

A Remodeling of the
HISTORIC HASTINGS BUILDING
to Luxury Apartment Residences

141 West Vine Street
Milwaukee, Wisconsin

<u>Proposed Unit Mix</u>	<u># of units</u>
Ground Floor: One Bedroom + Den Units	3
Two Bedroom Units	2
First Floor: One Bedroom Units	3
Two Bedroom Units	3
Three Bedroom Units	1
Second Floor: One Bedroom Units	3
Two Bedroom Units	3
Three Bedroom Units	1
TOTAL UNITS	19

REDEVELOPMENT INFORMATION:

The redevelopment consists of a historical cream city brick building, approximately 22,500 sq. feet, at the corner of Vine Street and 2nd Street in Milwaukee. The building is currently vacant and has an asphalt surfaced parking lot to the south that will be used as parking for the proposed redevelopment.

The redevelopment will consist of clearing and demolishing the interior walls and fixtures, all utilities, roof and all windows. There will be little exterior modifications to the historic structure, adding one (1) window on the west end of the building, six (6) entry doors on the south of the building, and a common entrance on the north of the building.

Surface parking for the redevelopment will be included at a rate of 1 parking space per unit. Additional resident parking is available on the surrounding streets in the area.



The ground level of the building will consist of five (5) residence apartments and utility and storage rooms, as well as two accessible entrances. The first and second floors will consist of seven (7) residence apartments. Interior walls will be insulated wood stud and drywall partition walls constructed to create the apartment units. Ceiling finishes will be painted drywall and concrete.

Interior apartment amenities include hardwood floors, ceramic flooring and carpet, CATV and telephone wiring and jacks in each living room and all bedrooms. The appliances included in each apartment are a dishwasher, garbage disposal, refrigerator, range and range hood and washer and dryer.

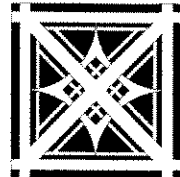
All units will have separate high energy gas fired furnaces and remote air conditioning condensing units. Residents will be responsible for their own gas, electric and water utilities. Security features will include security locked building exits and entrance, and an intercom system in each unit.

A REMODELING OF THE HISTORIC

HASTINGS BUILDING

TO LUXURY APARTMENT RESIDENCES

141 W. VINE STREET
MILWAUKEE, WI 53212



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project title:

A REMODELING OF
THE HISTORIC

HASTINGS
BUILDING

141 WEST VINE STREET
MILWAUKEE, WI 53202

sheet title:

TITLE SHEET

revisions:

date:
7/25/2005

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KMM/AAH

file name:
line1
line 2

project number:
2005.030

scale:
AS SHOWN

sheet number:
T1

CHAPTER 10 CODE ANALYSIS			
THIS ANALYSIS IS BASED ON EVALUATION CRITERIA OUTLINED IN 1021			
SAFETY PARAMETER	PREVAILING CODE	ACTUAL	NUMERICAL VALUE
1022-1 NUMBER OF STORIES	4	3	4
1022-2 ALLOWABLE BUILDING AREA	16,000 SF	LESS THAN 50%	0
1022-3 FIRE SEPARATION DISTANCE		COMPLIES	0
1022-4 ATTIC DRAFT-STOPPING AND COMPARTMENTALIZATION		COMPLIES	0
1022-5 FIREBLOCKING		COMPLIES	0
1022-6 OCCUPANCY SEPARATION		COMPLIES	0
1022-7 VERTICAL OPENINGS		COMPLIES	0
1022-8 HVAC SYSTEMS		COMPLIES	0
1022-9 SMOKE DETECTION		COMPLIES	0
1022-10 FIRE ALARMS		COMPLIES	0
1022-11 SMOKE CONTROL		COMPLIES	0
1022-12 EXITS, FIRE ESCAPE ELIMINATED AND CODE COMPLYING ENCLOSED EXIT STAIRWAY SERVING 3 OR MORE LEVELS IS PROVIDED.			0
1022-13 DEAD ENDS		COMPLIES	0
1022-14 MAXIMUM TRAVEL DISTANCE	200'-0"	LESS THAN 50%	0
1022-15 ILLUMINATION EMERGENCY POWER		COMPLIES	
1022-16 ELEVATOR CONTROL, 3 STORIES OR MORE CONTAINING AN ELEVATOR WITHOUT PHASE I AND PHASE II EMERGENCY OPERATION.			0
1022-17 SPRINKLERS		COMPLIES	0
		TOTAL SAFETY SCORE	40

CODE INFORMATION (IBC 2002)

PROJECT ADDRESS: 141 W. VINE STREET

PROPOSED ZONING DESIGNATION: DPD, DETAILED PLAN DEVELOPMENT

OCCUPANCY CLASSIFICATION: RESIDENTIAL, R2

CONSTRUCTION TYPE: IIB, MASONRY UNPROTECTED

ALLOWABLE AREAS (PER TABLE 509) 16,000 SQ. FT. PER FLOOR

ALLOWABLE HEIGHT (PER TABLE 503) 4 STORIES, 55 FT.

FIRE RESISTANCE RATINGS REQUIRED FOR BUILDING ELEMENTS (PER TABLE 601):
STRUCTURAL FRAME: 0 HOURS
EXTERIOR BEARING WALLS: 0 HOURS
NON BEARING WALLS: 0 HOURS
FLOOR CONSTRUCTION: 0 HOURS
ROOF CONSTRUCTION: 0 HOURS

REQUIRED STAIR/ELEVATOR SHAFT ENCLOSURE RATING (PER 7014) 1 HOUR, UL* US09

REQUIRED CORRIDOR WALL FIRE RATING (PER 7033) 1 HOUR, UL* US09

REQUIRED UNIT DEMISING WALL RATING (PER 7063) 1 HOUR, UL* US09

REQUIRED FIRE RATING BETWEEN GROUND FLOOR AND FIRST FLOOR (PER 7033) 1 HOUR, PER TABLE 7032, ITEM 4

REQUIRED FIRE RATING BETWEEN FIRST AND SECOND FLOOR: 1/2" GUS ATTACHED TO UNDERSIDE OF EXISTING FLOOR JOISTS. TOP SURFACE: FINISHED FLOORING OVER EXISTING 1X6 TAG SUBFLOOR OVER EXISTING 2X2 JOISTS AT 16" O.C. WITH CROSS BRIDGING. FILL VOIDS WITH 6" FIBERGLASS SOUND INSULATION. ONE HOUR FIRE RATED SYSTEM PER UL* L82.

REQUIRED STORAGE ROOM FIRE RATING (PER 302.11) STORAGE ROOMS OVER 100 SQ. FT., 1 HOUR.

THIS BUILDING IS FULLY SPRINKLERED PER NFPA D.

GROSS PROJECT AREAS:
GROUND FLOOR: 1475 SQ. FT.
FIRST FLOOR: 1475 SQ. FT.
SECOND FLOOR: 1475 SQ. FT.
TOTAL AREA: 2745 SQ. FT.

TOTAL OCCUPANT LOAD, SECOND FLOOR: 29 PERSONS
TOTAL OCCUPANT LOAD, FIRST FLOOR: 26 PERSONS
TOTAL OCCUPANT LOAD, BASEMENT: 14 PERSONS

EGRESS WIDTH REQUIRED (PER TABLE 1003.2.3):
STAIRWAYS: 3' PER PERSON + 20"
OTHER EGRESS COMPONENTS: 2' PER PERSON + 10"

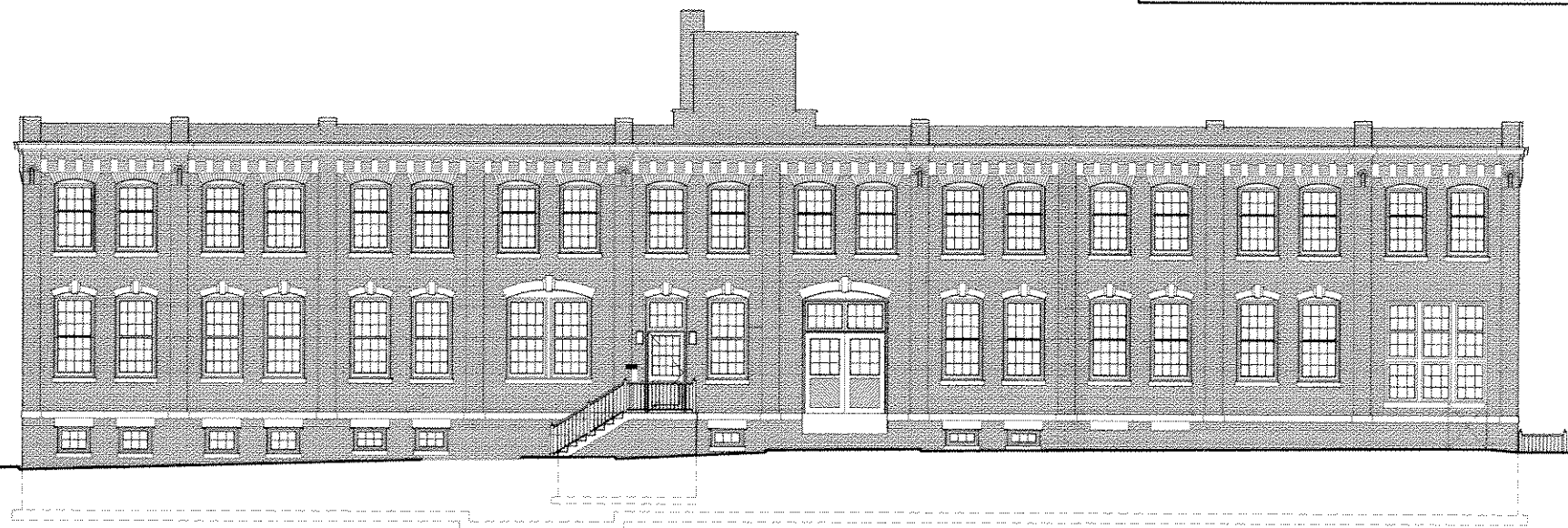
EGRESS WIDTH PROVIDED, FIRST AND SECOND FLOORS: 12"

EGRESS WIDTH PROVIDED, BASEMENT: 7"

EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES AND SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM (1009.2.10.5).

EXIT ACCESS TRAVEL DISTANCE (1004.2.4) 90'-9"

NOTE: THIS BUILDING QUALIFIES FOR CHAPTER 10 HISTORIC BUILDINGS CODE REQUIREMENTS (STAIRS AND HEATLOSS).



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LIST OF DRAWINGS:

- T1 Title Sheet
- C1 Site Plan
- D1 Ground and First Floor Demo
- D2 Second Floor Demo
- A1 Ground and First Floor Plans
- A2 Second Floor Plan
- A3 Enlarged Floor Plans
- A4 Enlarge Floor Plans
- A5 Reflected Ceiling Plan
- A6 South and East Elevations
- A7 North and West Elevations
- A8 Wall Section Details
- A9 Schedules
- S1 Structural Plans and Details

APPROVAL DOCUMENTS



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**HASTINGS
BUILDING**

141 WEST VINE STREET
MILWAUKEE, WI 53202

sheet title:

**SURVEY,
PROPOSED
SITE PLAN**

revisions:

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7/25/2005

drawn by:
KMW/AAH

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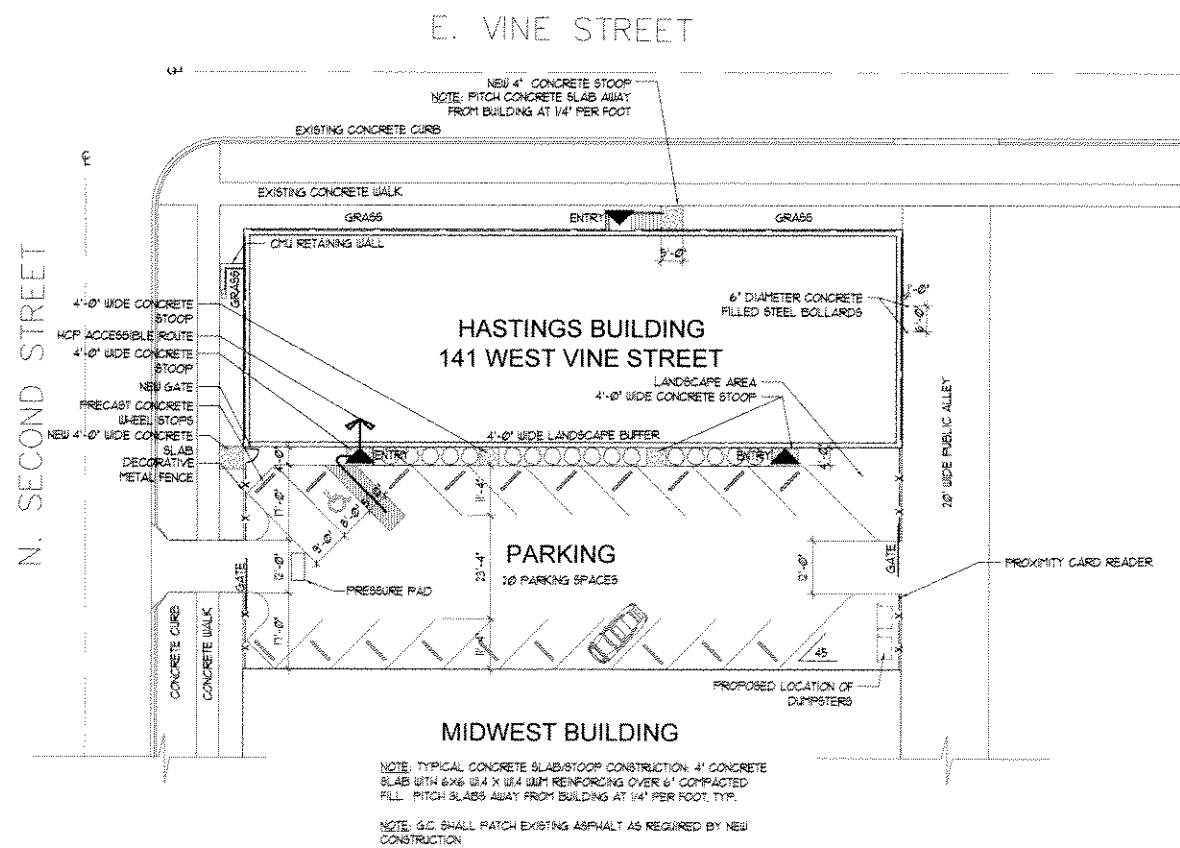
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APPROVAL DOCUMENTS

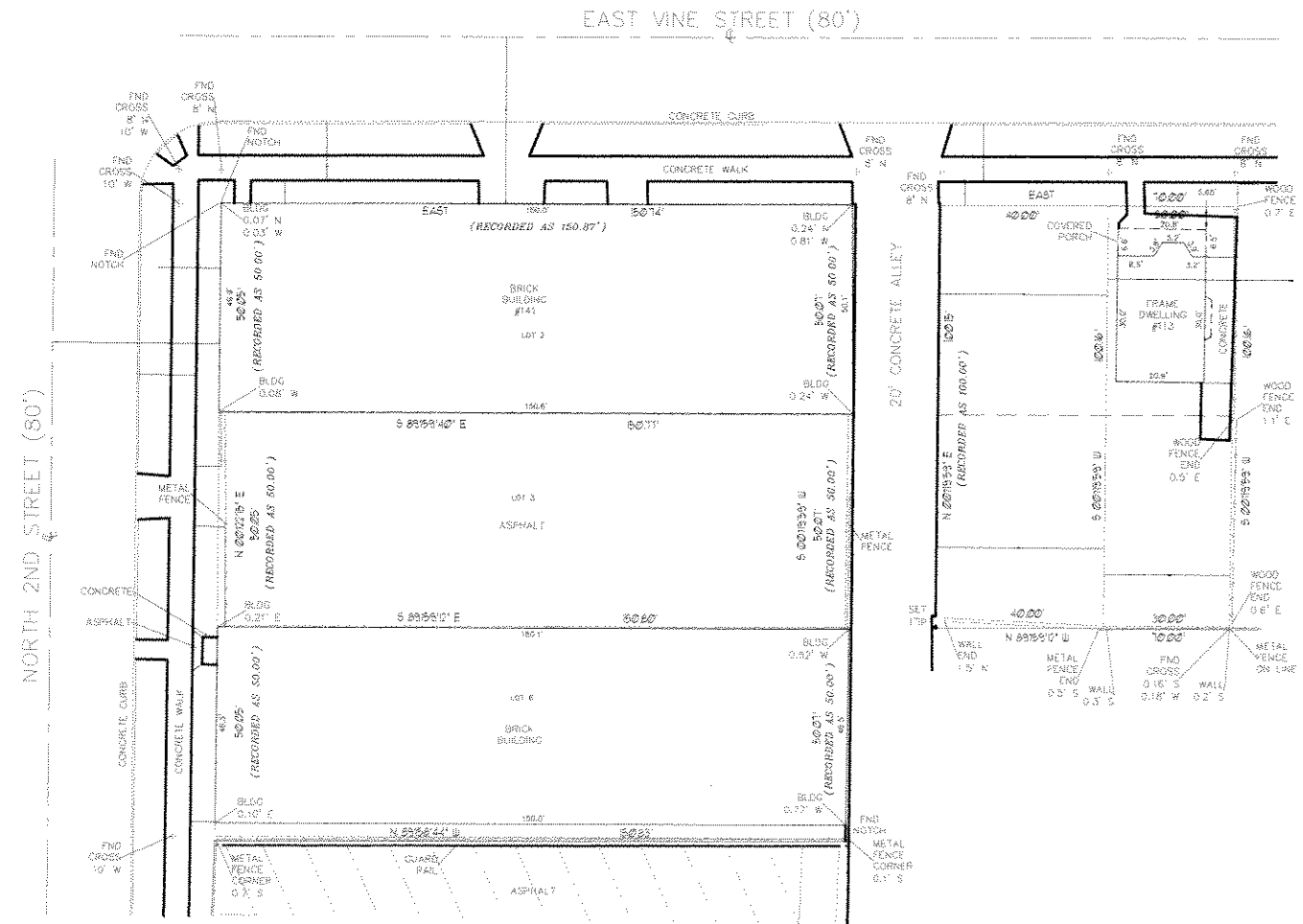
LEGAL DESCRIPTION

LOTS 2, 3, 6, AND THE WEST 40 FEET OF LOTS 1 AND 4, AND THE EAST 30 FEET OF THE WEST 70 FEET OF LOTS 1 AND 4, IN SHERMAN'S ADDITION, IN THE
NORTHEAST 1/4 OF SECTION 20, TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

(LOTS 2,3, & 6) CONTAINING 22,646 SQUARE FEET
(PART OF LOTS 1 & 4) CONTAINING 7,011 SQUARE FEET

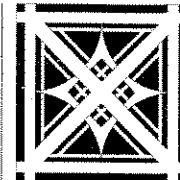


PROPOSED SITE PLAN
1" = 20'-0"



EXISTING SURVEY
1" = 20'-0"





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141 BEAT VINE STREET
MILWAUKEE, WI 53202

sheet title:

**GROUND
FLOOR AND
FIRST FLOOR
DEMOLITION
PLANS**

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7/25/2005

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KMW/AAH

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1/4" = 1'-0"

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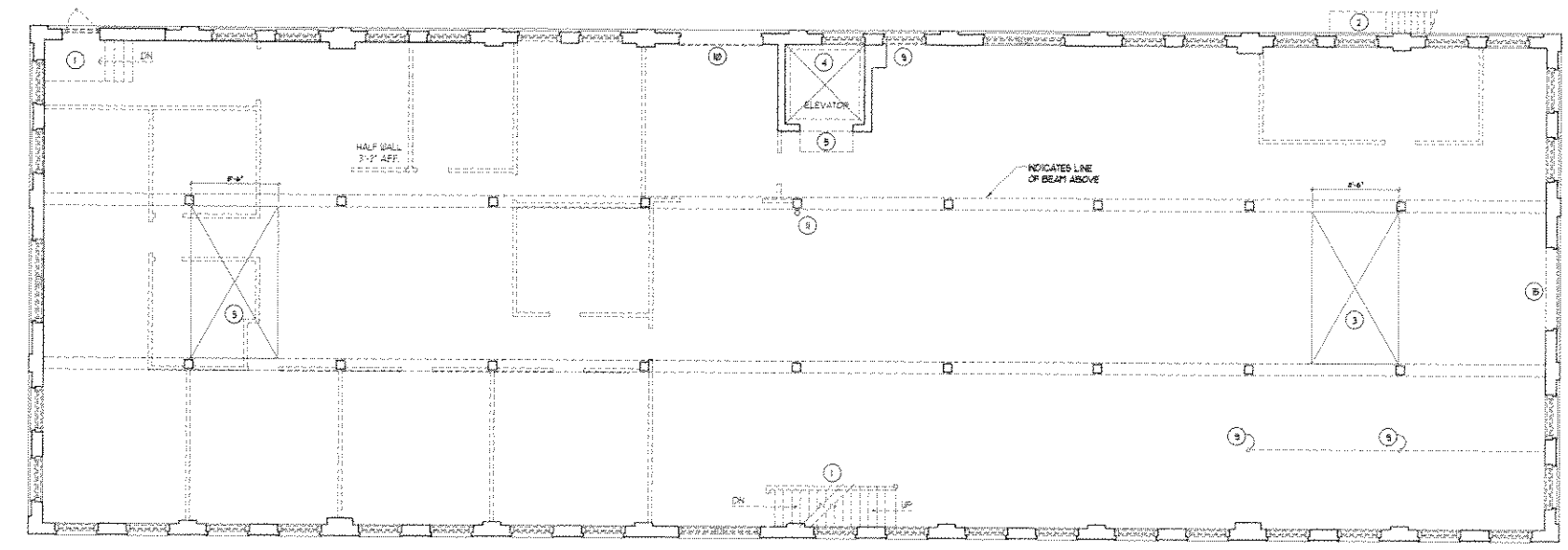
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APPROVAL DOCUMENTS

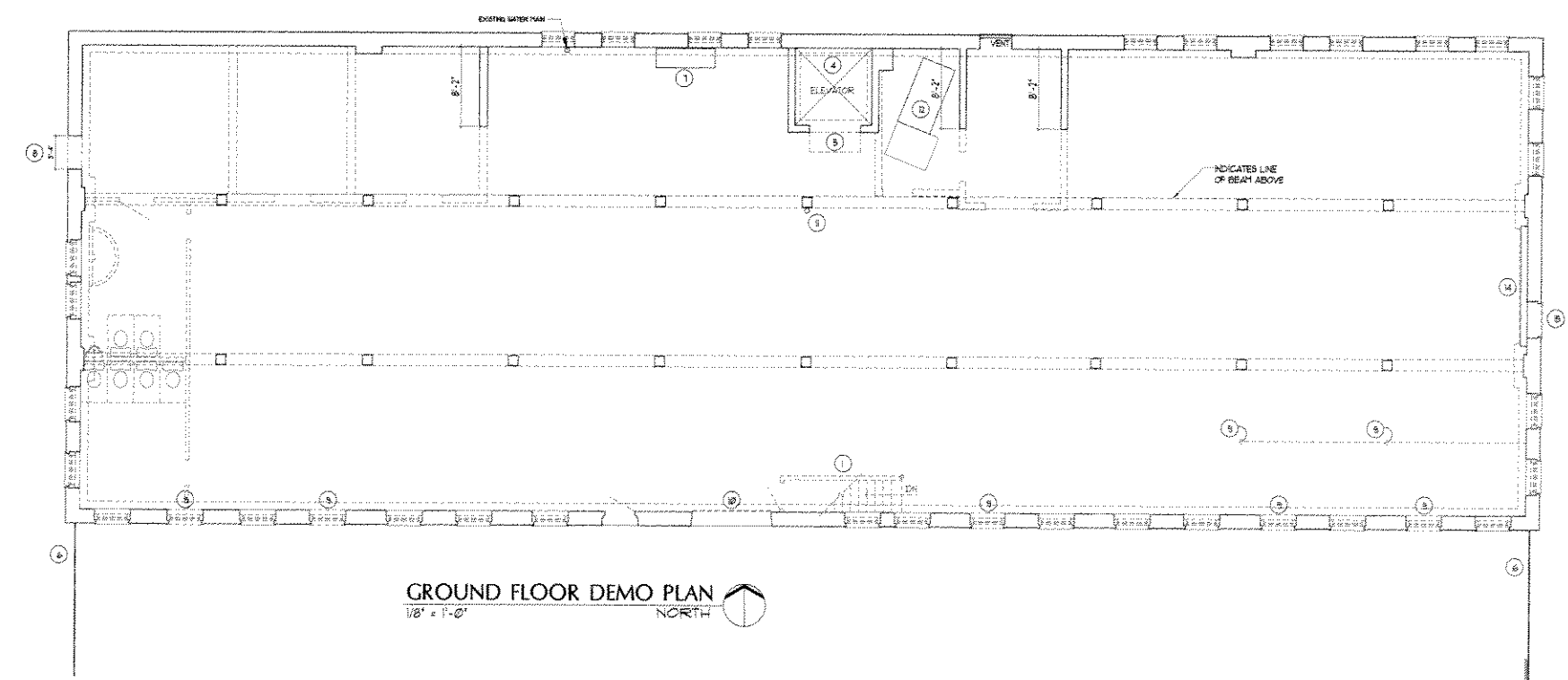
- ### DEMOLITION GENERAL NOTES
1. THESE DRAWINGS WERE PREPARED UTILIZING VISUAL AND FIELD MEASURED VERIFICATION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF DETAILS OR DESCRIPTION OF EXISTING CONDITIONS.
 2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO BEGINNING DEMOLITION WORK.
 3. HVAC CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL HVAC EQUIPMENT AND RELATED SYSTEMS REMOVED DURING DEMOLITION.
 4. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL ELECTRICAL FIXTURES AND RELATED WIRING REMOVED DURING DEMOLITION.
 5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON ALL ITEMS REMOVED DURING DEMOLITION.
 6. REMOVE ALL EXISTING WINDOWS AND DOORS COMPLETE.
 7. REMOVE ALL EXISTING HVAC DUCTWORK AND EQUIPMENT COMPLETE.
 8. REMOVE EXISTING RADIATORS AND HEATING PIPE COMPLETE.
 9. REMOVE EXISTING BEADBOARD CEILING COMPLETE.
 10. REMOVE EXISTING PLASTER AT OUTSIDE WALLS COMPLETE.
 11. PRESSURE WASH EXISTING EXPOSED BRICK.

- ### DEMO NOTES - THIS SHEET
1. REMOVE EXISTING STAIRS COMPLETE.
 2. REMOVE EXISTING FIRE ESCAPE COMPLETE.
 3. REMOVE EXISTING FLOOR AND JOISTS TO ACCOMMODATE NEW STAIRS. USE REMOVED JOISTS TO CLOSE EXISTING FLOOR OPENINGS.
 4. REMOVE EXISTING ELEVATOR AND ELEVATOR EQUIPMENT COMPLETE.
 5. REMOVE EXISTING ELEVATOR FIRE SHUTTERS.
 6. REMOVE EXISTING CHAINLINK FENCE AND GATE. SAVE POWER GATE UNIT FOR REUSE.
 7. EXISTING SPRINKLER RISER TO REMAIN.
 8. CREATE NEW 3'-4" X 4'-4" H.O. SET SILL AT AFF. ALIGN WITH ADJACENT WINDOWS.
 9. REMOVE EXISTING WINDOW AND ENLARGE EXISTING OPENING DOWN TO FLOOR LINE.
 10. REMOVE EXISTING OVERHEAD DOOR.
 11. REMOVE EXISTING VENT PIPE COMPLETE.
 12. REMOVE EXISTING BOILER COMPLETE.
 13. REMOVE EXISTING STEEL COLUMNS AND BEAMS.
 14. REMOVE EXISTING ELECTRICAL BOXES COMPLETE.
 15. REMOVE BRICK FROM EXISTING WINDOW OPENING.

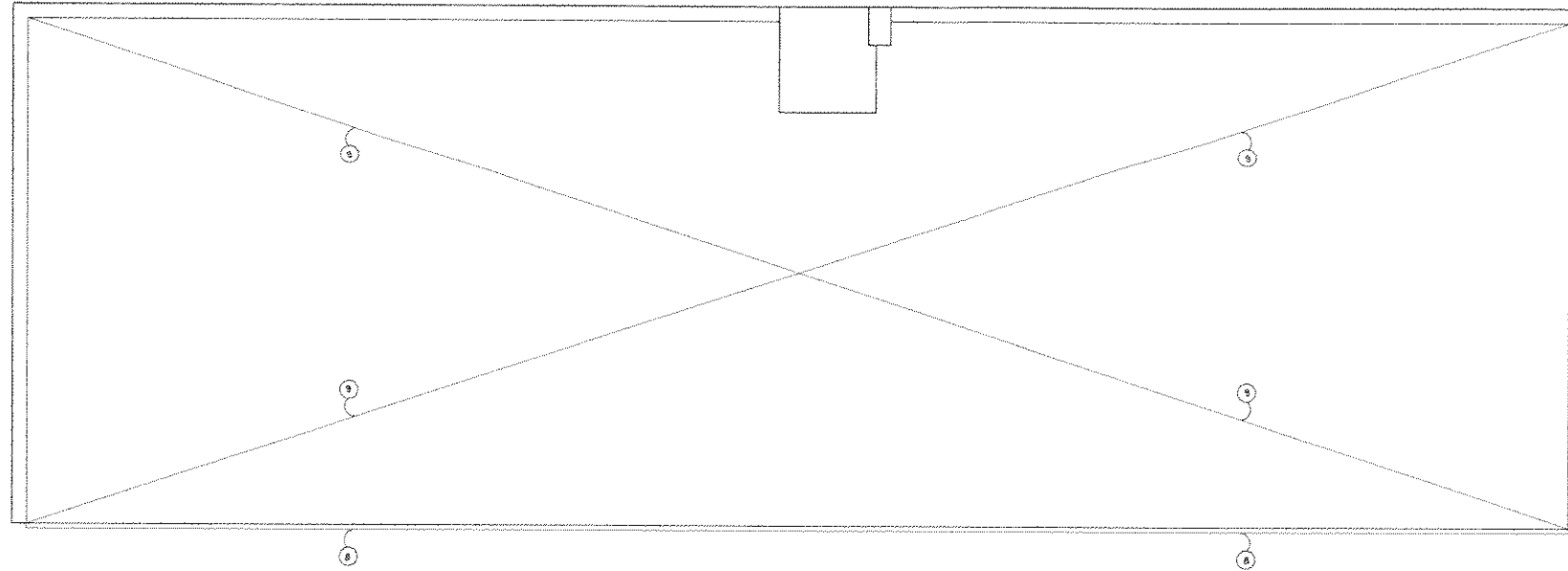
- ### LEGEND
- EXISTING DOOR TO REMAIN
 - EXISTING DOOR TO BE REMOVED
 - EXISTING WALL TO REMAIN
 - EXISTING WALL/FIXTURE TO BE REMOVED, EXCEPT AS NOTED.
 - DEMO NOTE



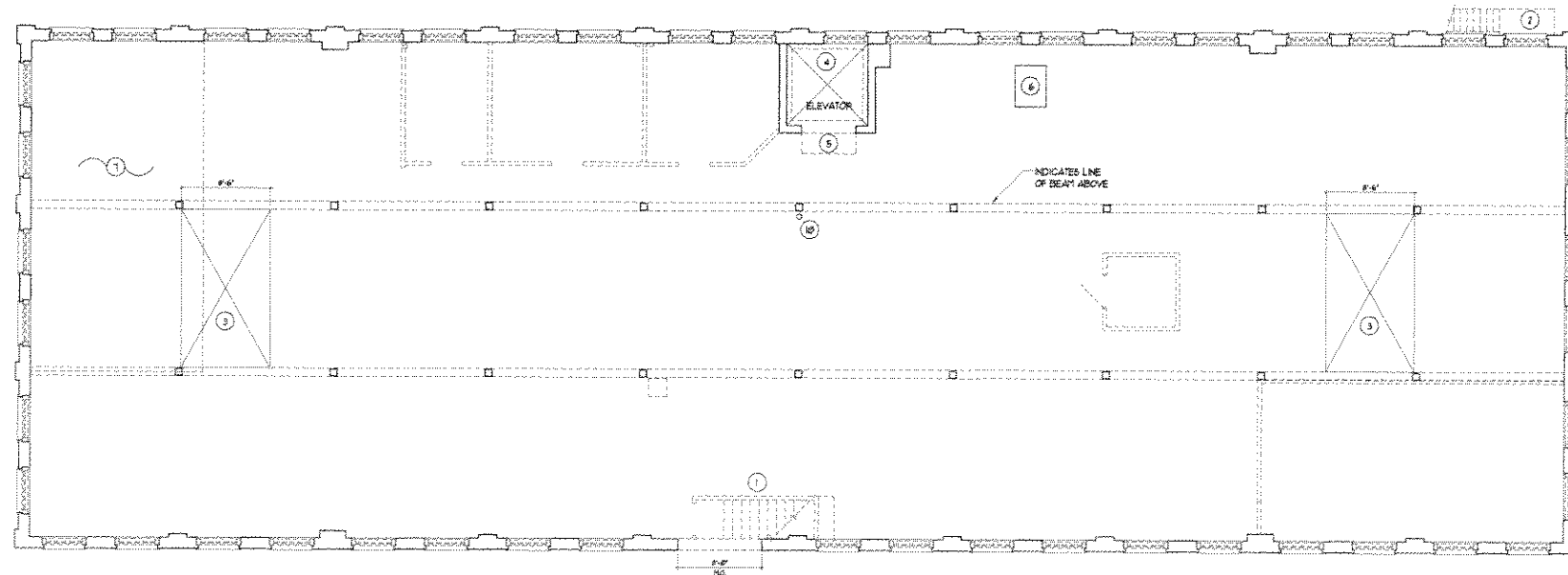
FIRST FLOOR DEMO PLAN
1/8" = 1'-0" NORTH



GROUND FLOOR DEMO PLAN
1/8" = 1'-0" NORTH



SECOND FLOOR DEMO PLAN
1/8" = 1'-0" NORTH



SECOND FLOOR DEMO PLAN
1/8" = 1'-0" NORTH

DEMOLITION GENERAL NOTES

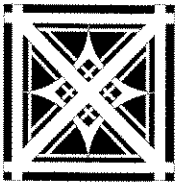
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2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO BEGINNING DEMOLITION WORK.
3. HVAC CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL HVAC EQUIPMENT AND RELATED SYSTEMS REMOVED DURING DEMOLITION.
4. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL ELECTRICAL FIXTURES AND RELATED WIRING REMOVED DURING DEMOLITION.
5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON ALL ITEMS REMOVED DURING DEMOLITION.
6. REMOVE ALL EXISTING WINDOWS AND DOORS COMPLETE.
7. REMOVE ALL HVAC DUCTWORK AND EQUIPMENT COMPLETE.
8. REMOVE EXISTING RADIATORS AND HEATING PIPE COMPLETE.
9. REMOVE EXISTING BEADBOARD CEILING COMPLETE.
10. REMOVE EXISTING PLASTER AT OUTSIDE WALLS COMPLETE.
11. PRESSURE WASH EXISTING EXPOSED BRICK.
12. REMOVE EXISTING ELECTRICAL AND RELATED EQUIPMENT COMPLETE.
13. REMOVE EXISTING PLUMBING AND RELATED EQUIPMENT COMPLETE.

DEMO NOTES - THIS SHEET

- ① REMOVE EXISTING STAIRS COMPLETE
- ② REMOVE EXISTING FIRE ESCAPE COMPLETE
- ③ REMOVE EXISTING FLOOR AND JOISTS TO ACCOMMODATE NEW STAIRS. USE REMOVED JOISTS TO CLOSE EXISTING FLOOR OPENINGS.
- ④ REMOVE EXISTING ELEVATOR AND ELEVATOR EQUIPMENT COMPLETE.
- ⑤ REMOVE EXISTING ELEVATOR FIRE SHUTTERS.
- ⑥ REMOVE EXISTING COMPRESSOR AND RELATED EQUIPMENT.
- ⑦ REMOVE EXISTING FINISH FLOOR
- ⑧ REMOVE EXISTING GUTTER AND DRAINPOUT COMPLETE
- ⑨ REMOVE EXISTING ROOFING COMPLETE TO EXISTING ROOF DECK
- ⑩ REMOVE EXISTING VENT PIPE

LEGEND

- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WALL TO REMAIN
- EXISTING WALL/FIXTURE TO BE REMOVED, EXCEPT AS NOTED.
- ① DEMO NOTE



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A REMODELING OF
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HASTINGS
BUILDING

41 WEST VINE STREET
MILWAUKEE, WI 53202

sheet title:

SECOND FLOOR
DEMOLITION
PLANS

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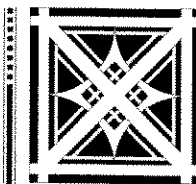
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D2

APPROVAL DOCUMENTS



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A REMODELING OF
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**HASTINGS
 BUILDING**

141 WEST VINE STREET
 MILWAUKEE, WI 53202

sheet title:

**GROUND
 AND FIRST
 FLOOR
 PLANS**

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 1/4" = 1'-0"

sheet number:
A1

GENERAL NOTES

1. CONTRACTORS TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
2. HVAC CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION AND CODE COMPLIANCE OF ALL HVAC EQUIPMENT AND RELATED SYSTEMS.
3. PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION AND CODE COMPLIANCE OF ALL PLUMBING EQUIPMENT AND RELATED SYSTEMS.
4. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION AND CODE COMPLIANCE OF ALL ELECTRICAL FIXTURES AND RELATED WIRING. FIXTURE SELECTION BY OWNER.

LEGEND

- NEW DOOR
- NEW WOOD STUD PARTITION
- KEYED NOTE
- WALL TYPE
- ELEVATION ARROW

KEYED NOTES, THIS SHEET

1. FURNISH AND INSTALL (20) MAILBOXES THIS AREA.
2. 4 OVER 5 METER PANEL APPROXIMATELY 48" WIDE X 54" TALL. MOUNT PER UEPCO STANDARDS.
3. FURNISH AND INSTALL 6" DIAMETER CONCRETE-FILLED BOLLARDS. PRIME AND PAINT.
4. GENERAL CONTRACTOR TO FURNISH AND INSTALL A 1" THICK LEVELING TOPPING AT ALL AREAS OF THE GROUND FLOOR.
5. 2' CMU RETAINING WALL.
6. 3'-0" HIGH DECORATIVE METAL RAILING.
7. INFILL FLOOR THIS AREA.
8. TOP ENTIRE FIRST FLOOR WITH 2 1/2" OF LIGHT WEIGHT CONCRETE TOPPING.
9. INFILL EXISTING PIT WITH CONCRETE.
10. INSTALL 4" FLOOR DRAIN.
11. G.C. TO SANDBLAST AND SEAL EXISTING EXPOSED WOOD STRUCTURE.
12. NEW LINTEL: 3/8" X 3" STEEL PLATE OVER W8X18 WITH 1/4" STEEL PLATE WELDED TO BOTTOM FLANGE. WIDTH AS NECESSARY TO SUPPORT NEW STONE LINTEL BLOCK. PROVIDE 8" BEARING AT EACH SIDE. TYPICAL.

WALL TYPES, THIS SHEET

NOTE: PROVIDE 5/8" WATER RESISTANT GUEB ON BATH/UTILITY/LAUNDRY ROOM SIDE OF WALL SYSTEMS.

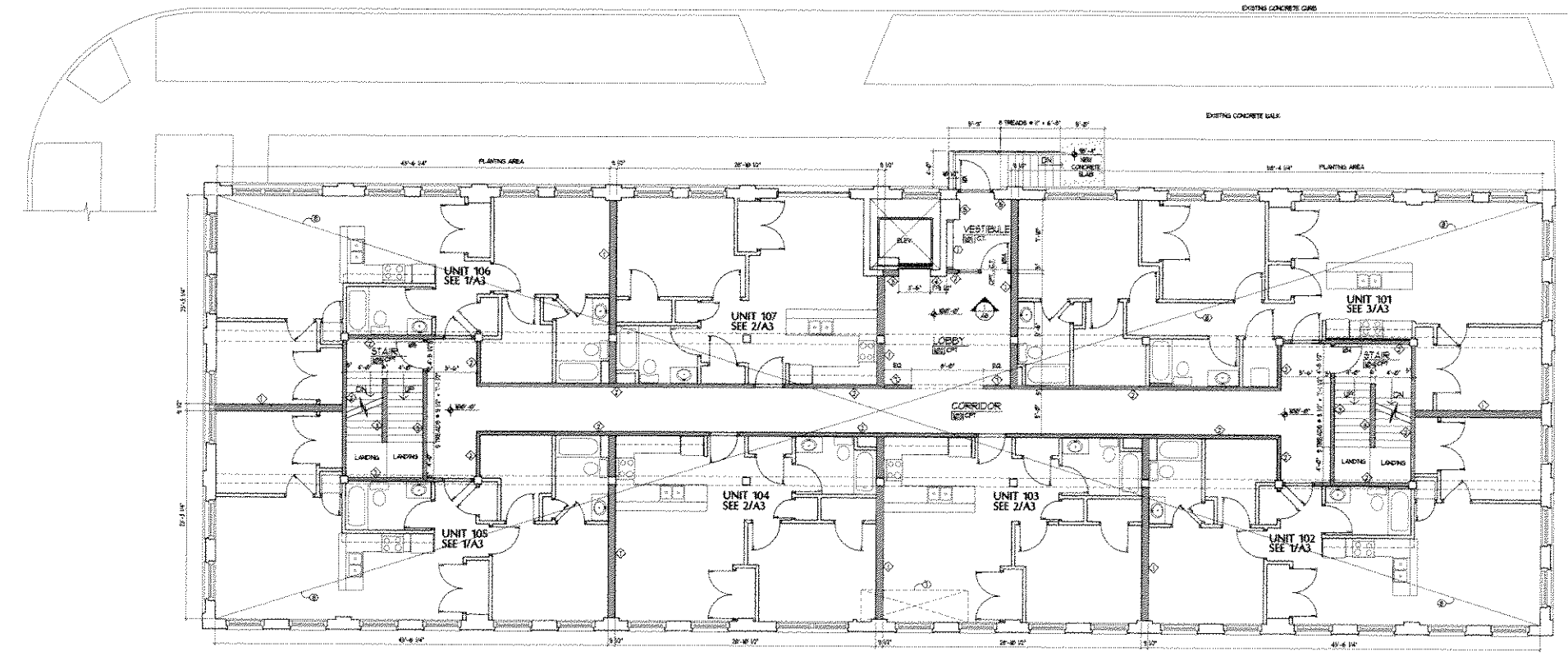
1. EXISTING WALL: 5/8" TYPE 'X' GUEB EACH SIDE OF 2X4 WOOD STUDS @ 16" O.C. WITH 3 1/2" FIBERGLASS SOUND INSULATION. EXTEND PARTITION TO STRUCTURE. 1 HOUR FIRE RATED ASSEMBLY PER UL 1309. SET SECOND ROW OF 2X4 WOOD STUDS AT 16" O.C. 1/2" AWAY FROM FACE OF FIRE RATED PARTITION. INSTALL 3 1/2" FIBERGLASS BATT INSULATION IN STUD CAVITY AND ATTACH 1/2" GUEB TO FACE OF STUDS.
2. 5/8" TYPE 'X' GUEB EACH SIDE OF 2 X 4 STUDS @ 16" O.C. WITH 3 1/2" FIBERGLASS SOUND INSULATION. EXTEND PARTITION TO STRUCTURE. ONE HOUR FIRE RATED PARTITION PER UL 1309.
3. 5/8" TYPE 'X' GUEB EACH SIDE OF 2 X 4 STUDS @ 16" O.C. EXTEND PARTITION TO STRUCTURE. ONE HOUR FIRE RATED PARTITION PER UL 1309.
4. LAMINATE 5/8" GUEB TO EXISTING BRICK.
5. EXPOSED BRICK. TUCK POINT, CLEAN AND SEAL.
6. 5/8" TYPE 'X' GUEB EACH SIDE OF 2X6 WOOD STUDS AT 16" O.C. EXTEND PARTITION TO STRUCTURE. ONE HOUR FIRE RATED PARTITION PER UL 1309.
7. 5/8" GUEB BOTH SIDES OF 2X4 WOOD STUDS AT 16" O.C. EXTEND PARTITION TO STRUCTURE.

AREA CALCULATIONS - FIRST FLOOR

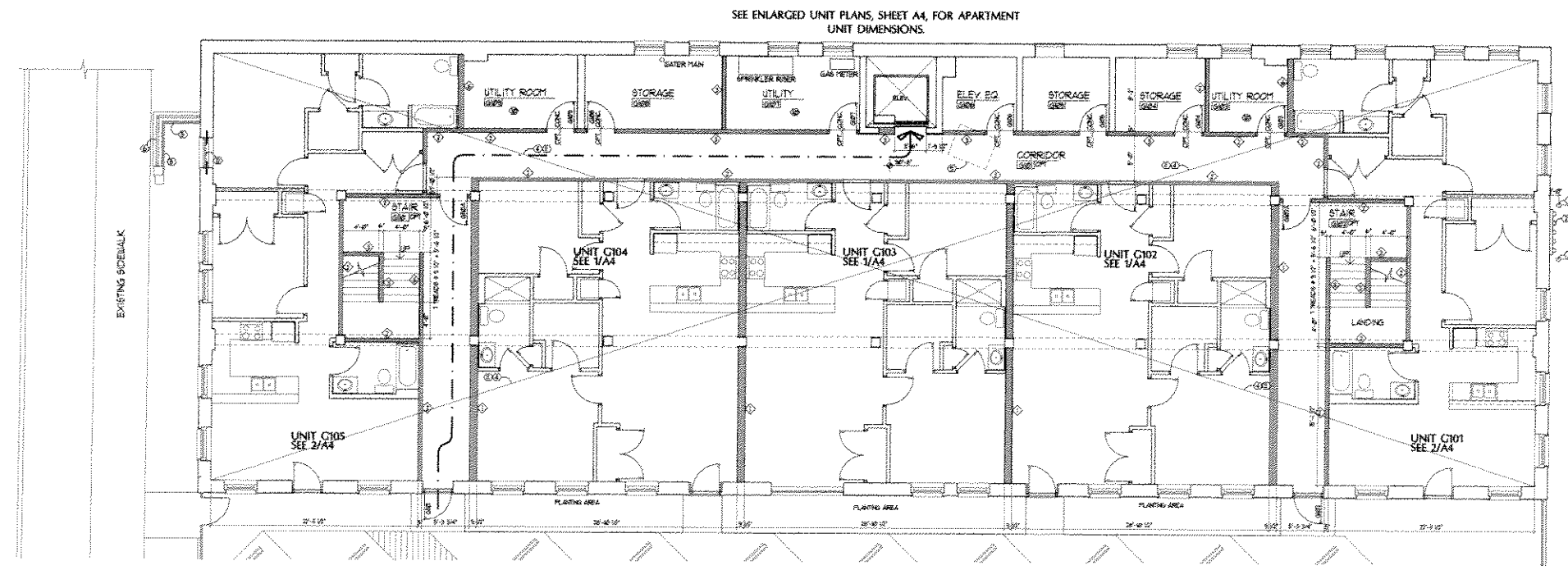
UNIT NUMBER	UNIT TYPE	AREA
UNIT 101	3 BEDROOM	1163 SQR. FT.
UNIT 102	2 BEDROOM	860 SQR. FT.
UNIT 103	1 BEDROOM	601 SQR. FT.
UNIT 104	1 BEDROOM	601 SQR. FT.
UNIT 105	2 BEDROOM	860 SQR. FT.
UNIT 106	2 BEDROOM	860 SQR. FT.
UNIT 107	1 BEDROOM	590 SQR. FT.

AREA CALCULATIONS - GROUND FLOOR

UNIT NUMBER	UNIT TYPE	AREA
UNIT G101	2 BEDROOM	981 SQR. FT.
UNIT G102	1 BEDRM. + DEN	957 SQR. FT.
UNIT G103	1 BEDRM. + DEN	957 SQR. FT.
UNIT G104	1 BEDRM. + DEN	957 SQR. FT.
UNIT G101	2 BEDROOM	981 SQR. FT.

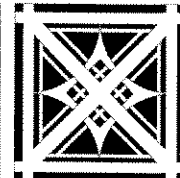


SEE ENLARGED UNIT PLANS, SHEETS A3, FOR APARTMENT UNIT DIMENSIONS.
FIRST FLOOR PLAN
 1/8" = 1'-0" NORTH



SEE ENLARGED UNIT PLANS, SHEET A4, FOR APARTMENT UNIT DIMENSIONS.
GROUND FLOOR PLAN
 1/8" = 1'-0" NORTH

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**SECOND
FLOOR
PLAN**

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1/4" = 1'-0"

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A2

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
2. HVAC CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND CODE COMPLIANCE OF ALL HVAC EQUIPMENT AND RELATED SYSTEMS.
3. PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND CODE COMPLIANCE OF ALL PLUMBING EQUIPMENT AND RELATED SYSTEMS.
4. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND CODE COMPLIANCE OF ALL ELECTRICAL FIXTURES AND RELATED WIRING. FIXTURE SELECTION BY OWNER.

LEGEND

- NEW DOOR
- KEYED NOTE
- WALL TYPE
- NEW WOOD STUD PARTITION
- ELEVATION ARROW

KEYED NOTES, THIS SHEET

1. INFILL EXISTING FLOOR THIS AREA
2. G.C. TO SANDBLAST AND SEAL EXISTING EXPOSED WOOD STRUCTURE

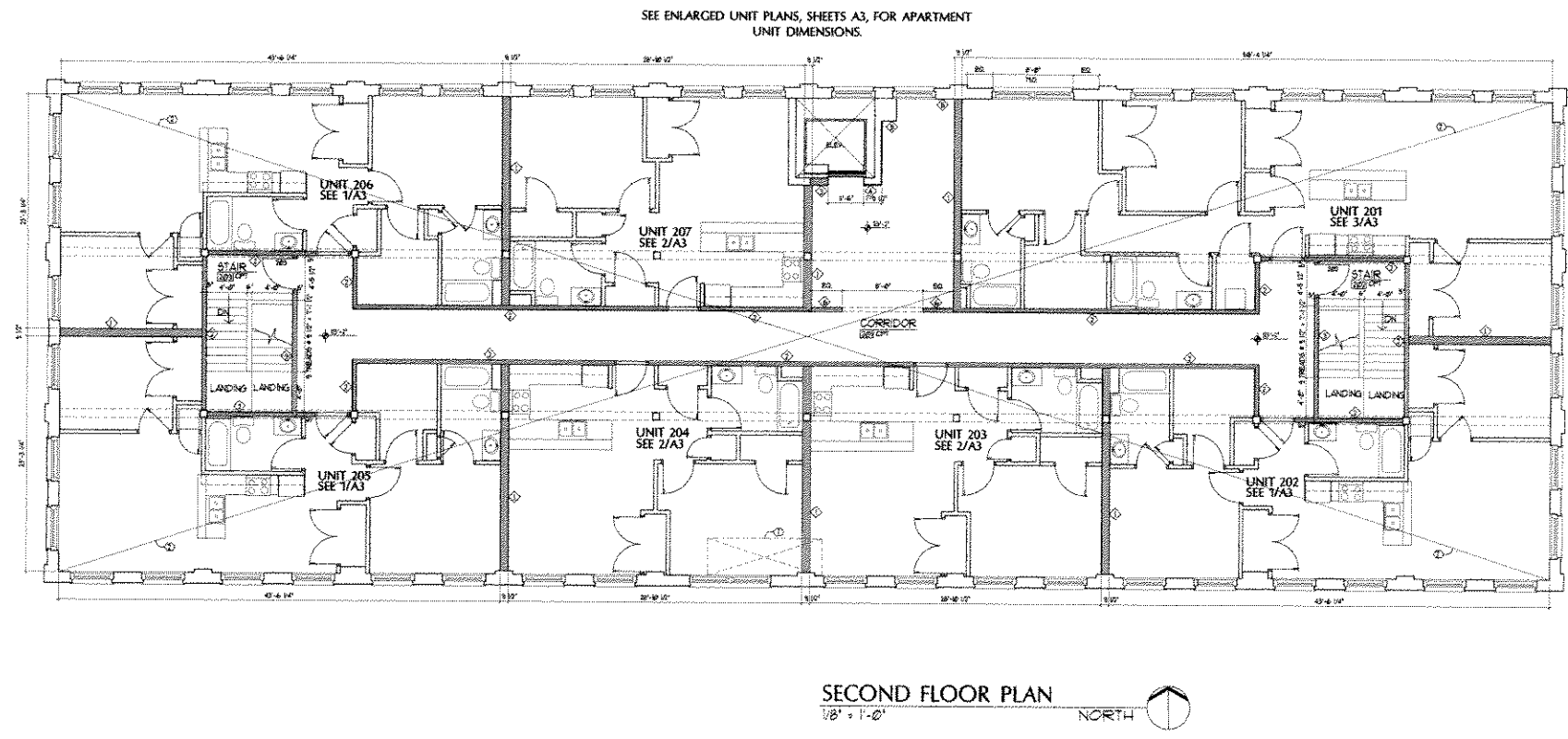
WALL TYPES, THIS SHEET

NOTE: PROVIDE 5/8" WATER RESISTANT GIB ON BATH/UTILITY/LAUNDRY ROOM SIDE OF WALL SYSTEMS.

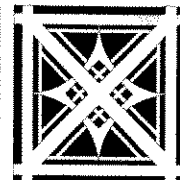
1. DETISING WALL: 5/8" TYPE 'X' GIB EACH SIDE OF 2X4 WOOD STUDS @ 16" O.C. WITH 3 1/2" FIBERGLASS SOUND INSULATION. EXTEND PARTITION TO STRUCTURE. 1 HOUR FIRE RATED ASSEMBLY PER UL * U309. SET SECOND ROW OF 2X4 WOOD STUDS AT 16" O.C. 1/2" AWAY FROM FACE OF FIRE RATED PARTITION. INSTALL 3 1/2" FIBERGLASS BATT INSULATION IN STUD CAVITY AND ATTACH 1/2" GIB TO FACE OF STUDS.
2. 5/8" TYPE 'X' GIB EACH SIDE OF 2 X 4 STUDS @ 16" O.C. WITH 3 1/2" FIBERGLASS SOUND INSULATION. EXTEND PARTITION TO STRUCTURE. ONE HOUR FIRE RATED PARTITION PER UL * U309.
3. 5/8" TYPE 'X' GIB EACH SIDE OF 2 X 4 STUDS @ 16" O.C. EXTEND PARTITION TO STRUCTURE. ONE HOUR FIRE RATED PARTITION PER UL * U309.
4. LAMINATE 5/8" GIB TO EXISTING BRICK.
5. EXPOSED BRICK. TUCKPOINT, CLEAN, AND SEAL.
6. 5/8" GIB BOTH SIDES OF 2X4 WOOD STUDS AT 16" O.C. EXTEND PARTITION TO STRUCTURE.

AREA CALCULATIONS - SECOND FLOOR

UNIT NUMBER	UNIT TYPE	AREA
UNIT 201	3 BEDROOM	1163 SQR. FT.
UNIT 202	2 BEDROOM	860 SQR. FT.
UNIT 203	1 BEDROOM	601 SQR. FT.
UNIT 204	1 BEDROOM	601 SQR. FT.
UNIT 205	2 BEDROOM	860 SQR. FT.
UNIT 206	2 BEDROOM	860 SQR. FT.
UNIT 207	1 BEDROOM	590 SQR. FT.



APPROVAL DOCUMENTS



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A REMODELING OF
THE HISTORIC:

**HASTINGS
BUILDING**

141 WEST VINE STREET
MILWAUKEE, WI 53202

sheet title:

**ENLARGED
UNIT PLANS**

revisions:

date:
7/25/2005

drawn by:
KMW/AAH

file name:
A3

project number:
2005.030

scale:
1/4" = 1'-0"

sheet number:

A3

LEGEND

- NEW DOOR
- NEW WALL
- KEYED NOTE
- WALL TYPE

KEYED NOTES, THIS SHEET

- 1 4" FLOOR DRAIN AT UTILITY ROOM
- 2 LOCATION OF ELECTRICAL PANEL
- 3 FURNISH AND INSTALL (5) 10" P-LAM SHELVES ON DURABLE ADJUSTABLE STANDARDS.
- 4 FURNISH AND INSTALL WOOD SILL AND APRON. 64V FINISH.

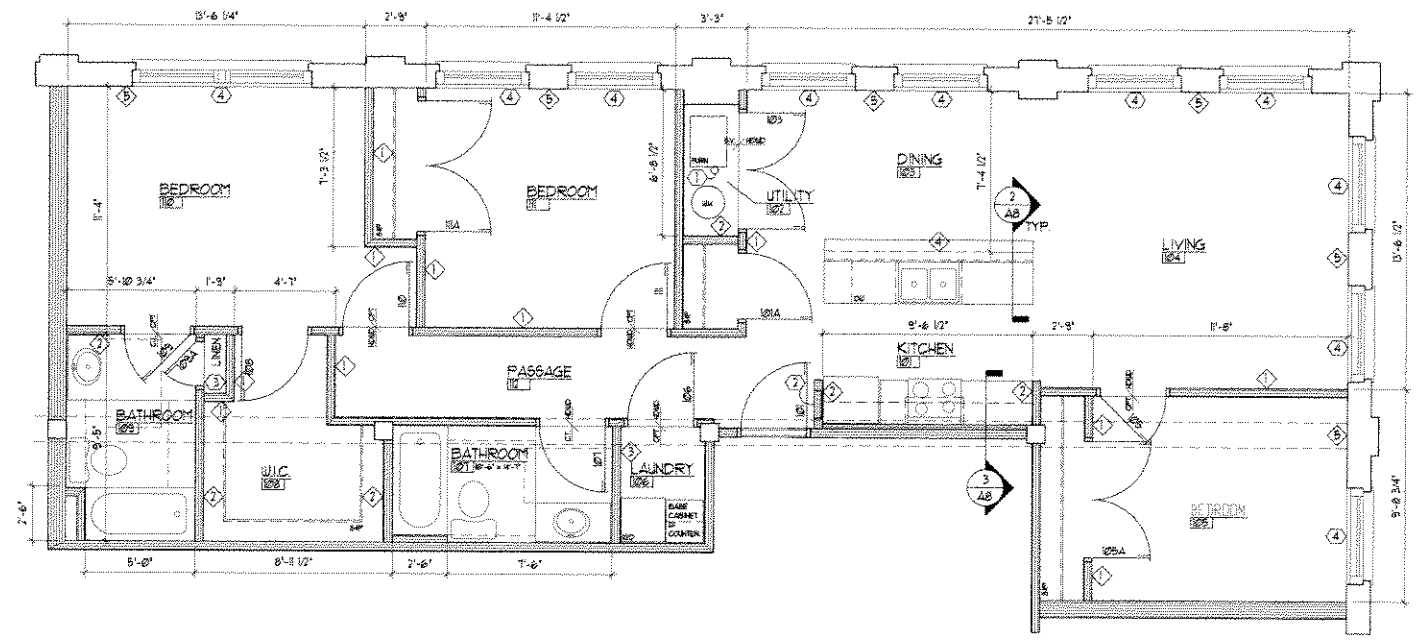
WALL TYPES, THIS SHEET

NOTE: CORRIDOR AND DEMISING WALL TYPES ARE INDICATED ON THE OVERALL FLOORPLANS.

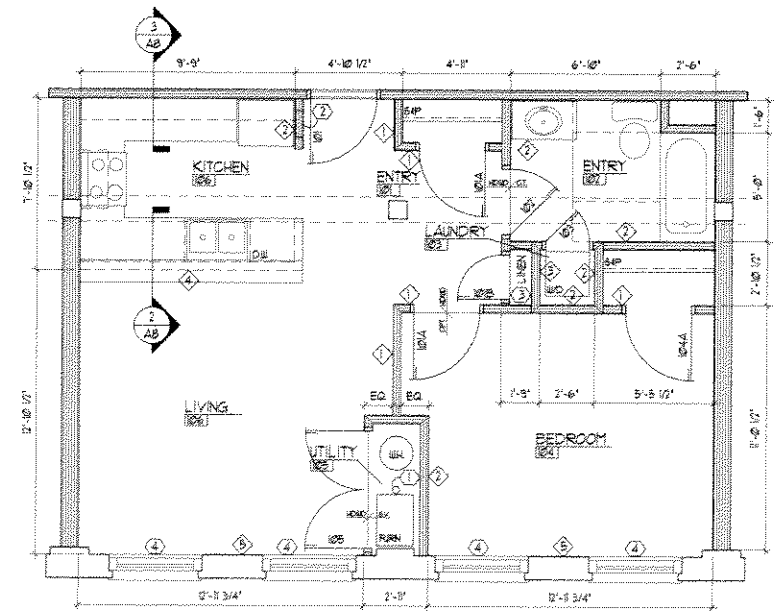
- 1 1/2" GIB BOTH SIDES OF 2X4 STUDS AT 16" O.C. EXTEND PARTITION TO STRUCTURE.
- 2 1/2" GIB ONE SIDE AND 1/2" MOISTURE RESISTANT GIB TOILET ROOM/KITCHEN SIDE OF 2X4 WOOD STUDS AT 16" O.C. WITH 3 1/2" FIBERGLASS SOUND INSULATION. EXTEND PARTITION TO STRUCTURE.
- 3 1/2" MOISTURE RESISTANT GIB BOTH SIDES OF 2X4 WOOD STUDS AT 16" O.C. WITH 3 1/2" FIBERGLASS SOUND INSULATION. EXTEND PARTITION TO STRUCTURE.
- 4 1/2" GIB ONE SIDE AND 1/2" MOISTURE RESISTANT GIB KITCHEN SIDE OF 2X4 WOOD STUDS AT 16" O.C. WITH 3 1/2" FIBERGLASS SOUND INSULATION. EXTEND PARTITION TO STRUCTURE 3'-6" AFF.
- 5 EXPOSED BRICK. TUCK POINT, CLEAN, AND SEAL.

TYPICAL KITCHEN APPLIANCES

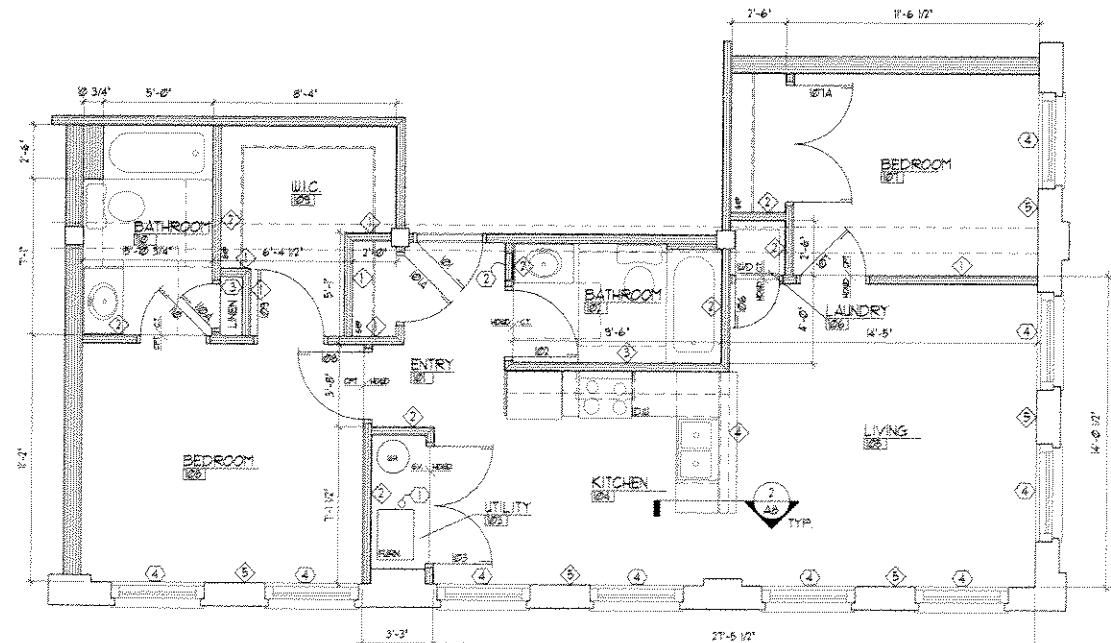
- 1 18 CUBIC FOOT REFRIGERATOR WITH ICE MAKER, STAINLESS STEEL FACE.
- 2 30" WIDE SELF-CLEANING ELECTRIC RANGE, STAINLESS STEEL FACE.
- 3 DOUBLE COMPARTMENT STAINLESS STEEL SINK.
- 4 SINGLE LEVER CONTROL NICKEL-PLATED FAUCET WITH PULL-OUT SPRAY ATTACHMENT.
- 5 DISPOSAL UNIT.
- 6 STAINLESS STEEL DUCTED RANGE HOOD, 30" WIDE WITH 3-SPEED FAN.
- 7 24" WIDE DISHWASHER, STAINLESS STEEL FACE.



3 BEDROOMS
AREA: 1163 SQ. FT.
COUNT: 2
3 UNITS 101, 201
1/4" = 1'-0" NORTH

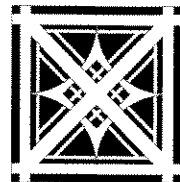


1 BEDROOM
AREA: 601 SQ. FT. (590 SQ. FT. AT UNIT 107, 207)
COUNT: 6
2 UNITS 103, 104, 107, 203, 204, 207
1/4" = 1'-0" NORTH



2 BEDROOMS
AREA: 860 SQ. FT.
COUNT: 4
1 UNITS 102, 105, 106, 202, 205, 206
1/4" = 1'-0" NORTH

APPROVAL DOCUMENTS



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A REMODELING OF
THE HISTORIC:

**HASTINGS
BUILDING**

40 WEST VINE STREET
MILWAUKEE, WI 53202

sheet title:

**ENLARGED
UNIT PLANS**

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sheet number:

A4

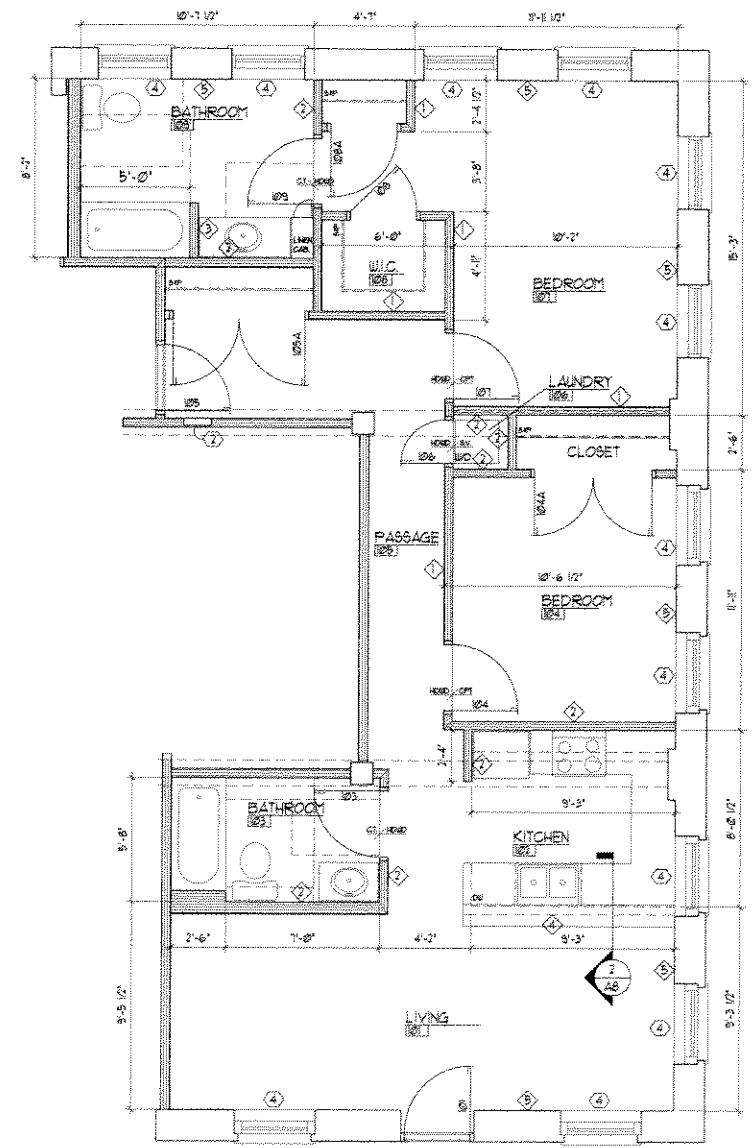
APPROVAL DOCUMENTS

LEGEND	
	NEW DOOR
	NEW WALL
	KEYED NOTE
	WALL TYPE

- KEYED NOTES, THIS SHEET**
- 4" FLOOR DRAIN AT UTILITY ROOM
 - LOCATION OF ELECTRICAL PANEL
 - FURNISH AND INSTALL (5) 10" P-LAM SHELVES ON DURABLE ADJUSTABLE STANDARDS
 - FURNISH AND INSTALL WOOD SILL AND APRON 54V FINISH
 - FURNISH AND INSTALL GLASS SHOWER DOOR

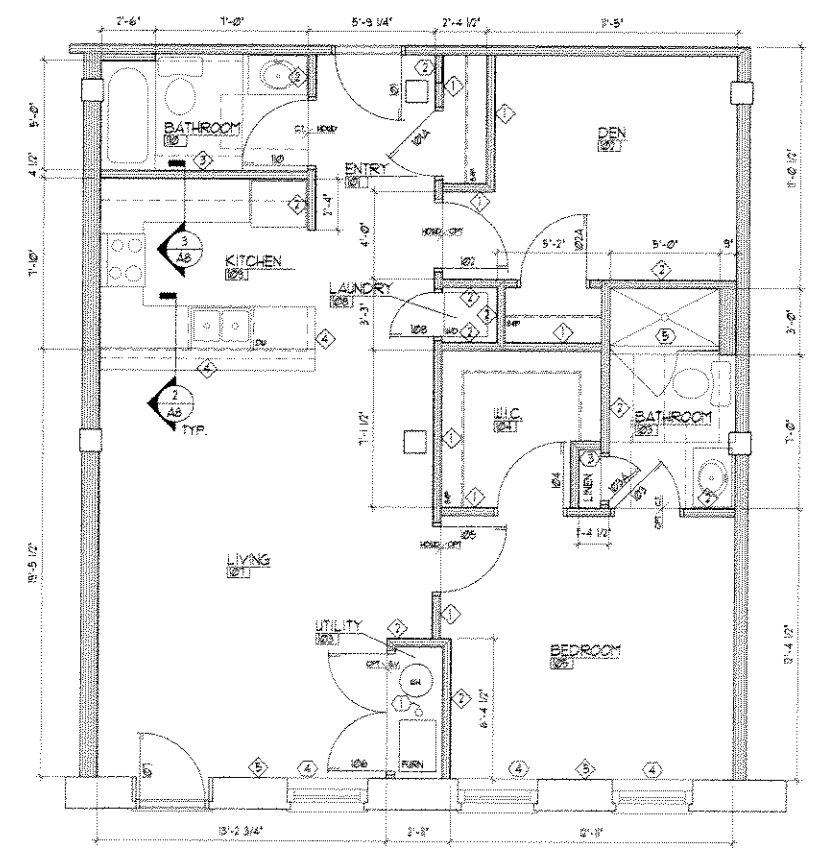
- WALL TYPES, THIS SHEET**
- NOTE: CORRIDOR AND DEMISING WALL TYPES ARE INDICATED ON THE OVERALL FLOORPLANS.
- 1/2" GIB BOTH SIDES OF 2X4 STUDS AT 16" O.C. EXTEND PARTITION TO STRUCTURE
 - 1/2" GIB ONE SIDE AND 1/2" MOISTURE RESISTANT GIB TOILET ROOM/KITCHEN SIDE OF 2X4 WOOD STUDS AT 16" O.C. WITH 3 1/2" FIBERGLASS SOUND INSULATION. EXTEND PARTITION TO STRUCTURE
 - 1/2" MOISTURE RESISTANT GIB BOTH SIDES OF 2X4 WOOD STUDS AT 16" O.C. WITH 3 1/2" FIBERGLASS SOUND INSULATION. EXTEND PARTITION TO STRUCTURE
 - 1/2" GIB ONE SIDE AND 1/2" MOISTURE RESISTANT GIB KITCHEN SIDE OF 2X4 WOOD STUDS AT 16" O.C. WITH 3 1/2" FIBERGLASS SOUND INSULATION. EXTEND PARTITION TO STRUCTURE 3'-6" AFF.
 - EXPOSED BRICK. TUCK POINT, CLEAN, AND SEAL.

- TYPICAL KITCHEN APPLIANCES**
- 18 CUBIC FOOT REFRIGERATOR WITH ICE MAKER, STAINLESS STEEL FACE.
 - 30" WIDE SELF CLEANING ELECTRIC RANGE, STAINLESS STEEL FACE.
 - DOUBLE COMPARTMENT STAINLESS STEEL SINK.
 - SINGLE LEVER CONTROL NICKEL-PLATED FAUCET WITH PULL-OUT SPRAY ATTACHMENT.
 - DISPOSAL UNIT.
 - STAINLESS STEEL DUCTED RANGE HOOD, 30" WIDE WITH 3-SPEED FAN.
 - 24" WIDE DISHWASHER, STAINLESS STEEL FACE.

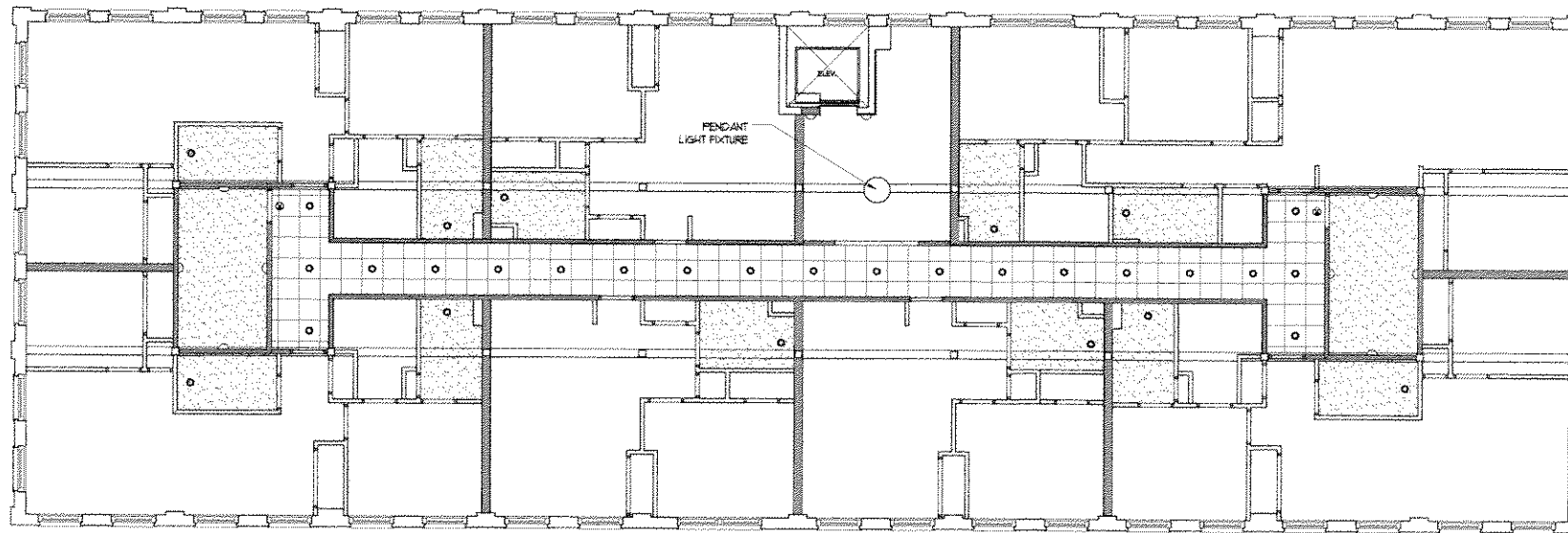


2 BEDROOMS
AREA: 981 SQ. FT.
COUNT: 2
2 UNITS G101, G105
1/4" = 1'-0" NORTH

NOTE: SEE OVERALL FLOOR PLANS ON SHEET A1 FOR LOCATIONS OF UTILITY ROOMS FOR THESE UNITS



1 BEDROOM + DEN
AREA: 957 SQ. FT.
COUNT: 3
1 UNITS G102, G103, G104
1/4" = 1'-0" NORTH



LEGEND

- NEW WALL
- RECESSED CAN LIGHT
- 2x2 FLOURESCENT FIXTURE
- PENDANT MOUNTED FIXTURE/CHANDELIER
- EXIT LIGHT
- WALL-MOUNTED SCONCE
- WALL MOUNTED FLOURESCENT FIXTURE
- GRID CEILING

GENERAL NOTES:

1. FIXTURE SELECTIONS BY OWNER.
2. THIS REFLECTED CEILING PLAN DETAILS PUBLIC AREAS AND BATHROOMS ONLY. LIGHTING DESIGN AND LAYOUT IN INDIVIDUAL UNITS IS BY OWNER AND ELECTRICAL CONTRACTOR.

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A REMODELING OF
 THE HISTORIC:
HASTINGS
BUILDING
 141 WEST VINE STREET
 MILWAUKEE, WI 53202

sheet title:

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PLANS

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 KMW/AAH

file name:
 line1
 line 2

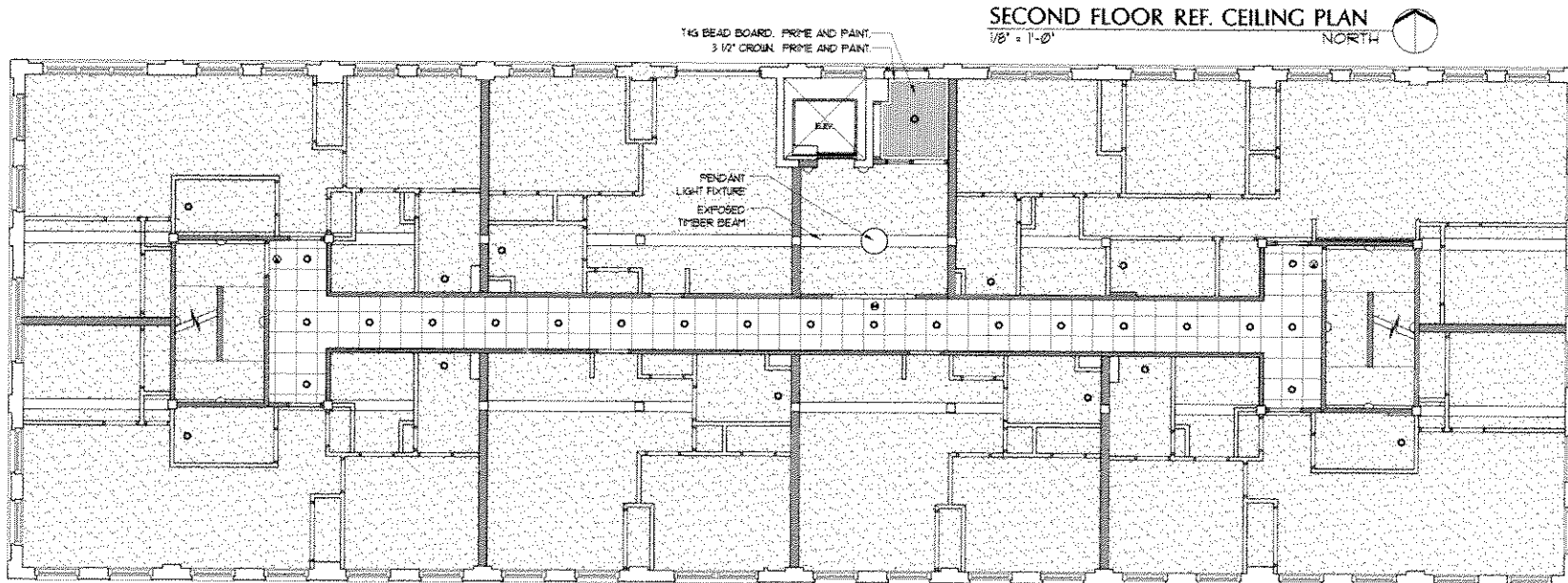
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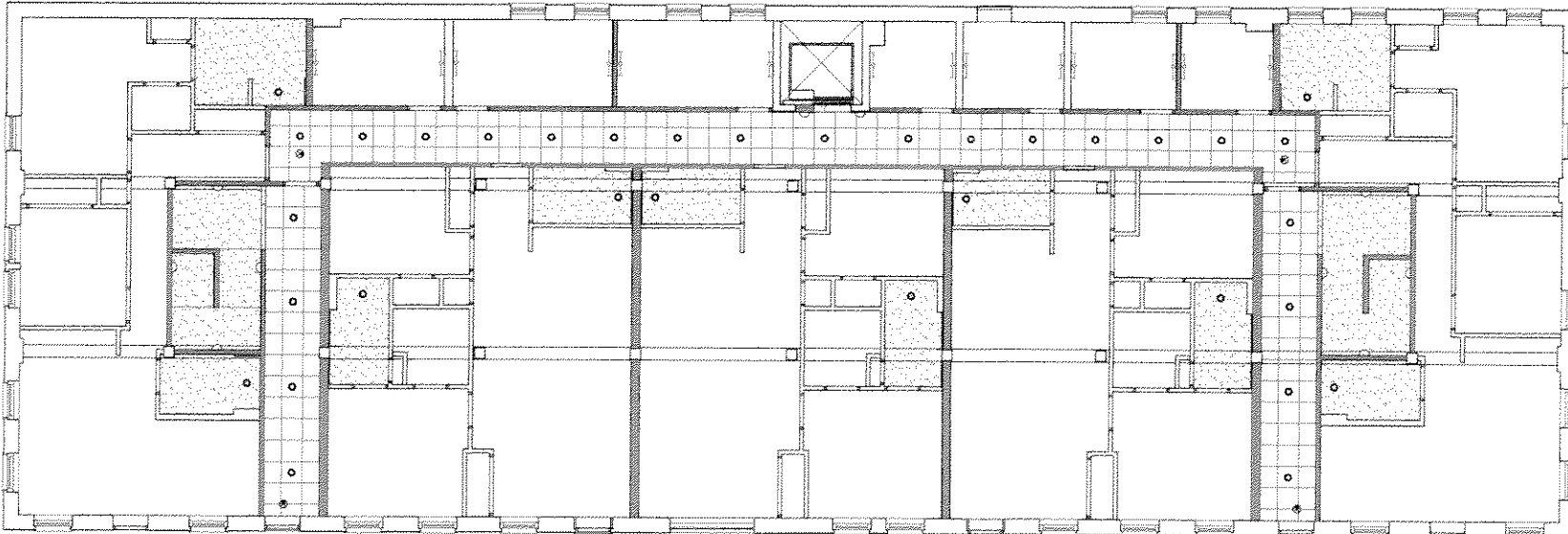
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A5

APPROVAL DOCUMENTS



FIRST FLOOR REF. CEILING PLAN
 1/8" = 1'-0" NORTH



GROUND FLOOR REF. CEILING PLAN
 1/8" = 1'-0" NORTH



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141 WEST VINE STREET
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sheet title:

**SOUTH &
EAST
ELEVATIONS**

revisions:

date:
7/25/2005

drawn by:
KAW/AAH

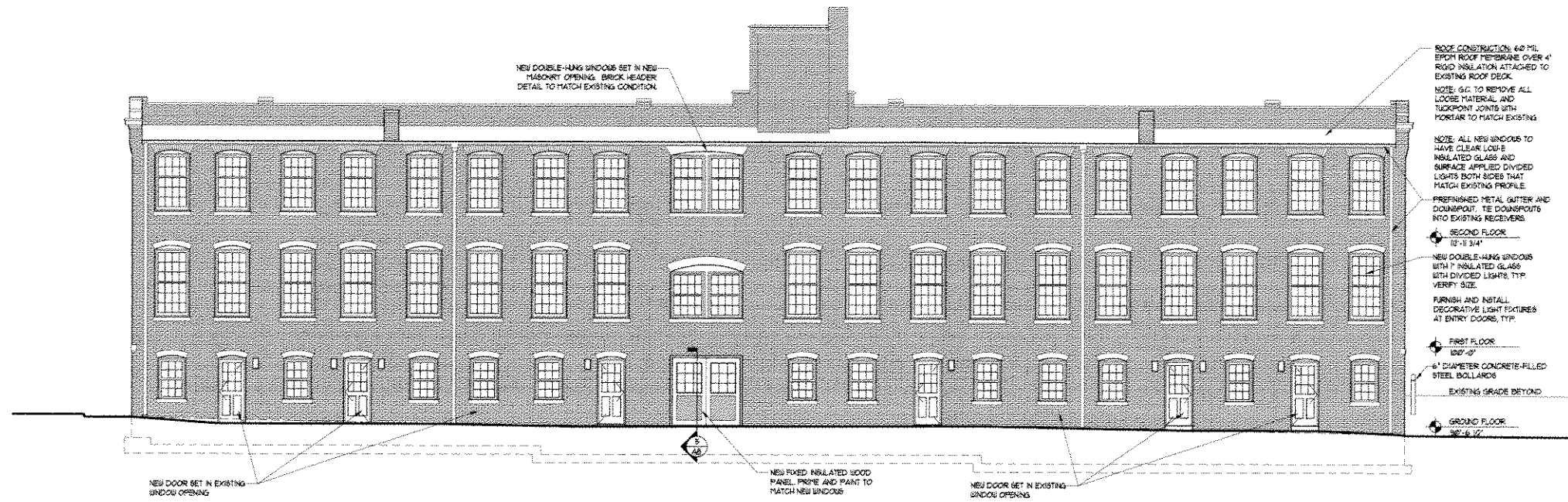
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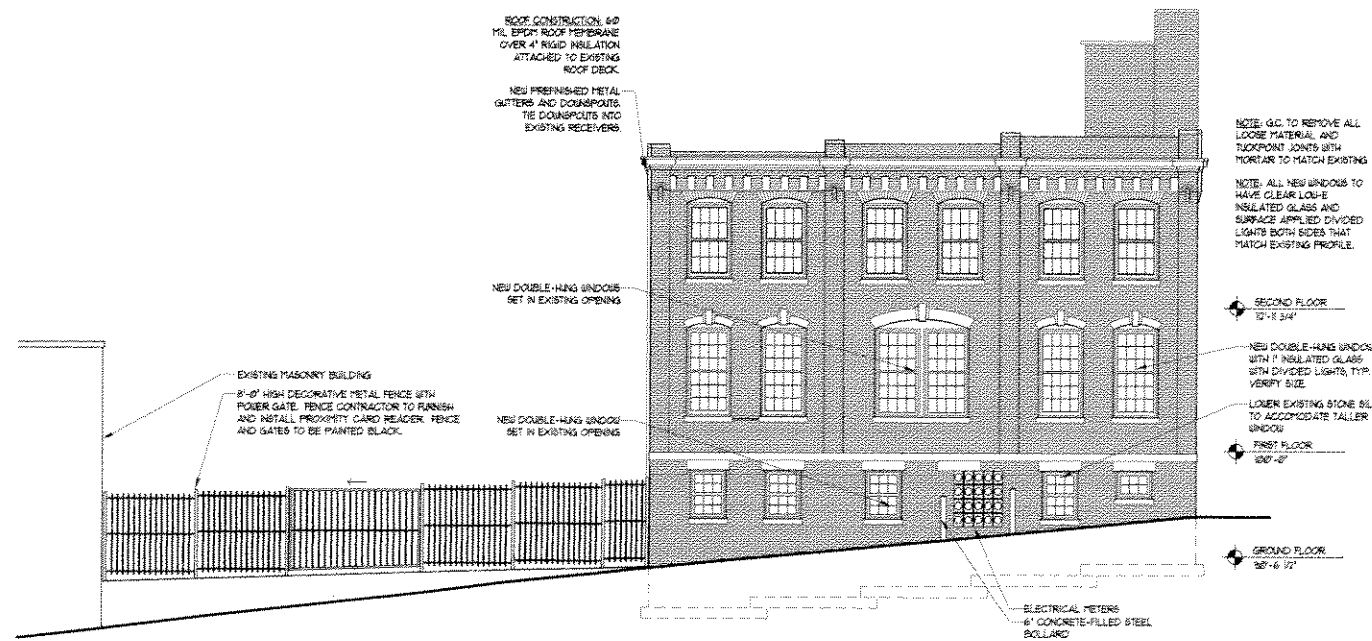
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1/4" = 1'-0"

sheet number:

A6

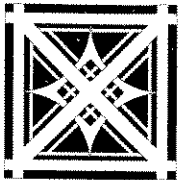


2 SOUTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

APPROVAL DOCUMENTS



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**HASTINGS
BUILDING**

141 WEST VINE STREET
MILWAUKEE, WI 53202

sheet title:

**NORTH &
WEST
ELEVATIONS**

revisions:

date:

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drawn by:

KMW/AAH

file name:

line1

line 2

project number:

2005.030

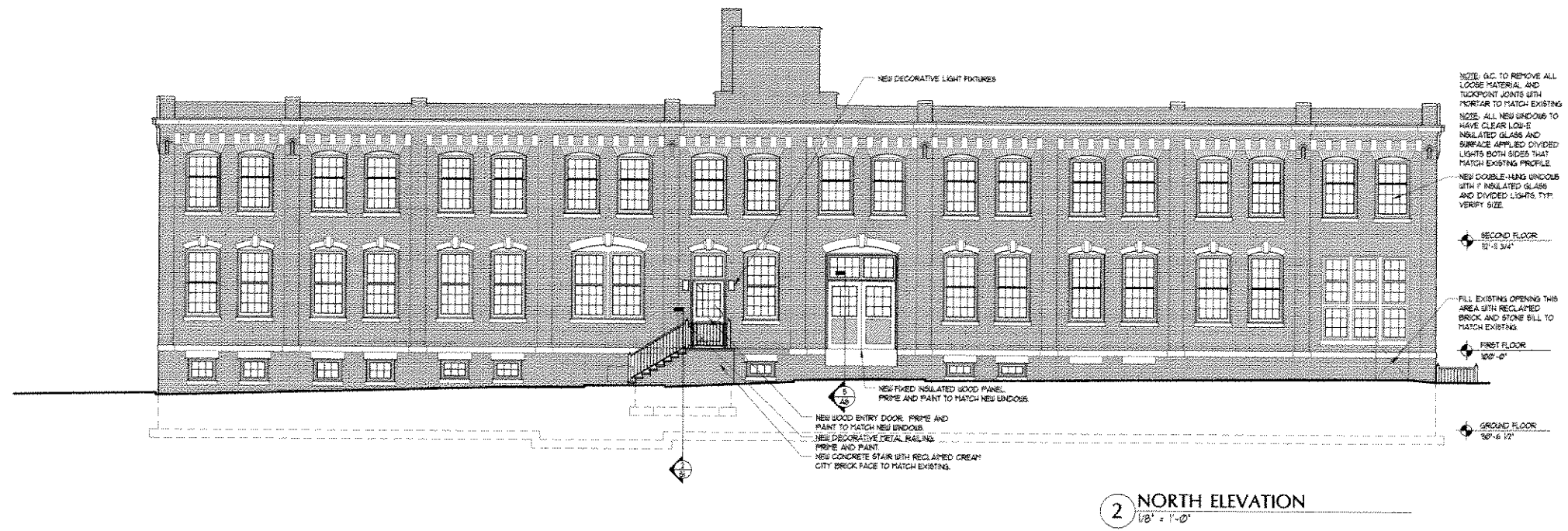
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1/8" = 1'-0"

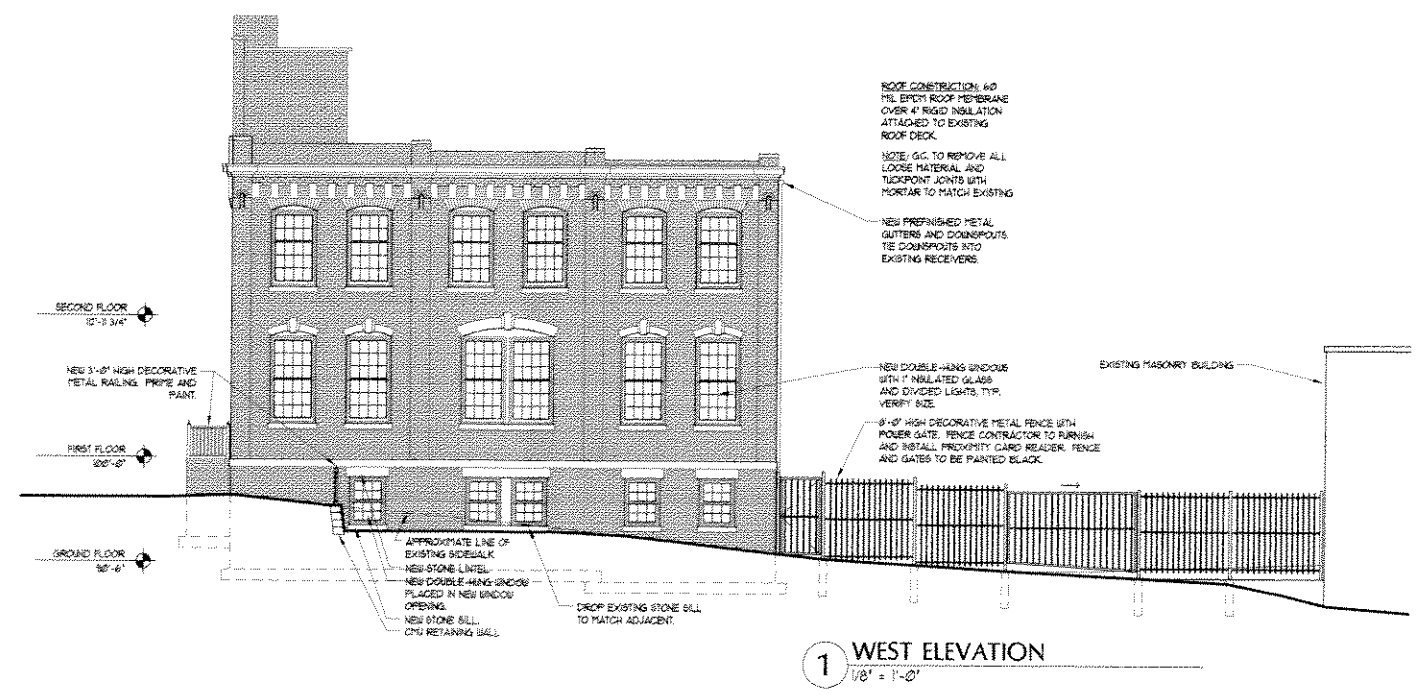
sheet number:

A7

APPROVAL DOCUMENTS



2 NORTH ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"



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BUILDING**

141 WEST VINE STREET
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sheet title:

**SECTIONS
AND
DETAILS**

revisions:

date:

7/25/2005

drawn by:

KMW/AH

file name:

line1
line 2

project number:

2005030

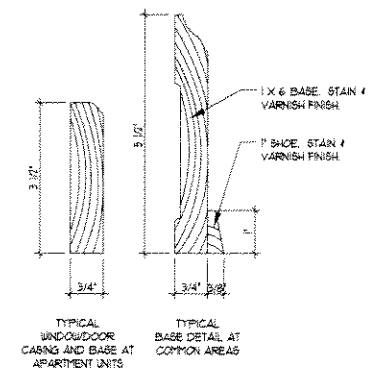
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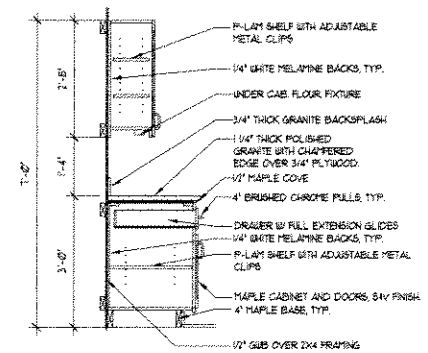
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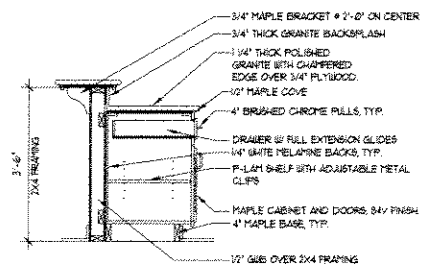
APPROVAL DOCUMENTS



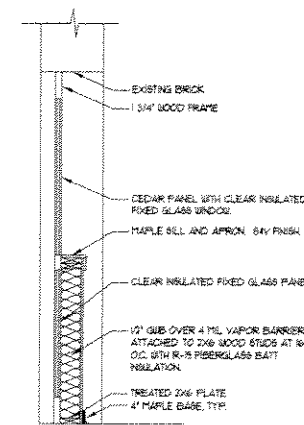
4 MILLWORK PROFILES
6" = 1'-0"



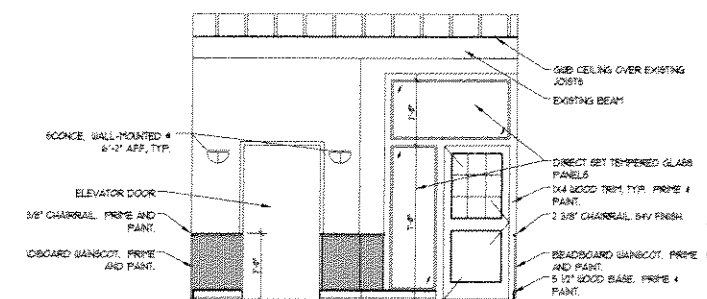
3 SECTION AT CABINET
1/2" = 1'-0"



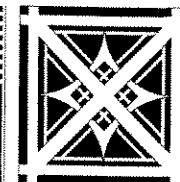
2 SECTION AT KITCHEN ISLAND
1/2" = 1'-0"



5 SECTION AT INSULATED PANEL
1/2" = 1'-0"



1 LOBBY ELEVATION
1/4" = 1'-0"



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sheet title:
**SCHEDULES
AND
DETAILS**

revisions:

date:
7/25/2005
drawn by:
KMM/AH
file name:
A9
line 2
project number:
2005030
scale:
1/4" = 1'-0"

sheet number:
A9

APPROVAL DOCUMENTS

ROOM FINISH SCHEDULE (COMMON AREA, SEE 1/A1, 2/A1, 1/A2)

ROOM #	ROOM NAME	BASE	FLOOR	WALLS					CEILING		REMARKS
				ALL	N	S	E	W	MATL	HEIGHT	
G201	CORRIDOR	6" MAPLE	CARPET	PI	---	---	---	---	---	STRUC.	
G202	STAIR	6" MAPLE	CARPET	PI	---	---	---	---	---	SUB. AC. 8'-0"	
G203	UTILITY ROOM	4" VINYL	CONC.	P2	---	---	---	---	---	STRUC.	
G204	STORAGE	4" VINYL	CONC.	PI	---	---	---	---	---	STRUC.	
G205	STORAGE	4" VINYL	CONC.	PI	---	---	---	---	---	STRUC.	
G206	ELEVATOR EQUIP	4" VINYL	CONC.	PI	---	---	---	---	---	STRUC.	
G207	UTILITY	4" VINYL	CONC.	P2	---	---	---	---	---	STRUC.	
G208	STORAGE	4" VINYL	CONC.	PI	---	---	---	---	---	STRUC.	
G209	UTILITY	4" VINYL	CONC.	P2	---	---	---	---	---	STRUC.	
G100	STAIR	6" MAPLE	CARPET	PI	---	---	---	---	---	SUB. AC. 8'-0"	
101	VESTIBULE	4" TILE	C.T.	PI	---	---	---	---	---	SUB. AC. 9'-0"	
102	LOBBY	6" MAPLE	CARPET	PI	---	---	---	---	---	SUB. AC. 9'-0"	
103	CORRIDOR	6" MAPLE	CARPET	PI	---	---	---	---	---	SUB. AC. 9'-0"	
104	STAIR	6" MAPLE	CARPET	PI	---	---	---	---	---	GRUB STRUC.	
105	STAIR	6" MAPLE	CARPET	PI	---	---	---	---	---	GRUB STRUC.	
106	CORRIDOR	6" MAPLE	CARPET	PI	---	---	---	---	---	SUB. AC. 9'-0"	
202	STAIR	6" MAPLE	CARPET	PI	---	---	---	---	---	GRUB STRUC.	
203	STAIR	6" MAPLE	CARPET	PI	---	---	---	---	---	GRUB STRUC.	

ROOM FINISH SCHEDULE (UNITS 102, 105, 106, 202, 205, 206, SEE 1/A3)

ROOM #	ROOM NAME	BASE	FLOOR	WALLS					CEILING		REMARKS
				ALL	N	S	E	W	MATL	HEIGHT	
101	ENTRY	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
102	BATHROOM	4" TILE	C.T.	PI	---	---	---	---	---	GRUB 9'-0"	
103	UTILITY	4" VINYL	S.V.	PI	---	---	---	---	---	STRUC.	
104	KITCHEN	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
105	LIVING	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
106	LAUNDRY	4" TILE	C.T.	PI	---	---	---	---	---	STRUC.	
107	BEDROOM	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
108	BEDROOM	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
109	WALK-IN CLOSET	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
110	BATHROOM	4" TILE	C.T.	PI	---	---	---	---	---	GRUB 9'-0"	

ROOM FINISH SCHEDULE (UNITS 103, 104, 107, 203, 204, 207, SEE 2/A3)

ROOM #	ROOM NAME	BASE	FLOOR	WALLS					CEILING		REMARKS
				ALL	N	S	E	W	MATL	HEIGHT	
101	ENTRY	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
102	BATHROOM	4" TILE	C.T.	PI	---	---	---	---	---	GRUB 9'-0"	
103	LAUNDRY	4" TILE	C.T.	PI	---	---	---	---	---	STRUC.	
104	BEDROOM	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
105	UTILITY	4" VINYL	S.V.	PI	---	---	---	---	---	STRUC.	
106	LIVING	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
107	KITCHEN	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	

ROOM FINISH SCHEDULE (UNITS 101, 201, SEE 3/A3)

ROOM #	ROOM NAME	BASE	FLOOR	WALLS					CEILING		REMARKS
				ALL	N	S	E	W	MATL	HEIGHT	
101	KITCHEN	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
102	UTILITY	4" VINYL	S.V.	PI	---	---	---	---	---	STRUC.	
103	DINING	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
104	LIVING	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
105	BEDROOM	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
106	LAUNDRY	4" TILE	C.T.	PI	---	---	---	---	---	STRUC.	
107	BATHROOM	4" TILE	C.T.	PI	---	---	---	---	---	GRUB 9'-0"	
108	WALK-IN CLOSET	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
109	BATHROOM	4" TILE	C.T.	PI	---	---	---	---	---	GRUB 9'-0"	
110	BEDROOM	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
111	BEDROOM	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
112	PASSAGE	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	

ROOM FINISH SCHEDULE (UNITS G102, G103, G104 SEE 1/A4)

ROOM #	ROOM NAME	BASE	FLOOR	WALLS					CEILING		REMARKS
				ALL	N	S	E	W	MATL	HEIGHT	
101	ENTRY	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
102	DEN	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
103	BATHROOM	4" TILE	C.T.	P2	---	---	---	---	---	GRUB 9'-0"	
104	WALK-IN CLOSET	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
105	BEDROOM	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
106	UTILITY	4" VINYL	S.V.	P2	---	---	---	---	---	STRUC.	
107	LIVING	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
108	LAUNDRY	4" TILE	C.T.	P2	---	---	---	---	---	STRUC.	
109	KITCHEN	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
110	BATHROOM	4" TILE	C.T.	P2	---	---	---	---	---	GRUB 9'-0"	

ROOM FINISH LEGEND

PI LATEX PRIMER, LATEX FINISH COAT EGGSHELL FINISH
P2 LATEX PRIMER, LATEX FINISH COAT SEMI-GLOSS FINISH

ROOM FINISH SCHEDULE (UNITS G101, G105, SEE 2/A4)

ROOM #	ROOM NAME	BASE	FLOOR	WALLS					CEILING		REMARKS
				ALL	N	S	E	W	MATL	HEIGHT	
101	LIVING	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
102	KITCHEN	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
103	BATHROOM	4" TILE	C.T.	P2	---	---	---	---	---	GRUB 9'-0"	
104	BEDROOM	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
105	PASSAGE	4" MAPLE	HQUD	PI	---	---	---	---	---	STRUC.	
106	LAUNDRY	4" TILE	C.T.	P2	---	---	---	---	---	STRUC.	
107	BEDROOM	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
108	WALK-IN CLOSET	4" MAPLE	CPT.	PI	---	---	---	---	---	STRUC.	
109	BATHROOM	4" TILE	C.T.	P2	---	---	---	---	---	GRUB 9'-0"	

DOOR AND FRAME SCHEDULE (COMMON AREA, SEE 1/A1, 2/A1, 1/A2)

NOTE: ALL HARDWARE TO BE ADA COMPLIANT

ROOM NO.	ROOM NAME	SIZE	NO. OF LEAF	DOOR			FRAME DETAIL					REMARKS	
				TYPE	MATL.	GLAZING	MATL.	HEAD	JAMB	SILL	LABEL		TYPE
G107	STAIR	3'0"X1'4"	1	5	UD	---	---	---	---	---	---	---	B
G102A	STAIR	3'0"X1'0"	1	2	HM	---	45	HM	2/A9	2/A9	---	---	A
G103	UTILITY	3'0"X1'0"	1	2	HM	---	---	HM	2/A9	2/A9	---	---	A
G104	STORAGE	3'0"X1'0"	1	2	HM	---	---	HM	2/A9	2/A9	---	---	A
G105	STORAGE	3'0"X1'0"	1	2	HM	---	---	HM	2/A9	2/A9	---	---	A
G106	ELEVATOR EQUIPMENT	3'0"X1'0"	1	2	HM	---	---	HM	2/A9	2/A9	---	---	A
G107	UTILITY	3'0"X1'0"	1	2	HM	---	---	HM	2/A9	2/A9	---	---	A
G108	STORAGE	3'0"X1'0"	1	2	HM	---	---	HM	2/A9	2/A9	---	---	A
G109	UTILITY	3'0"X1'0"	1	2	HM	---	---	HM	2/A9	2/A9	---	---	A
G110	STAIR	3'0"X1'4"	1	5	UD	---	---	---	---	---	---	---	B
G102A	STAIR	3'0"X1'0"	1	2	HM	---	45	HM	2/A9	2/A9	---	---	A
101	VESTIBULE	3'0"X1'0"	1	1	UD	---	---	---	---	---	---	---	B
102A	VESTIBULE	3'0"X1'0"	1	1	UD	---	---	---	---	---	---	---	B
104	STAIR	3'0"X1'0"	1	2	HM	---	45	HM	2/A9	2/A9	---	---	A
105	STAIR	3'0"X1'0"	1	2	HM	---	45	HM	2/A9	2/A9	---	---	A
202	STAIR	3'0"X1'0"	1	2	HM	---	45	HM	2/A9	2/A9	---	---	A
203	STAIR	3'0"X1'0"	1	2	HM	---	45	HM	2/A9	2/A9	---	---	A

DOOR & FRAME SCHEDULE (UNITS 102, 105, 106, 202, 205, 206, SEE 1/A3)

NOTE: ALL HARDWARE TO BE ADA COMPLIANT

ROOM NO.	ROOM NAME	SIZE	NO. OF LEAF	DOOR			FRAME DETAIL					REMARKS	
				TYPE	MATL.	GLAZING	MATL.	HEAD	JAMB	SILL	LABEL		TYPE
101	ENTRY	3'0"X1'0"	1	3	UD	---	20	UD	VAS	VAS	---	---	B
101A	ENTRY	3'0"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
102	BATHROOM	3'0"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
103	UTILITY	2'8"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
106	LAUNDRY	2'8"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
107	BEDROOM	3'0"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
107A	CLOSET	2'8"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
108	BEDROOM	3'0"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
109	WALK-IN CLOSET	3'0"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
110	BATHROOM	3'0"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
102A	BATHROOM	2'8"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B

DOOR & FRAME SCHEDULE (UNITS 103, 104, 107, 203, 204, 207, SEE 2/A3)

NOTE: ALL HARDWARE TO BE ADA COMPLIANT

ROOM NO.	ROOM NAME	SIZE	NO. OF LEAF	DOOR			FRAME DETAIL					REMARKS	
				TYPE	MATL.	GLAZING	MATL.	HEAD	JAMB	SILL	LABEL		TYPE
101	ENTRY	3'0"X1'0"	1	3	UD	---	20	UD	VAS	VAS	---	---	B
101A	ENTRY	3'0"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
102B	ENTRY	2'8"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
102	BATHROOM	3'0"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
103	LAUNDRY	2'8"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
104	BEDROOM	3'0"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
104A	CLOSET	3'0"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
109	UTILITY	2'8"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B

DOOR AND FRAME SCHEDULE (UNITS 101, 201, SEE 3/A3)

NOTE: ALL HARDWARE TO BE ADA COMPLIANT

ROOM NO.	ROOM NAME	SIZE	NO. OF LEAF	DOOR			FRAME DETAIL					REMARKS	
				TYPE	MATL.	GLAZING	MATL.	HEAD	JAMB	SILL	LABEL		TYPE
101	ENTRY	3'0"X1'0"	1	3	UD	---	20	UD	VAS	VAS	---	---	B
101A	ENTRY	3'0"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
107	UTILITY	2'8"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
108	BEDROOM	3'0"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---	---	B
102A	BEDROOM	2'8"X6'8"	1	4	UD	---	---	UD	VAS	VAS	---		

DESIGN LIVE LOADS:

GNOLL 25 PSF
 STAIRS & EXITSWAYS 200 PSF

DESIGN STRESSES:

CAST IN PLACE CONCRETE:
 FOOTINGS $F_c = 3000$ PSI
 FOUNDATION WALLS $F_c = 4000$ PSI

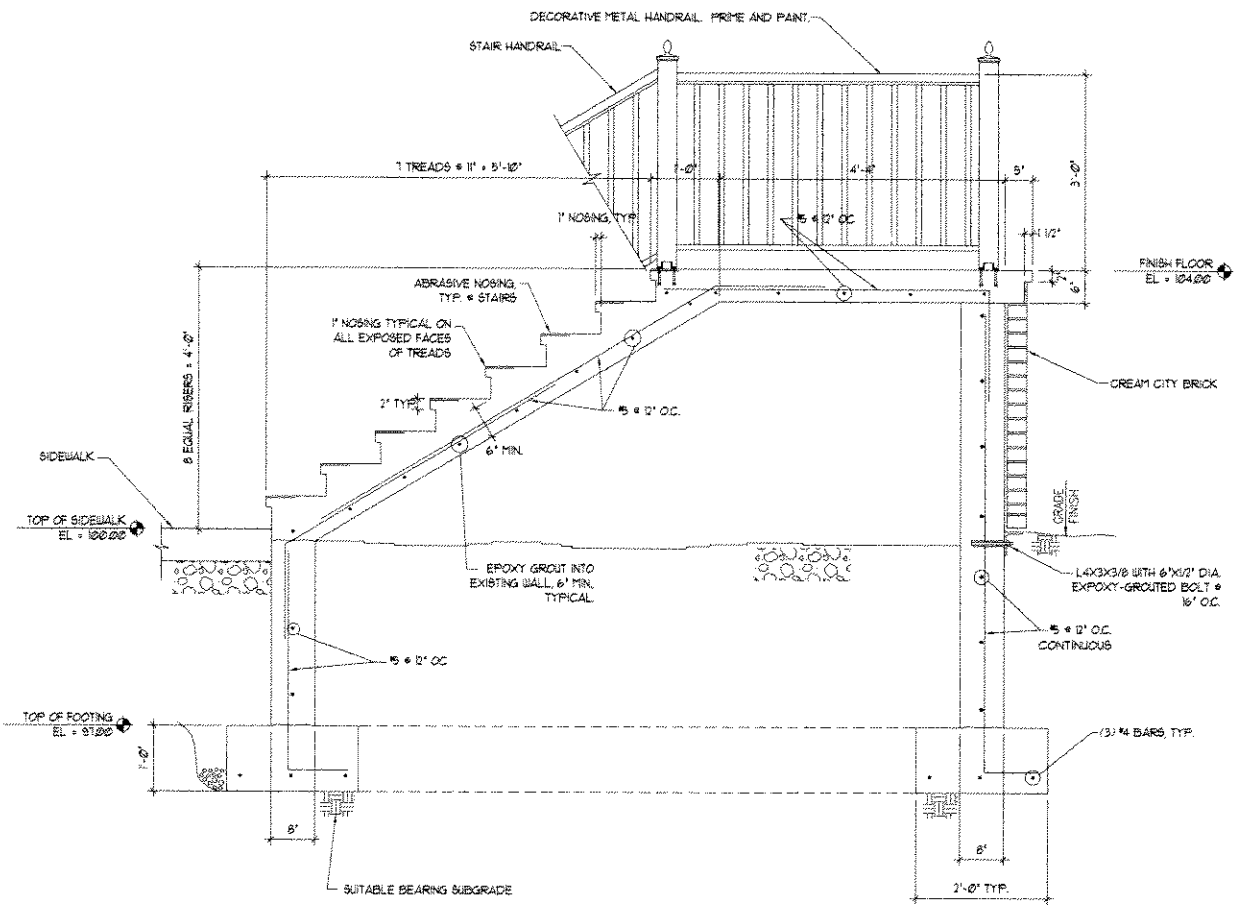
REINFORCEMENT:
 TIES, BAR, STIRRUPS $F_y = 60,000$ PSI
 WELDED WIRE FABRIC $F_y = 65,000$ PSI

STRUCTURAL STEEL:
 PLATES, ANGLES, ETC. $F_y = 36,000$ PSI
 ASTM A36 $F_y = 36,000$ PSI

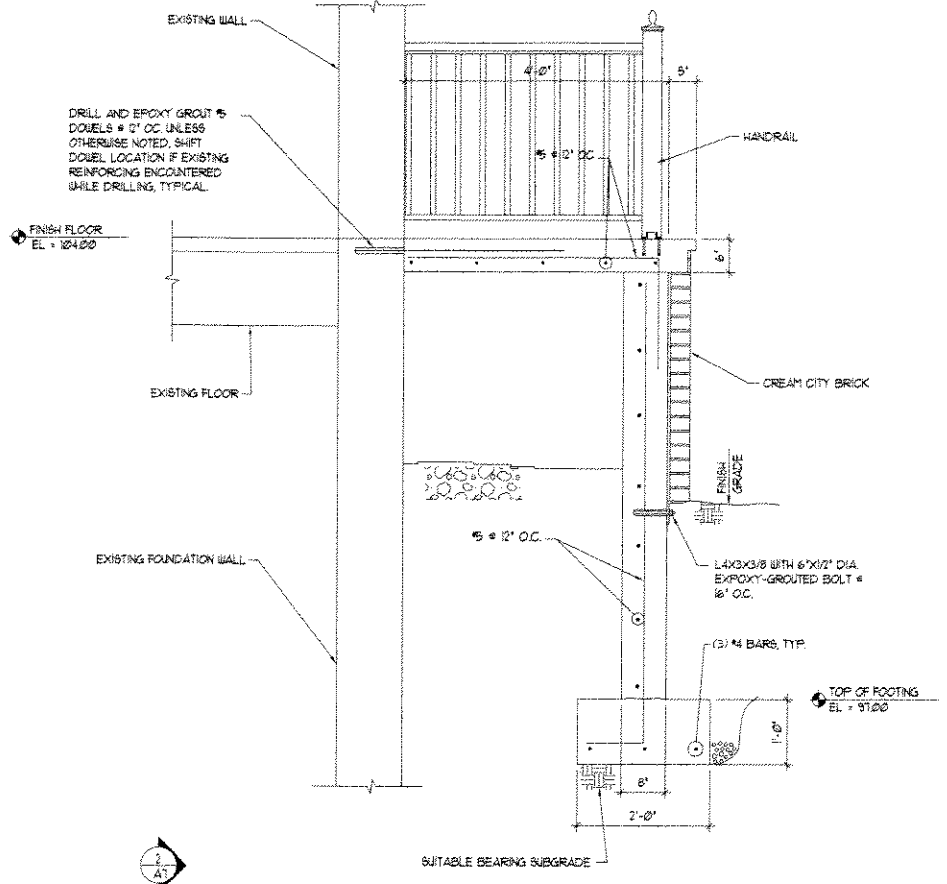
SOIL BEARING CAPACITY: 1500 PSF (ASSUMED)
 (GEOTECHNICAL ENGINEER TO VERIFY)

STRUCTURAL NOTES:

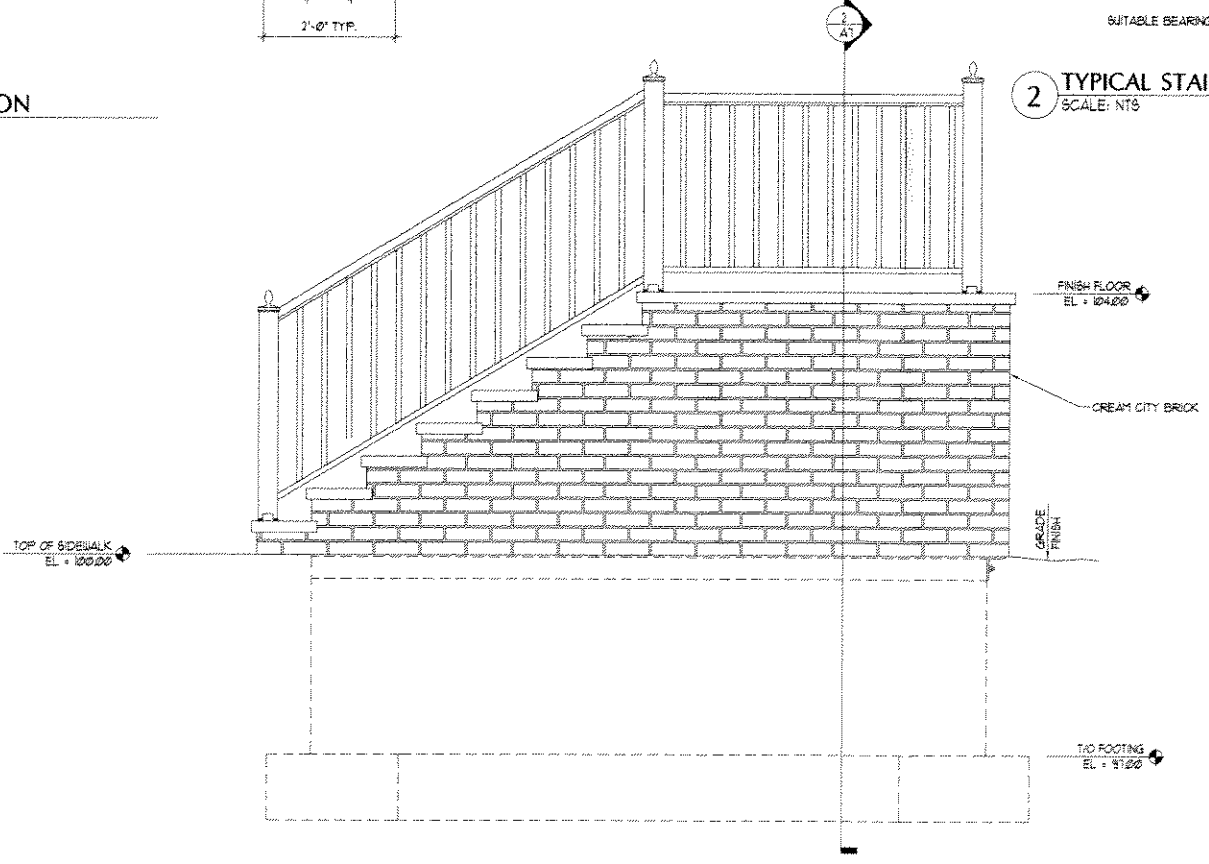
1. ALL CONCRETE WORK SHALL BE DONE PER ACI 318-02.
2. ALL CONCRETE REINFORCEMENT SHALL BE PER ACI 318-02.
3. ALL CONCRETE MASONRY WORK SHALL BE PER ACI 530-02.



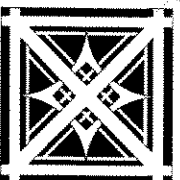
1 TYPICAL STAIR SECTION
 SCALE: NT5



2 TYPICAL STAIR SECTION
 SCALE: NT5



3 TYPICAL STAIR ELEVATION
 SCALE: NT5



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project title:

A REMODELING OF
 THE HISTORIC:

HASTINGS
BUILDING

141 WEST VINE STREET
 MILWAUKEE, WI 53202

sheet title:

STRUCTURAL
PLANS AND
DETAILS

revisions:

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 7/25/2005

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 KMW/AAH

file name:

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 2005.030

scale:

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S1

APPROVAL DOCUMENTS