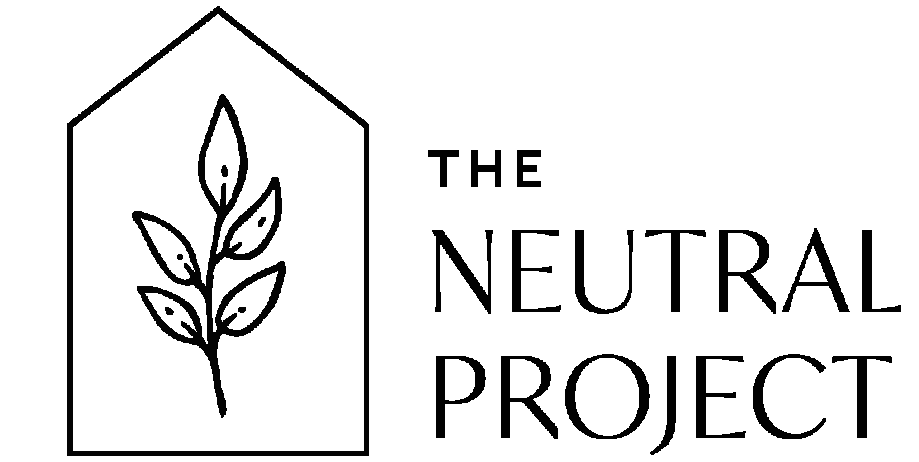


THE EDISON DEVELOPMENT

THE NEUTRAL PROJECT

1005 N EDISON ST
MILWAUKEE, WI 53202

MGA
MICHAEL GREEN ARCHITECTURE



AY
ANGUS-YOUNG
ARCHITECTS/ENGINEERS
Janesville | Madison

THE EDISON DEVELOPMENT

AY PROJECT NUMBER: 67720

CONCEPTUAL RENDERING:



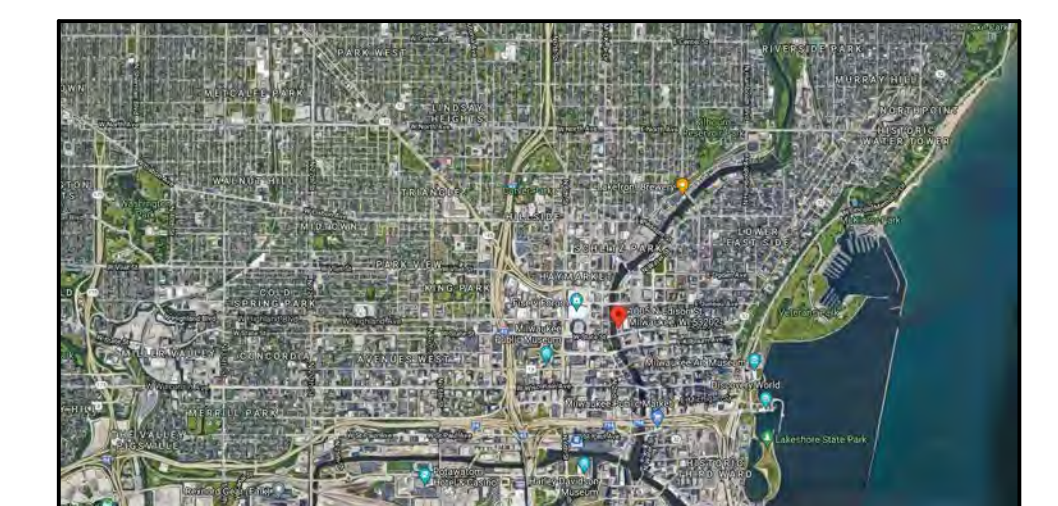
SHEET INDEX:

GENERAL	
G001	COVER SHEET
CIVIL	
C100	EXISTING AND SITE DEMOLITION PLAN
C101	SITE LAYOUT PLAN
C301	SITE GRADING PLAN
C601	1ST LEVEL LANDSCAPE PLAN
ARCHITECTURAL	
A001	WEST FACADE RENDERING
A002	MAIN ENTRANCE RENDERING
A003	SOUTH CAFE RENDERING
A004	NORTH RIVERWALK RENDERING
A014	RIVERWALK DIAGRAMS
A015	EXISTING AND PROPOSED RIVERWALK RETAINING WALL VIEWS
A016	EXISTING RIVERWALK RETAINING WALL PHOTOS
A101	1ST LEVEL FLOOR PLAN
A201	NORTH AND SOUTH ELEVATIONS
A302	WEST ELEVATION
A005	EAST ELEVATION
STRUCTURAL	
S103	RIVERWALK FRAMING MODIFICATION AND SECTION

REGULATORY DATA:

BUILDING CODES:	2021 INTERNATIONAL BUILDING CODE
OVERALL BUILDING:	2021 INTERNATIONAL FIRE CODE
	2021 INTERNATIONAL PLUMBING CODE
	2021 INTERNATIONAL MECHANICAL CODE
	2021 INTERNATIONAL ENERGY CONSERVATION CODE
	2021 INTERNATIONAL FUEL GAS CODE
ACCESSIBILITY:	2017 ANSI A117.1
USE AND OCCUPANCY CLASSIFICATION:	
1ST LEVEL THROUGH 3RD:	S-2 OCCUPANCY / A OCCUPANCY
4TH LEVEL THROUGH 15TH:	R-2 OCCUPANCY
TYPE OF CONSTRUCTION:	TYPE IA, IV-B & VB
FIRE PROTECTION SYSTEM:	AUTOMATIC SPRINKLER SYSTEM - NFPA 13
PROJECT FLOOR AREAS:	
1ST LEVEL:	23,250 SF
2ND LEVEL:	23,250 SF
3RD LEVEL:	23,250 SF
4TH LEVEL:	15,200 SF
5TH - 7TH LEVEL:	14,500 SF x 3 = 43,500 SF
8TH - 11TH LEVEL:	14,500 SF x 4 = 72,500 SF
12TH - 13TH LEVEL:	14,500 SF x 2 = 29,000 SF
14TH LEVEL:	10,500 SF
15TH LEVEL:	9,750 SF
15TH LEVEL (MEZZANINE):	2,750 SF

LOCATION MAP:



ISSUANCES / REVISIONS		
NO.	DESCRIPTION:	DATE:
1	SD PRICING SET	06/14/2021
2	DCD SUBMITTAL SET	06/18/2021
3	DCD SUBMITTAL UPDATES	06/29/2021
4	HP SUBMITTAL UPDATES	07/19/2021

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PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT TEAM

OWNER:	ARCHITECT:	DESIGN ARCHITECT:	STRUCTURAL ENGINEER:	LANDSCAPE ARCHITECT / CIVIL ENGINEER:	MECHANICAL ENGINEER:	PLUMBING ENGINEER:	ELECTRICAL ENGINEER:
THE NEUTRAL PROJECT 1005 N EDISON ST MILWAUKEE, WI 53202	ANGUS-YOUNG 655 SOUTH RIVER STREET JANESVILLE, WI 53548	MICHAEL GREEN ARCHITECTURE 1535 WEST 3RD AVE VANCOUVER, BC V6J 1J8	ANGUS-YOUNG 655 SOUTH RIVER STREET JANESVILLE, WI 53548	ANGUS-YOUNG 655 SOUTH RIVER STREET JANESVILLE, WI 53548	ANGUS-YOUNG 655 SOUTH RIVER STREET JANESVILLE, WI 53548	ANGUS-YOUNG 655 SOUTH RIVER STREET JANESVILLE, WI 53548	ANGUS-YOUNG 655 SOUTH RIVER STREET JANESVILLE, WI 53548
CONTACT: NATE HELBACH EMAIL: NATE@THENEUTRALPROJECT.COM PHONE: 608-677-6108	CONTACT: JEFF DAVIS EMAIL: J.DAVIS@ANGUSYOUNG.COM PHONE: 608-756-2326	CONTACT: CANDICE NICHOL EMAIL: CANDICE@MG-ARCHITECTURE.CA PHONE: 604-338-4170	CONTACT: ZACHARY GOSWICK EMAIL: Z.GOSWICK@ANGUSYOUNG.COM PHONE: 608-756-2326	CONTACT: KATIE IDELL EMAIL: K.IDELL@ANGUSYOUNG.COM PHONE: 608-756-2326	CONTACT: STEVEN GENIN EMAIL: S.GENIN@ANGUSYOUNG.COM PHONE: 608-756-2326	CONTACT: STEVEN GENIN EMAIL: S.GENIN@ANGUSYOUNG.COM PHONE: 608-756-2326	CONTACT: KEITH SCHNEIDER EMAIL: K.SCHNEIDER@ANGUSYOUNG.COM PHONE: 608-756-2326

SCHEMATIC DESIGN SIGN-OFF

THESE DRAWINGS HAVE BEEN REVIEWED BY THE OWNER AND ARE ACCEPTED WITH THE CORRECTIONS INDICATED. THE DESIGN CONCEPTS, SITE IMPROVEMENTS, LAYOUT OF WALLS, DOORS AND WINDOWS ON THE FLOOR PLANS, BUILDING SCALE, APPEARANCE AND EXTERIOR MATERIALS WERE REVIEWED. THE CONSTRUCTION BUDGET HAS BEEN REVIEWED AND IS ACCEPTABLE. WITH THIS APPROVAL, THE OWNER ACKNOWLEDGES THE COMPLETION OF THE SCHEMATIC DESIGN PHASE OF THE PROJECT AND DIRECTS THE ARCHITECT TO PROCEED WITH THE DESIGN DEVELOPMENT PHASE.

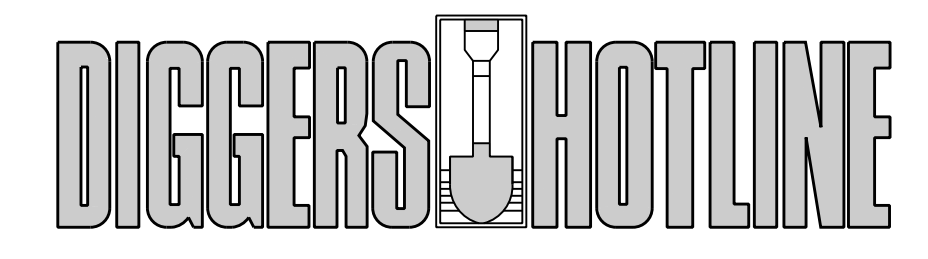
35	30	25	20	15	10	05
34	29	24	19	14	09	04
33	28	23	18	13	08	03
32	27	22	17	12	07	02
31	26	21	16	11	06	01

DETAILS IN THIS SET ARE PLACED ON THE SHEETS AND NUMBERED WITH RESPECT TO THE GRID ABOVE. CONSEQUENTLY, DETAILS ON A GIVEN SHEET MAY OR MAY NOT BE NUMBERED CONSECUTIVELY.

608.756.2326
www.angusyouth.com

COVER SHEET

G001



CALL TOLL FREE 1-800-242-8511
 MILWAUKEE AREA 414-259-1181
 FAX A LOCATE 1-800-338-3860
 TDD (HEARING IMPAIRED) 1-800-542-2289
 ONLINE: www.DiggersHotline.com

WISCONSIN STATUTE 192.0175 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING COPIES TO BE KEPT TO SUPPORT PLAN.

SITE SYMBOL LEGEND

	SIGN
	BOLLARD
	FIRE HYDRANT
	MANHOLE/CATCH BASIN/INLET
	CURB INLET
	NEW FLARED END SECTION WITH RIPRAP AND GUARD
	NEW SPOT ELEVATION (FEET)
	NEW TOP OF CURB ELEVATION (FEET)
	NEW BOTTOM OF CURB ELEVATION (FEET)
	NEW TOP OF STEP (FEET)
	NEW BOTTOM OF STEP (FEET)
	RIM OR INVERT ELEVATION (FEET)
	WATER VALVE OR GAS VALVE
	GAS METER
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	TRANSFORMER
	ELECTRIC METER AND CT CABINET
	NEW STRUCTURE OR ADDITION
	EXISTING STRUCTURE

ALL SYMBOLS MAY NOT BE USED IN THIS SET.

- SITE GENERAL NOTES**
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 - FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
 - COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY.
 - BUILDING SHALL BE ORIENTED PARALLEL AND PERPENDICULAR TO EXISTING BUILDING AND/OR PROPERTY LINES AS SHOWN ON DRAWING.
 - ALL EXTERIOR CONCRETE SIDEWALKS AND YARD SLABS SHALL BE 4,000 PSI. ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI UNLESS NOTED OTHERWISE.

- KEYNOTES**
- REMOVE EXISTING BUILDING. DISCONNECT UTILITIES. MAINTAIN SHEET PILING ALONG BUILDING EDGE ALONG RIVER.
 - REMOVE PAVEMENT
 - REMOVE EXISTING CURB OPENING. PROVIDE NEW CURB & GUTTER TO MATCH EXISTING PROFILE.
 - NEW PAVEMENT PATCH FOR UTILITY WORK AND CURB AND GUTTER REPLACEMENT. SEE DETAIL ON SHEET C01.
 - REMOVE EXISTING STORM STRUCTURE AND LATERAL. PLUG AT MANHOLE TO REMAIN.
 - EXISTING RETAINING WALL ALONG RIVER TO REMAIN UNDER NEW RIVERWALK CONNECTION.
 - EXISTING RIVERWALK AT ELEVATION -6.95. TO BE ELEVATED TO -9.00 (SEE GRADING PLAN SHEET C301) WITH SLOPE AND TOPPED WITH NEW CONCRETE SIDEWALK. CONNECT NEW STORM DRAIN FROM NEW SURFACE TO EXISTING STORM DRAIN (REMOVE GRATES).
 - EXISTING RIVERWALK HARP STREET LIGHT AND POLE TO BE RELOCATED TO NEW RIVERWALK ELEVATION. SEE SITE LIGHTING PLAN FOR ADDITIONAL INFORMATION.
 - REMOVE EXISTING LIGHT POLE
 - REMOVE EXISTING RIVERWALK RAILING AND GUARD. SEE SHEET C101 FOR NEW RAILING AND GUARD LOCATION.
 - REMOVE EXISTING RETAINING WALL
 - REMOVE PORTION OF RIP RAP
 - CLEAR AND GRUB EXISTING VEGETATION
 - REMOVE EXISTING GAS METER. FIELD VERIFY GAS SERVICE SIZE AND PROVIDE NEW SERVICE AND EXTERIOR GAS METER. SEE SITE UTILITY PLAN FOR NEW LOCATION.
 - REMOVE EXISTING BOLLARDS
 - EXISTING ART SCULPTURE TO BE RELOCATED BY CITY. CONTRACTOR TO REMOVE CONCRETE BASE FOLLOWING RELOCATION. COORDINATE WITH CITY ON SCHEDULE.
 - EXISTING MEMORIAL ART PIECE, BENCH AND PLAQUE TO BE RELOCATED. SEE SHEET C101 FOR NEW LOCATION.
 - EXISTING ROUND PRECAST CONCRETE BENCHES. TO BE RELOCATED BY CITY. COORDINATE WITH CITY ON SCHEDULE. (8 TOTAL)
 - REMOVE EXISTING CONCRETE COLUMNS
 - RELOCATE TRANSFORMER OR REMOVE AND REFEED POWER FOR BRIDGE SERVICE. TO BE DETERMINED. COORDINATE WITH WE ENERGIES.

ISSUANCES / REVISIONS

NO.	DESCRIPTION	DATE
1	SD PRICING SET	06/14/2021
2	DCD SUBMITTAL SET	06/18/2021
3	DCD SUBMITTAL UPDATES	06/29/2021
4	HP SUBMITTAL UPDATES	07/19/2021

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PROJECT NUMBER
 67720

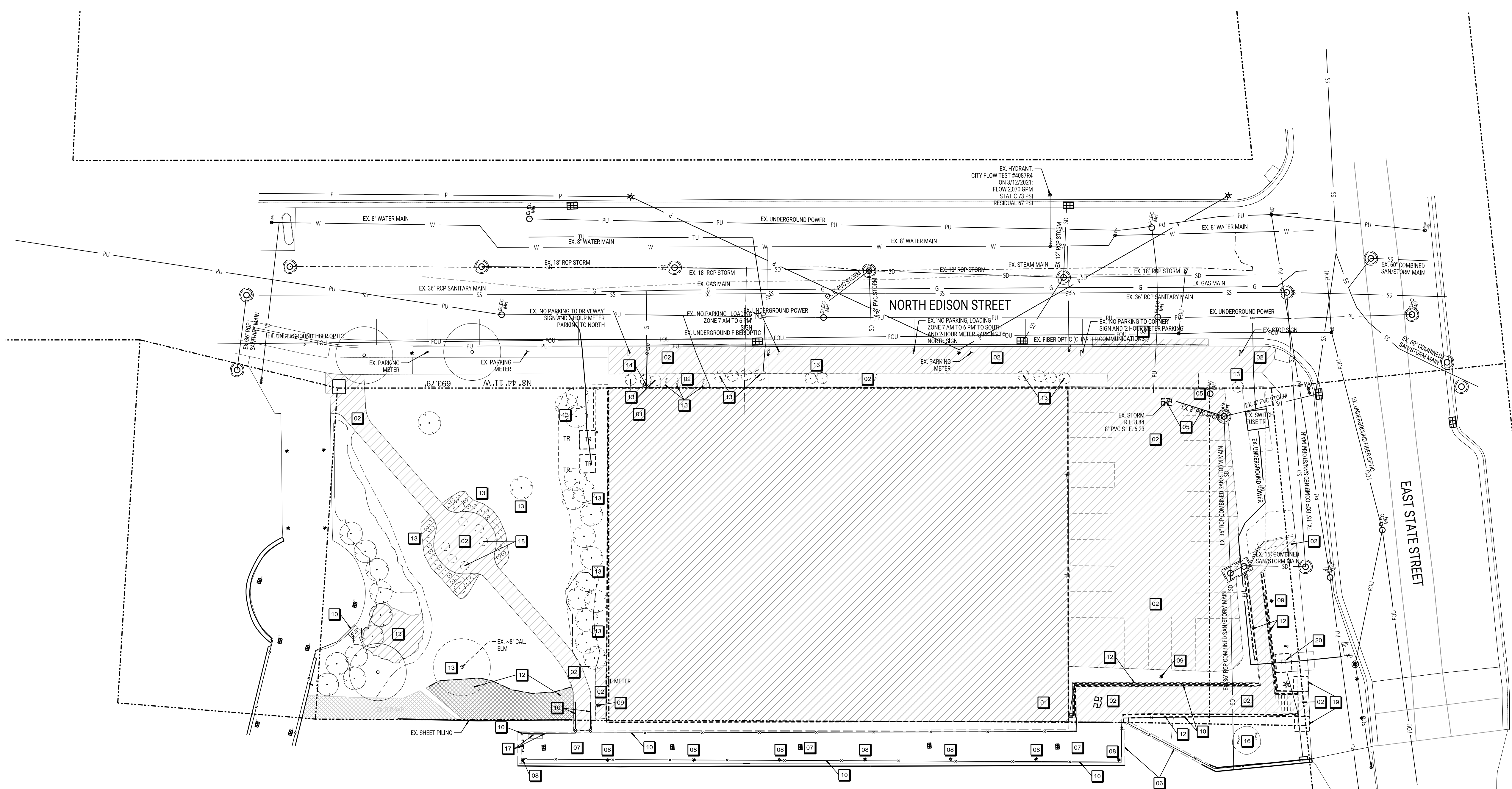
APPROVED BY
 JAD

REVIEWED BY
 JAD

DRAWN BY
 KAU

EXISTING AND SITE
 DEMOLITION PLAN

C100



MILWAUKEE RIVER
 BASE FLOOD EL. 584.00 NAVD / 3.397 MILWAUKEE DATUM
 WATER EL. 4/14/2021 0.92 TO 1.01



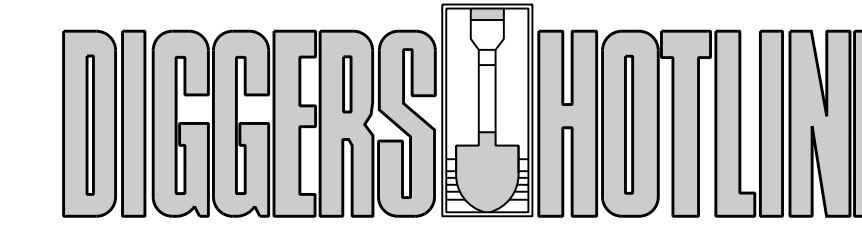
SCALE 1"=20'-0"

X:\67720\6467720a\C100.dgn

PLOTTED BY: hshu

ORIGINAL SIZE: 24" x 36"

PRELIMINARY - NOT FOR CONSTRUCTION



CALL TOLL FREE 1-800-242-8511
 MILWAUKEE AREA 414-259-1181
 FAX A LOCATE 1-800-338-3860
 TDD (HEARING IMPAIRED) 1-800-542-2289
 ONLINE: www.DiggersHotline.com

WISCONSIN STATUTE 19.02(17) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

SITE SYMBOL LEGEND	
	SIGN
	BOLLARD
	FIRE HYDRANT
	MANHOLE CATCH BASIN INLET
	CURB INLET
	NEW FLARED END SECTION WITH RIPRAP AND GUARD
	NEW SPOT ELEVATION (FEET)
	NEW TOP OF CURB ELEVATION (FEET)
	NEW BOTTOM OF CURB ELEVATION (FEET)
	NEW TOP OF STEP (FEET)
	NEW BOTTOM OF STEP (FEET)
	RM OR INVERT ELEVATION (FEET)
	WATER VALVE OR GAS VALVE
	GAS METER
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	TRANSFORMER
	ELECTRIC METER AND CT CABINET
	NEW STRUCTURE OR ADDITION
	EXISTING STRUCTURE

ALL SYMBOLS MAY NOT BE USED IN THIS SET.

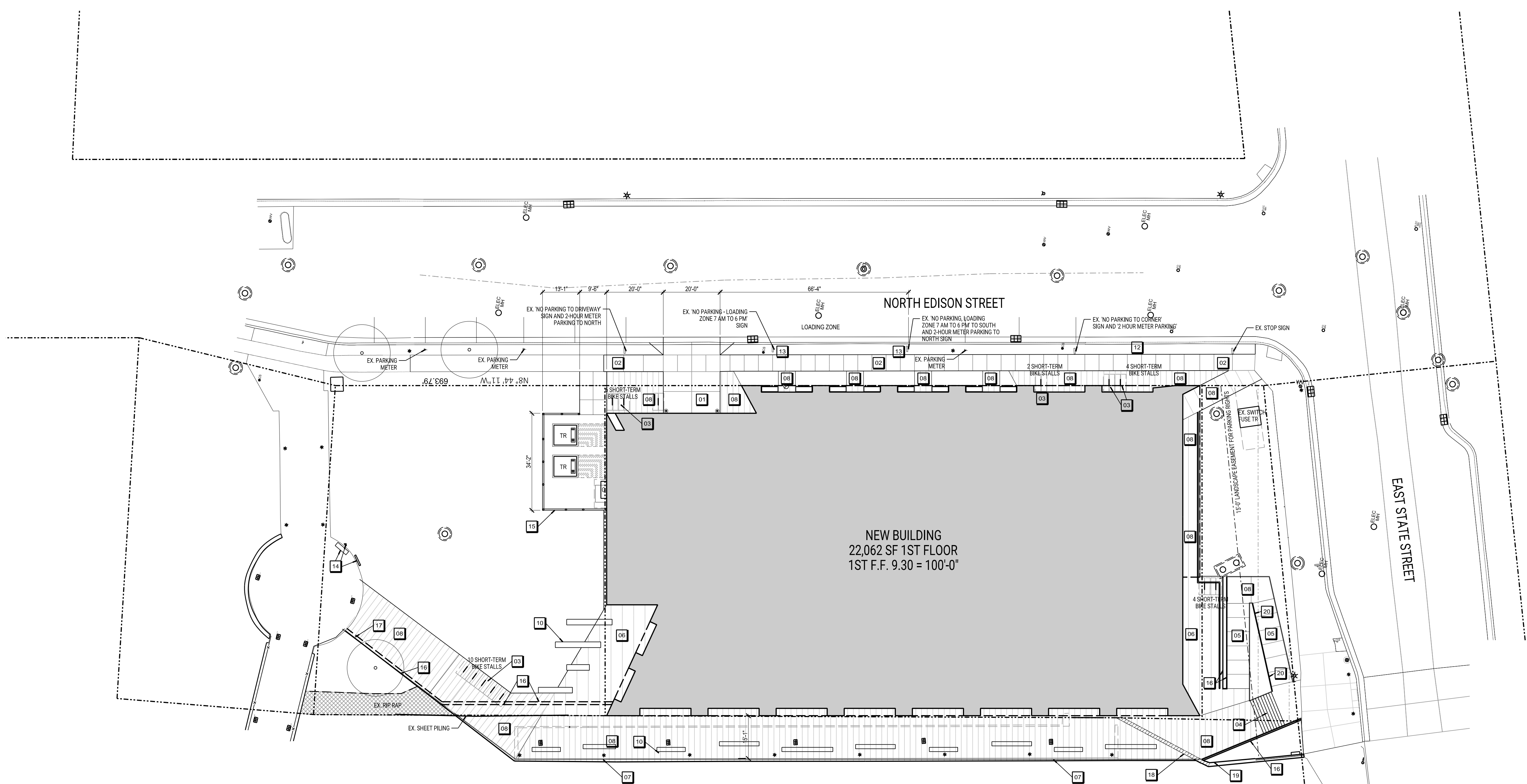
THE NEUTRAL PROJECT - SITE CALCULATIONS

Total Property (Parcel 1 + 2)	24,563 sf	0.56 ac
Zoning District:	C9B - Residential & Specialty Use - Subdistrict A	
Setbacks:	none Street Yard 1st Floor none Side Yard none Rear Yard	
Permitted Floor Area (when surface open space will comprise 40% or less of development site):	6(W) + 5(X) + 2.5(Y) = 177,646 sf	
W = size of development site	6W =	147,378 sf
X = amount of open space (955 sf)	5X =	4,775 sf
Y = amount of qualifying roof top open space (10,197 sf)	2.5Y =	25,493 sf
Note: Surface Open Space means the at-grade area of any site or development site not covered by structures or devoted to vehicular use.	Provided Habitable Floor Area for Commercial & Residential (Estimated):	
		161,820 sf
Maximum Building Height:	none	
Use:	Permitted - Multi-Family Dwelling Limited - Parking Structure Accessory	
Existing Site:		
Existing Buildings	18,902 sf	0.43 ac
Existing Pavement	5,802 sf	0.13 ac
Total Existing Impervious	24,504 sf	0.56 ac
Remainder Greenspace	599 sf	0.00 ac
Proposed Site:		
New Building with Overhangs	23,218 sf	0.53 ac
New Pavement	1,290 sf	0.03 ac
Total New & Existing Impervious	24,508 sf	0.56 ac
Remainder Greenspace	55 sf	0.00 ac
Total Additional New Impervious Area	4 sf	
SOUTH CITY-OWNED PARCEL:		
Total Property	3,268 sf	0.08 ac
Existing Site:		
Existing Pavement	1,567 sf	0.04 ac
Existing Greenspace	1,701 sf	0.04 ac
Total Impervious	1,567 sf	0.04 ac
Total Greenspace	1,701 sf	0.04 ac
Proposed Site:		
Existing and New Pavement	1,025 sf	0.02 ac
Greenspace	2,243 sf	0.05 ac
Total Impervious Reduction:	-542 sf	
NORTH CITY-OWNED PARCEL:		
Total Property	11,482 sf	0.26 ac
Existing Site:		
Existing Pavement	1,735 sf	0.04 ac
Existing Greenspace	9,747 sf	0.22 ac
Total Impervious	1,735 sf	0.04 ac
Total Greenspace	9,747 sf	0.22 ac
Proposed Site:		
Existing and New Pavement	2,134 sf	0.05 ac
Greenspace	9,348 sf	0.21 ac
Total Impervious Addition:	399 sf	0.01 ac
Total Additional Riverwalk Outside of Properties:		
Total Impervious Addition:	1,557 sf	0.04 ac
Net Increase of Impervious for Entire Development:		
Total Impervious Addition:	1,418 sf	0.03 ac

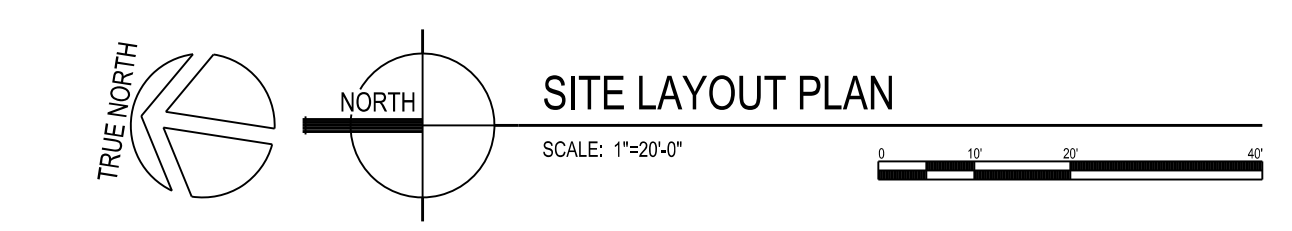
PARKING REQUIREMENTS

Note: Site is zoned C9B High-Density Residential and is exempt from automobile parking requirements. The below table notes parking to be provided.

	City (Units, Capacity or SF)	Minimum Automobile Parking Calculation Recommended	Min. Recommended Auto Required	Minimum Bicycle Parking Calculation	Min. Long-Term Bicycle Required	Min. Short-Term Bicycle Required
Commercial/Retail Space	15,600	1 per 1,000 sf of floor area (excluding storage/utility areas)	16	Provide 1 Long-Term for every 6,000 gsf, min. 2 spaces, and 1 Short-Term for every 3,000 gsf floor area, min. 2 spaces	3	6
Multi-Family Units	194	Provide 2 stalls for 3 units (Based on Table 295-403-2-a for CS District)	130	Provide 1 long-term for every 4 units, and 1 short-term for every 30 units	49	7
Parking Recommended (Not Required)			146	Total Min. Bicycle Parking Required:	52	13
Total Automobile Parking Provided with Automated System and Rideshare Program			102	Total Bicycle Parking Required:	56 Indoor	26 Outdoor



MILWAUKEE RIVER
 BASE FLOOD EL. 584.00 NAVD / 3.397 MILWAUKEE DATUM
 WATER EL. 4/14/2021 0.92 TO 1.01

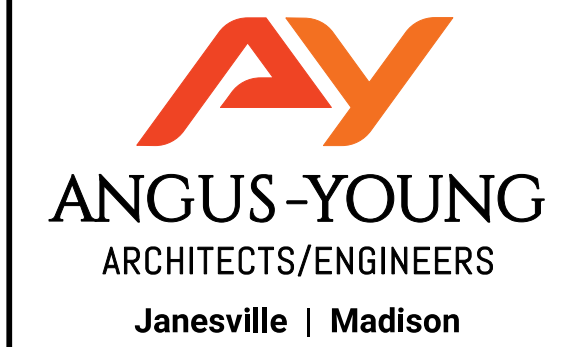


KEYNOTES

- 01 NEW DRIVEWAY, BASE BID: 7" CONCRETE PAVEMENT AND ALT. #1 PAVERS. SEE CURB OPENING DETAIL ON SHEET C801.
- 02 NEW PUBLIC RIGHT-OF-WAY SIDEWALK TO REPLACE EXISTING, 6" THICK CONCRETE IN ACCORDANCE WITH CITY OF MILWAUKEE SPECIFICATIONS.
- 03 NEW LOFTY BIKE RACK BY MADRAX, OR APPROVED EQUAL, TYP.
- 04 NEW CONCRETE STAIRS WITH HANDRAIL.
- 05 NEW RAMP WITH HANDRAIL.
- 06 NEW PEDESTRIAN PAVED AREAS/TIPO.
- 07 RAISE UP EXISTING SURFACE GRADE OF RIVER WALK, SEE SHEET C201 AND S103 FOR GRADES. RE-USE LIGHT POLES. PROVIDE NEW GUARD RAIL, SEE DETAIL 015103 FOR RIVERWALK SECTION.
- 08 PAVERS.
- 09 PRE-WEATHERED STEEL RETAINING WALL.
- 10 NEW BENCH, TYP.
- 11 NEW PAVEMENT PATCH FOR UTILITY WORK AND CURB AND GUTTER REPLACEMENT.
- 12 REPLACE CURB AND GUTTER WITH SAME PROFILE.
- 13 REPLACE EXISTING NO PARKING - LOADING ZONE 7 AM TO 6 PM SIGN WITH NO PARKING - LOADING ZONE IN ACCORDANCE WITH CITY OF MILWAUKEE REQUIREMENTS.
- 14 RELOCATE MEMORIAL ART PIECE, BENCH AND PLAQUE FROM RIVERWALK TO THIS LOCATION.
- 15 NEW VERTICAL WOOD FIM SCREEN FOR UTILITY SCREENING, PROVIDE CONCRETE UTILITY PADS AND 4" THICK STONE MILCH WITH WEED BARRIER FABRIC BENEATH, SEE SHEET C801 FOR LANDSCAPE SCREENING BEYOND.
- 16 NEW WEATHERED LANDSCAPE WALL.
- 17 NEW GUARD RAIL TO CONNECT TO EXISTING AT NORTH CIRCLE RIVERWALK.
- 18 CUT BACK PORTION OF WALL TO ACCOMMODATE RIVERWALK.
- 19 EXPOSED PORTION OF EXISTING RETAINING WALL TO BE COVERED WITH NEW CAST IN PLACE CONCRETE. EXTEND GUARDRAIL TO CONNECT TO STAIR HANDRAIL AND GUARD.
- 20 RAMP ELEVATED ABOVE GRADE WITH WEATHERED STEEL LANDSCAPE WALL FLUSH WITH EDGE OF RAMP, EXTEND GUARD RAIL TO GRADE.

SITE GENERAL NOTES

- 1. TRUE NORTH MAY VARY FROM PROJECT NORTH.
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THE NEUTRAL PROJECT
 THE EDISON
 1005 N. EDISON STREET
 MILWAUKEE, WI 53202

ISSUANCES / REVISIONS		
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PROJECT NUMBER
 67720
 APPROVED BY
 JAD
 REVIEWED BY
 JAD
 DRAWN BY
 KAU

SITE LAYOUT PLAN
C101

PRELIMINARY - NOT FOR CONSTRUCTION

SCALE 1"=20'-0"

X:\67720\6467720a\C101.dgn

PLOTTED BY: kah@u

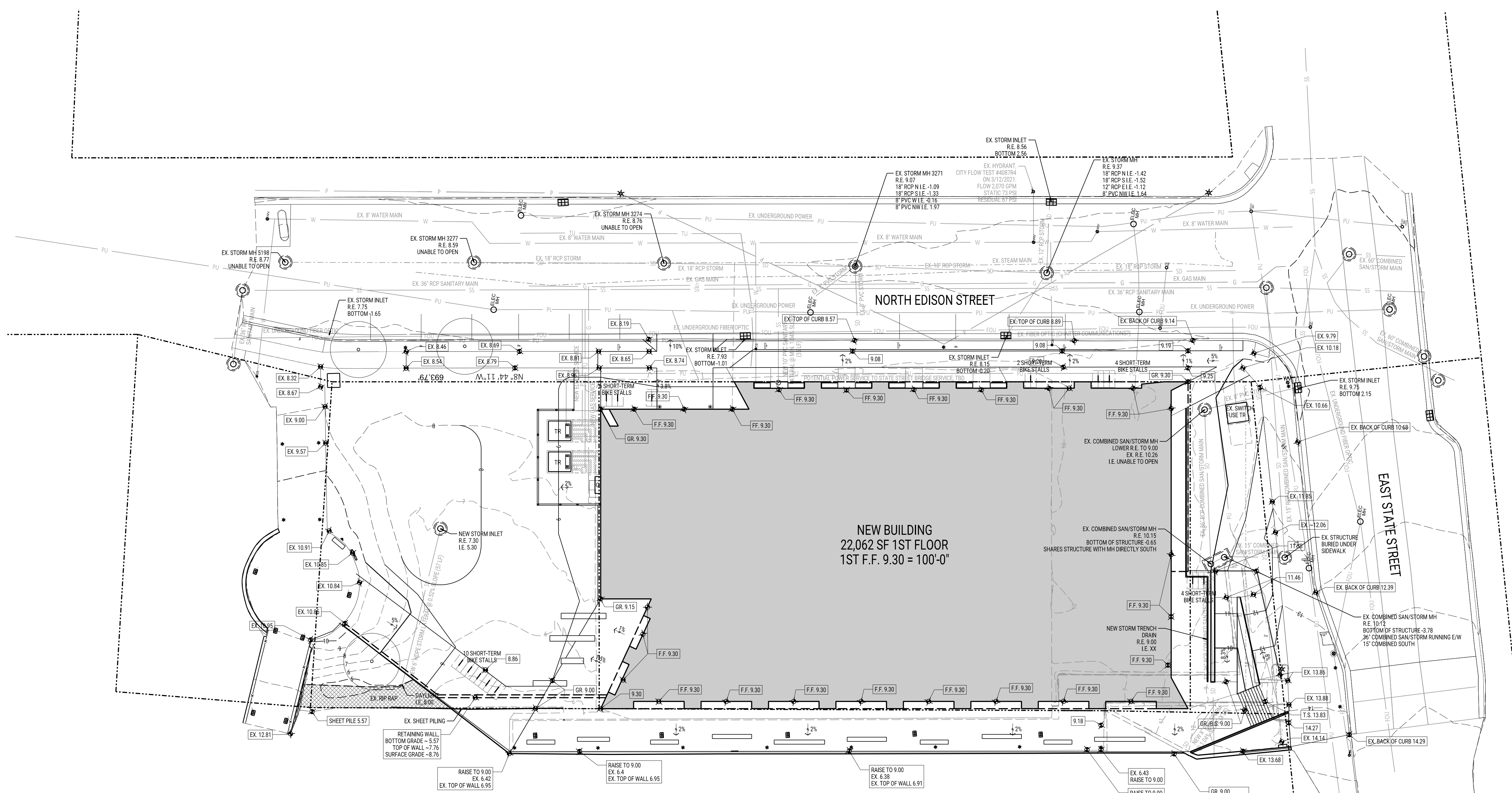
ORIGINAL SIZE: 24" x 36"

SITE SYMBOL LEGEND	
	SIGN
	BOLLARD
	FIRE HYDRANT
	MANHOLE/CATCH BASIN/INLET
	CURB INLET
	NEW FLARED END SECTION WITH RIPRAP AND GUARD
	NEW SPOT ELEVATION (FEET)
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	NEW TOP OF STEP (FEET)
	NEW BOTTOM OF STEP (FEET)
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	GAS METER
	LIGHT POLE
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	NEW STRUCTURE OR ADDITION
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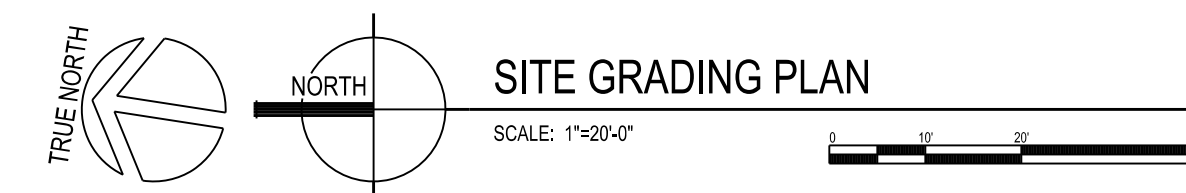
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MILWAUKEE RIVER
 BASE FLOOD EL. 584.00 NAVD / 3.397 MILWAUKEE DATUM
 WATER EL. 4/14/2021 0.92 TO 1.01



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PROJECT NUMBER	67720
APPROVED BY	JAD
REVIEWED BY	JAD
DRAWN BY	KAU

SITE GRADING PLAN

C301

SCALE 1"=20'-0"

X:\67720\6467720a\C301.dgn

PLOTTED BY: hahhu

ORIGINAL SIZE: 24" x 36"

UNLESS OTHERWISE NOTED, THIS PLAN REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

LANDSCAPE SYMBOL LEGEND		
		SHADE TREE
		ORNAMENTAL TREE
		EVERGREEN SHRUB OR TREE
		DECIDUOUS SHRUB
		ORNAMENTAL GRASS
		PERENNIAL
		EXISTING VEGETATION
		EXISTING EVERGREEN

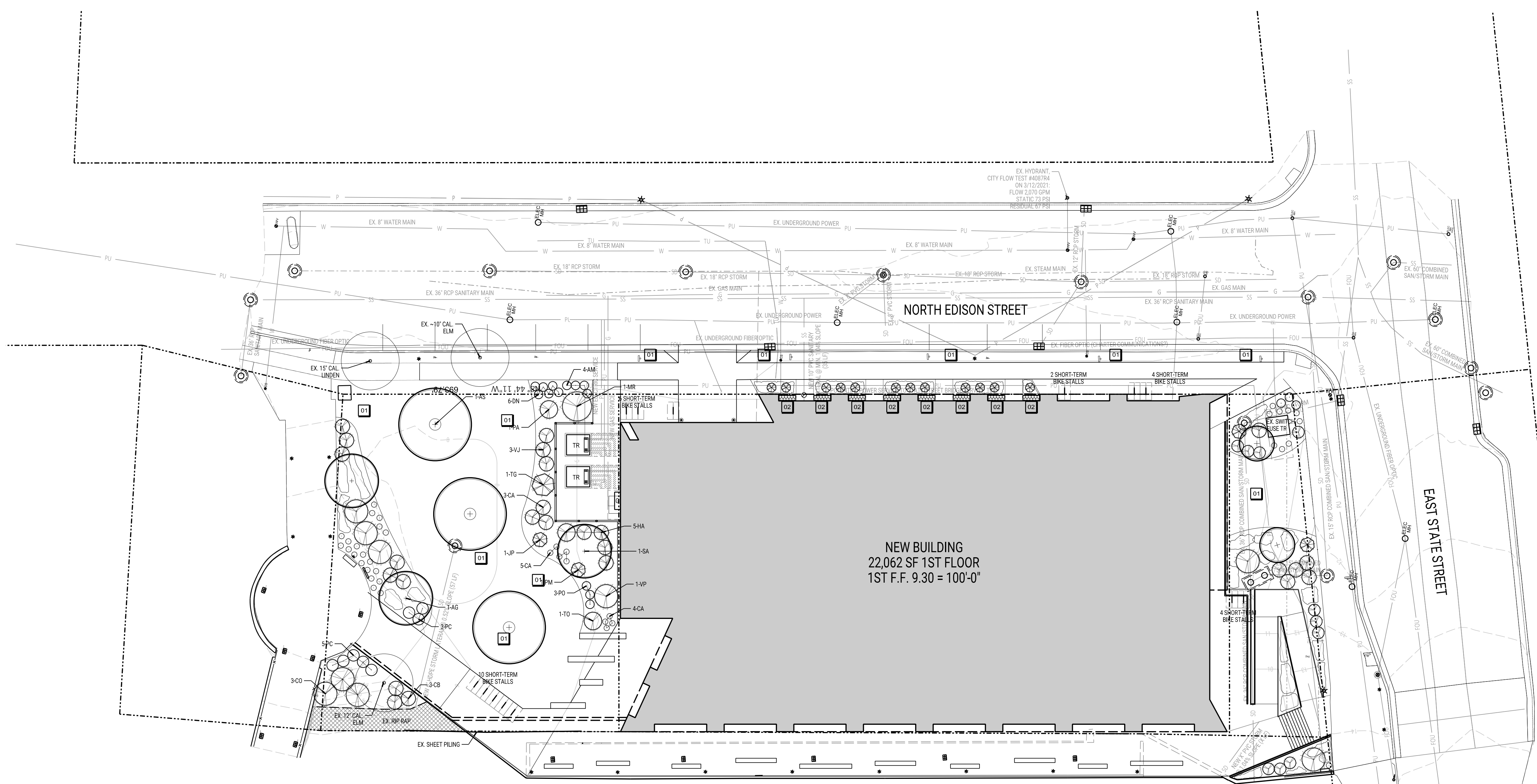
NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS SET.

LANDSCAPE GENERAL NOTES

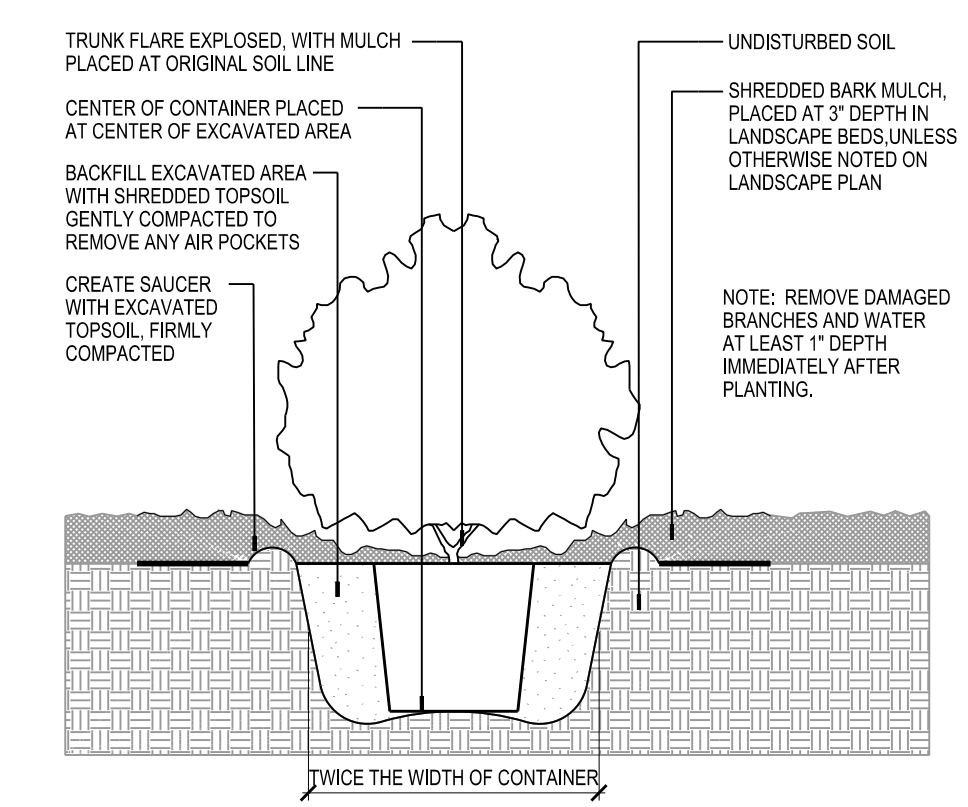
- TRUE NORTH MAY VARY FROM PROJECT NORTH.
- CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
- DIGGERS HOTLINE SHALL BE CALLED TO MARK UTILITIES PRIOR TO LAND DISTURBANCE.
- RESTORE ALL AREAS TO SOIL UNLESS NOTED OTHERWISE.
- ALL PLANTING BEDS SHALL RECEIVE 3" THICK SHREDDED BARK MULCH AND BLACK ANODIZED ALUMINUM SIDING.
- ALL INDIVIDUAL TREES SHALL RECEIVE 4" DIAMETER, 3" THICK SHREDDED BARK MULCH TREE RING WITH SPICE CUT EDGE. MULCH SHALL BE PULLED AWAY FROM TRUNK OF TREE TO PREVENT ROT.
- SEE DETAILS 01C01 AND 02C01 FOR PLANTING DETAILS.
- IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.

KEYNOTES

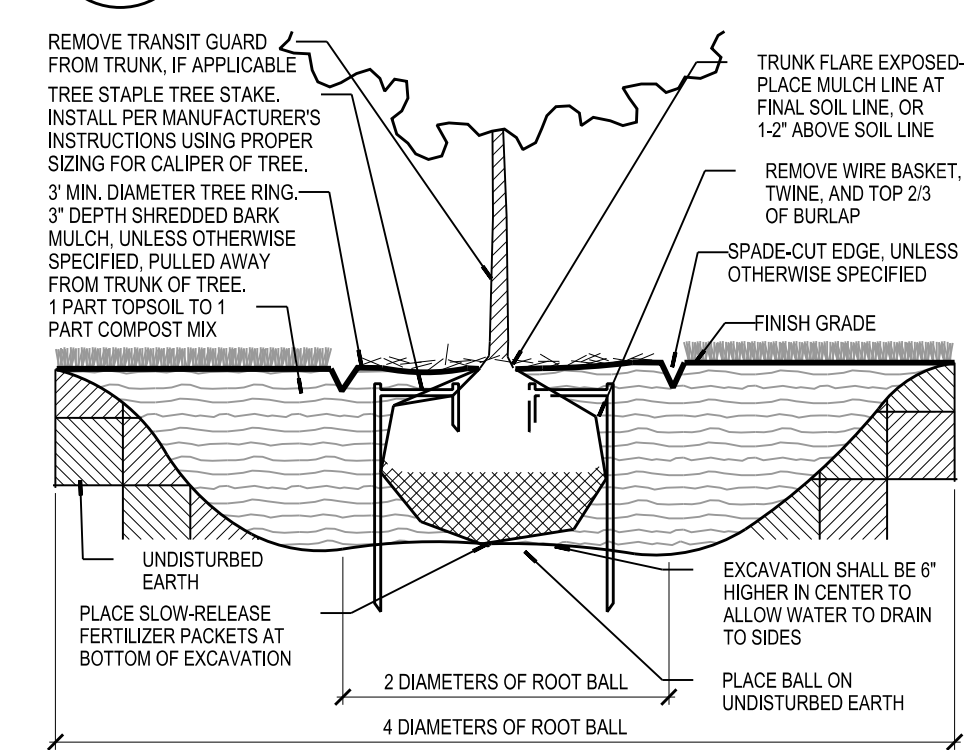
- 01 800
- 02 NEW 24" HIGH WEATHERED STEEL PLANTER WITH ANNUALS



MILWAUKEE RIVER
 BASE FLOOD EL. 584.00 NAVD / 3.397 MILWAUKEE DATUM
 WATER EL. 4/14/2021 0.92 TO 1.01



02 CONTAINER PLANTING IN LANDSCAPE BED
 SCALE: 1"=1'-0"



01 B.B. SHRUB AND TREE PLANTING DETAIL
 SCALE: NONE

PRELIMINARY - NOT FOR CONSTRUCTION

ISSUANCES / REVISIONS		
NO.	DESCRIPTION:	DATE:
1	SD PRICING SET	06/14/2021
2	DCD SUBMITTAL SET	06/18/2021
3	DCD SUBMITTAL UPDATES	06/29/2021
4	HP SUBMITTAL UPDATES	07/19/2021

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PROJECT NUMBER
67720
 APPROVED BY
JAD
 REVIEWED BY
JAD
 DRAWN BY
KAU
 1st LEVEL
 LANDSCAPE PLAN

C601

SCALE 1"=20'-0"

X:\67720\67720.dwg

PLOTTED BY: kahu

ORIGINAL SIZE: 24" x 36"



THE EDISON | WEST FACADE

PRELIMINARY - NOT FOR CONSTRUCTION

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PROJECT NUMBER
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APPROVED BY
 Approver

REVIEWED BY
 Checker

DRAWN
 A.Y. or

**WEST FACADE
 RENDERING**

A001

**THE
 NEUTRAL
 PROJECT**

**THE EDISON
 DEVELOPMENT**

1005 N EDISON ST
 MILWAUKEE, WI 53202

MGA
 MICHAEL GREEN ARCHITECTURE

**THE
 NEUTRAL
 PROJECT**



THE EDISON | MAIN ENTRANCE

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 Approver

REVIEWED BY
 Checker

DRAWN
 A.B.Y.

**MAIN ENTRANCE
 RENDERING**

A002



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PROJECT NUMBER
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APPROVED BY
 Approver

REVIEWED BY
 Checker

DRAWN
 A.Y. for

SOUTH CAFÉ RENDERING

**THE
 NEUTRAL
 PROJECT**

**THE EDISON
 DEVELOPMENT**

1005 N EDISON ST
 MILWAUKEE, WI 53202

MGA
 MICHAEL GREEN ARCHITECTURE

**THE
 NEUTRAL
 PROJECT**



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 Approver

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 Checker

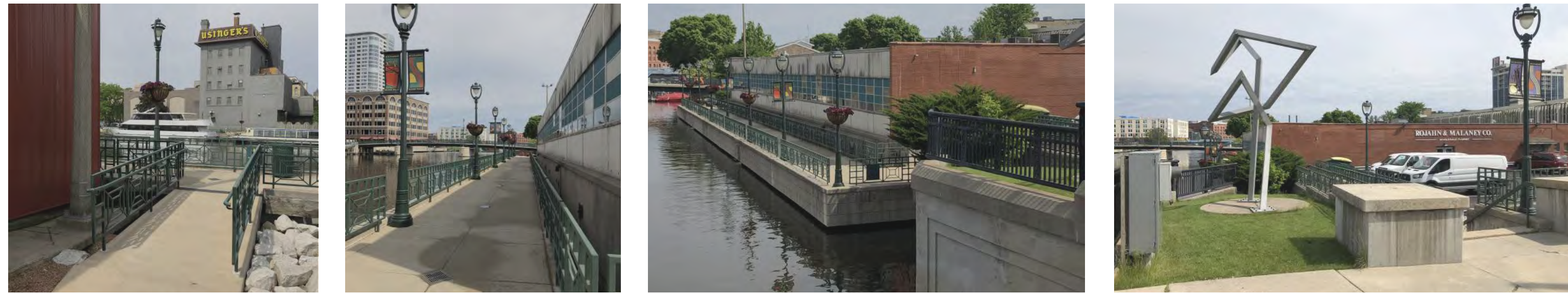
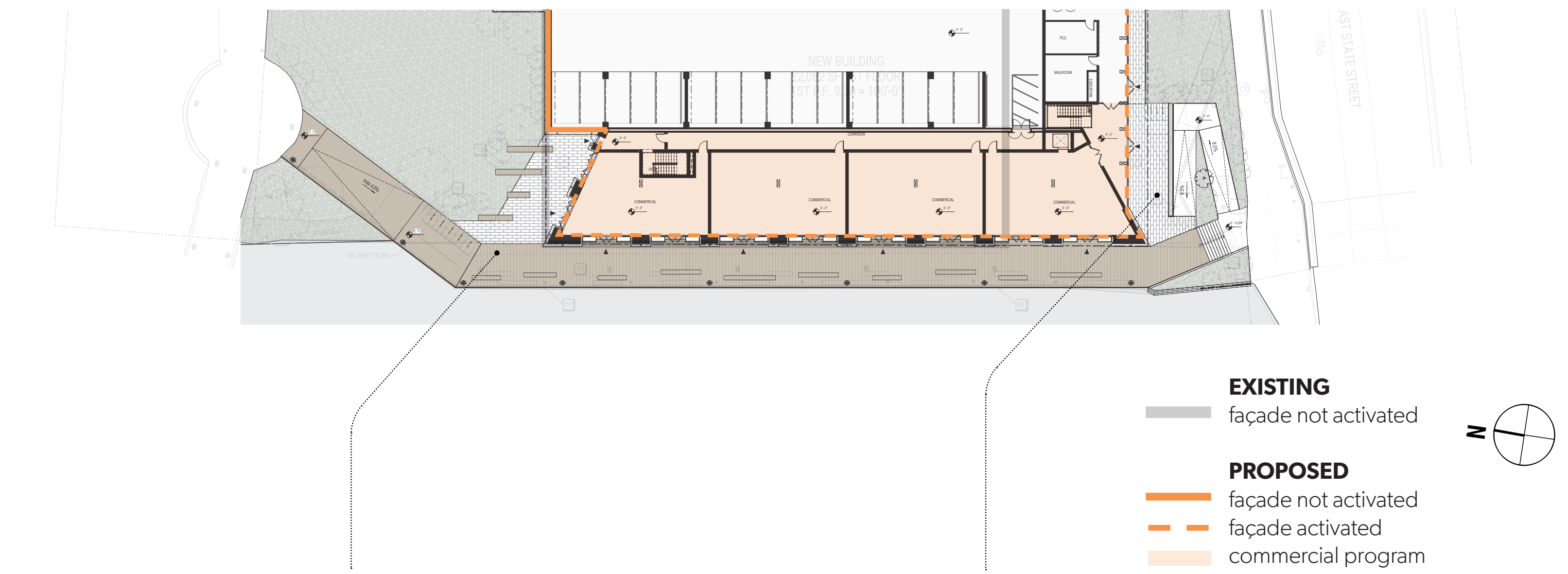
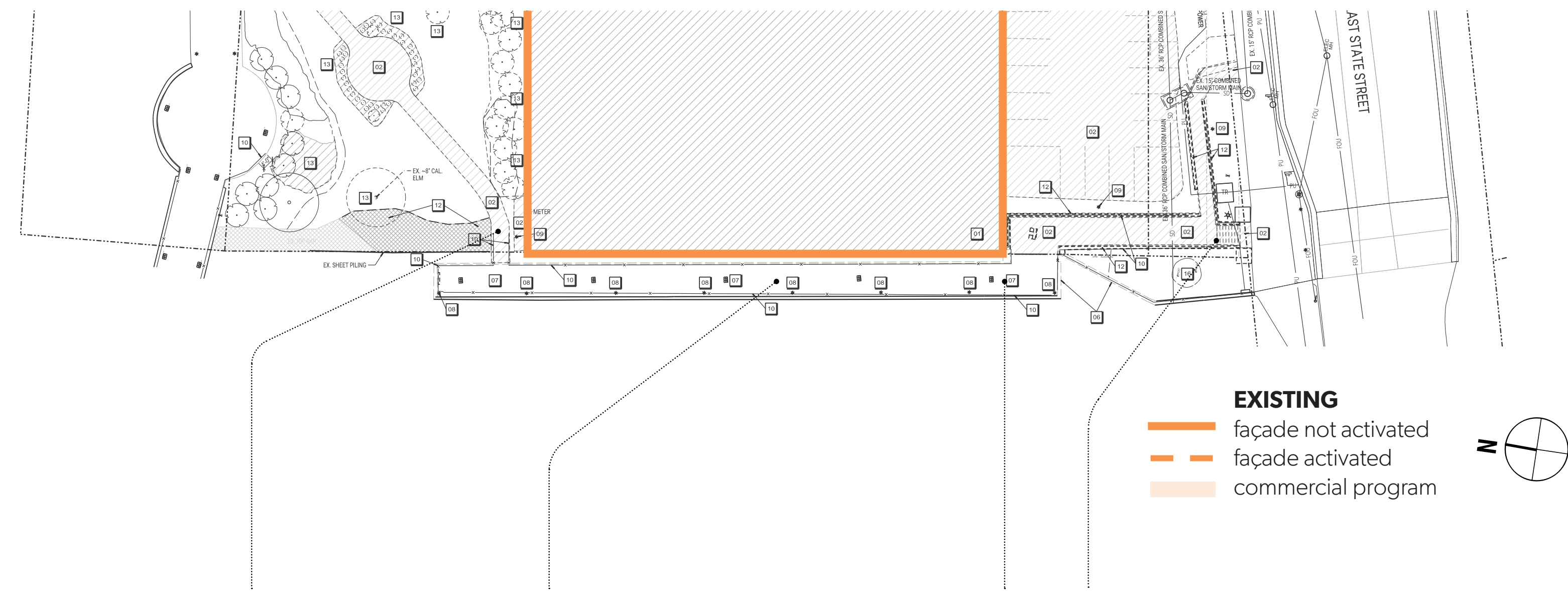
DRAWN
 A.Y. for

**NORTH RIVERWALK
 RENDERING**

A004

THE EDISON | NORTH CORNER

PRELIMINARY - NOT FOR CONSTRUCTION

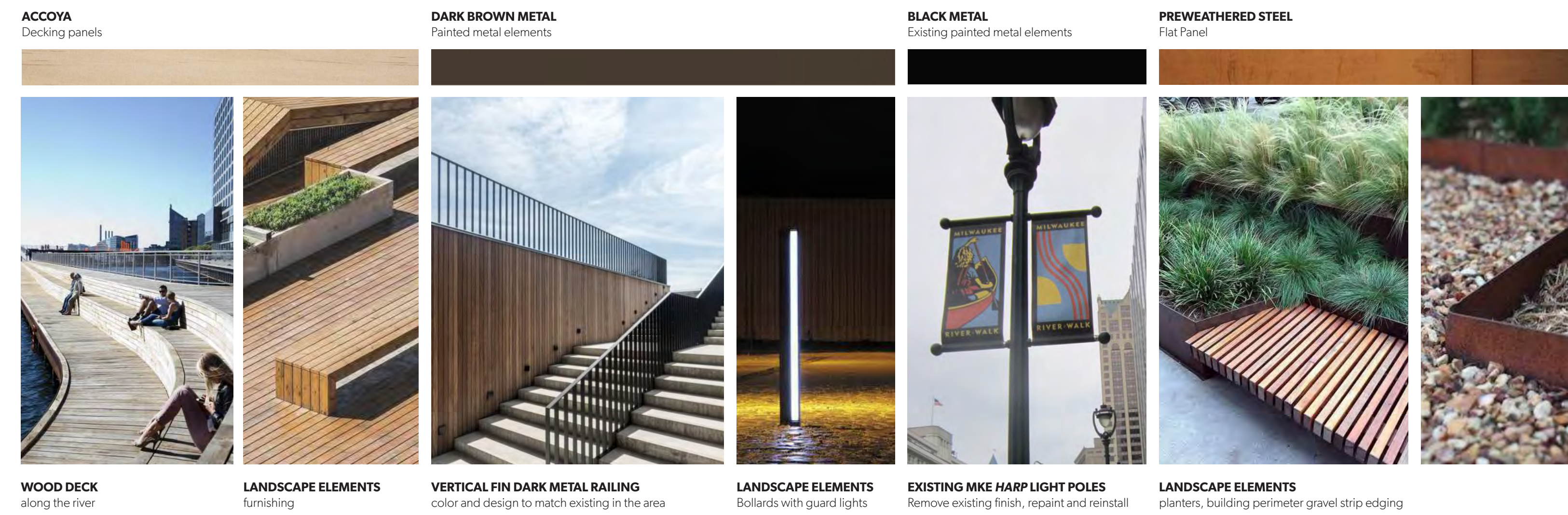


EXISTING



PROPOSED

MATERIALITY



SITE | RIVER WALK

RAILING AT THE EXISTING RETAINING WALL



NEW RAILING DETAIL

PRELIMINARY - NOT FOR CONSTRUCTION

ISSUANCES / REVISIONS		
NO.	DESCRIPTION	DATE
2	DCD SUBMITTAL SET	06/16/2021
3	DCD SUBMITTAL UPDATES	06/29/2021
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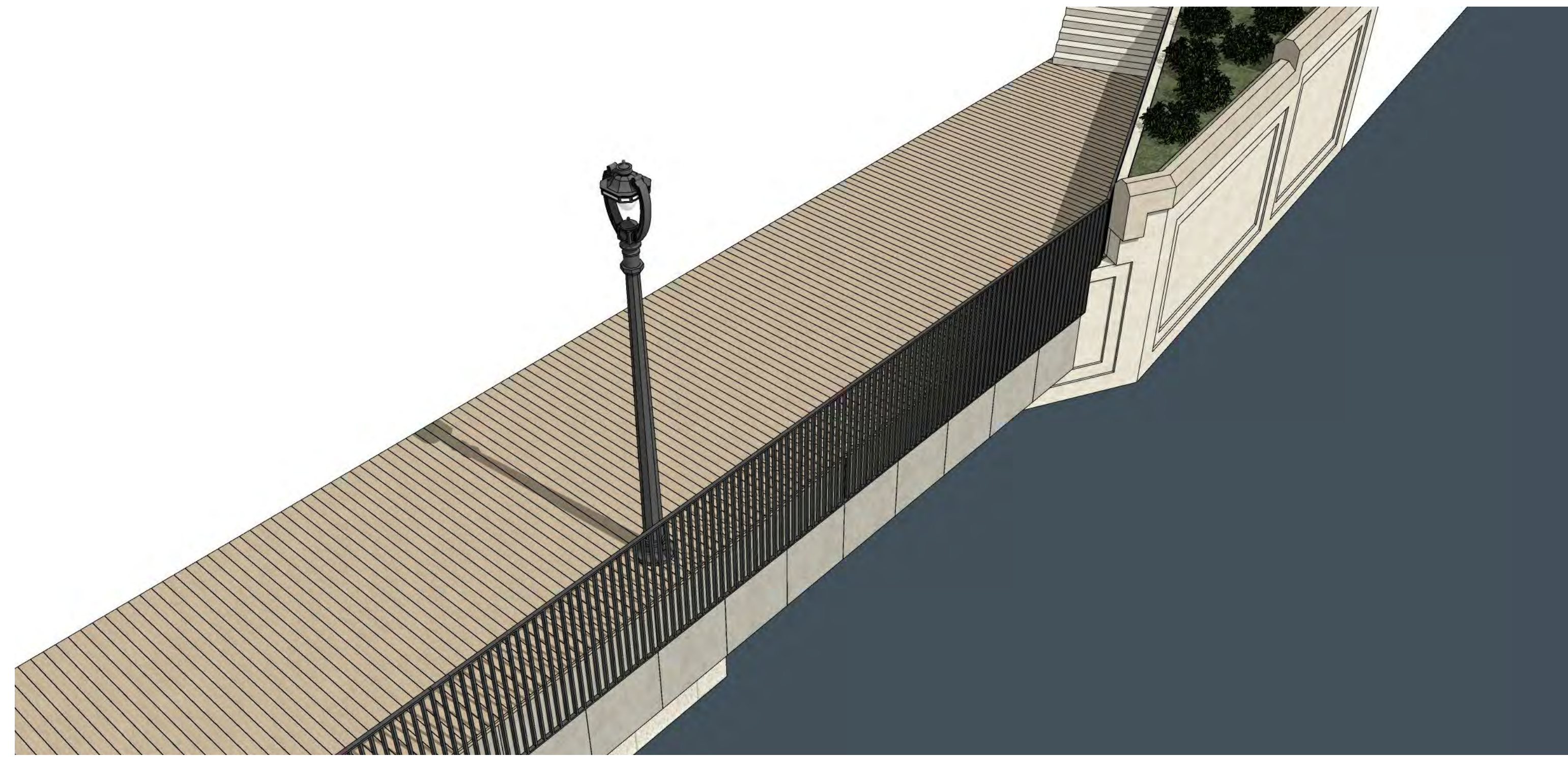
APPROVED BY
 Approver

REVIEWED BY
 Checker

DRAWN
 ABX/or

RIVERWALK

BIM Size: 30" x 42" (Arch.ET) Sheet Size: 30" x 42" (Arch.ET)



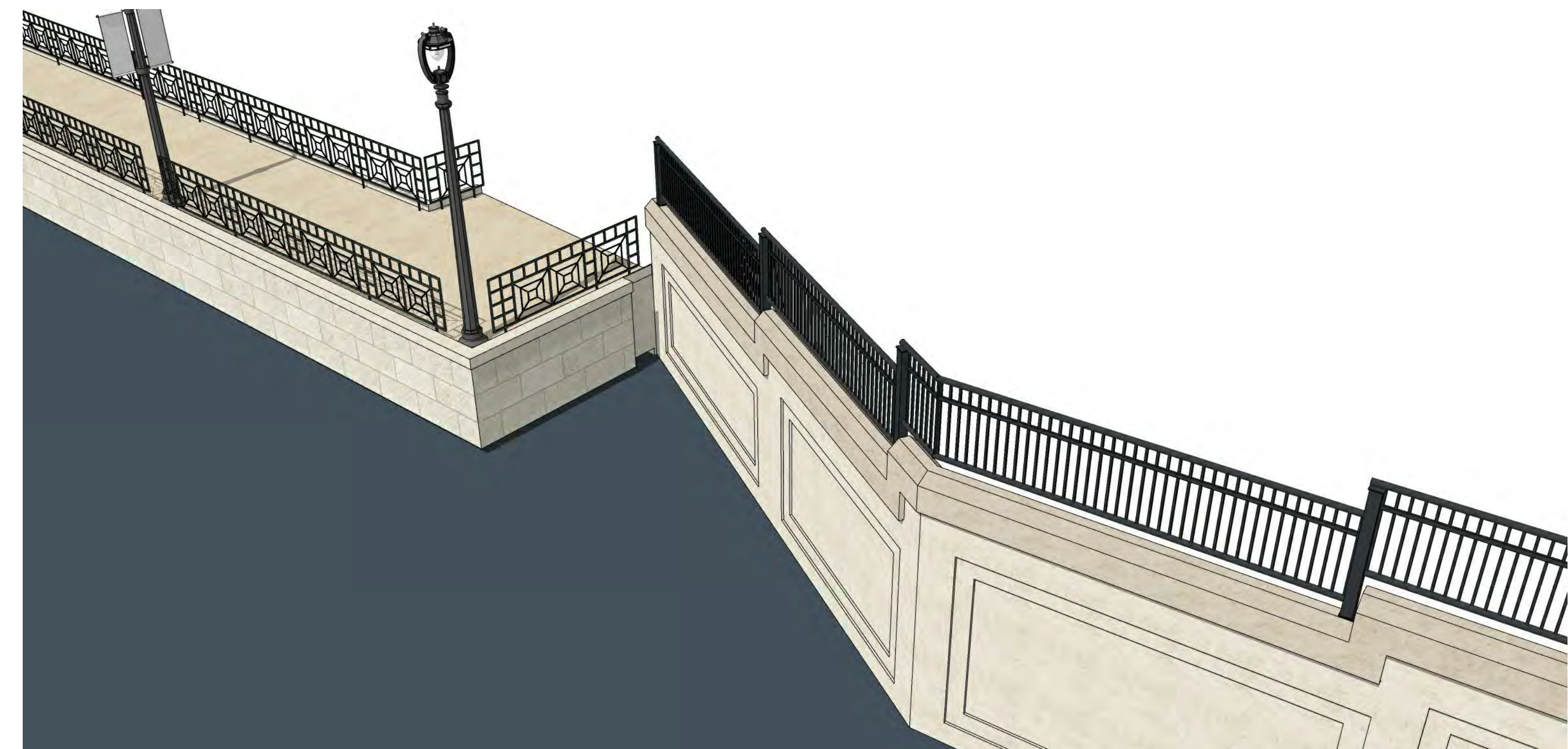
PROPOSED RIVERWALK | FROM NORTH



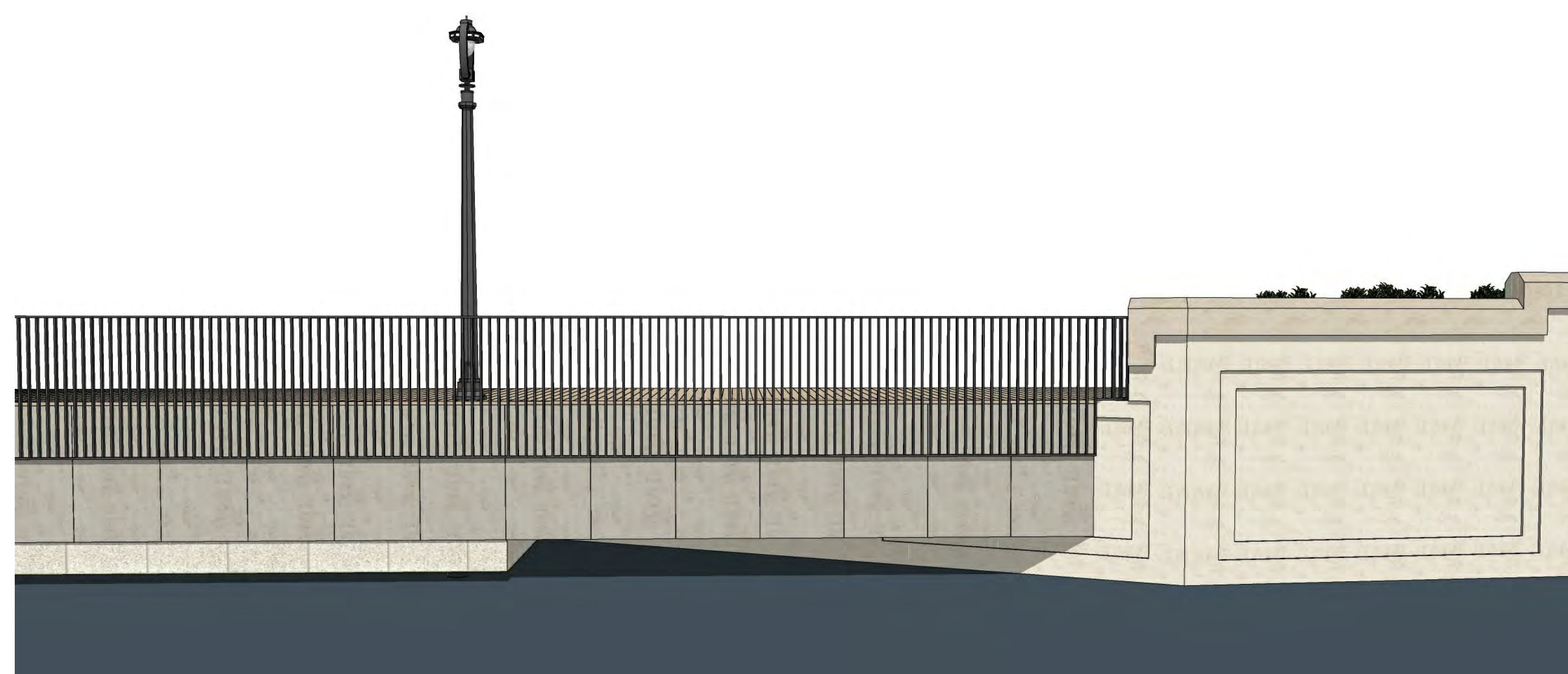
EXISTING RIVERWALK | FROM NORTH



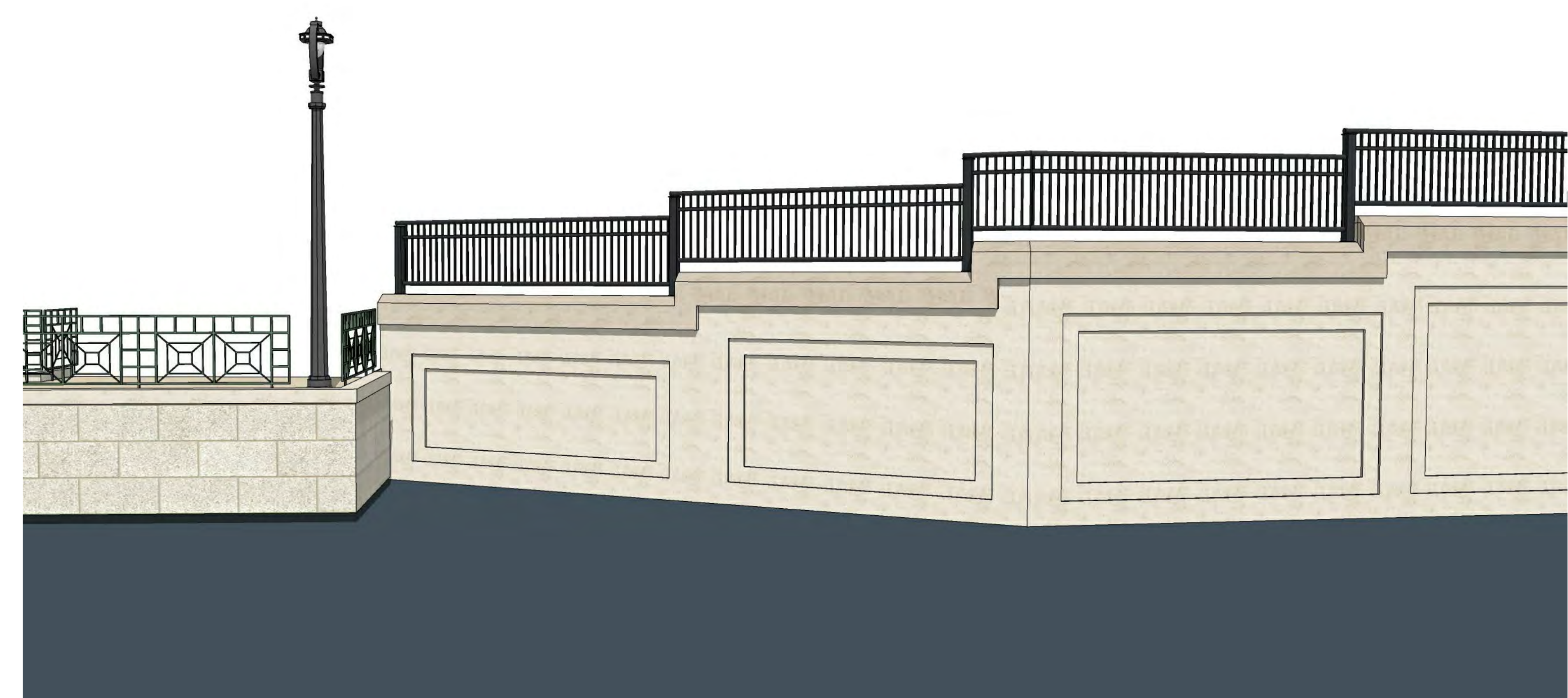
PROPOSED RIVERWALK | FROM SOUTH



EXISTING RIVERWALK | FROM SOUTH



PROPOSED RIVERWALK | ELEVATION



EXISTING RIVERWALK | ELEVATION

ISSUANCES / REVISIONS		
NO.	DESCRIPTION	DATE
1	SD PRICING SET	08/14/2021
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3	DCD SUBMITTAL UPDATES	06/29/2021
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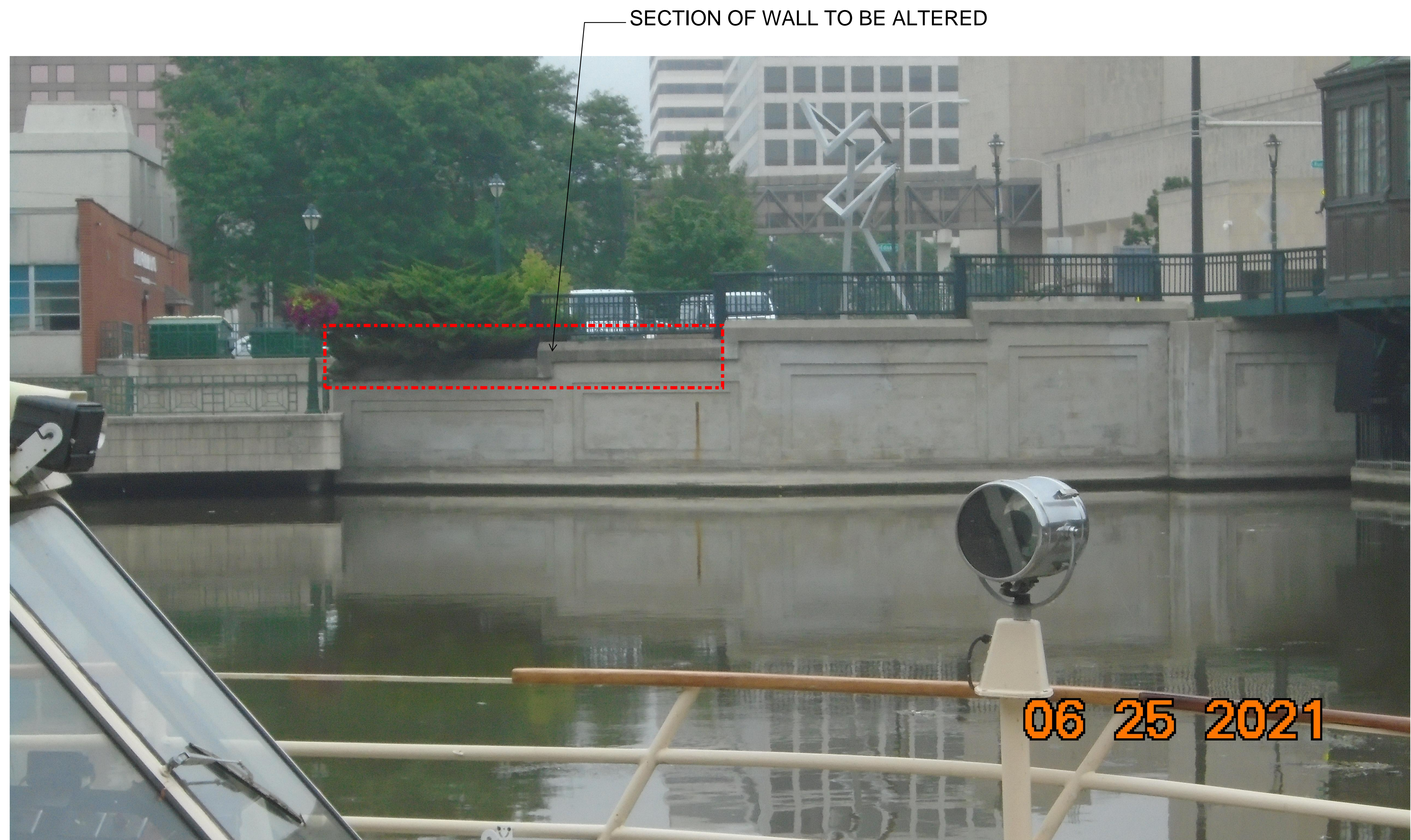
PROJECT NUMBER
 67720

APPROVED BY
 Approver

REVIEWED BY
 Checker

DRAWN BY
 Author

RIVERWALK DIAGRAMS



EXISTING RIVERWALK I IMAGE



EXISTING RIVERWALK I IMAGE



EXISTING RIVERWALK I IMAGE



EXISTING RIVERWALK I IMAGE

ISSUANCES / REVISIONS		
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3	DCD SUBMITTAL UPDATES	06/29/2021
4	HP SUBMITTAL UPDATES	07/19/2021

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PROJECT NUMBER
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 Approver

REVIEWED BY
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DRAWN BY
 Author

RIVERWALK IMAGES

THE NEUTRAL PROJECT

THE EDISON DEVELOPMENT

1005 N EDISON ST
 MILWAUKEE, WI 53202



ISSUANCES / REVISIONS

NO.	DESCRIPTION	DATE
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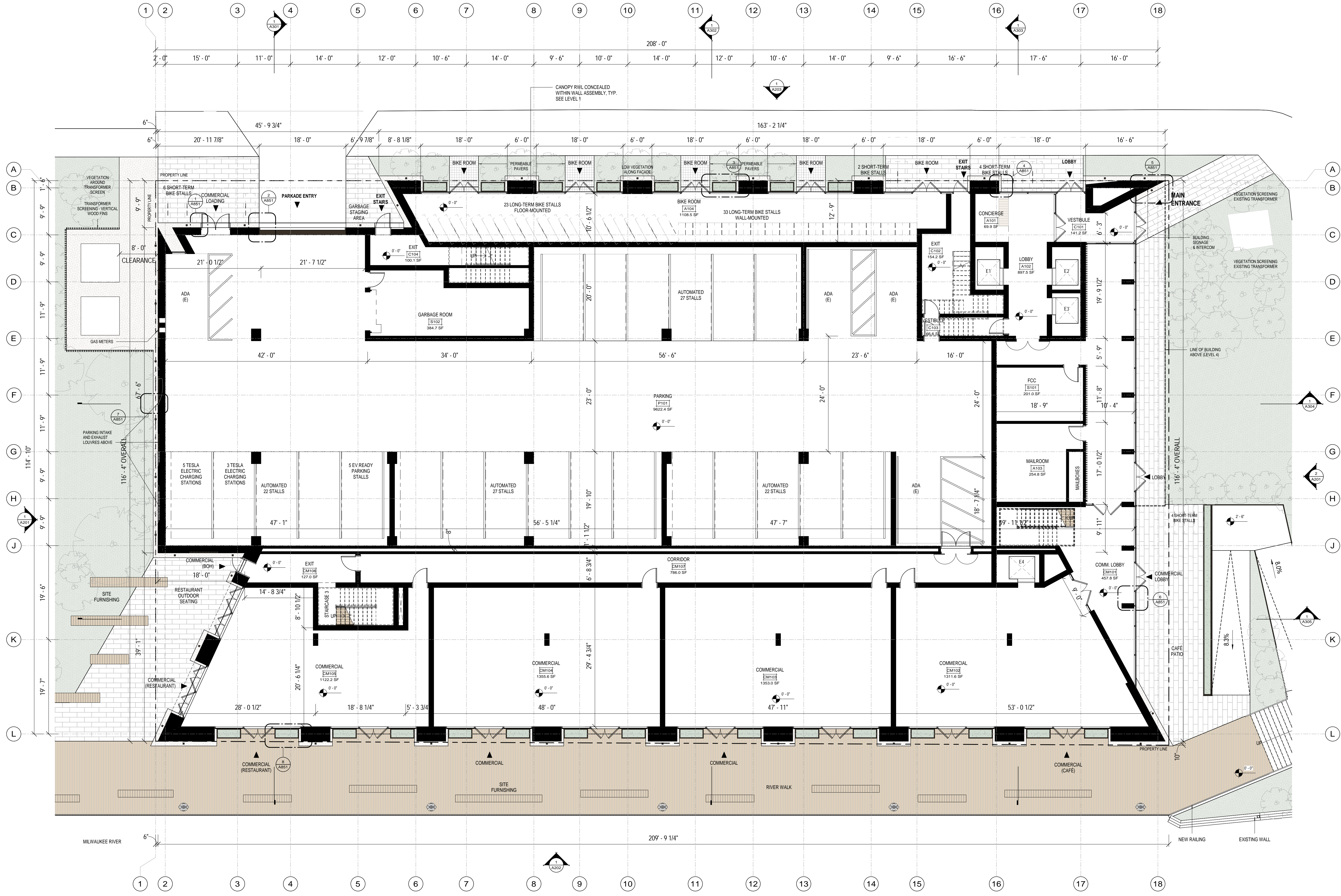
APPROVED BY
 AYA

REVIEWED BY
 AYA

DRAWN
 ABX/or

1ST LEVEL FLOOR PLAN

A101



1ST LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

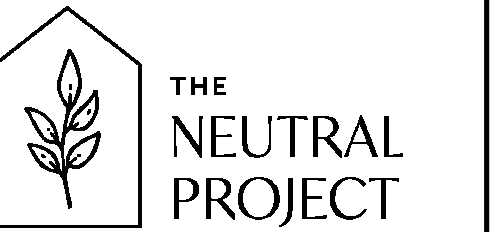
Sheet Size: 30" x 42" (Arch E1)
 BIM 360://Edison/67720-AV/2020.rvt

THE NEUTRAL
PROJECT

THE EDISON
DEVELOPMENT

1005 N EDISON ST
MILWAUKEE, WI 53202

MGA
MICHAEL GREEN ARCHITECTURE



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PROJECT NUMBER
67720

APPROVED BY
AYA

REVIEWED BY
AYA

DRAWN BY
Author

NORTH AND SOUTH ELEVATIONS

A201



BIM 360://Edison/67720/NA-V2020.rvt
Sheet Size: 30" x 42" (Arch E1)

NOTE: REFER TO A202 AND A203 FOR MATERIAL LEGEND

1 NORTH
A201
SCALE: 1/8" = 1'-0"

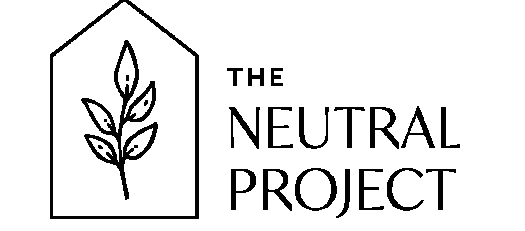
2 SOUTH
A201
SCALE: 1/8" = 1'-0"

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THE NEUTRAL PROJECT

THE EDISON DEVELOPMENT

1005 N EDISON ST
MILWAUKEE, WI 53202



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APPROVED BY
Approver

REVIEWED BY
Checker

DRAWN BY
Author

WEST ELEVATION

A202



Sheet Size: 30" x 42" (Arch E1)
BIM 360://Edison/67720/NA/2020.rvt

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THE NEUTRAL
 PROJECT

THE EDISON
 DEVELOPMENT

1005 N EDISON ST
 MILWAUKEE, WI 53202

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REVIEWED BY
 Checker

DRAWN BY
 Author

EAST ELEVATION

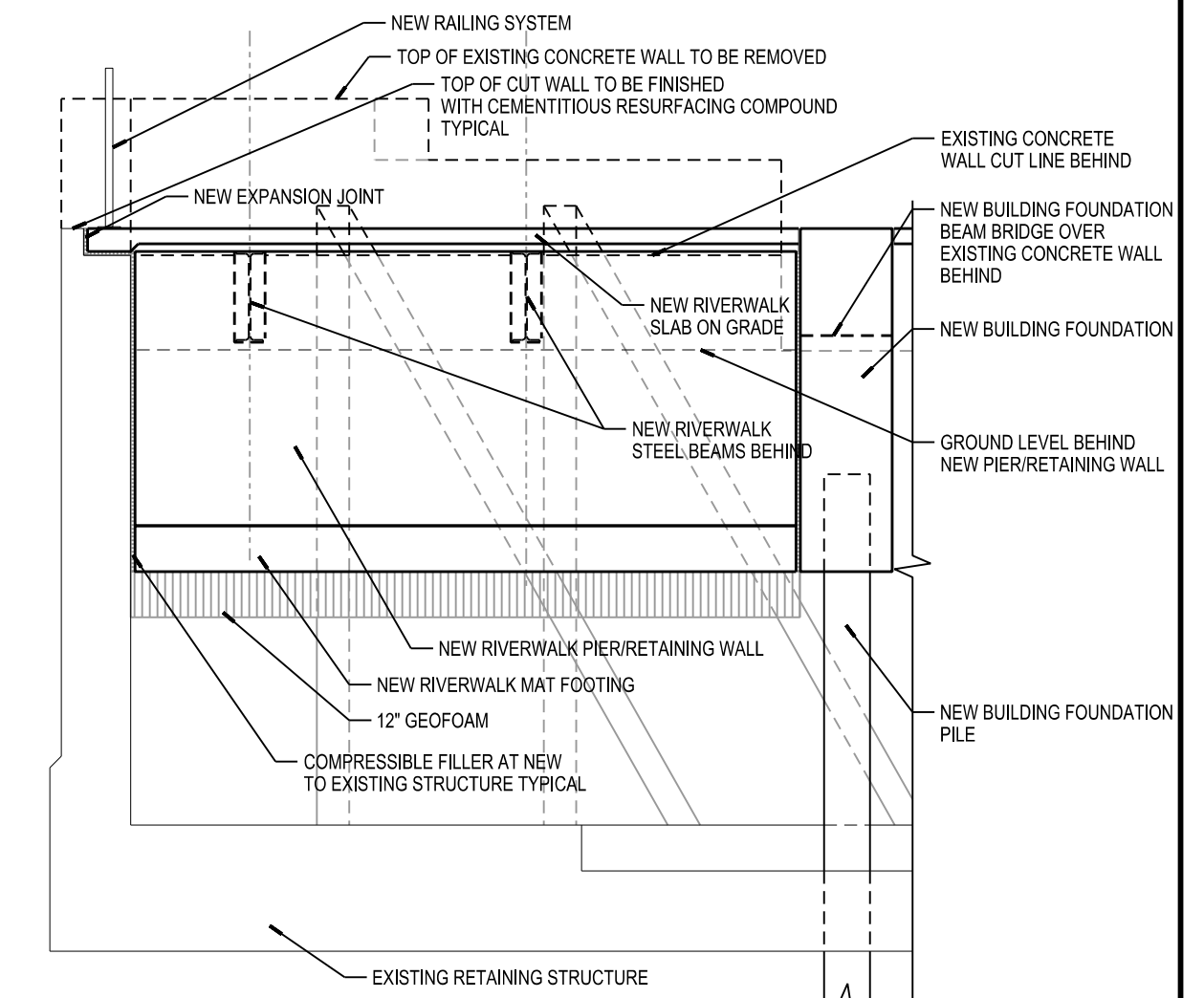


Sheet Size: 30" x 42" (Arch/E) BIM 360/Edison/67720/A203.rvt

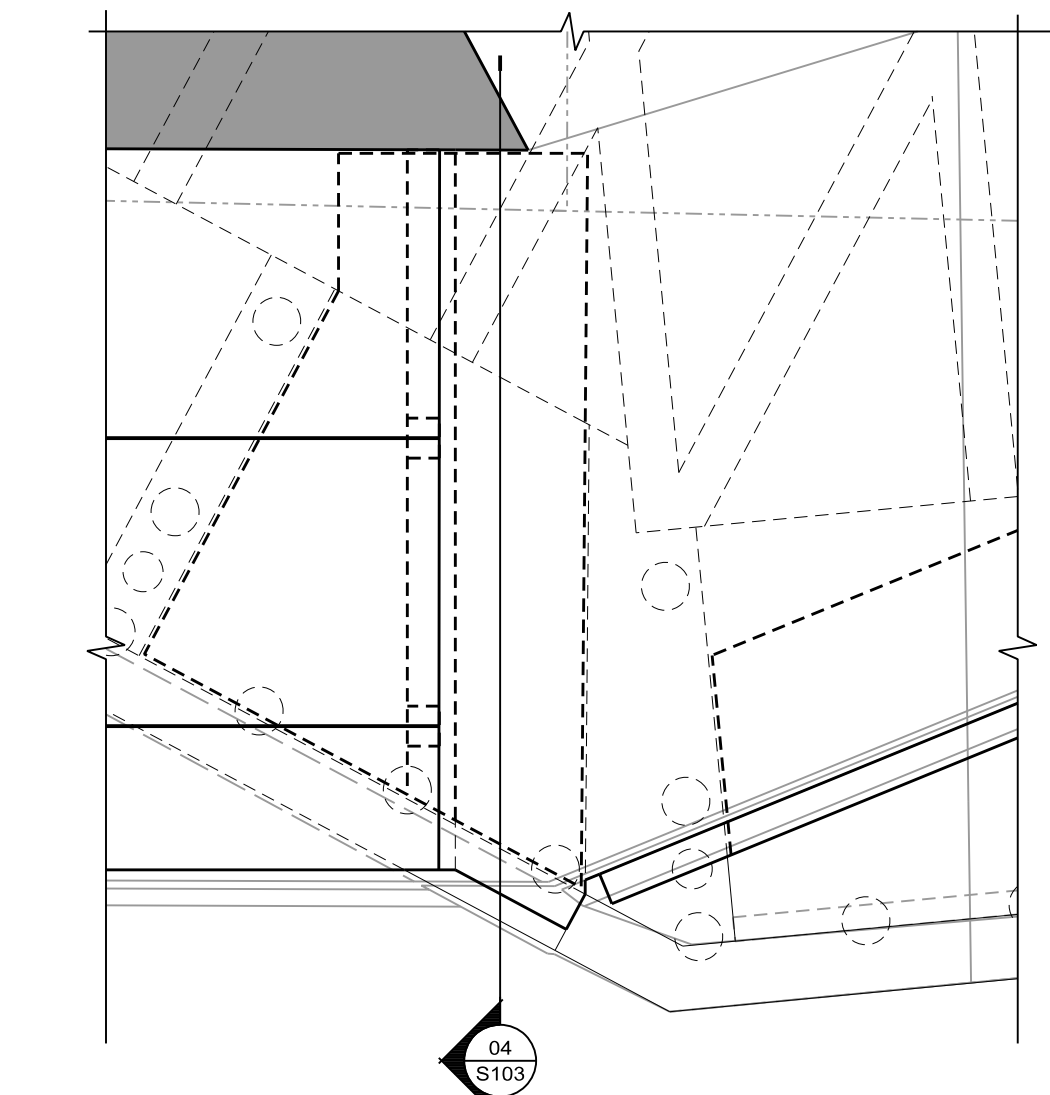
THE NEUTRAL
PROJECT

THE EDISON

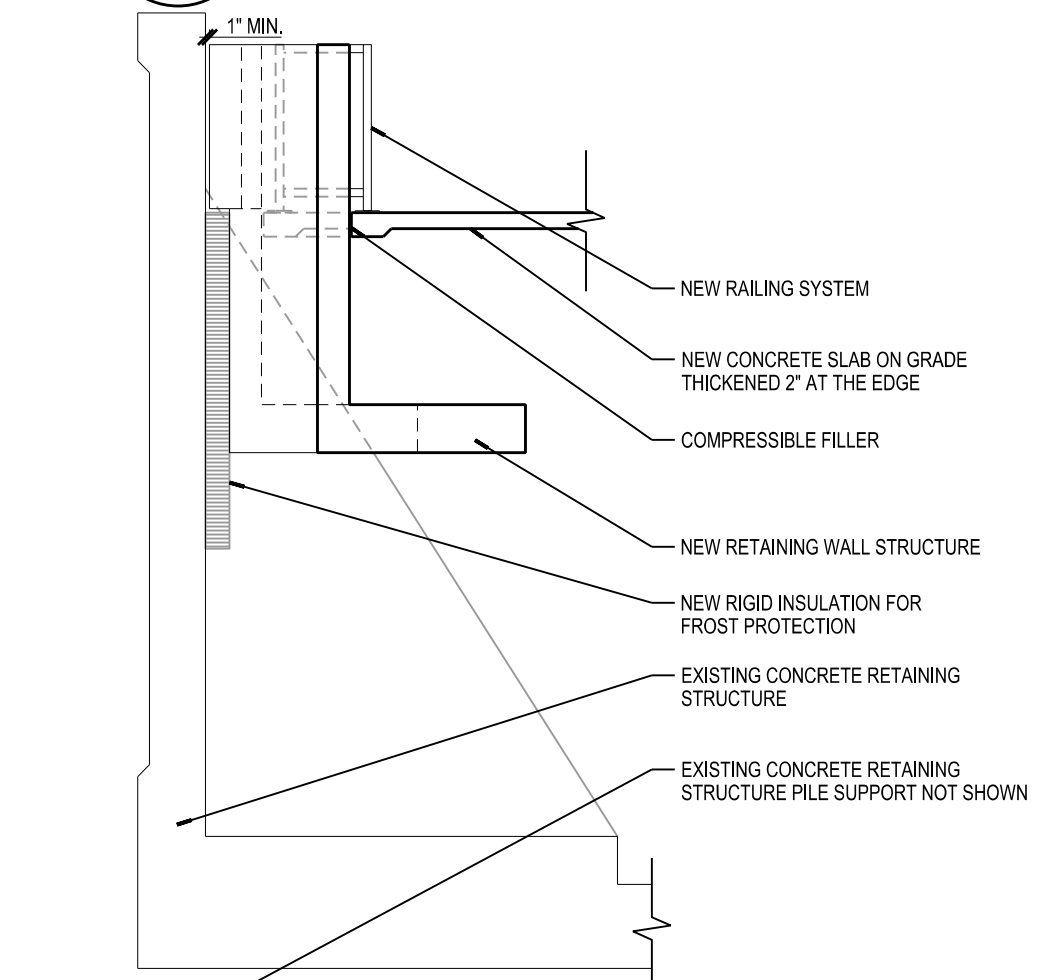
1005 N. EDISON STREET
MILWAUKEE, WI 53202



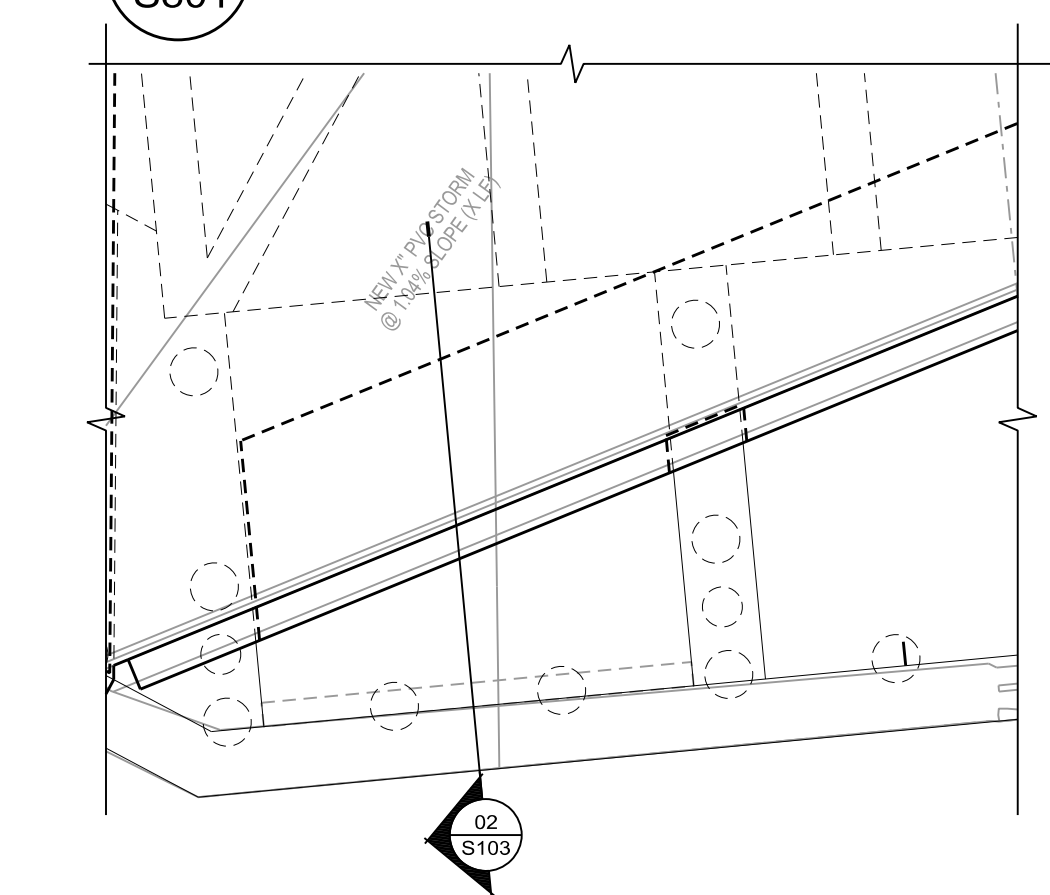
04
S103 NEW RIVERWALK STRUCTURE AT EXISTING RETAINING STRUCTURE SUPPORT
SCALE: 1/4"=1'-0"



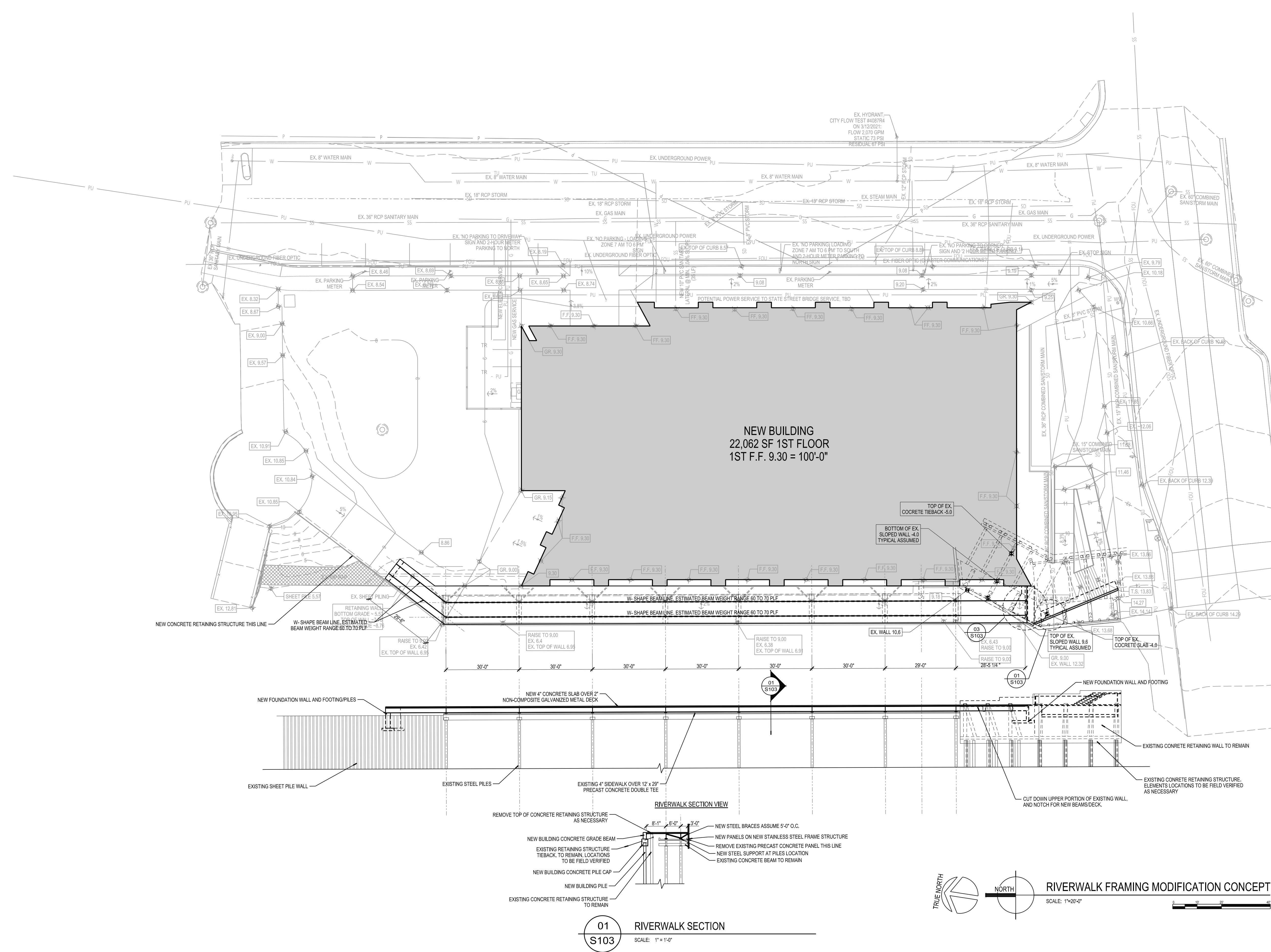
03
S103 PARTIAL RIVERWALK ENLARGED PLAN
SCALE: 1/4"=1'-0"



02
S801 NEW RETAINING WALL AT EXISTING RETAINING STRUCTURE
SCALE: 1/4"=1'-0"



01
S103 PARTIAL RIVERWALK ENLARGED PLAN
SCALE: 1/4"=1'-0"



01
S103 RIVERWALK SECTION
SCALE: 1"=1'-0"

RIVERWALK FRAMING MODIFICATION CONCEPT
SCALE: 1/8"=1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

ISSUANCES / REVISIONS		
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PROJECT NUMBER	67720
APPROVED BY	JAD
REVIEWED BY	JAD
DRAWN BY	GMS

RIVERWALK FRAMING MODIFICATION CONCEPT

S103

SCALE: 1/8"=1'-0"
 X:\67720\67720\AS103.dgn
 PLOTTED BY: gms
 ORIGINAL SIZE: 24" x 36"