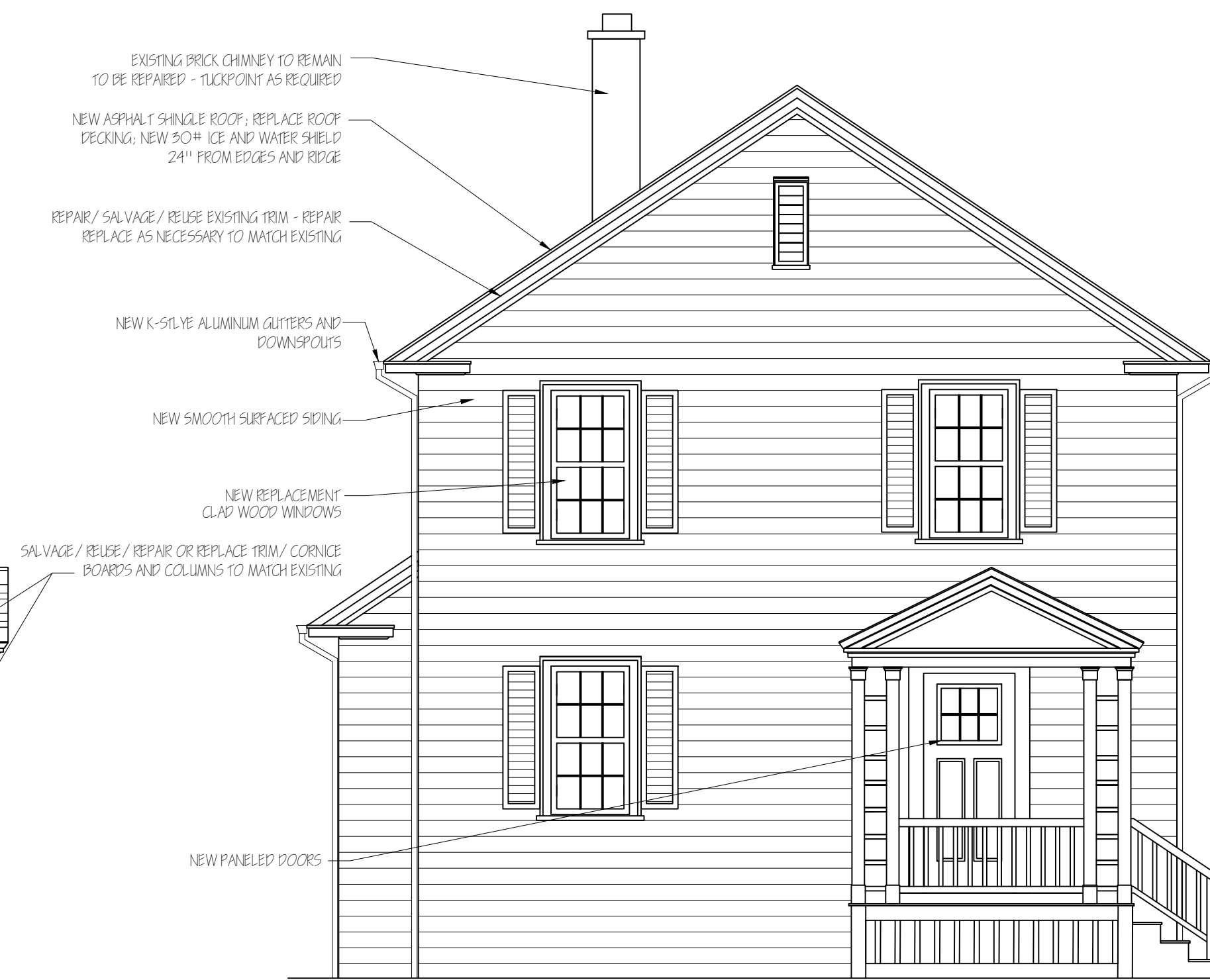


1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

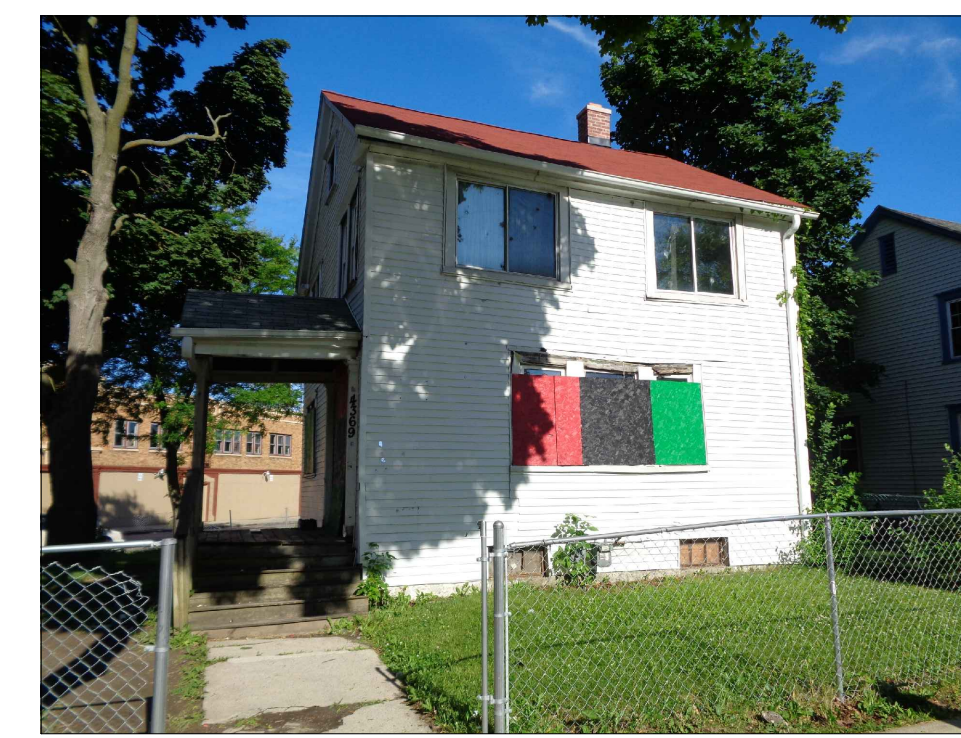
2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



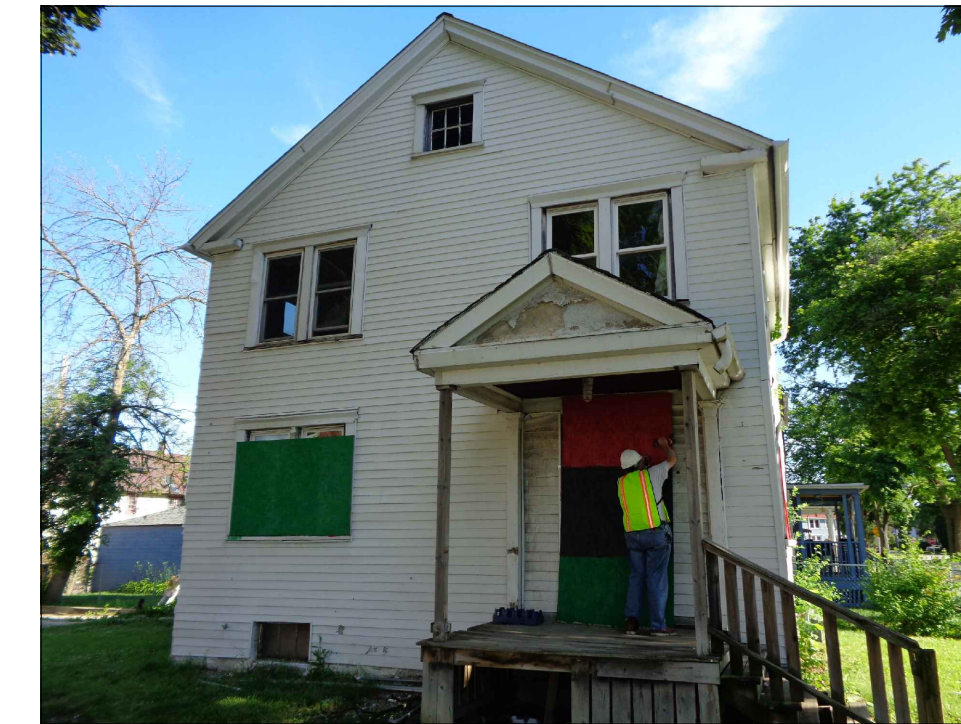
3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION



SOFFIT DETAIL



EXISTING SOUTH ELEVATION



EXISTING WEST ELEVATION



EXISTING NORTHEAST CORNER

**HISTORIC PLANNING COMMISSION  
SUBMISSION FOR:  
GARDEN HOMES  
4369 NORTH 26TH STREET**

**GARDEN HOMES CORPORATION  
HOME RENOVATIONS**  
4369 NORTH 26TH STREET  
MILWAUKEE, WI 53209

ARCHITECT:  
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Architecture, Inc.**  
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swerk@juno.com

ARCHITECT:  
KEITH SCHULTZ, ALA



REVISIONS

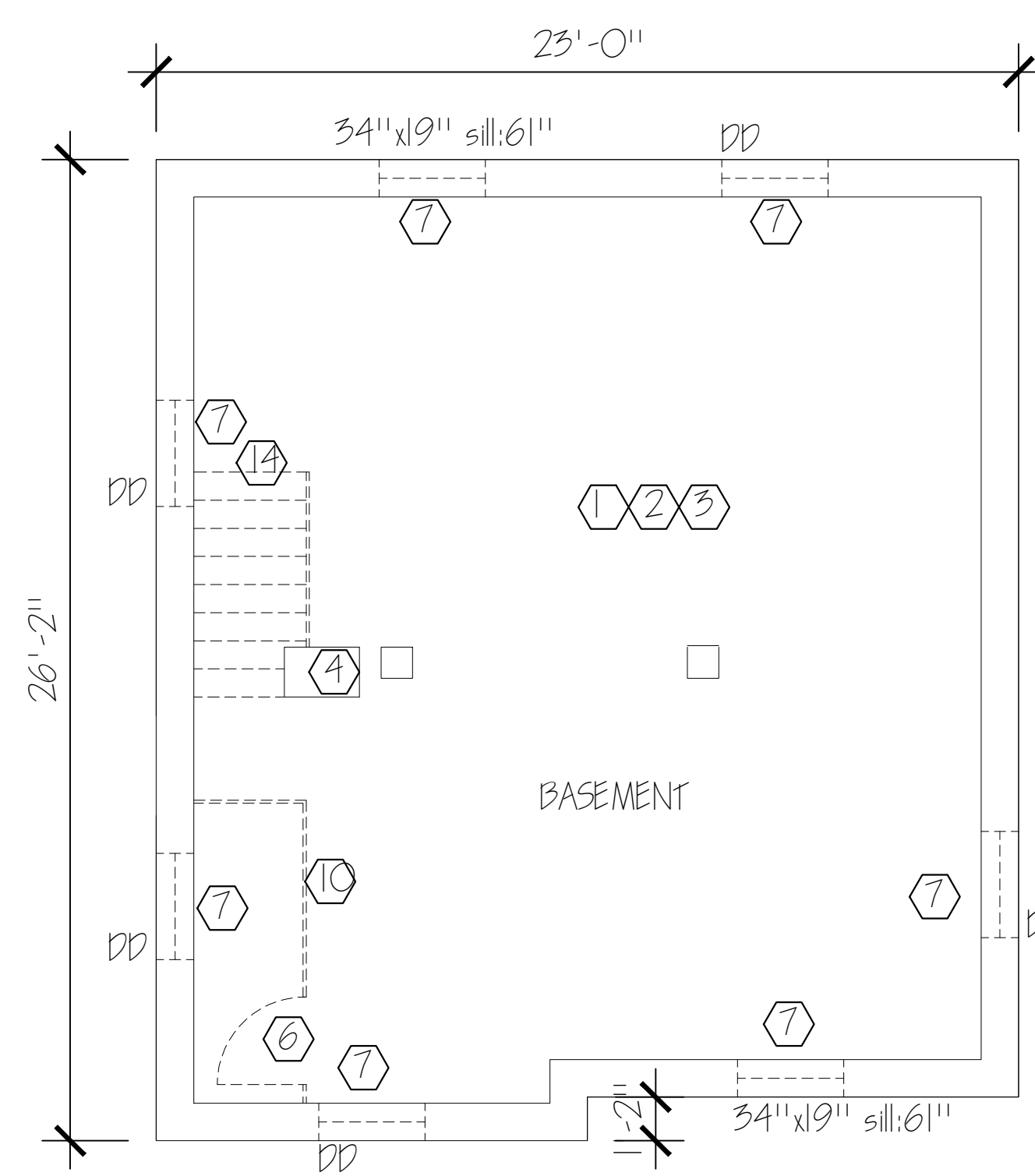
PROJECT NO. 20027.00  
DATE 05/25/2021  
DRAWN BY BB/JS/LB  
CHECKED BY KS

SHEET CONTENTS  
ELEVATIONS

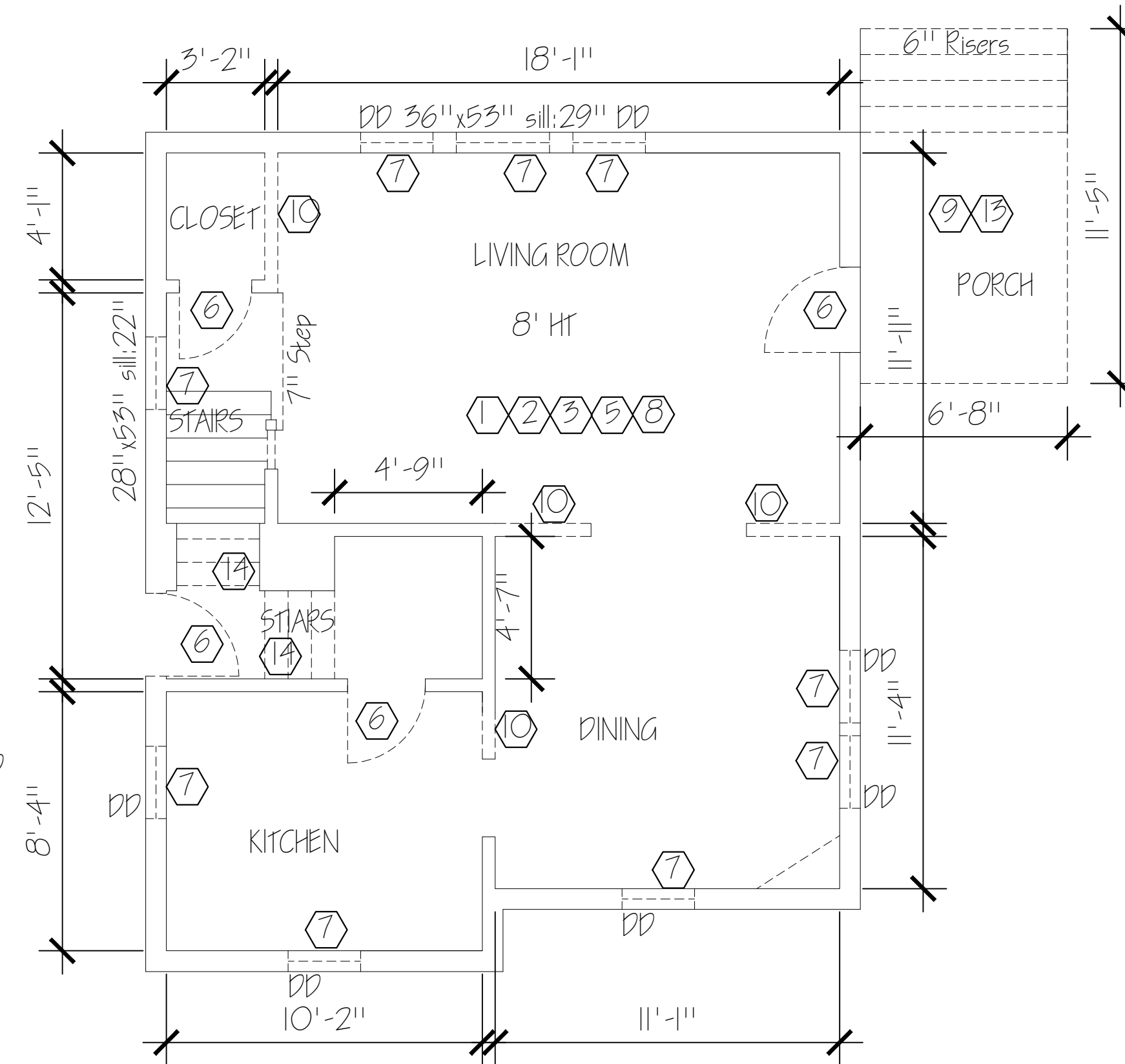
SHEET  
**A1.1**  
1 OF 2

GENERAL DEMOLITION NOTES:

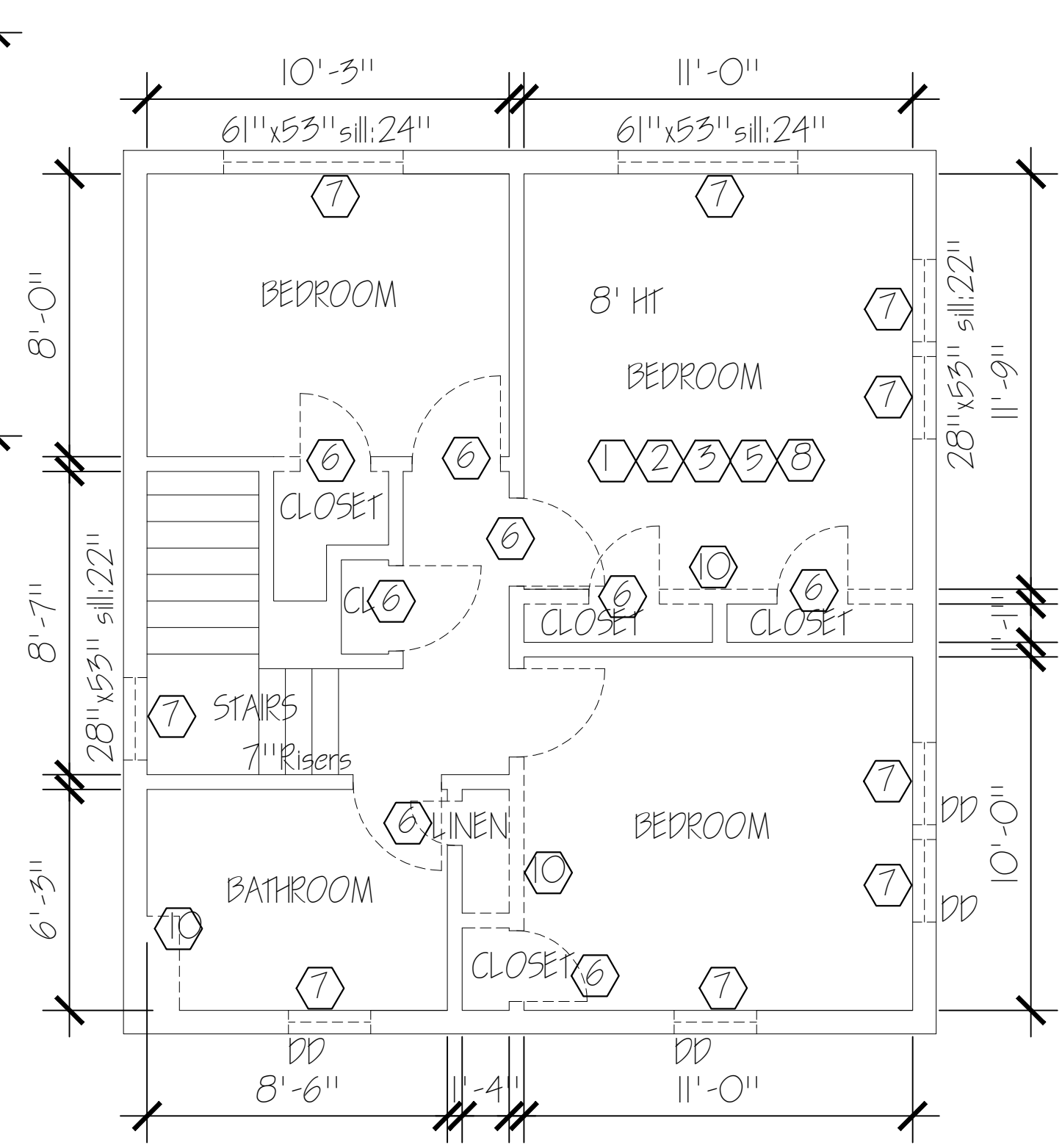
1. REMOVE ALL EXISTING ELECTRICAL - TERMINATE OUTLETS, SWITCHES, WIRING - CAP PROPERLY
2. REMOVE ALL EXISTING DUCTWORK AND MECHANICAL UNITS AND ALL ASSOCIATE HVAC EQUIPMENT
3. REMOVE ALL EXISTING PLUMBING FIXTURES, PIPING AND ALL EXISTING ASSOCIATED FITTINGS AND PLUMBING MATERIALS - PROPERLY CAP ACCORDING TO CODE.
4. EXISTING CHIMNEY TO REMAIN - REPAIR.
5. REMOVE EXISTING FLOORING DOWN TO WOOD FLOOR OR EXISTING WOOD SUB-FLOOR ON ALL FLOORS.
6. REMOVE ALL EXISTING DOORS AND DOOR FRAMES
7. REMOVE ALL EXISTING WINDOWS AS NOTED
8. STRIP ALL EXISTING WALLS AND CEILINGS OF PLASTER, DRYWALL AND LATH DOWN TO THE BARE STUDS.
9. DEMOLISH EXISTING FRONT PORCH, DECK, STEPS AND RAILINGS.
10. REMOVE EXISTING WALLS AS NOTED
11. REMOVE ALL EXISTING SIDING AND TRIM TO STUDS
12. REMOVE ALL EXISTING ROOFING MATERIALS DOWN TO EXISTING ROOF SUBSTRATE.
13. REMOVE ALL EXISTING HANDRAIL ON PORCH REMOVE EXISTING ROOFING AND DECKING.
14. DEMOLISH REAR STAIRS TO THE BASEMENT AND FIRST FLOOR



1 BASEMENT PLAN  
SCALE: 1/4" = 1'-0"



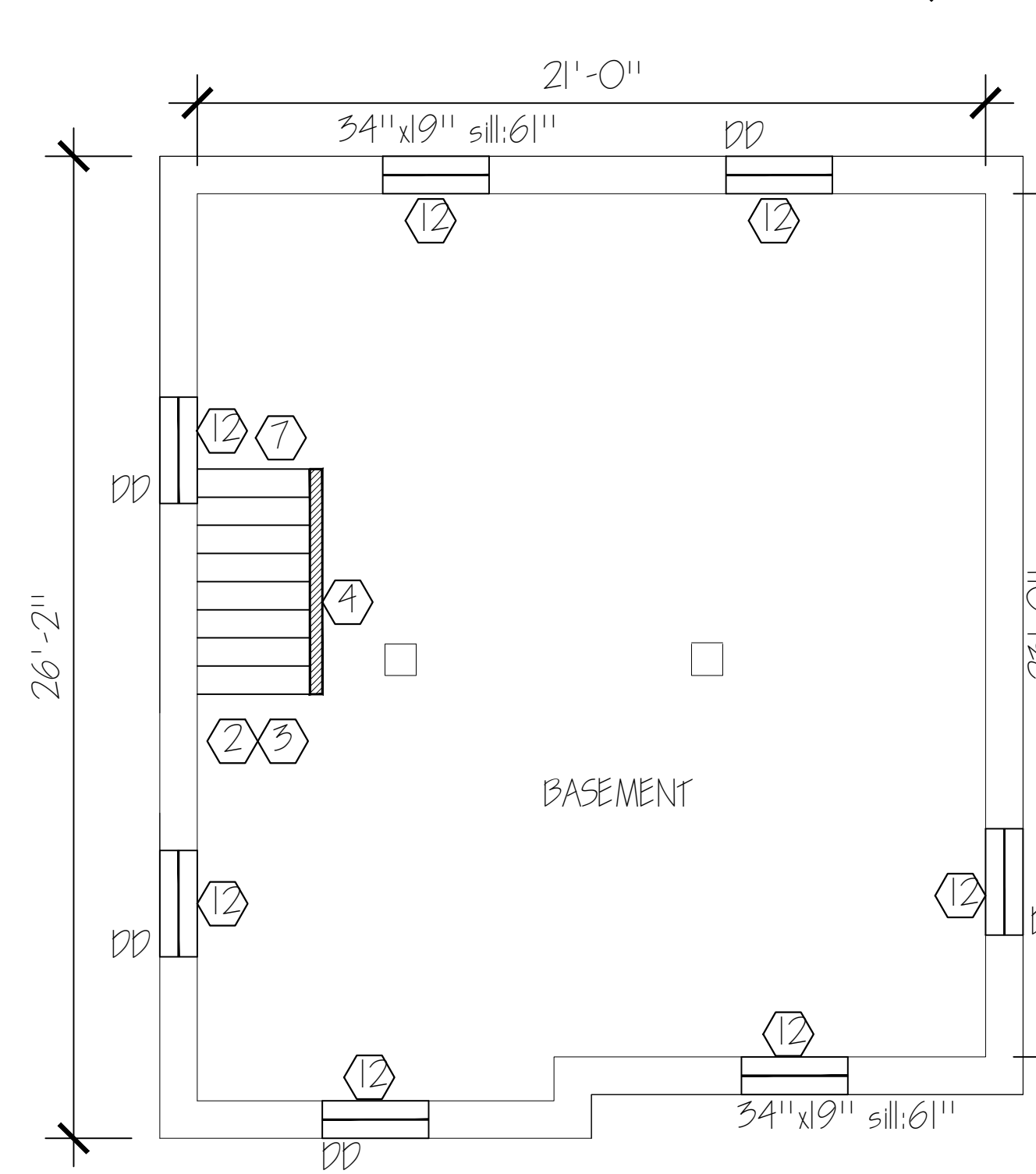
2 FIRST FLOOR  
SCALE: 1/4" = 1'-0"



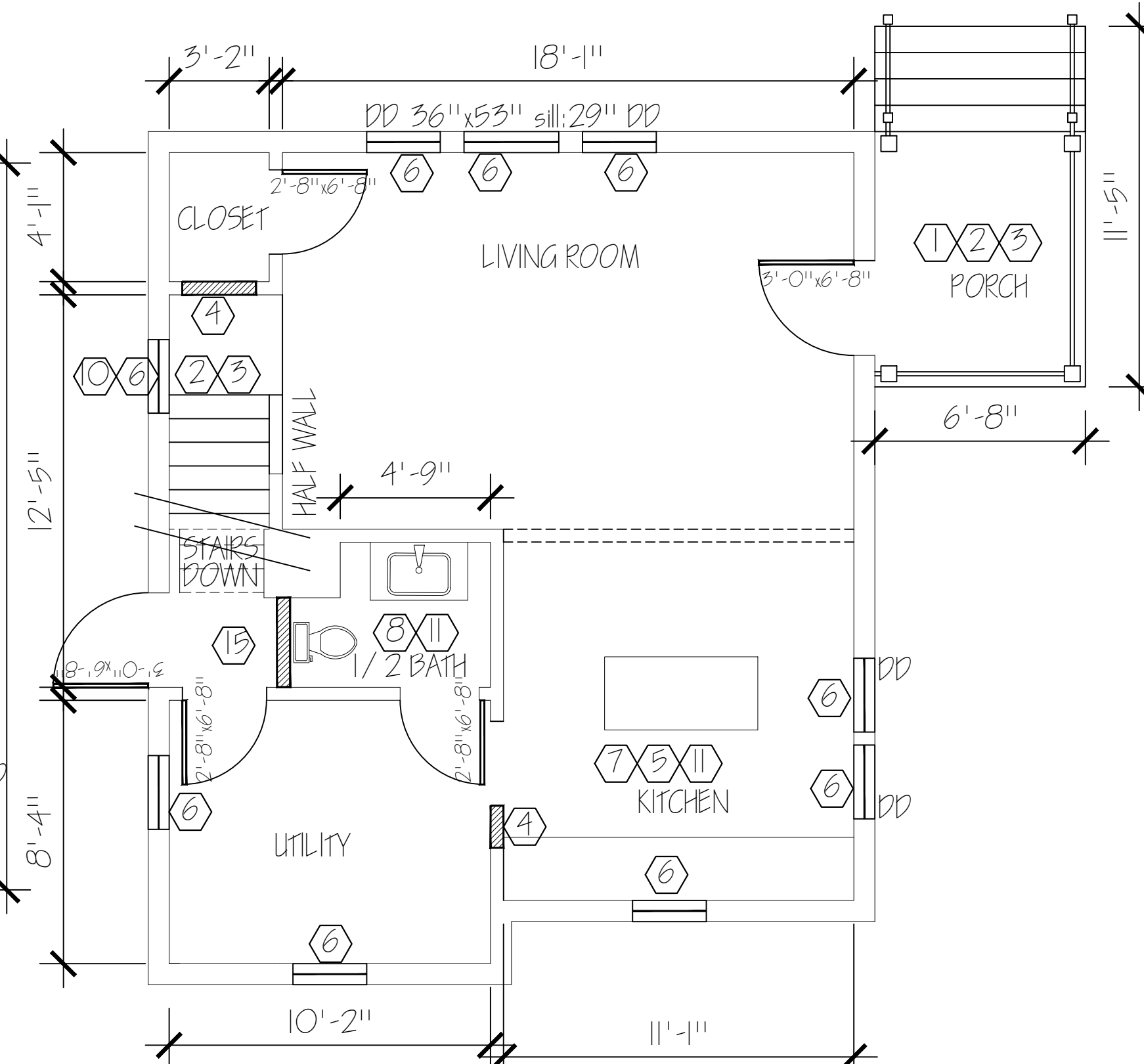
3 SECOND FLOOR  
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES:

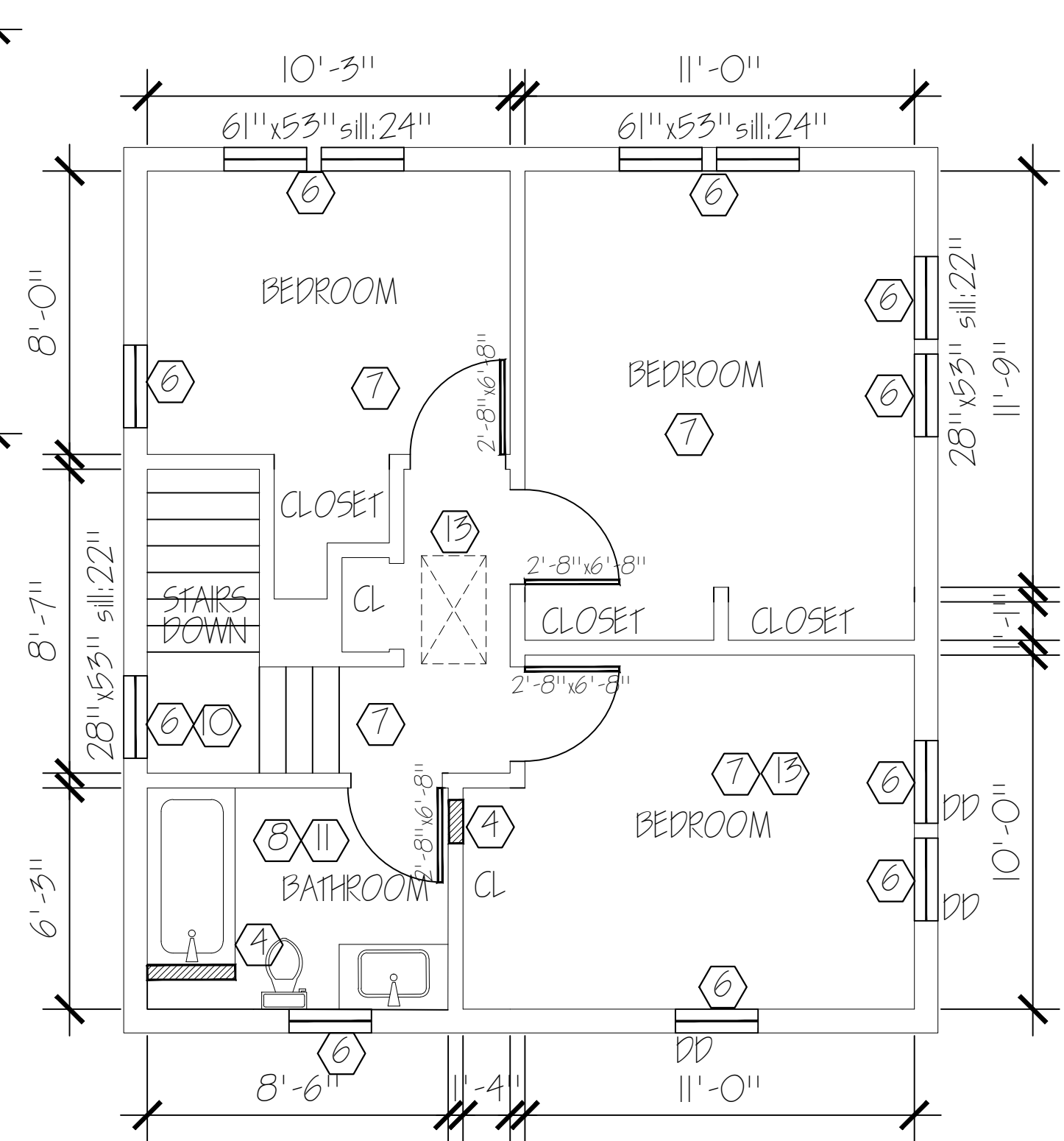
1. CONSTRUCT NEW PORCH, HANDRAILS USE TREATED MATERIALS; PRIME AND PAINT
2. CONSTRUCT NEW STAIRS TO MEET CURRENT RESIDENTIAL CODE. RISERS AT 8"; RUN 9" MINIMUM.
3. ALL HANDRAILS TO COMPLY WITH SPS 321.04 (3) REFER TO DETAIL D1.15
4. NEW 2X6 OR 2X4 WALLS AS INDICATED
5. REFER TO KITCHEN PLANS
6. NEW WINDOWS, U VALUE 0.35 Btu/ sq. ft U VALUE 0.56 Btu/ sq. ft.
7. FURNISH AND INSTALL SMOKE AND CO DETECTORS PER SPS 321.09 AND SPS 321.097. HARD WIRED WITH BATTERY BACK UP
8. FURNISH AND INSTALL BATHROOM EXHAUST PER SPS 323.02 (3) (d).
9. WALL AND CEILING INSULATION TO COMPLY WITH SE WI TO COMPLY WITH SE WI ALTERATIONS AND REMODELING GUIDELINES FOR PRE 1980 1 & 2 FAMILY DWELLINGS (30.55 OF THE WI UBC)
10. PROVIDE SAFETY GLASS PER SPS 321.05 (3)
11. NEW PLUMBING FIXTURES
12. GLASS BLOCK WINDOW
13. NEW ATTIC SCUTTLE



4 BASEMENT ALTERATION  
SCALE: 1/4" = 1'-0"



5 FIRST FLOOR ALTERATION  
SCALE: 1/4" = 1'-0"



6 SECOND FLOOR ALTERATION  
SCALE: 1/4" = 1'-0"

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