEPT BY THE OWNER'S REPRESENTATIVE RESPONSIBLE FOR EROSION CONTROL INSPECTIONS.
- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES.
- ALL OFF-SITE SEDIMENT DEPOSITS FROM THIS PROJECT OCCURRING AS RESULT OF A STORM EVENT SHALL BE CLEANED UP BY END OF NEXT WORKING DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY END OF THE WORK DAY.
- CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 - INSTALL SILT FENCE.
 - INSTALL INLET PROTECTION ON EXISTING STORM INLETS.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT.
 - STRIP TOPSOIL, REMOVE AND/OR STOCKPILE.
 - INSTALL UNDERGROUND STORAGE CHAMBERS PRIOR TO MASS SITE GRADING.
 - PERFORM ROUGH GRADING.
 - INSTALL UTILITIES.
 - INSTALL INLET PROTECTION.
 - CONSTRUCT BUILDINGS.
 - INSTALL PAVEMENTS.
 - REMOVE ACCUMULATED SEDIMENT FROM SITE.
 - REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.
- ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH.
- IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15; STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER; STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
- RESTORATION OF ALL DISTURBED AREAS WITH SLOPES GREATER THAN 20% SHALL BE COMPLETED WITHIN 30 DAYS AFTER BEGINNING CONSTRUCTION ON SAID AREA.
- SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY CITY OF MILWAUKEE/OWNER/ OR ENGINEER. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD #1068 DUST CONTROL FOR CONSTRUCTION SITES.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO RECEIVING CHANNEL.
- IF DEWATERING IS NEEDED, CONTRACTOR SHALL PROVIDE FOR SEDIMENT REMOVAL ACCORDING TO WDNR TECHNICAL STANDARD #1061. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS, GRIT CHAMBERS, SAND FILTERS, UPSLOPE CHAMBERS, HYDRO-CYCLONES, SWIRL CONCENTRATORS, OR OTHER APPROPRIATE CONTROLS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
- PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. LIMIT PUMPING RATES, OR THE BASIN DESIGN RELEASE RATE WITH THE CORRECTLY FITTED HOSE AND GEOTEXTILE FILTER BAG. PERFORM DEWATERING OF ACCUMULATED SURFACE

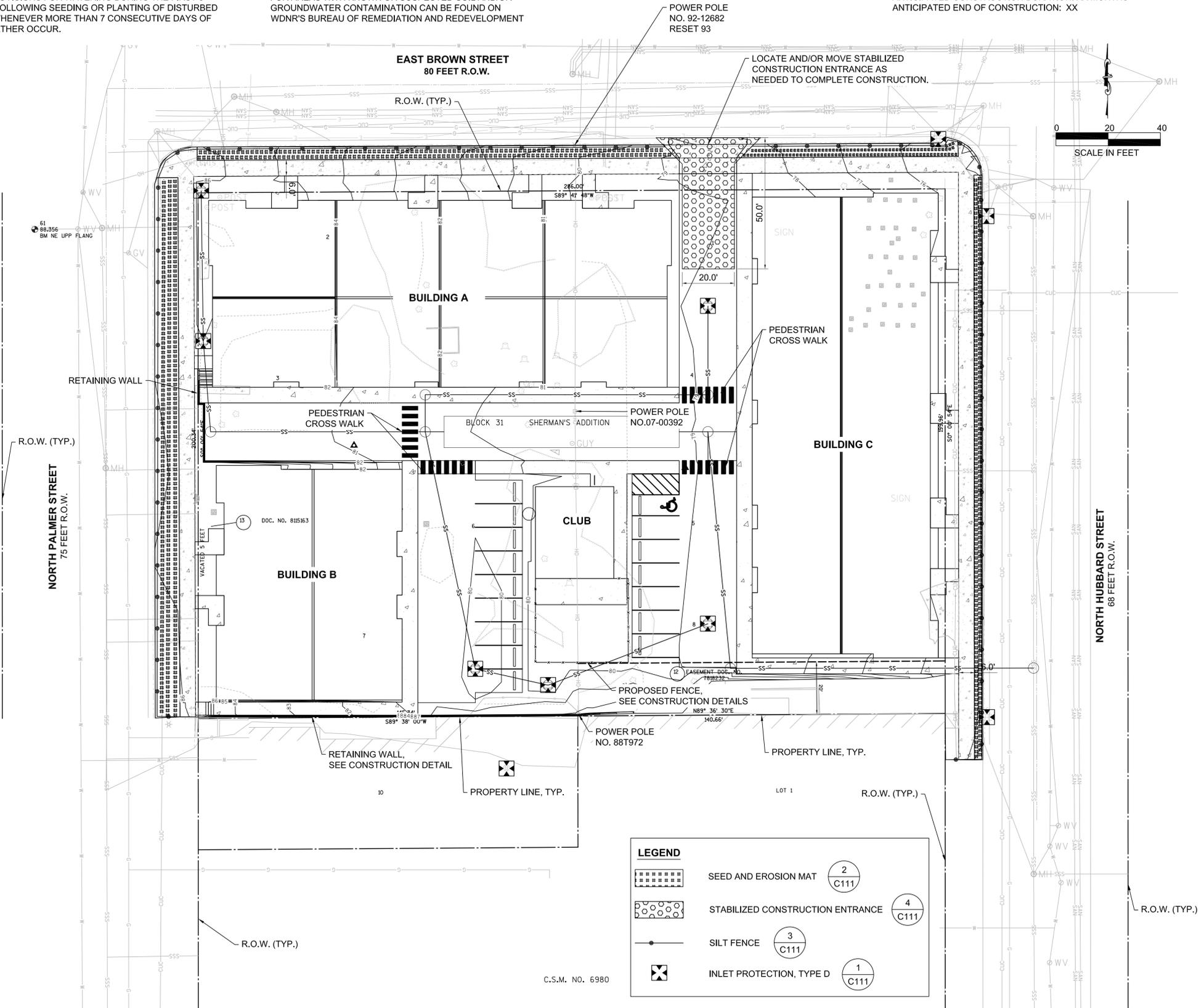
- RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD #1061 DEWATERING.
- FOR NON-CANNELLED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS 1 TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WISDOT'S PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD #1052 NON-CHANNEL EROSION MAT.
 - MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

- INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC.) AS NEEDED OR AS DIRECTED BY CITY OF MILWAUKEE.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT

- TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT <http://dnr.wi.gov/topic/brownfields/botw.html>
- GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.
 - CONTRACTOR IS RESPONSIBLE TO INSTALL ALL EROSION CONTROL DEVICES SHOWN ON THE PLANS IN ACCORDANCE WITH THE WDNR BEST MANAGEMENT PRACTICES.

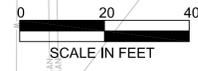
- PARKING LOTS AND DRIVES SHALL BE CLEANED DAILY AS NEEDED. STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
- CONTRACTOR SHALL SEED & MULCH ALL DISTURBED AREAS WITHIN 7 DAYS.
- SEE LANDSCAPING PLAN FOR RESTORATION.

ANTICIPATED START OF CONSTRUCTION: XX
 ANTICIPATED CONSTRUCTION DURATION: XX MONTHS
 ANTICIPATED END OF CONSTRUCTION: XX



LEGEND

- SEED AND EROSION MAT (Symbol: 2 in circle, C111)
- STABILIZED CONSTRUCTION ENTRANCE (Symbol: 4 in circle, C111)
- SILT FENCE (Symbol: 3 in circle, C111)
- INLET PROTECTION, TYPE D (Symbol: 1 in circle, C111)



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 3636 North 124th Street
 Wauwatosa, WI 53222
 262-821-1171

CONSULTANT
 CONSULTANT
 CONSULTANT

TITLE: BLOCK B EROSION CONTROL PLAN
 PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK B
 CLIENT: ROYAL CAPITAL GROUP, LLC
 PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST.
 MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION
01	04/24/17	CITY ZONING SUBMITTAL

DRAWN BY: CMB
 CHECKED BY: APS
 DATE: 04/24/2017
 DATE: 04/24/2017

**EROSION CONTROL PLAN
 BLOCK B
 (NORTH BLOCK)**

C110B

GENERAL NOTES:

- ALL DIMENSIONS AND CURB RADII ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR PROJECT WORK LIMIT; UNLESS STATED OTHERWISE.
- CONTRACTOR TO ENSURE THAT ALL EXTERIOR CONCRETE SLABS ARE BROOM FINISHED.
- REFER TO LANDSCAPE PLANS FOR RESTORATION IN LANDSCAPED AREAS.

BUILDING USE & HEIGHT:

BUILDING A USE = MULTIFAMILY RESIDENTIAL
 BUILDING A HEIGHT = 2 STORIES, 27'-3" ABOVE GRADE AT HIGHEST POINT

BUILDING B USE = MULTIFAMILY RESIDENTIAL
 BUILDING B HEIGHT = 2 STORIES, 28'-8" ABOVE GRADE AT HIGHEST POINT

BUILDING C USE = MULTIFAMILY RESIDENTIAL
 BUILDING C HEIGHT = 2 STORIES, 26'-1" ABOVE GRADE AT HIGHEST POINT

CLUB HOUSE BUILDING USE: RESIDENTIAL AMENITY
 CLUB HOUSE BUILDING HEIGHT: 1 STORY, 14'-10" ABOVE GRADE AT HIGHEST POINT

BUILDING AREA:

BUILDING A - FIRST FLOOR AREA: 12,208 S.F.
 BUILDING B - FIRST FLOOR AREA: 6,166 S.F.
 BUILDING C - FIRST FLOOR AREA: 12,208 S.F.
 CLUB HOUSE - FIRST FLOOR AREA: 1,050 S.F.

TOTAL FIRST FLOOR AREA: 31,632 S.F.

SITE DATA:

TOTAL AREA OF LOTS = 57,243 S.F. = 1.31 ACRES
 TOTAL DISTURBED AREA (PROJECT LIMITS) = 67,799 S.F. = 1.56 ACRES
 IMPERVIOUS AREA BEFORE CONSTRUCTION = 5,184 S.F. = 0.12 ACRES
 IMPERVIOUS AFTER CONSTRUCTION = 55,145 S.F. = 1.27 ACRES
 IMPERVIOUS INCREASE = 49,961 S.F. = 1.15 ACRES

GREEN SPACE:

LOT:
 AREA = 57,243 S.F.
 GREEN SPACE = 6,847 S.F.
 14% GREEN SPACE

PARKING DATA:

TOTAL SURFACE PARKING SPACES = 15
 HANDICAP ACCESSIBLE PARKING SPACES = 1

PARCEL ADDRESS:

1937 N. HUBBARD
 MILWAUKEE, WI 53202

ZONING:

CURRENTLY: PLANNED DEVELOPMENT (PD)
 PROPOSED: PLANNED DEVELOPMENT (PD)

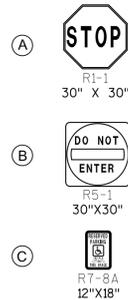
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- 5" CONCRETE SIDEWALK, SEE DETAIL 1, SHEET C501B.
- 7" THICK CONCRETE SLABS AT DRIVEWAY APPROACHES, SEE DETAIL 4, SHEET C501B.
- PAVEMENT MARKING 4-INCH WHITE, TYP.
- R1-1 STOP SIGN SIZE 6, TUBULAR STEEL POST, SEE DETAIL 1, SHEET C504B.
- R7-8A RESERVED PARKING SIGN, TUBULAR STEEL POST, SEE DETAIL 1, SHEET C505B.
- HMA PAVEMENT CONSISTS OF 4" OF ASPHALTIC PAVEMENT TYPE E-1 ON 4" OF DENSE GRADED 1 1/4-INCH ON 8" DENSE GRADED 3-INCH, SEE DETAIL 2, SHEET C501B.
- CONCRETE WHEEL STOP, SEE DETAIL 3, SHEET C501B.
- CONCRETE STEPS, SEE DETAIL 5, SHEET C501B.

LEGEND

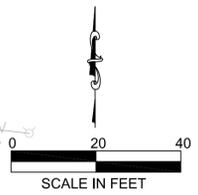
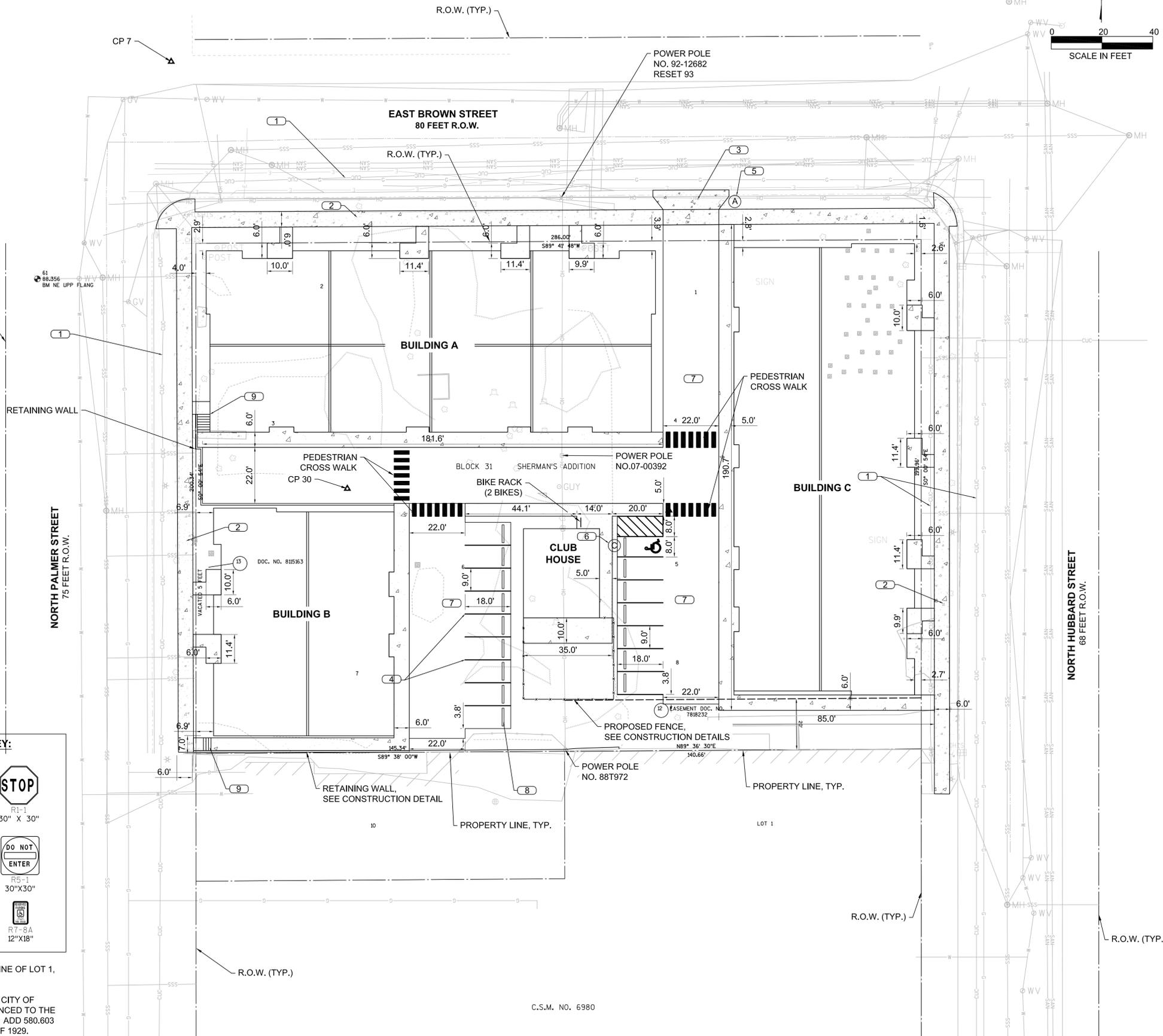
CONCRETE

SIGN KEY:



SURVEY NOTES:

- HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
- VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.



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CONSULTANT
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TITLE: BLOCK B SITE PLAN
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 CLIENT: ROYAL CAPITAL GROUP, LLC
 PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST.
 MILWAUKEE, WI

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SITE PLAN
 BLOCK B
 (NORTH BLOCK)

C200B

GENERAL NOTES:

- SEE DEMOLITION PLANS FOR EXISTING LOT DEMOLITION.
- GRADE ALL SURFACES FOR POSITIVE DRAINAGE.
- ALL GRADES SHOWN ARE FINISHED SURFACE OR FLOW LINE GRADES, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM SITE BEFORE GRADING.
- ALL UTILITIES WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO PROPOSED GRADING BY THE CONTRACTOR, UNLESS A GRADE MATCH IS INDICATED AT A SPECIFIC UTILITY.
- FINAL ADJUSTMENTS SHALL BE MADE AT THE TIME OF PAVING TO MATCH THE PAVEMENT SURFACE.
- UTILITY OWNERS SHALL BE CONTACTED PRIOR TO ADJUSTMENTS.
- UTILITY OWNERS SHALL HAVE THE OPTION OF PERFORMING THE WORK THEMSELVES OR HAVING THE CONTRACTOR PERFORM THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES, PERMITS, AND DEPOSITS FOR THE ADJUSTMENT WORK.
- ALL ADJUSTMENT WORK SHALL BE TO THE SPECIFICATIONS OF THE UTILITY OWNER AND IN ACCORDANCE WITH ANY REQUIRED PERMITS.
- PAVEMENT RESTORATIONS SHALL MEET ADJACENT EXISTING PAVEMENTS AS A FLUSH MATCH.
- A GRADING AND DRAINAGE RECORD DRAWING PREPARED TO CITY OF MILWAUKEE STANDARDS IS REQUIRED PRIOR TO OCCUPANCY PERMIT.

PLAN NOTES:

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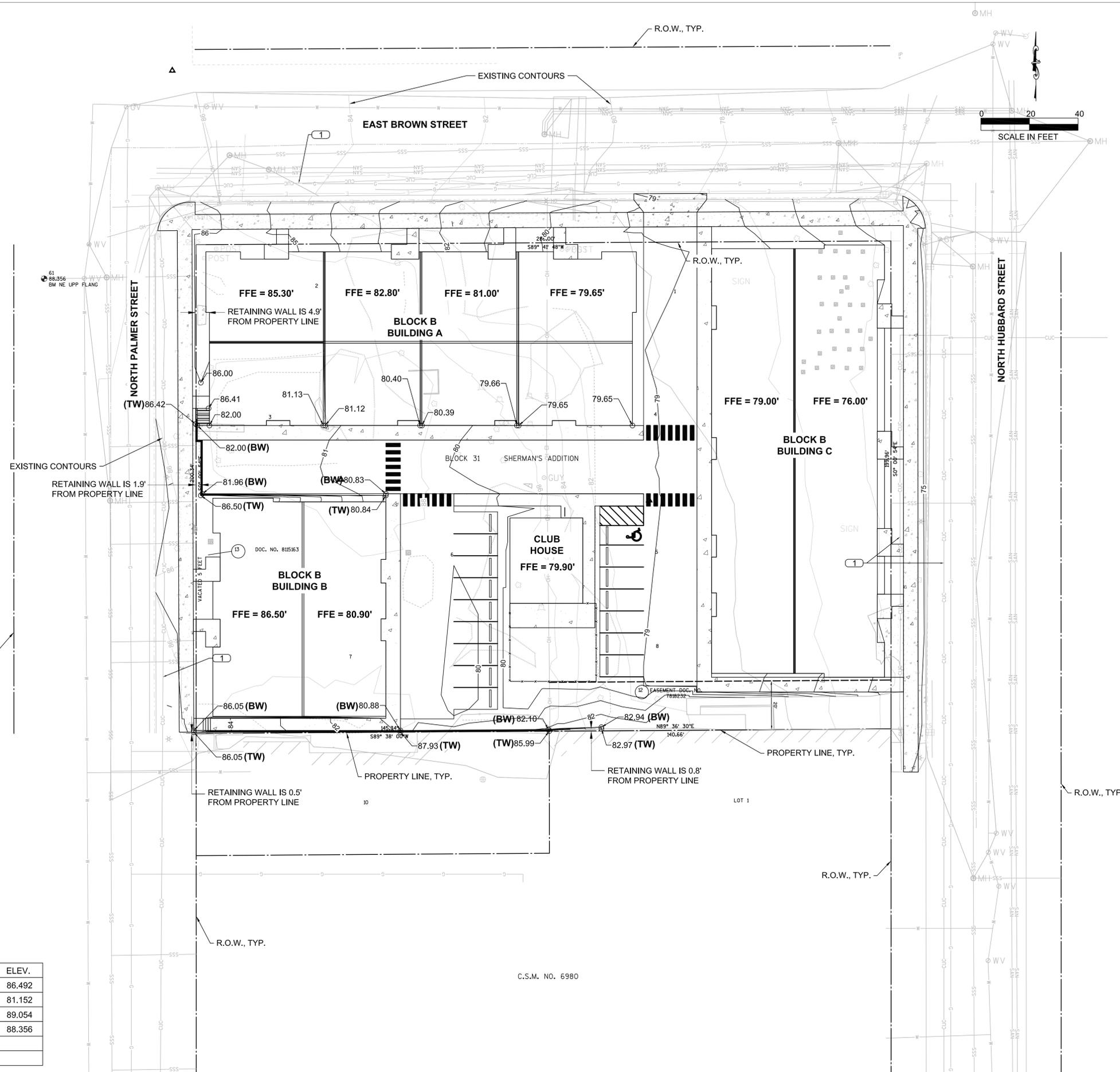
LEGEND	
	NEW SPOT GRADE
	NEW GRADING CONTOUR
	100-YEAR FLOW PATH
	TOP OF RETAINING WALL
	BOTTOM OF RETAINING WALL

SURVEY NOTES:

- HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
- VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.

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REVISIONS	DATE	DESCRIPTION
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TITLE: BLOCK B GRADING PLAN
PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK B
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REVISIONS	DATE	DESCRIPTION
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**GRADING PLAN
BLOCK B
(NORTH BLOCK)**

C300B

GENERAL NOTES:

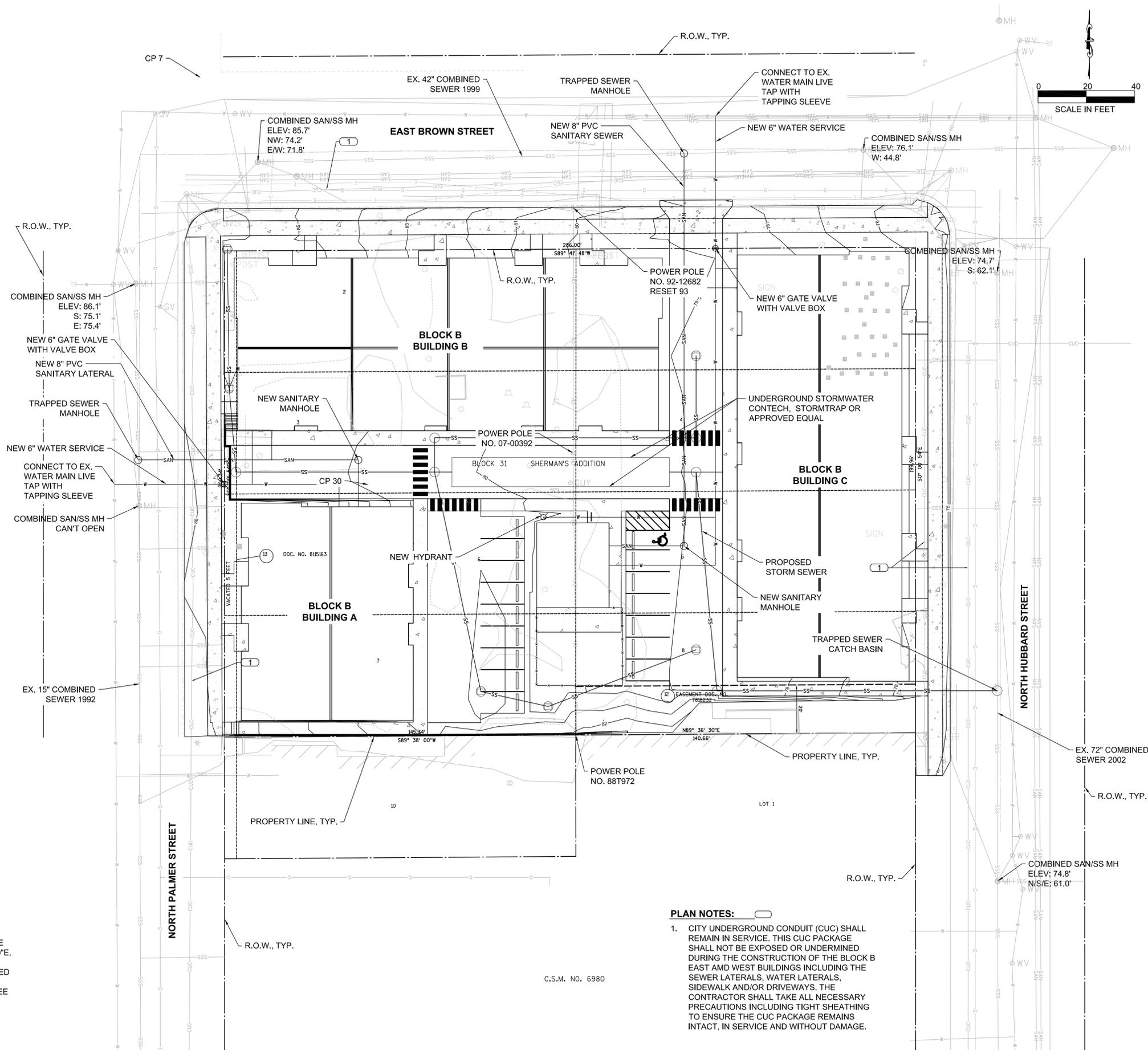
- PIPE LENGTHS ARE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- SEWER INSTALLATION SHALL PROCEED FROM DOWNSTREAM TO UPSTREAM.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND NEW UTILITY CASTINGS, MANHOLES, CLEANOUTS, AND ACCESS BOXES TO PROPOSED GRADING.
- CONNECT SANITARY SERVICE IN ACCORDANCE WITH THE REQUIREMENTS OF CITY OF MILWAUKEE.
- ALL EXISTING LATERALS NOT SHOWN AS REUSED SHALL BE ABANDONED AT THE MAIN PER CITY OF MILWAUKEE STANDARDS.
- MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
- SEE SHEET C500 FOR STORM SEWER PLAN. SEE CONSTRUCTION DETAIL SHEETS FOR SITE AND UTILITY DETAILS.
- SANITARY LATERALS SHALL BE PVC, ASTM D-3034, SDR 35 IN CONFORMANCE WITH SECTION 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION.
- WATER SERVICE SHALL BE PVC, AWWA C-900, CLASS 235 (DR-18).
- CONTRACTOR SHALL VERIFY EXISTING PIPE INVERT, PIPE MATERIAL, PIPE SIZE AND LOCATION PRIOR TO CONSTRUCTION OF THE UTILITIES. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE OWNER.
- SANITARY SEWER AND WATER MAIN SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND THE CITY OF MILWAUKEE.
- SEE DEMOLITION PLANS FOR PIPE ABANDONMENT AND REMOVAL.
- A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATER MAIN.
- A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER.
- PER DPCS 382.40 (8) (b) PRIVATE WATER MAINS AND WATER SERVICES SHALL BE INSTALLED AT LEAST 5 FEET HORIZONTALLY FROM ANY SANITARY SEWER.
- NO PRIVATE WATER MAIN OR WATER SERVICE MAY BE INSTALLED WITHIN 6 INCHES OF A STORM SEWER.
- CLEANOUTS SHALL BE LOCATED NOT MORE THAN 100 FEET APART. THE CLEANOUT NEAR THE BUILDING SHALL BE WITHIN 5 FEET OF WHERE THE BUILDING DRAIN AND BUILDING SEWER CONNECTS. THE CLEANOUT MAY BE LOCATED EITHER INSIDE OR OUTSIDE OF BUILDING.
- GENERALLY, FOR WATER SERVICE 4-INCHES OR LARGER, DEFLECTION WILL NOT BE ALLOWED AND CONTRACTOR SHALL USE 11.25, 22.5, 45 AND 90 DEGREE BENDS WHEN NEEDED. CONTRACTOR SHALL NOT EXCEED 5 DEGREES PER PIPE OR AS RECOMMENDED BY MANUFACTURER.
- PROVIDE TRACER WIRE FOR NON-METALLIC WATER SERVICE. SEE SPECIFICATIONS. TRACER WIRE FOR POTABLE WATER PIPE SHALL BE BLUE.

LEGEND

- SAN — NEW SANITARY SEWER
- SS — NEW STORM SEWER
- W — NEW WATER SERVICE
- G — NEW GAS SERVICE

SURVEY NOTES:

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REVISIONS	DATE	DESCRIPTION
01	04/24/17	CITY ZONING SUBMITTAL

DRAWN BY CMB	DATE 04/24/2017
CHECKED BY APS	DATE 04/24/2017

UTILITY PLAN
BLOCK B
(NORTH BLOCK)

C400B

GENERAL NOTES:

- PIPE LENGTHS ARE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- SEWER INSTALLATION SHALL PROCEED FROM DOWNSTREAM TO UPSTREAM.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND NEW UTILITY CASTINGS, MANHOLES, CLEANOUTS, AND ACCESS BOXES TO PROPOSED GRADING.
- ALL EXISTING LATERALS NOT SHOWN AS REUSED SHALL BE ABANDONED AT THE MAIN PER CITY OF MILWAUKEE STANDARDS.
- MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
- SEE SHEET C400 FOR SANITARY AND WATER PLAN. SEE DETAIL SHEETS FOR SITE AND UTILITY DETAILS.
- CONTRACTOR SHALL VERIFY EXISTING PIPE INVERT, PIPE MATERIAL, PIPE SIZE AND LOCATION PRIOR TO CONSTRUCTION OF THE UTILITIES. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE OWNER.
- SEE DEMOLITION PLANS FOR PIPE ABANDONMENT AND REMOVAL.
- NO PRIVATE WATER MAIN OR WATER SERVICE MAY BE INSTALLED WITHIN 6 INCHES OF A STORM SEWER.
- ALL STORM SEWER PIPE MATERIAL SHALL MEET WISDOT CLASS III-A UNLESS SPECIFIED HEREIN. REFER TO WISDOT STANDARD SPECIFICATIONS, 2016 EDITION, SECTION 608.2. CONTRACTOR SHALL FURNISH CORRUGATED POLYETHYLENE (CPE) PIPE, CORRUGATED POLYPROPYLENE (CPP) PIPE OR REINFORCED CONCRETE PIPE (RCP) UNDER LANDSCAPED AREAS. FURNISH CLASS III-A UNDER PAVEMENT WITH A MINIMUM COVER OF 1.5 FEET FROM TOP OF PIPE TO TOP OF SUBGRADE. FURNISH RCP WISDOT CLASS IV WITH LESS THAN 1.5 FEET UNLESS CONTRACTOR PROVIDES WRITTEN APPROVAL FROM PIPE MANUFACTURER, CITY OF MILWAUKEE, AND OWNER.
- CONTRACTOR SHALL PROVIDE OWNER SHOP DRAWINGS ON STORM SEWER STRUCTURES, STORM SEWER PIPE AND FURNISH COST BREAKDOWN COMPARISON ON THE STORM SEWER PIPE MATERIAL PRIOR TO ORDERING MATERIAL.

PLAN NOTES:

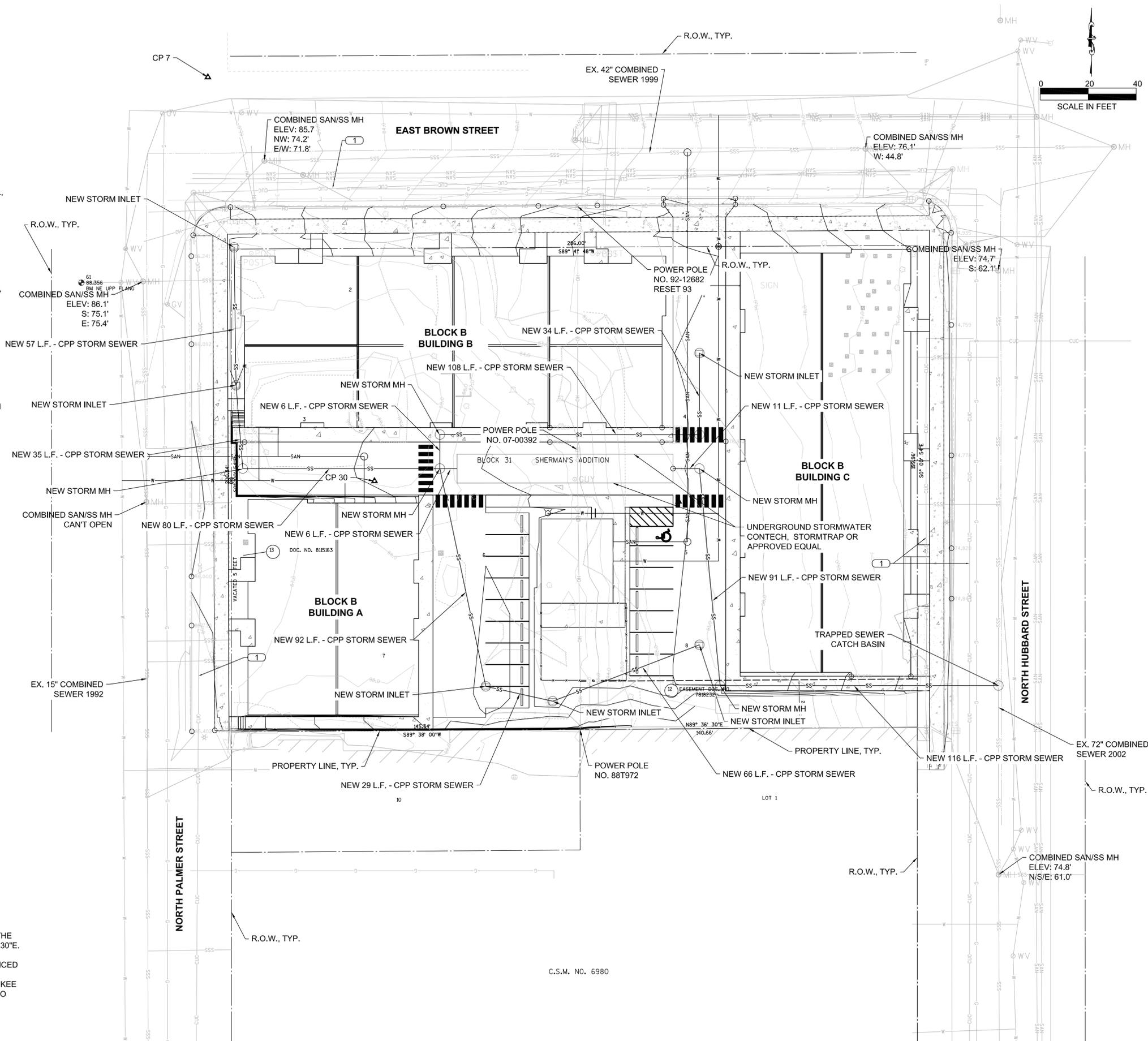
- CITY UNDERGROUND CONDUIT (CUC) SHALL REMAIN IN SERVICE. THIS CUC PACKAGE SHALL NOT BE EXPOSED OR UNDERMINED DURING THE CONSTRUCTION OF THE BLOCK B EAST AND WEST BUILDINGS INCLUDING THE SEWER LATERALS, WATER LATERALS, SIDEWALK AND/OR DRIVEWAYS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING TIGHT SHEATHING TO ENSURE THE CUC PACKAGE REMAINS INTACT, IN SERVICE AND WITHOUT DAMAGE.

LEGEND

- SAN— NEW SANITARY SEWER
- SS— NEW STORM SEWER
- W— NEW WATER SERVICE
- G— NEW GAS SERVICE

SURVEY NOTES:

- HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
- VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.



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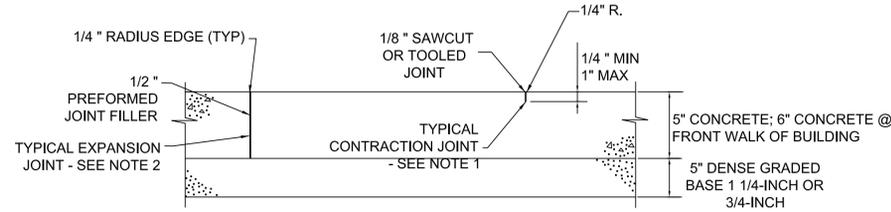
TITLE: BLOCK B STORM SEWER PLAN
PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK B
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST.
MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION
01	04/24/17	CITY ZONING SUBMITTAL

DRAWN BY CMB	DATE 04/24/2017
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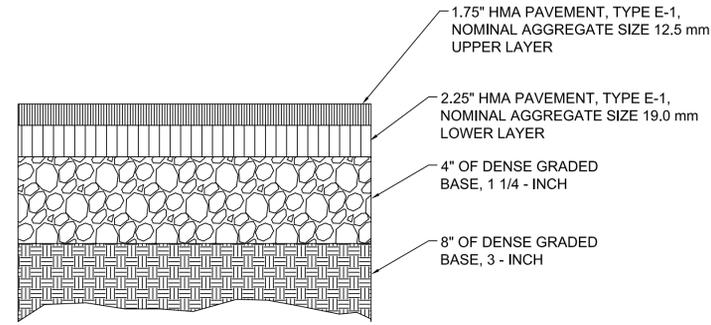
**STORM SEWER PLAN
BLOCK B
(NORTH BLOCK)**

C500B

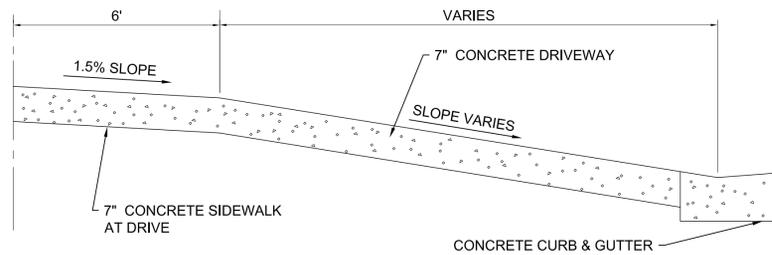


- NOTE:**
- CONTRACTION JOINTS TO BE SPACED 5'-0" O.C. MAXIMUM EACH DIRECTION.
 - EXPANSION JOINTS TO BE SPACED AT 50' MAXIMUM EACH DIRECTION AND WHERE SIDEWALK MEETS BUILDINGS, CURBS, AND EXISTING SIDEWALKS WHICH REMAIN IN PLACE.
 - LONGITUDINAL SLOPES TO MATCH PROPOSED GRADE, CROSS SLOPE OF NEW SIDEWALK SHALL BE 1.5%, MAX 2.0%.

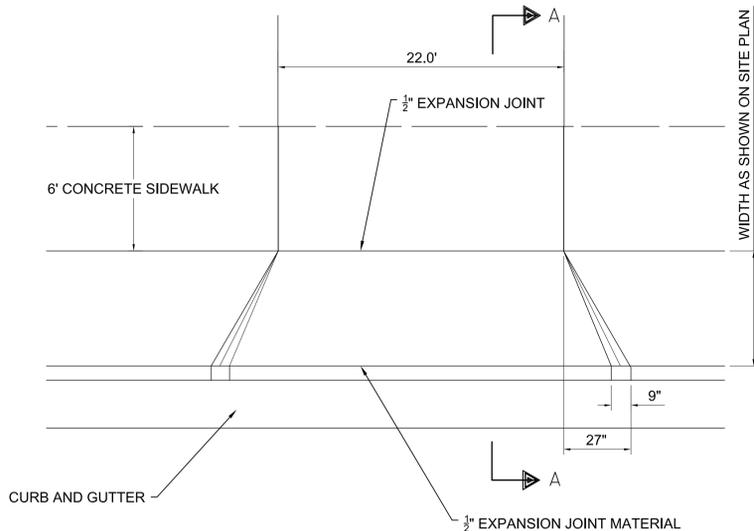
1 UNREINFORCED CONCRETE SIDEWALK
C501B NTS



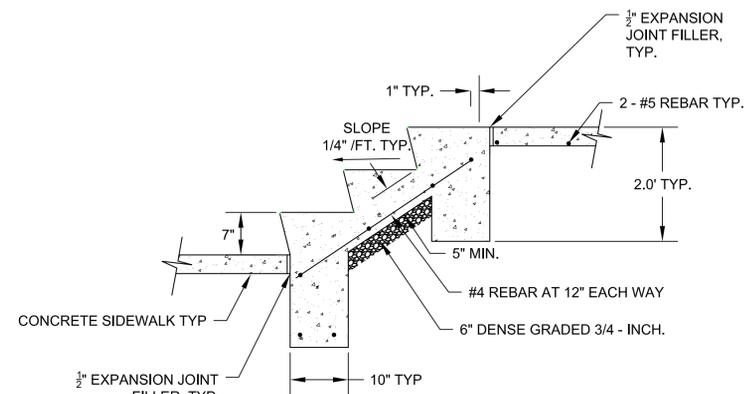
2 HOT MIX ASPHALT PAVEMENT
C501B NTS



SECTION A-A

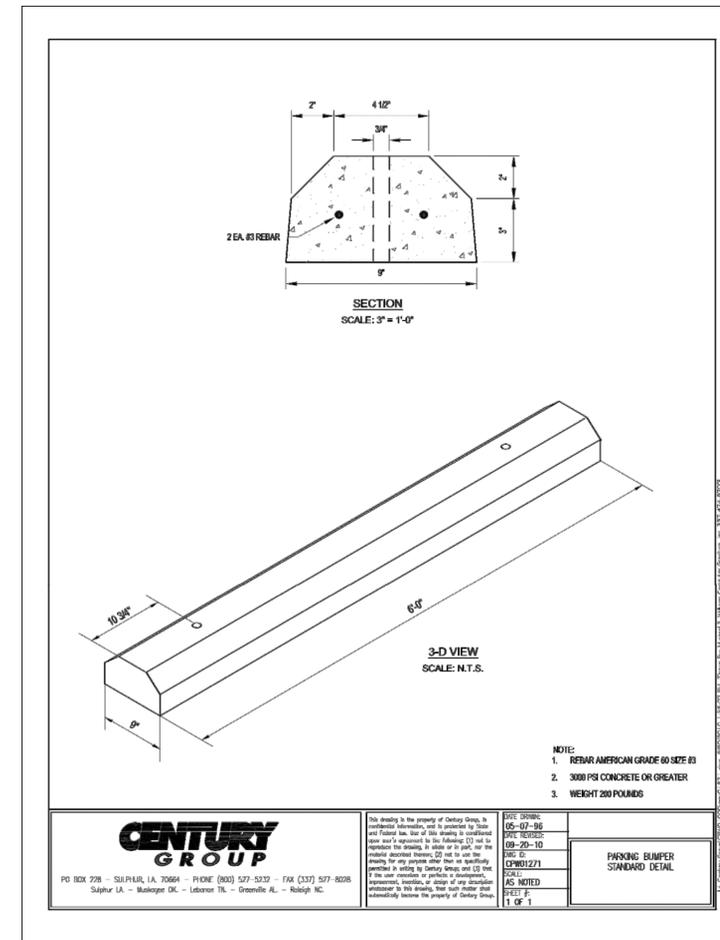


4 DRIVEWAY APPROACH DETAIL
C501B NTS

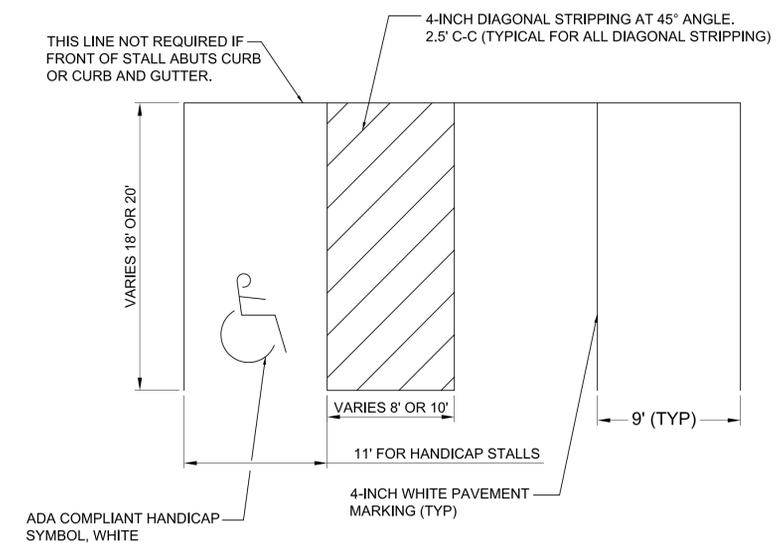


- NOTES:**
- STAIR WIDTH TO MATCH SIDEWALK WIDTH.

5 CONCRETE STEP DETAIL
C501B NTS



3 CONCRETE WHEEL STOP DETAIL
C501B NTS



6 PAVEMENT MARKING
C501B NTS

TITLE: BLOCK B CONSTRUCTION DETAILS
PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK B
CLIENT: ROYAL CAPITAL GROUP, LLC

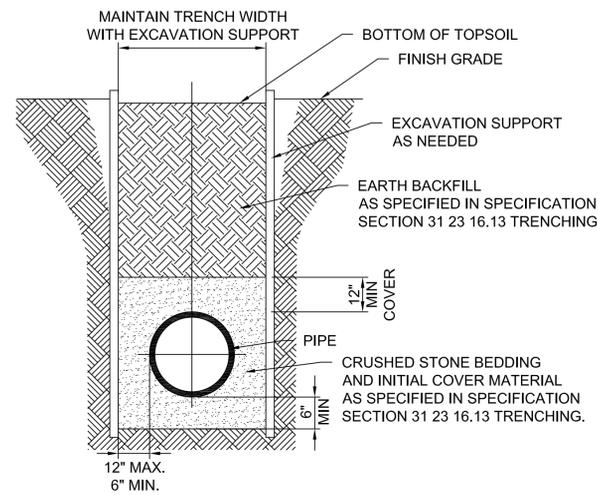
PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST.
MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION
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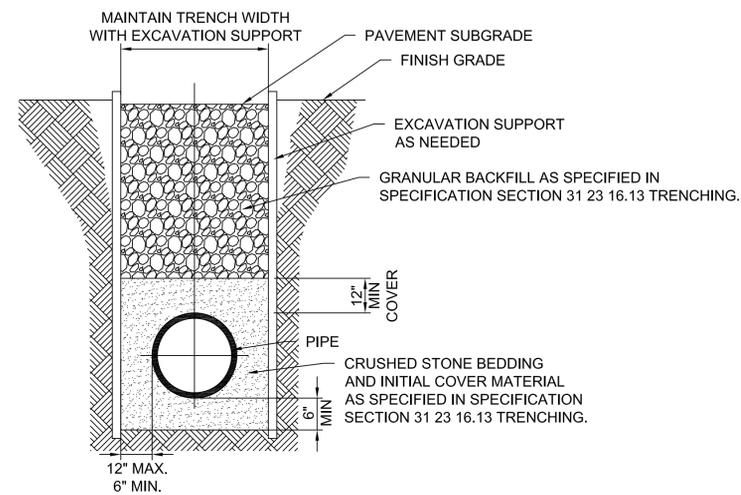
DRAWN BY CMB	DATE 04/24/2017
CHECKED BY APS	DATE 04/24/2017

**CONSTRUCTION DETAILS
BLOCK B
(NORTH BLOCK)**

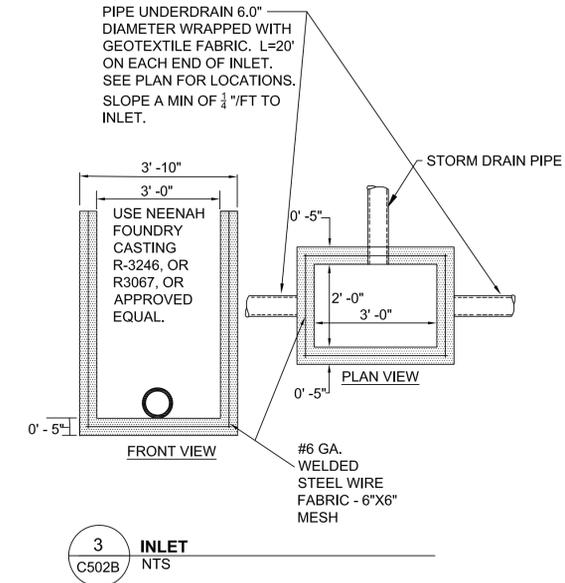
C501B



1 TYPICAL PIPE/UTILITY TRENCH
BELOW LANDSCAPING
C502B NTS

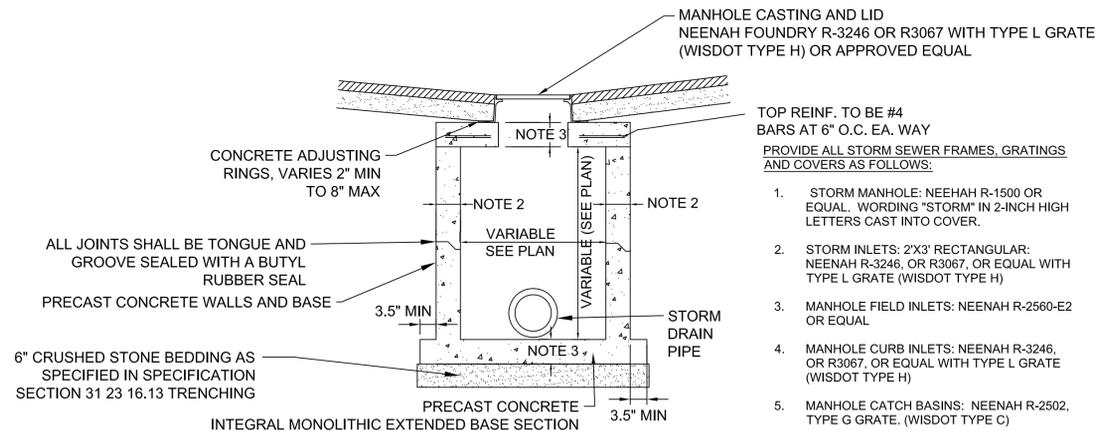


2 TYPICAL PIPE/UTILITY TRENCH
UNDER PAVEMENT
C502B NTS



3 INLET
C502B NTS

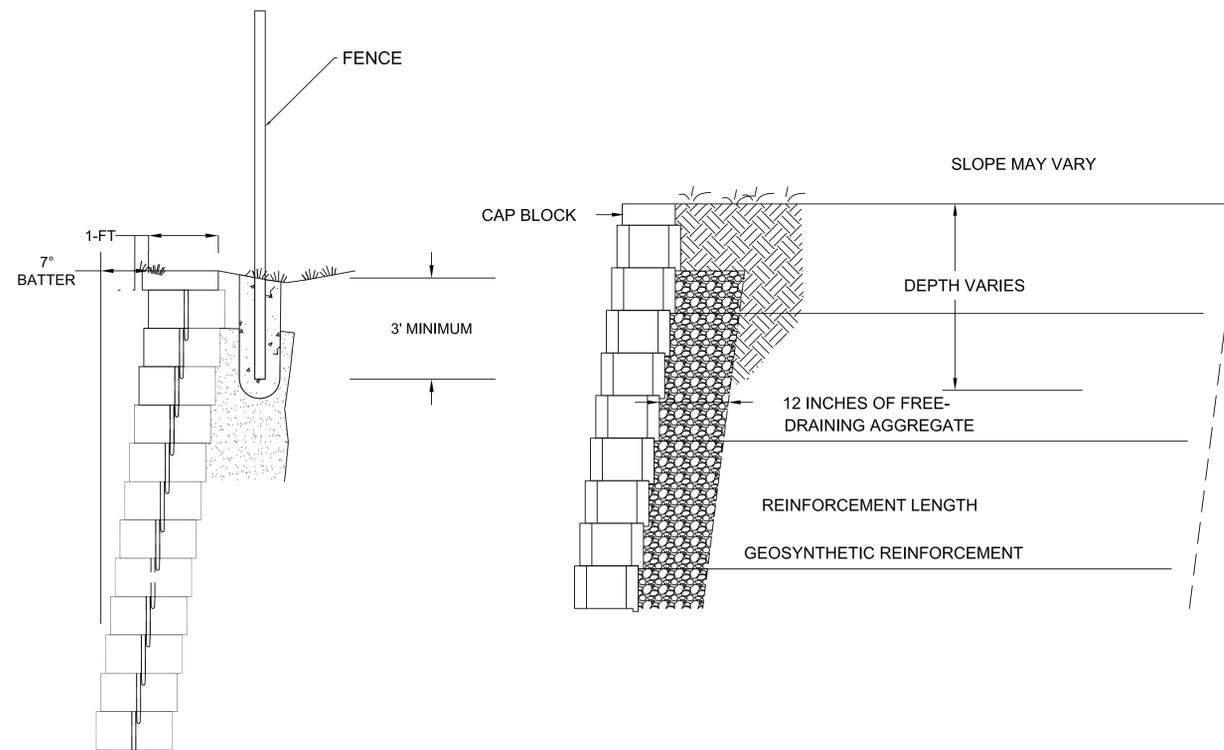
TOP OF MANHOLE TO BE
FLUSH WITH ADJACENT
SURFACE



NOTES:

1. ALL MANHOLES SHALL INCLUDE STEPS ON 16" CENTERS WHEN DEPTH (GRATE TO BOTTOM) IS 4.0' OR GREATER.
2. MINIMUM WALL THICKNESS SHALL BE 4 INCHES FOR 3-FT, 5 INCHES FOR 4-FT, 6 INCHES FOR 5-FT, 7 INCHES FOR 6-FT, 8 INCHES FOR 7-FT, AND 9 INCHES FOR 8-FT DIAMETER PRECAST MANHOLES.
3. PRECAST FLAT SLAB TOPS AND BASES WITH A DIAMETER OF 48" AND LESS SHALL HAVE A MINIMUM THICKNESS OF 6". PRECAST FLAT SLAB AND BASES WITH A DIAMETER LARGER THAN A MINIMUM THICKNESS OF 8"

4 STORM MANHOLE/CATCH BASIN TYPICAL DETAIL
C502B NTS



5 RETAINING WALL DETAIL
C502B NTS

TITLE: BLOCK B CONSTRUCTION DETAILS

PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK B

CLIENT: ROYAL CAPITAL GROUP, LLC

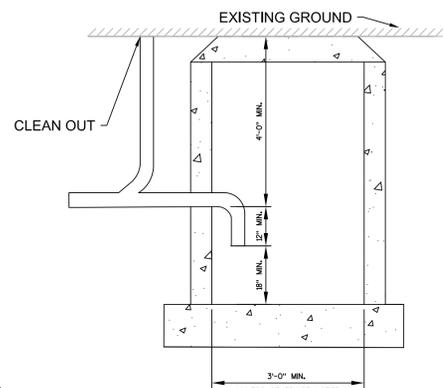
PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST.
MILWAUKEE, WI

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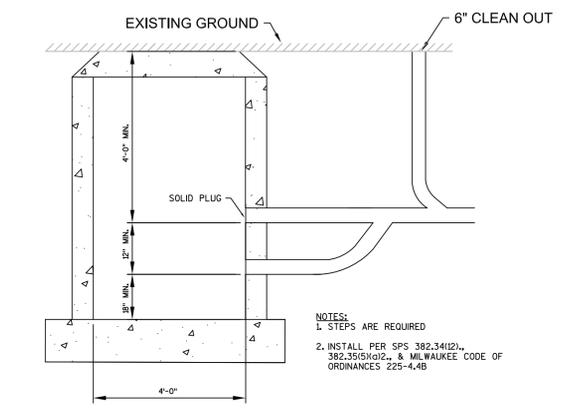
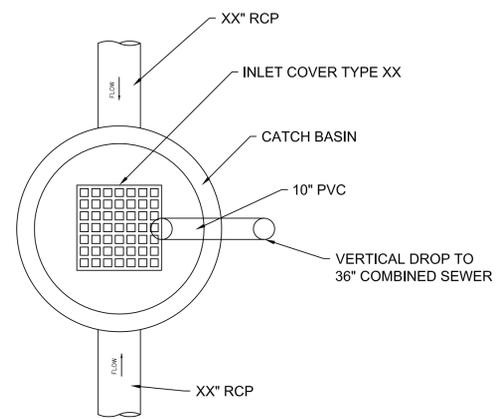
**CONSTRUCTION DETAILS
BLOCK B
(NORTH BLOCK)**

C502B



NOTES:
1. INSTALL PER SPS 382.34(12), 382.35(5)(a)2., & MILWAUKEE CODE OF ORDINANCES 225-4.4B

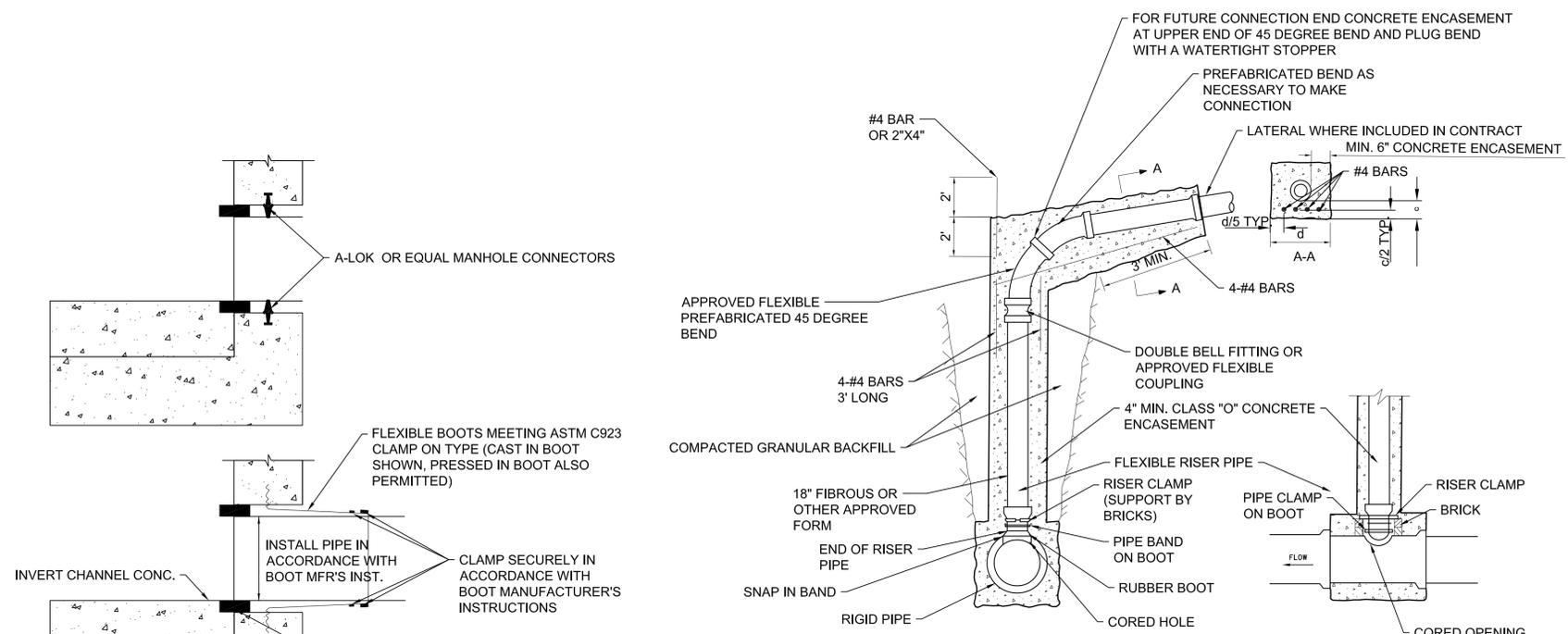
TRAPPED CATCH BASIN WITH EXTERIOR DROP CONNECTION (PLAN VIEW)



INSTALL PER SPS 382.34(12), 382.35(5)(a)2., & MILWAUKEE CODE OF ORDINANCES 225-4.4B

COMBINED CATCH BASIN OR EXTERIOR SAND INTERCEPTOR FOR 12" OR LARGER PIPING.

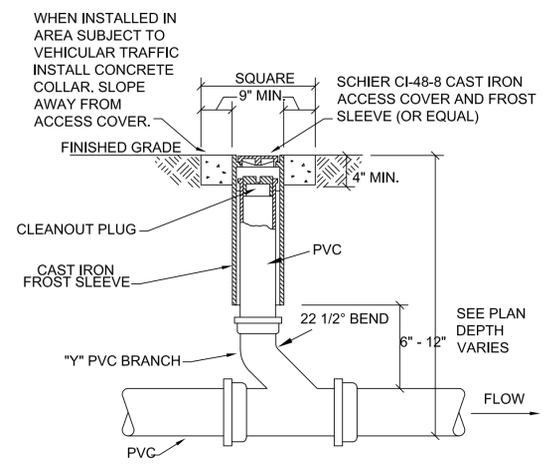
1 COMBINED CATCH BASIN OR EXTERIOR SAND INTERCEPTOR
C503B NTS



2 MANHOLE PIPE CONNECTION DETAIL
C503B NTS

NOTES:
1. RISER CLAMP SUPPORTED ON BRICKS TO PREVENT THE PUSH THRU OF RISER PIPE WHEN CONCRETE IS PLACED.
2. PLEASE SEE RISER DETAIL "TYPE C" FLEXIBLE RISER TO RIGID MAIN (ALTERNATIVE B) FOR MORE DETAILS.
3. CONCRETE ENCASUREMENT OF SEWERS 24" OR LARGER NOT REQUIRED.

3 DROP CONNECTION
C503B NTS



4 SANITARY CLEANOUT
C503B NTS

CONSULTANT
CONSULTANT
CONSULTANT

TITLE: BLOCK B CONSTRUCTION DETAILS
PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK B
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION
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DATE: 04/24/2017
DATE: 04/24/2017
CONSTRUCTION DETAILS BLOCK B (NORTH BLOCK)

C503B



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS' HOTLINE
 811 or 1-800-242-8811
 MILWAUKEE AREA 259-1181
 WIS. STATUTE 102.07(5)(174)
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

SHADE TREES (DECIDUOUS)
 ABM Autumn Blaze Maple
 SHL Skyline Honeylocust

ORNAMENTAL TREES (DECIDUOUS)
 RJFC Red Jewel Flowering Crabapple
 RJFC-s Red Jewel Flowering Crabapple
 JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES
 HCJ Hetzi Columnar Juniper (upright)

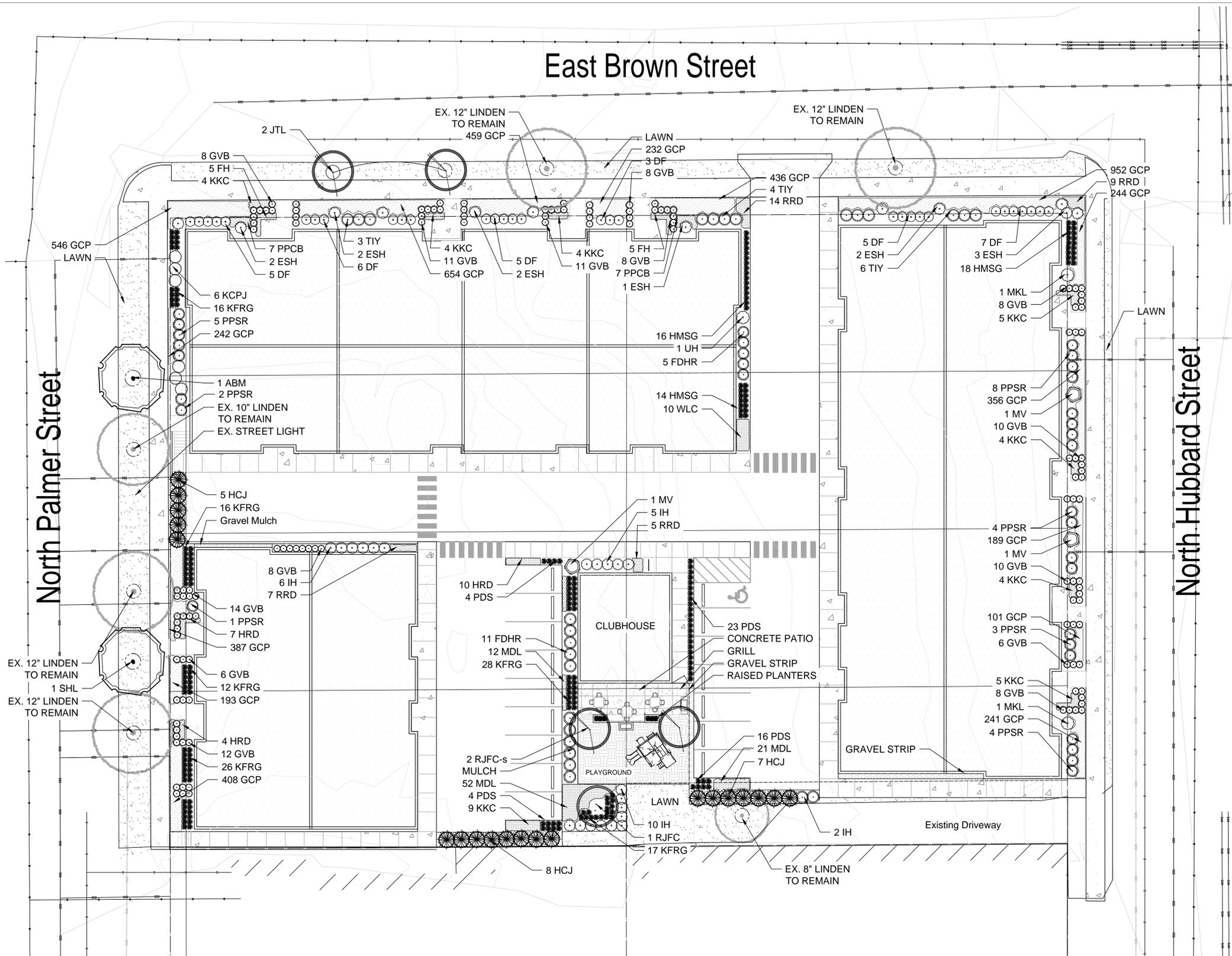
EVERGREEN SHRUBS
 GVB Green Velvet Boxwood
 KCPJ Kallay Compact Pfitzer Juniper
 TIY Taunton Intermediate Yew

DECIDUOUS SHRUBS
 DF Dwarf Fothergilla
 IH Incrediball Hydrangea
 ESH Endless Summer Hydrangea
 UH Unique Hydrangea
 FDHR Frau Dagmar Hastrup Rugosa Rose
 PPSR Pink Pavement Series Rose
 MKL Miss Kim Dwarf Lilac
 MV Mohican Viburnum

ORNAMENTAL GRASSES
 KFRG Karl Foerster Feather Reed Grass
 HMSG Heavy Metal Switch Grass
 PDS Prairie Dropseed

HERBACEOUS PERENNIALS
 HRD Happy Returns Daylily
 RRD Rosy Returns Daylily
 MDL Catherine Woodbury Daylily (Soft Pink)
 MDL Hyperion Daylily (Lemon Yellow)
 MDL Summer Wine Daylily (Maroon)
 PPCB Palace Purple Coralbells
 FH Francee Hosta
 KKC Dwarf Catmint
 WLC Walker's Low Catmint

GROUNDCOVERS & VINES
 GCP Green Carpet Pachysandra
PLANT ABBREVIATIONS



OVERALL LANDSCAPE PLAN

Scale: 1" = 16'0"



KSingh Engineers
 Scientists
 Consultants
 3636 North 124th Street
 Wauwatosa, WI 53222
 262-821-1171

CONSULTANT
HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE
 One Redwood Court
 Racine, Wisconsin 53402
 ph 262-639-9333
 fx 262-639-9337
 email hella@hella.com

CONSULTANT
 CONSULTANT
 CONSULTANT

TITLE: OVERALL LANDSCAPE PLAN
 PROJECT TITLE: THE HILLS LUXURY COMMONS
 CLIENT: ROYAL CAPITAL GROUP, LLC
 PROJECT LOCATION: E. BROWN ST, MILWAUKEE, WI

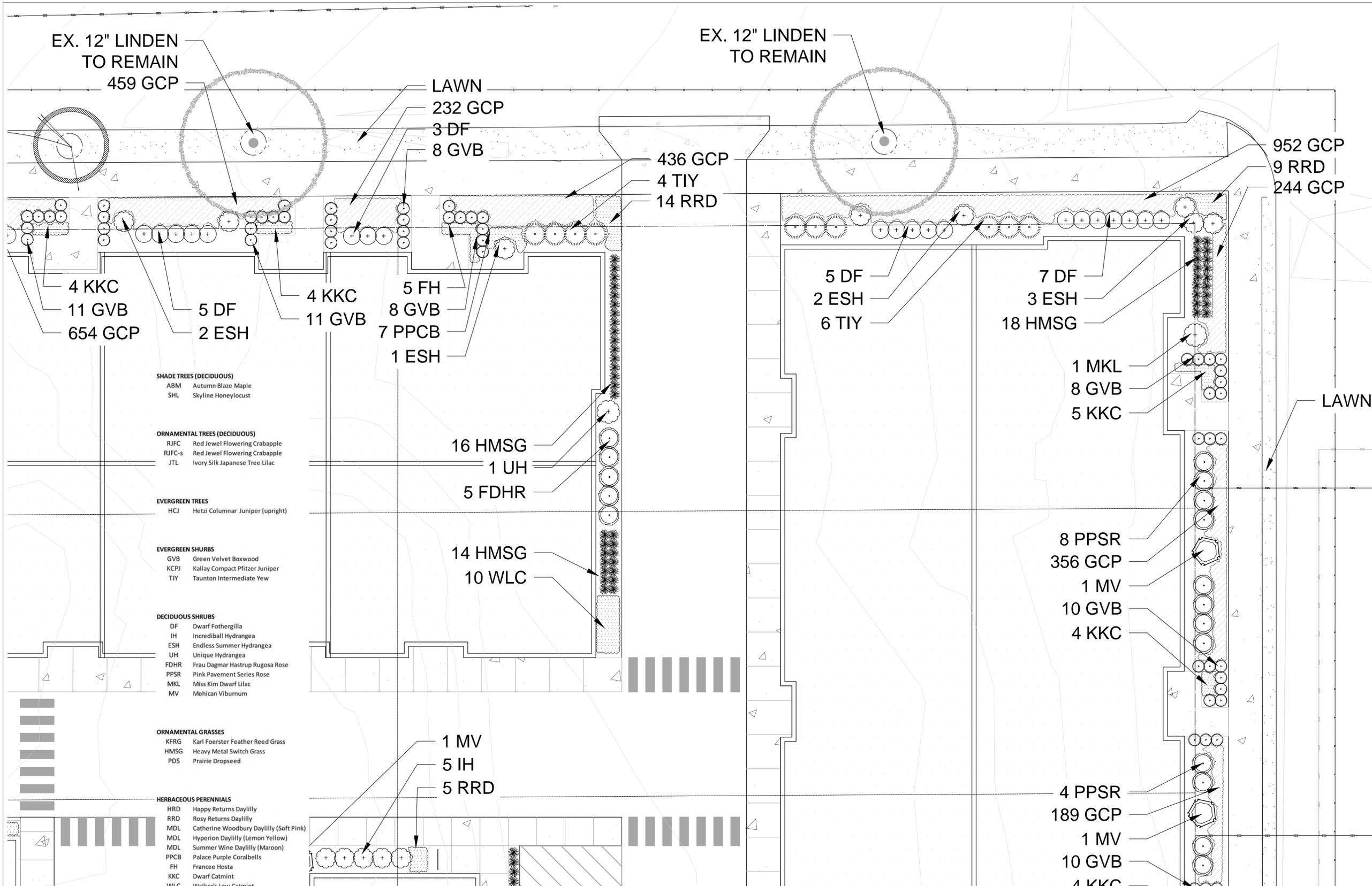
REVISIONS	DATE	DESCRIPTION

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 APS
 DATE
 05/17/2017
 DATE
 05/17/2017

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REVISIONS	DATE	DESCRIPTION

DRAWN BY WDH/PCA	DATE 05/17/2017
CHECKED BY APS	DATE 05/17/2017



EX. 12" LINDEN
TO REMAIN
459 GCP

EX. 12" LINDEN
TO REMAIN

LAWN
232 GCP
3 DF
8 GVB

436 GCP
4 TIY
14 RRD

952 GCP
9 RRD
244 GCP

4 KKC
11 GVB
654 GCP

5 DF
2 ESH

4 KKC
11 GVB

5 FH
8 GVB
7 PPCB
1 ESH

5 DF
2 ESH
6 TIY

7 DF
3 ESH
18 HMSG

1 MKL
8 GVB
5 KKC

LAWN

16 HMSG
1 UH
5 FDHR

14 HMSG
10 WLC

8 PPSR
356 GCP
1 MV
10 GVB
4 KKC

1 MV
5 IH
5 RRD

4 PPSR
189 GCP
1 MV
10 GVB
4 KKC

SHADE TREES (DECIDUOUS)
ABM Autumn Blaze Maple
SHL Skyline Honeylocust

ORNAMENTAL TREES (DECIDUOUS)
RJFC Red Jewel Flowering Crabapple
RJFC-s Red Jewel Flowering Crabapple
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EVERGREEN SHRUBS
GVB Green Velvet Boxwood
KCPJ Kallay Compact Pfitzer Juniper
TIY Taunton Intermediate Yew

DECIDUOUS SHRUBS
DF Dwarf Fothergilla
IH Incrediball Hydrangea
ESH Endless Summer Hydrangea
UH Unique Hydrangea
FDHR Frau Dagmar Hastrup Rugosa Rose
PPSR Pink Pavement Series Rose
MKL Miss Kim Dwarf Lilac
MV Mohican Viburnum

ORNAMENTAL GRASSES
KFRG Karl Foerster Feather Reed Grass
HMSG Heavy Metal Switch Grass
PDS Prairie Dropseed

HERBACEOUS PERENNIALS
HRD Happy Returns Daylily
RRD Rosy Returns Daylily
MDL Catherine Woodbury Daylily (Soft Pink)
MDL Hyperion Daylily (Lemon Yellow)
MDL Summer Wine Daylily (Maroon)
PPCB Palace Purple Coralbells
FH Franchee Hosta
KKC Dwarf Catmint
WLC Walker's Low Catmint

GROUNDCOVERS & VINES
GCP Green Carpet Pachysandra

PLANT ABBREVIATIONS



CALL DIGGERS HOTLINE
811 or 1-800-242-8511
MILWAUKEE AREA 259-1181
WIS. STATUTE 182.0175(194)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



ENLARGED LANDSCAPE PLAN

Scale: 1" = 8'0"



1 E. BROWN ST. ELEVATION - BUILDING A
SCALE: 1/8" = 1'-0"



2 BUILDING A - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 N. PALMER ST. ELEVATION - BUILDING A
SCALE: 1/8" = 1'-0"



4 BUILDING A - EAST ELEVATION
SCALE: 1/8" = 1'-0"

**THE HILLS LUXURY
COMMONS - BLOCK B**

E. BROWN ST AND N. PALMER ST.
MILWAUKEE, WI

Royal Capital Group, LLC.
710 N. Plankington Ave, Suite 300
Milwaukee, WI 53203

PROJECT NUMBER 172715.00

ISSUED FOR:
DPD REVIEW SET 06/02/17

REVISION FOR:
NO. DESCRIPTION DATE

**REVIEW SET - NOT FOR
CONSTRUCTION**

DRAWN BY Author
CHECKED BY Checker

**BUILDING A
ELEVATIONS**

**THE HILLS LUXURY
COMMONS - BLOCK B**

E. BROWN ST AND N. PALMER ST.
MILWAUKEE, WI

Royal Capital Group, LLC.
710 N. Plankinton Ave, Suite 300
Milwaukee, WI 53203

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**BUILDING B
ELEVATIONS**

A420



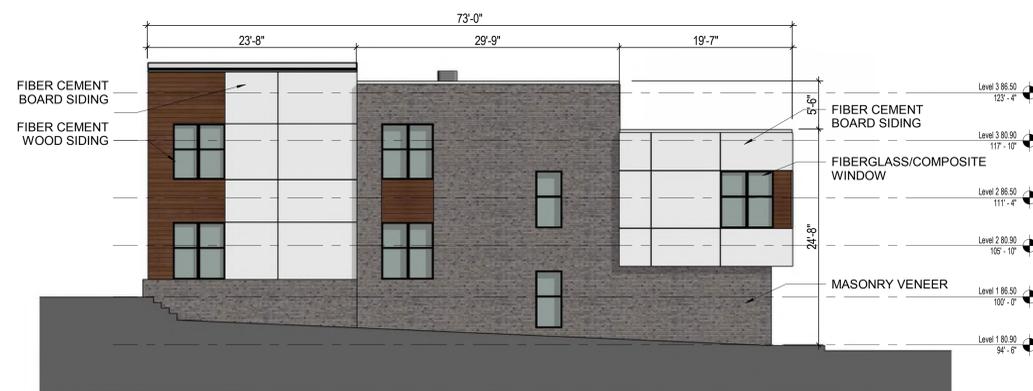
1 N. PALMER ST. ELEVATION - BUILDING B
SCALE: 1/8" = 1'-0"



2 BUILDING B - WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING B - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING B - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 N. HUBBARD ST. ELEVATION - BUILDING C
SCALE: 1/8" = 1'-0"



2 BUILDING C - WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 E. BROWN ST. ELEVATION - BUILDING C
SCALE: 1/8" = 1'-0"



4 BUILDING C - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

**THE HILLS LUXURY
COMMONS - BLOCK B**

E. BROWN ST AND N. PALMER ST.
MILWAUKEE, WI

Royal Capital Group, LLC.
710 N. Plankinton Ave, Suite 300
Milwaukee, WI 53203

PROJECT NUMBER 172715.00

ISSUED FOR:
DPD REVIEW SET 06/02/17

REVISION FOR:
NO. DESCRIPTION DATE

REVIEW SET - NOT FOR
CONSTRUCTION

DRAWN BY Author
CHECKED BY Checker

**BUILDING C
ELEVATIONS**

**THE HILLS LUXURY
COMMONS - BLOCK B**

E. BROWN ST AND N. PALMER ST.
MILWAUKEE, WI

Royal Capital Group, LLC.
710 N. Plankington Ave, Suite 300
Milwaukee, WI 53203

PROJECT NUMBER 172715.00

ISSUED FOR:
DPD REVIEW SET 06/02/17

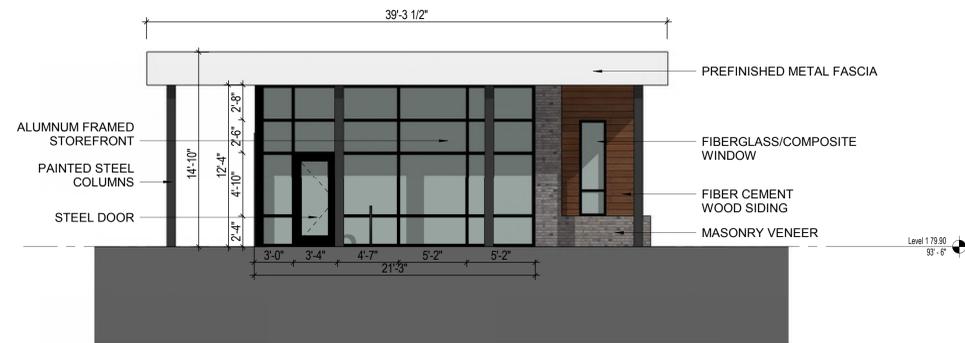
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NO. DESCRIPTION DATE

**REVIEW SET - NOT FOR
CONSTRUCTION**

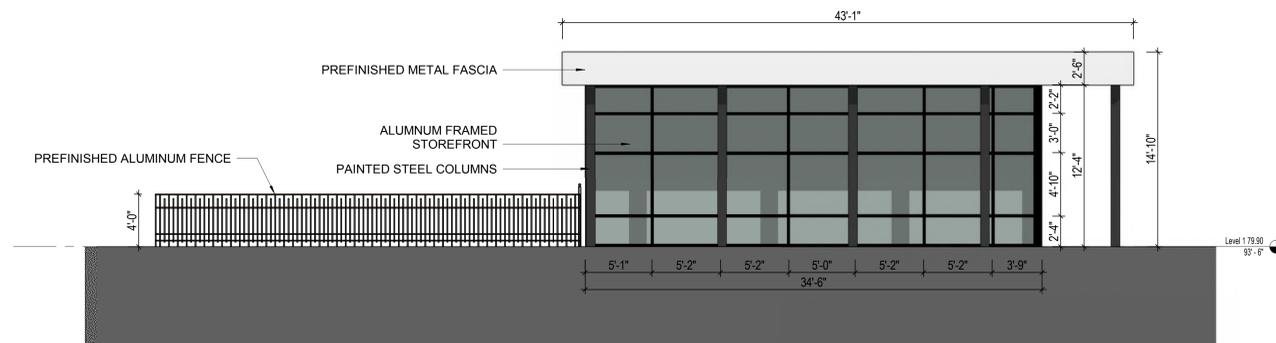
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CHECKED BY Checker

**CLUB HOUSE
ELEVATIONS**

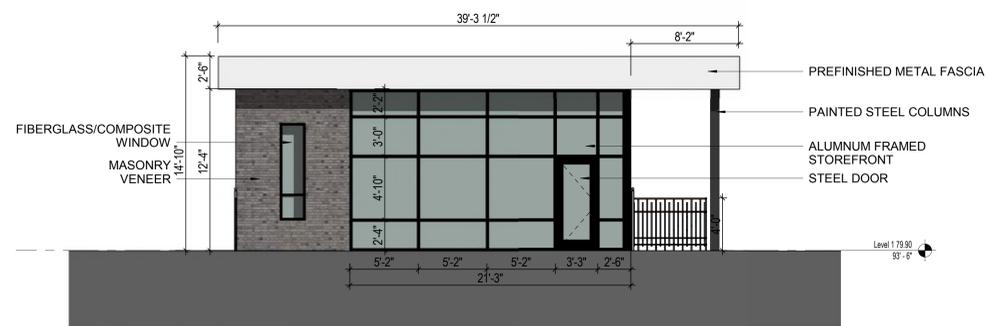
A440



1 CLUB HOUSE NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 CLUB HOUSE WEST ELEVATION
SCALE: 3/16" = 1'-0"



3 CLUB HOUSE SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



4 CLUB HOUSE EAST ELEVATION
SCALE: 3/16" = 1'-0"

**THE HILLS LUXURY
COMMONS - BLOCK B**

E. BROWN ST AND N. PALMER ST.
MILWAUKEE, WI

Royal Capital Group, LLC.
710 N. Plankington Ave, Suite 300
Milwaukee, WI 53203

PROJECT NUMBER 172715.00

ISSUED FOR:
DPD REVIEW SET 05/19/17

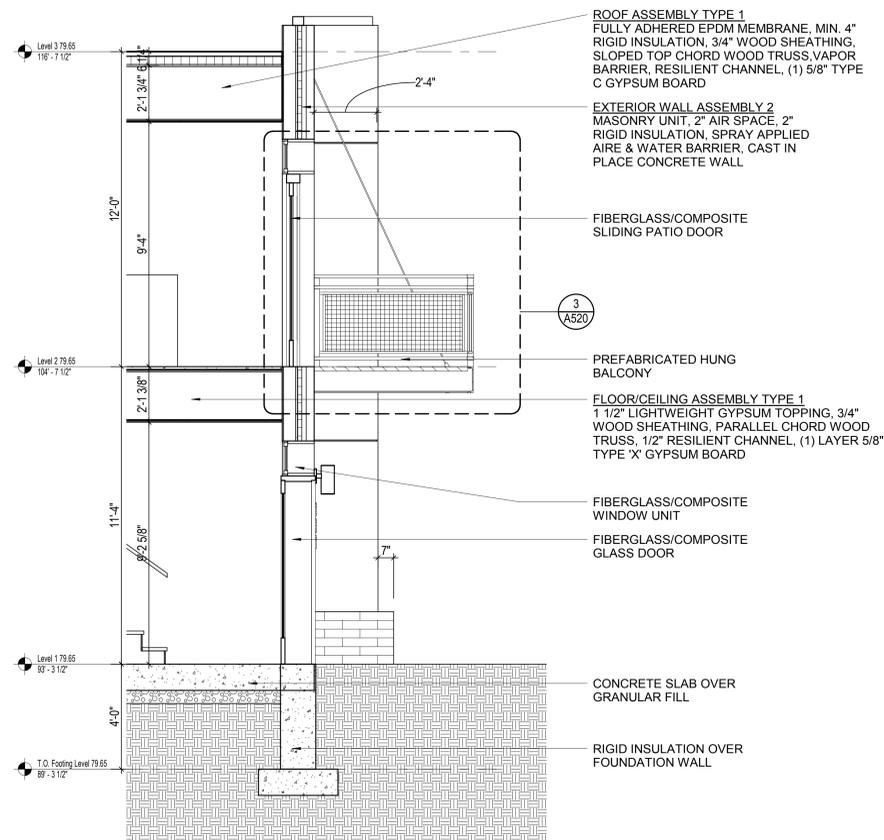
REVISION FOR:
NO. DESCRIPTION DATE

**REVIEW SET - NOT FOR
CONSTRUCTION**

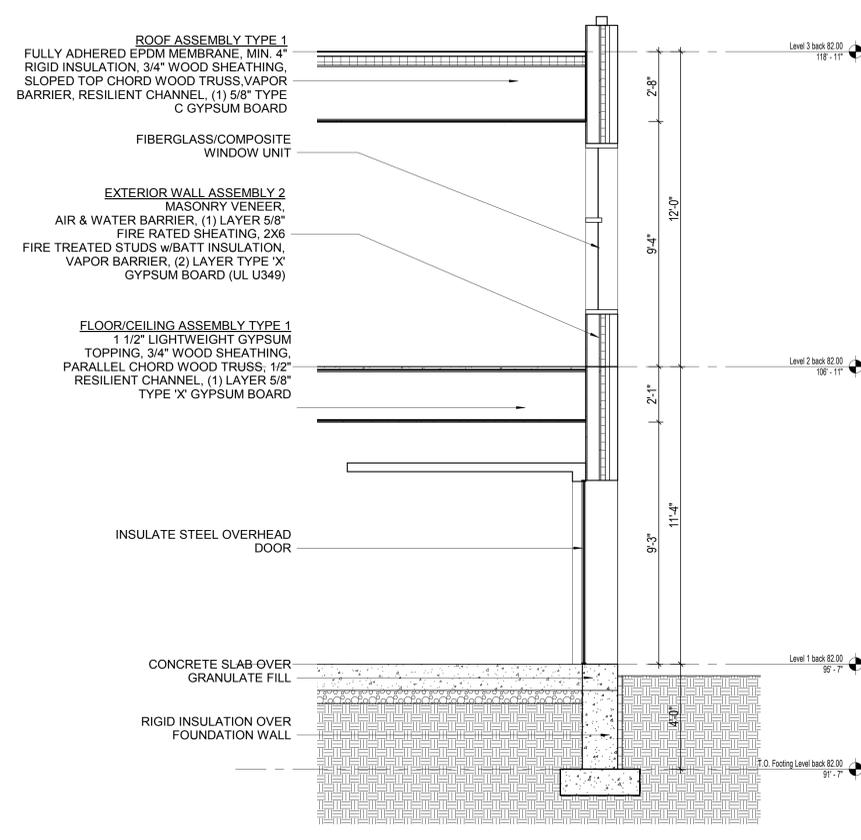
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CHECKED BY Checker

WALL SECTIONS

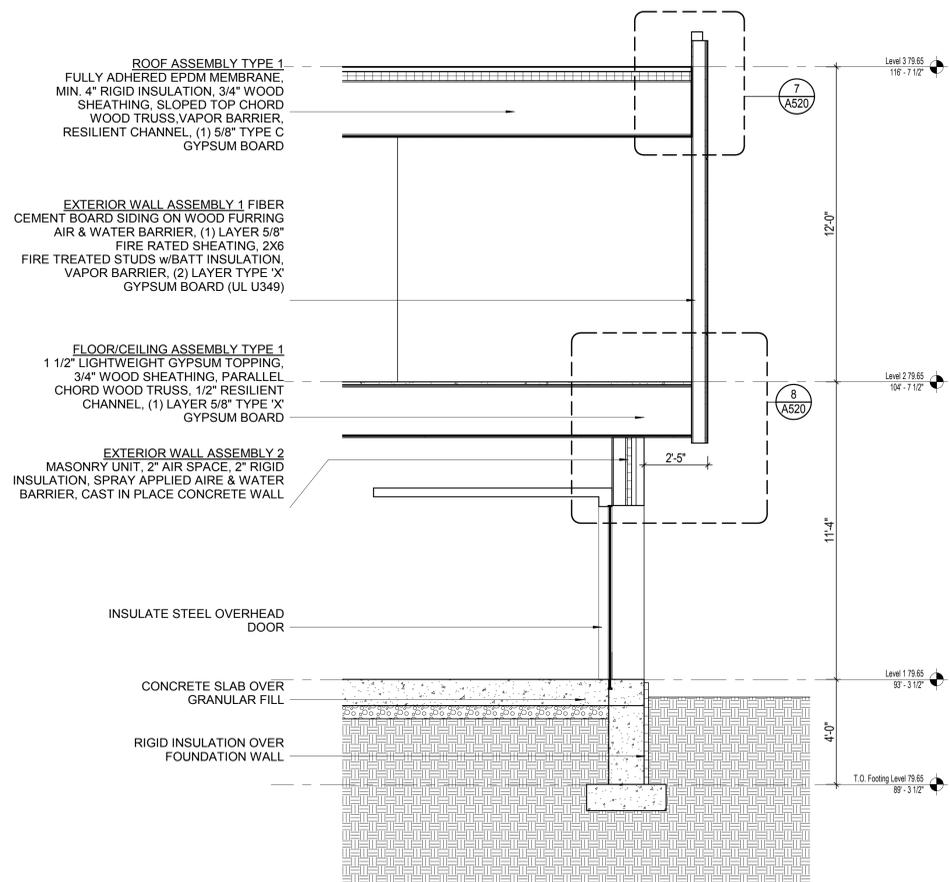
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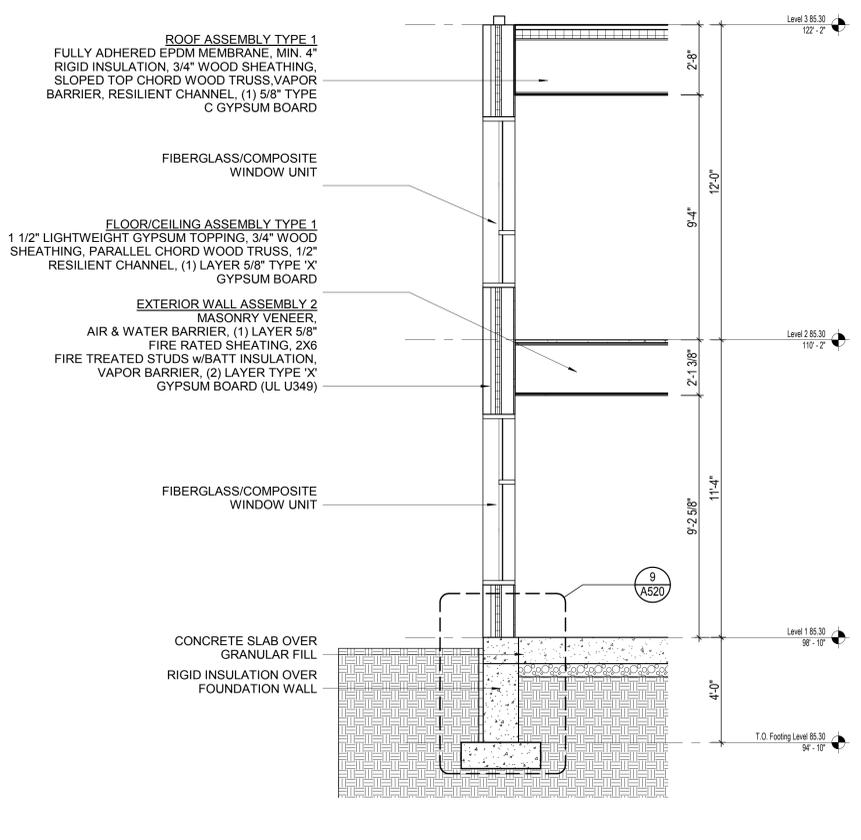
1 WALL SECTION AT BALCONY
SCALE: 3/8" = 1'-0"



2 WALL SECTION AT GARAGE DOOR
SCALE: 3/8" = 1'-0"



3 WALL SECTION AT GARAGE - BEDROOM
SCALE: 3/8" = 1'-0"



4 WALL SECTION AT MASONRY WALL
SCALE: 3/8" = 1'-0"



THE HILLS LUXURY COMMONS - BLOCK B

PERSPECTIVE VIEW ALONG E. BROWN ST.
SCALE:

Engberg Anderson Project No. 172715.00



THE HILLS LUXURY COMMONS - BLOCK B

PERSPECTIVE VIEW AT CORNER OF E. BROWN ST. AND N. HUBBARD ST.
SCALE:

Engberg Anderson Project No. 172715.00



THE HILLS LUXURY COMMONS - BLOCK B

SITE AXON FROM NORTHWEST
SCALE:

Engberg Anderson Project No. 172715.00



THE HILLS LUXURY COMMONS - BLOCK B

SITE AXON FROM SOUTHWEST
SCALE:

Engberg Anderson Project No. 172715.00



MILWAUKEE | MADISON | TUSCON | CHICAGO

A903