



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/841 N Broadway/Milwaukee, WI 53202/phone 414-286-5722

Property Description of work

2004 N. Palmer St., Brewers Hill Historic District

Move garage from current location to location on attached survey. Pour new concrete pad for new garage location.

Date issued 1/15/2025

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

N/A

All work must be done in a craftsman-like manner. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5722 E-mail: hpc@milwaukee.gov.

Permits and timeline

You are responsible for determining if permits are required and obtaining them prior to commencing work. Consult the Development Center on the web or by telephone for details: www.milwaukee.gov/lms - (414) 286-8210. If permits are not required, work must be completed within one year of the date this certificate was issued. If permits are required, permits must be obtained within one year of the date this certificate was issued.

City of Milwaukee Historic Preservation

Copies to: Development Center

Legal Description:

Lots Three (3) through Six (6) and the North Twenty-Five (25) of Lot Seven (7) in Block Eighteen (18) in Sherman's Addition, being in the Northeast One-Quarter (1/4) of Section Twenty (20), in Township Seven (7) North, Range Twenty-two (22) East, in the City of Milwaukee, County of Milwaukee, Wisconsin.

GENERAL NOTES:

- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
- VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- DRAWING IS BASED ON FIELD SURVEY COMPLETED BY THE SIGMA GROUP ON 5/22/2024.
- DATUM FOR THE PROJECT SURVEY IS USGS NAVD 88. BENCHMARK FOR THE PROJECT SURVEY IS THE EASTERLY BURY BOLT LOCATED ON THE MOST WESTERLY HYDRANT, ELEVATION IS 670.55'.

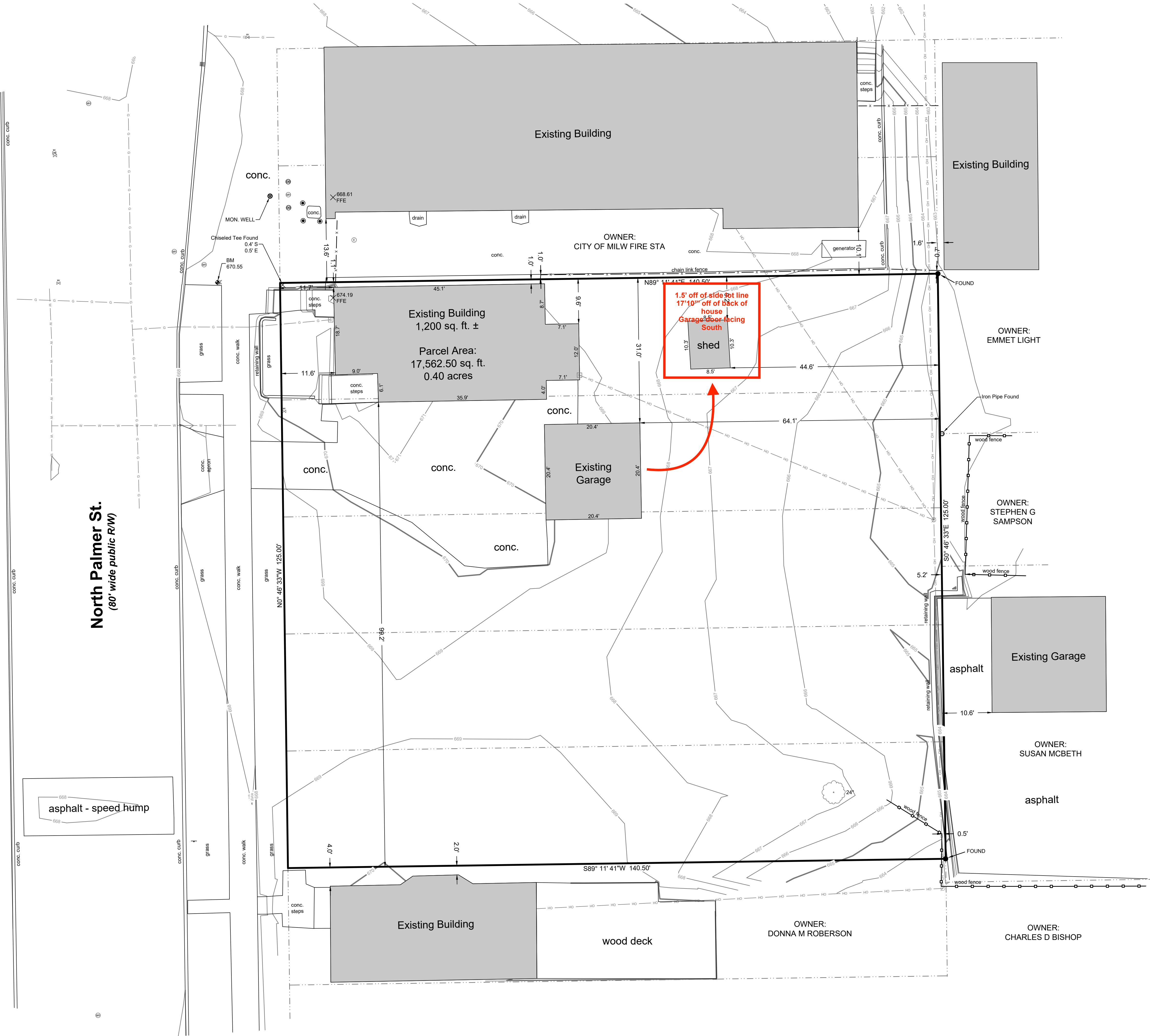
BEARING REFERENCE:
COORDINATES & BEARINGS REFERENCED TO THE
WISCONSIN STATE PLANE COORDINATE SYSTEM,
SOUTH ZONE, AS PUBLISHED BY SEWRPC, NAD 1983.

I, Kevin A. Slotke, Professional Land Surveyor, certify that I have surveyed the above described property, to the best of my knowledge and ability, and that the map shown hereon is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures thereon, boundary fences, apparent easements, roadways and encroachments, if any.

KEVINA SLOTTKE
P.L.S. 2503
MILWAUKEE, WI
NO SURVEYOR

5-30-2024

Date

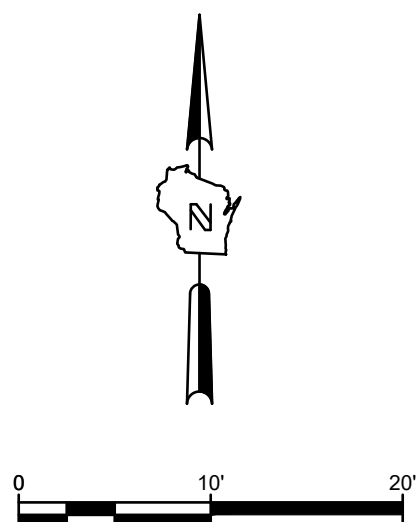


SIGMA
GROUP
Single Source. Sound Solutions.
www.thisigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

LEGEND	
SECTION 1/4 SECTION LINE	PROPERTY LINE
EASEMENT	CHAIN LINK FENCE
GUARD RAIL	METAL FENCE
WOOD FENCE	TREE LINE
OVERHEAD UTILITY LINE	ELECTRIC
TELEPHONE	FIBER OPTIC
CABLE TV	SANITARY SEWER
FORCE MAIN	MILWAUKEE INTERCEPTOR SEWER
COMBINED SANITARY & STORM SEWER	STORM SEWER
WATER MAIN	GAS
WETLAND	EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR	IRON PIPE FOUNDSET
UNKNOWN MANHOLE	REBAR FOUNDSET
SANITARY MANHOLE	CHISELED CROSS FOUNDSET
STORM MANHOLE	PK NAIL FOUNDSET
ELECTRIC MANHOLE	SPIRITUAL
MANHOLE	MONUMENT
TELEPHONE MANHOLE	BENCHMARK
CATCH BASIN	SON
CATCH BASIN (ROUND)	DECIDUOUS TREE (Diameter)
ROOF DRAIN	CONIFEROUS TREE (Diameter)
HYDRANT	BUSH
WATER VALVE	POST
GAS VALVE	SOIL BORING
UTILITY POLE	MONITORING WELL
GUY WIRE	CULVERT END
GUY POLE	LIGHT POLE
ELECTRIC METER	PARKING METER
UTILITY PEDESTAL	FLAG POLE
HANDHOLE	TRAFFIC SIGNAL

2044 Palmer LLC
2044 N. Palmer Street
Milwaukee, Wisconsin

TOPOGRAPHIC SURVEY



NO. REVISION	DATE BY
DRAWN BY:	NGC
DATE:	5/29/2024
PROJECT NO:	22780
CHECKED BY:	JGS
SHEET NO.:	