



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

*Review
WK OF 12/28/15*

: NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

Brewers Hill Historic District

ADDRESS OF PROPERTY:

234 East Vine St. Milwaukee WI 53212

2. NAME AND ADDRESS OF OWNER:

Name(s): Matthew Schaefer / Whitney McAllister

Address: 2428 North Humboldt Ave.

City: Milwaukee

State: WI

ZIP: 53212

Email: matthewarthurschaefer@gmail.com

Telephone number (area code & number) Daytime: (414)617-8733

Evening: (262)365-8253

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): Ryan Strycker (Vision Design and Construction LLC)

Address: 4120 North Ardmore Ave.

City: Shorewood

State: WI

ZIP Code: 53211

Email: Ryan@VisionMilwaukee.com

Telephone number (area code & number) Daytime: (414)803-2952

Evening: Same

4. ATTACHMENTS: (Because projects can vary in size and scope, please call the HPC Office at 414-286-5712 for submittal requirements)

A. REQUIRED FOR MAJOR PROJECTS:

☒ Photographs of affected areas & all sides of the building (annotated photos recommended)

☒ Sketches and Elevation Drawings (1 full size and 1 reduced to 11" x 17" or 8 1/2" x 11")
A digital copy of the photos and drawings is also requested.

☒ Material and Design Specifications (see next page)

B. NEW CONSTRUCTION ALSO REQUIRES:

☒ Floor Plans (1 full size and 1 reduced to a maximum of 11" x 17")

☒ Site Plan showing location of project and adjoining structures and fences


**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS
BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED
AND SIGNED.**

5. DESCRIPTION OF PROJECT:

Tell us what you want to do. Describe all proposed work including materials, design, and dimensions. Additional pages may be attached.

Our plans are to add a second story above the current single story on the north side of the building. As shown in the drawings, we want to continue the look of the original building by keeping true to the shed roof and parapet walls but differentiate it from the original by using stained cedar siding instead of cream city brick. The use of cedar siding is still prevalent in the neighborhood so although it will noticeably be an addition, it will not stand out in the area as a design element that doesn't fit. The top of the parapet wall will be clay caps followed down by cedar 1" x 4" also stained. There will be a small walk out porch facing east and the windows and doors facing east will all have transom windows above. All the windows will be wrapped with painted trim to match the original windows in the building. The overall size of the project is 20' wide by 26' long with an overall east facing height of 14' and stepping down on the north side to follow the roof and original parapet wall. This addition will serve as a master bedroom for the original 1000sq' second story apartment.

6. SIGNATURE OF APPLICANT:


Signature

Ryan Strycker
Please print or type name

1-4-16
Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI 53202

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

Or click the **SUBMIT** button to automatically email this form for submission.

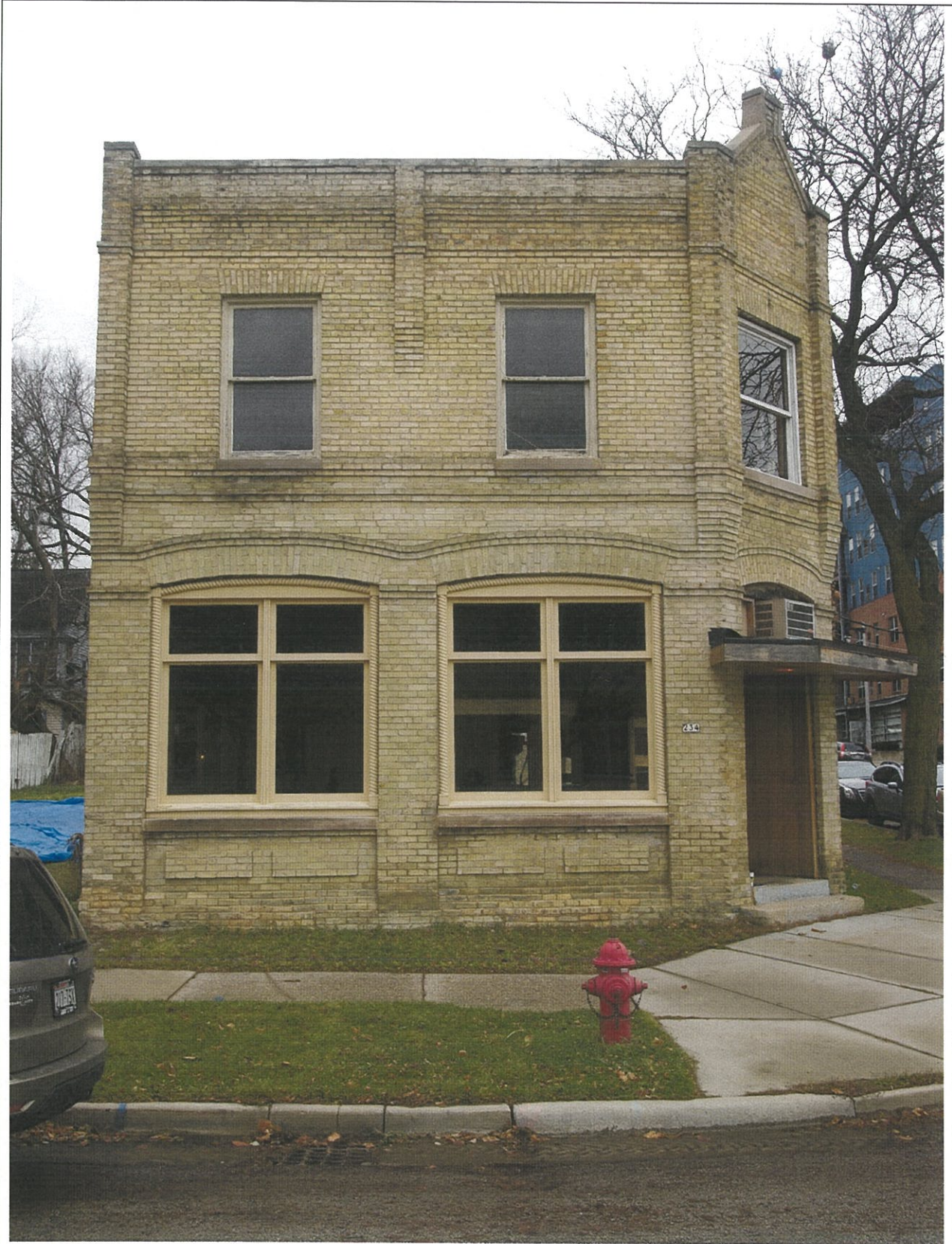
SUBMIT

234 E. Vine Street



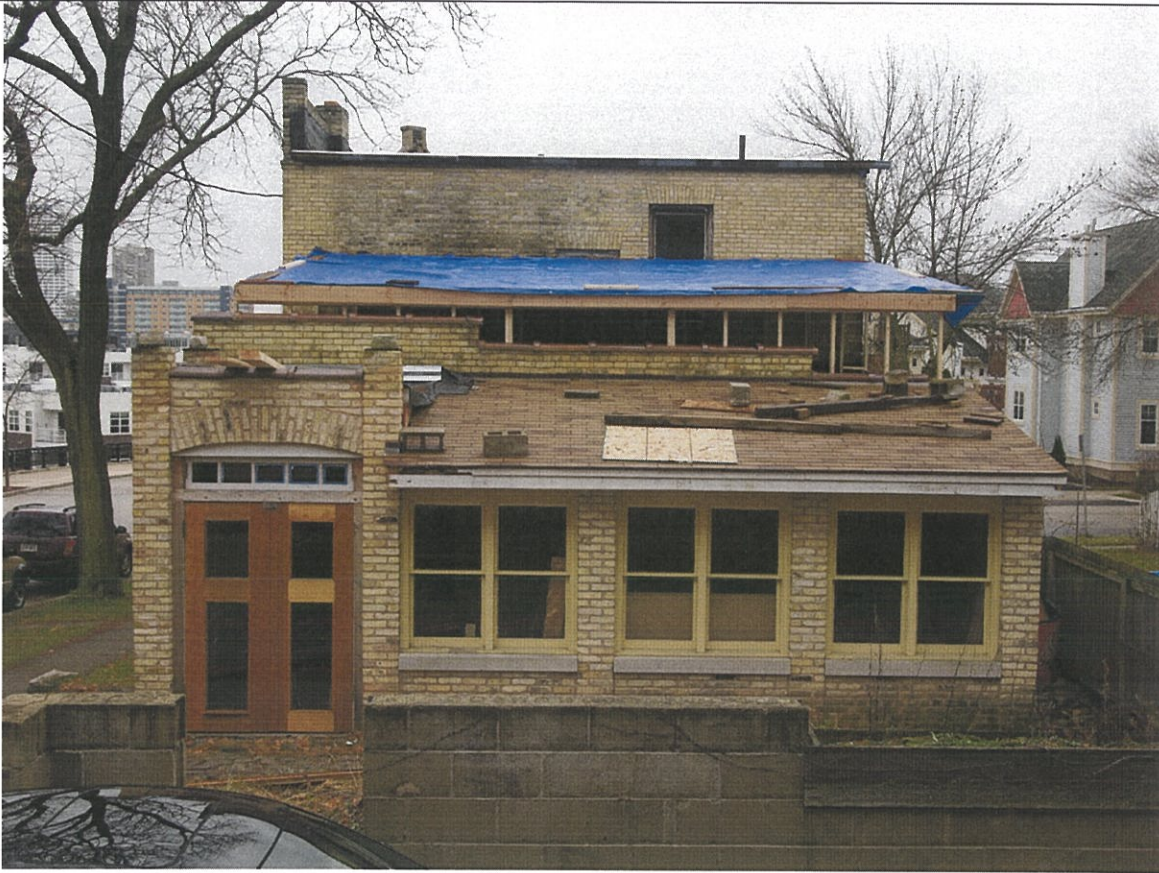
Southeast Elevation

234 E. Vine Street



South Elevation

234 E. Vine Street



North Elevation



West Elevation 1

234 E. Vine Street



West Elevation 2

234 E. Vine Street



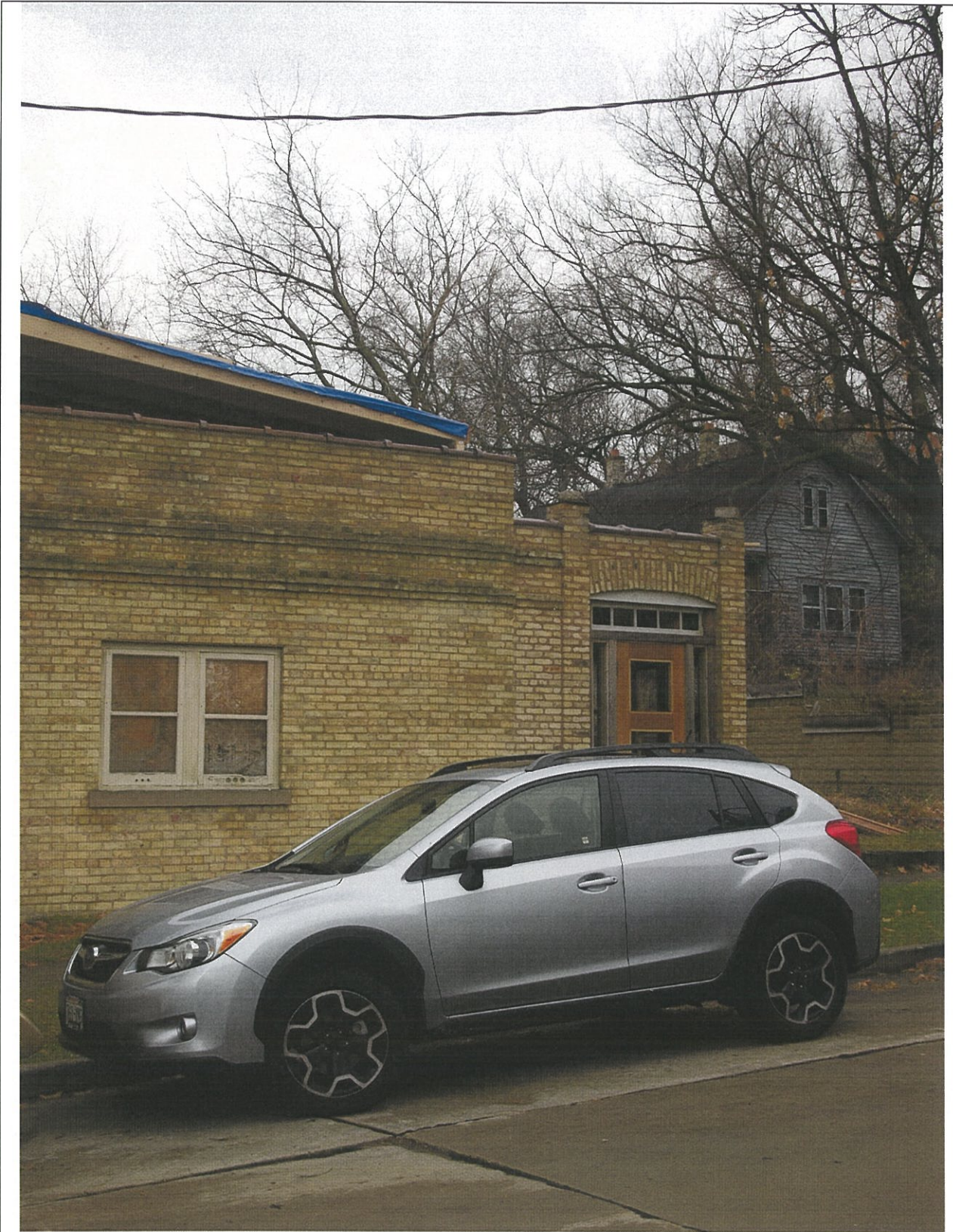
East Elevation 1

234 E. Vine Street



East Elevation 2

234 E. Vine Street



East Elevation 3