



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

**1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Frank H. Lindsay House

**ADDRESS OF PROPERTY:**

2125 North Lake Drive; Milwaukee, WI 53202

**2. NAME AND ADDRESS OF OWNER:**

Name(s): Matthew Helmerich & Jeffrey Harwell

Address: 2125 North Lake Drive

City: Milwaukee

State: WI

ZIP: 53202

Email: matthewhelmerich@gmail.com, jeffreyharwell@gmail.com

Telephone number (area code & number) Daytime: (305) 923-9259

Evening: \_\_\_\_\_

(305) 304-4959

**3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): Timothy M. Plennes

Address: W124S9534 Weatherwood Circle

City: Muskego

State: WI

ZIP Code: 53150

Email: tim.plennes@gmail.com

Telephone number (area code & number) Daytime: 414-899-2223

Evening: 414-899-2223

**4. ATTACHMENTS:** (Because projects can vary in size and scope, please call the HPC Office at 414-286-5712 for submittal requirements)

**A. REQUIRED FOR MAJOR PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 1 reduced to 11" x 17" or 8 1/2" x 11")  
A digital copy of the photos and drawings is also requested.

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION ALSO REQUIRES:**

\_\_\_\_\_ Floor Plans (1 full size and 1 reduced to a maximum of 11" x 17")

\_\_\_\_\_ Site Plan showing location of project and adjoining structures and fences

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED AND SIGNED.**

**5. DESCRIPTION OF PROJECT:**


Tell us what you want to do. Describe all proposed work including materials, design, and dimensions. Additional pages may be attached via email.

The goal of this project is to replace deteriorated railing materials on the rear porches and upper rear terrace of the home. The intent is to recreate the existing profiles of the newel posts, base rails, handrails, and balusters with natural wood materials. The deteriorated newel posts above the sun room are suspected origination points of water intrusion. That water intrusion is the impetus for the project.

The broad scope of work will include removal of the existing wood railings, balusters, base & handrails, and deck boards. This will allow for a thorough inspection of the roofing membrane to determine if it can be repaired or will require replacement. Following the roof work, the newel posts and railings will be rebuilt to match the dimensions, chamfers, and paint colors of existing construction. We will salvage and reinstall the natural hardwood deck boards if they are suitable for reuse following careful deconstruction. Similar work will be performed on the porch and stairway at the rear of the first floor.

Our project narrative, a further detailed scope of work, annotated photos, plans and details are attached to this document for your review and consideration.

**6. SIGNATURE OF APPLICANT:**

  
\_\_\_\_\_  
Signature

Timothy Plennes  
Please print or type name

April 29, 2024  
Date

This form and all supporting documentation MUST arrive by 4:00 pm (11:59 pm via email) on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Mail or Email Form to:**  
Historic Preservation Commission  
City Clerk's Office  
841 N. Broadway, Rm. B1  
Milwaukee, WI 53202

**PHONE: (414) 286-5712 or 286-5722**

[hpc@milwaukee.gov](mailto:hpc@milwaukee.gov)

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)

**Or click the SUBMIT button to automatically email this form for submission.**

**SUBMIT**



# RAILING REPLACEMENT AND ROOF REPAIRS TO EXISTING PORCH AND ROOF DECK

2125 N. LAKE DRIVE  
MILWAUKEE, WISCONSIN



PHOTO 1  
RESIDENCE FROM LAKE DRIVE



PHOTO 2  
REAR PORCH AS SEEN FROM BACK YARD



PHOTO 3  
REAR PORCH AS SEEN FROM BACK YARD

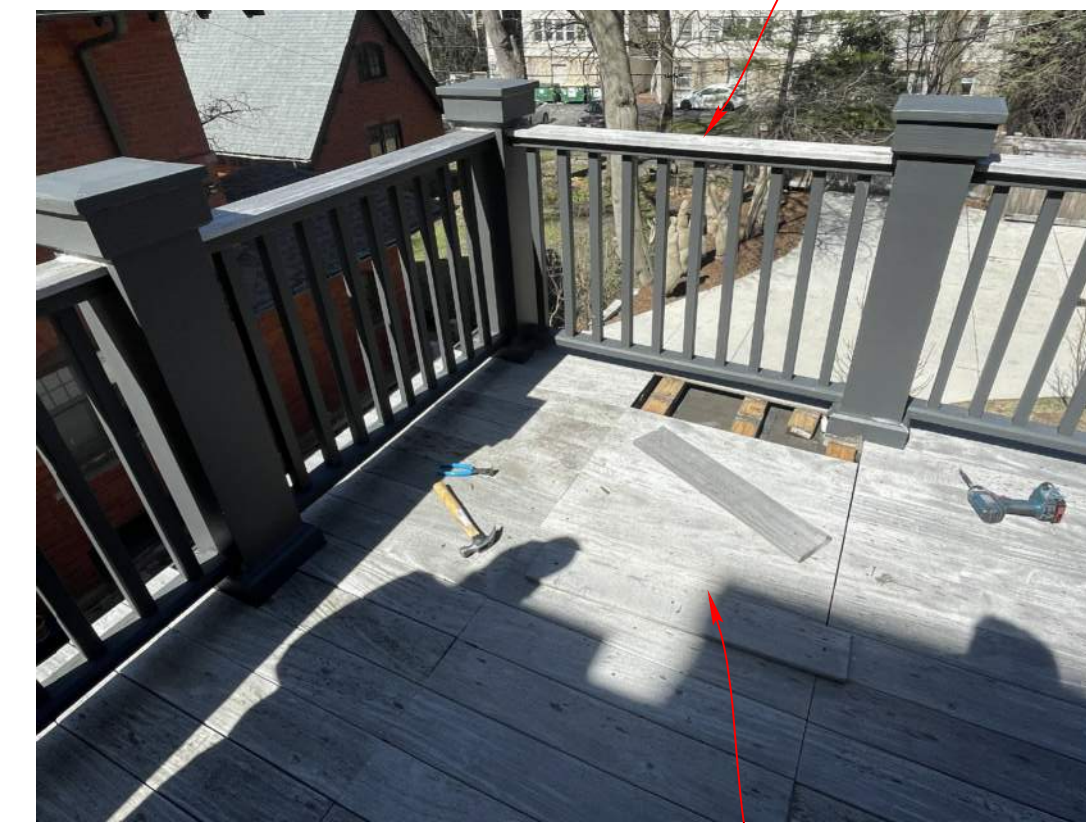


PHOTO 4  
ROOF DECK OUTSIDE CORNER



PHOTO 5  
ROOF DECK AT MAIN HOUSE

**PROJECT NARRATIVE**

THE SCOPE OF WORK FOR THIS PROJECT INCLUDES REPLACING THE EXISTING RAILING ON THE ROOF DECK ABOVE THE EXISTING REAR PORCH, REPLACING THE RAILING AT THE GROUND-LEVEL STAIRS, AND REPAIRING/REPLACING THE ROOF MEMBRANE. THE INTENT OF THIS PROJECT IS TO REPAIR AND REPLACE ALL COMPONENTS TO MATCH THE EXISTING CONDITION WITH DURABLE MATERIALS.

THE WOOD OF THE EXISTING RAILING IS DETERIORATING. THIS PROJECT WILL REPLACE THE POSTS AND RAILINGS WITH NEW WOOD RAILINGS, MATCHING ALL DIMENSIONS AND PROFILES, AND PAINTED THE SAME COLOR AS EXISTING.

THERE ARE SEVERAL AREAS INSIDE THE PORCH WHERE ROOF LEAKS ARE EVIDENT FROM ABOVE. THIS PROJECT WILL REMOVE THE EXISTING ROOF DECK BOARDS AND SLEEPERS, INVESTIGATE THE EXISTING EPDM ROOF MEMBRANE, FLASHINGS, AND PENETRATIONS, AND REPAIR OR REPLACE THE ROOF MEMBRANE TO PROVIDE A NEW WEATHERTIGHT ENCLOSURE.

**PROJECT GENERAL NOTES:**

- ALL WORK TO BE PERFORMED IN CONFORMANCE WITH ALL ADOPTED BUILDING CODES AND LOCAL ORDINANCES (WISCONSIN UNIFORM DWELLING CODE, SPS 320 - SPS 325)
- CONTRACTOR TO FIELD VERIFY ALL CONDITIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS

**SCOPE OF WORK DESCRIPTION**

**DEMOLITION:**

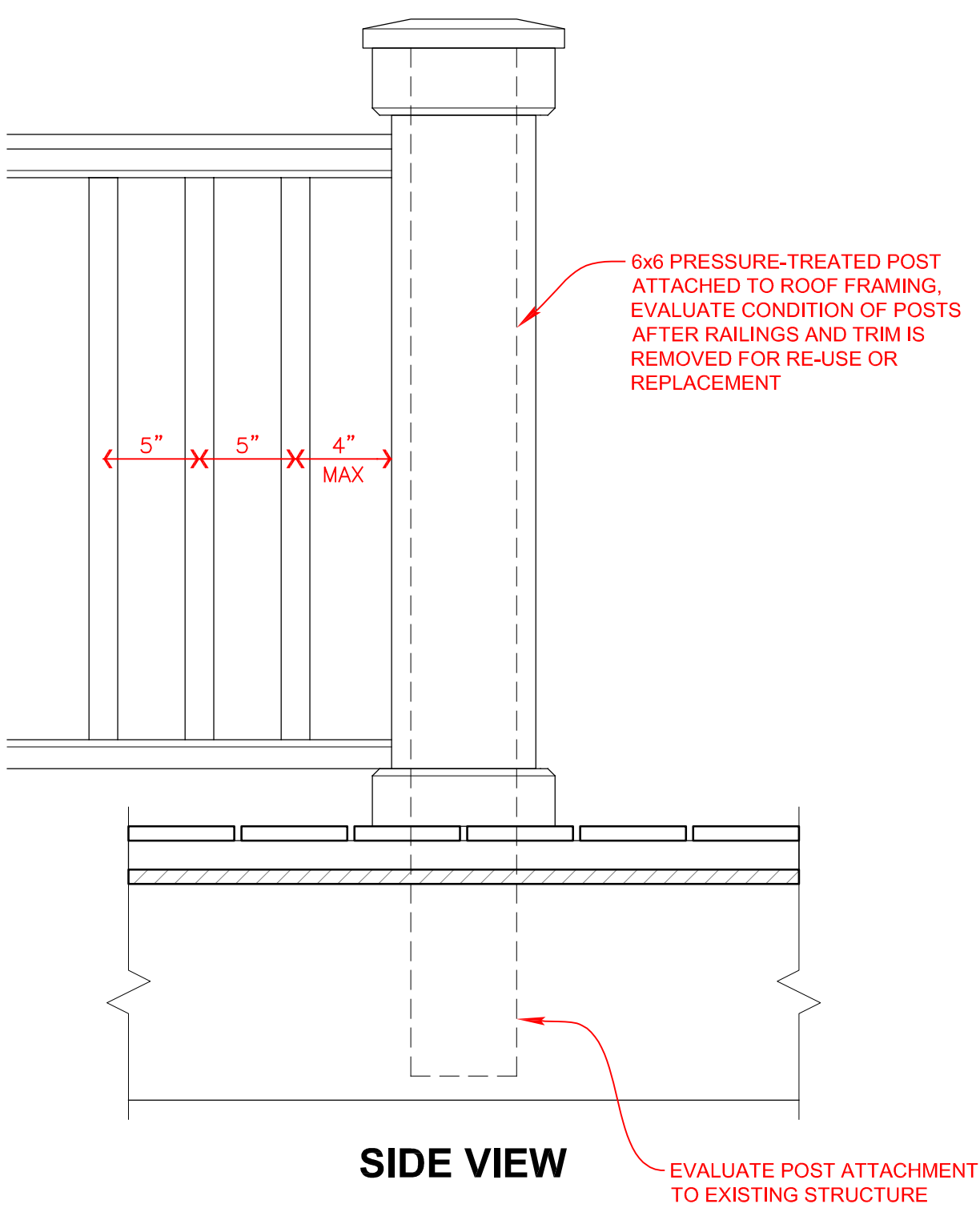
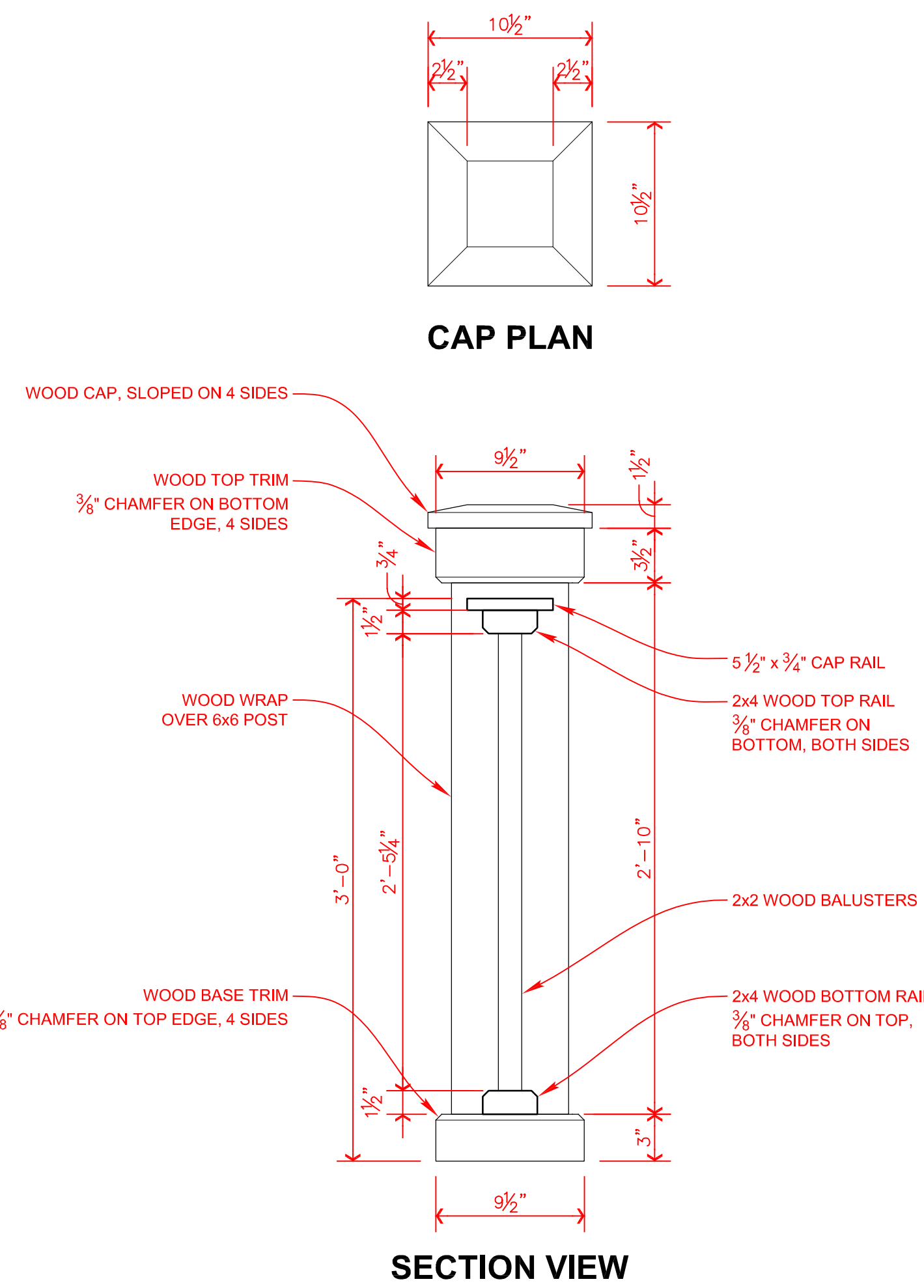
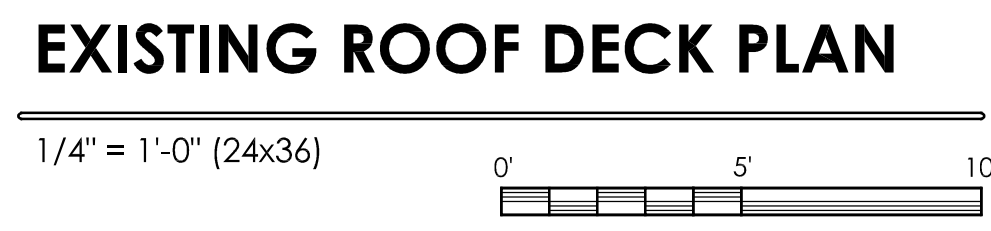
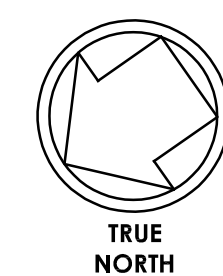
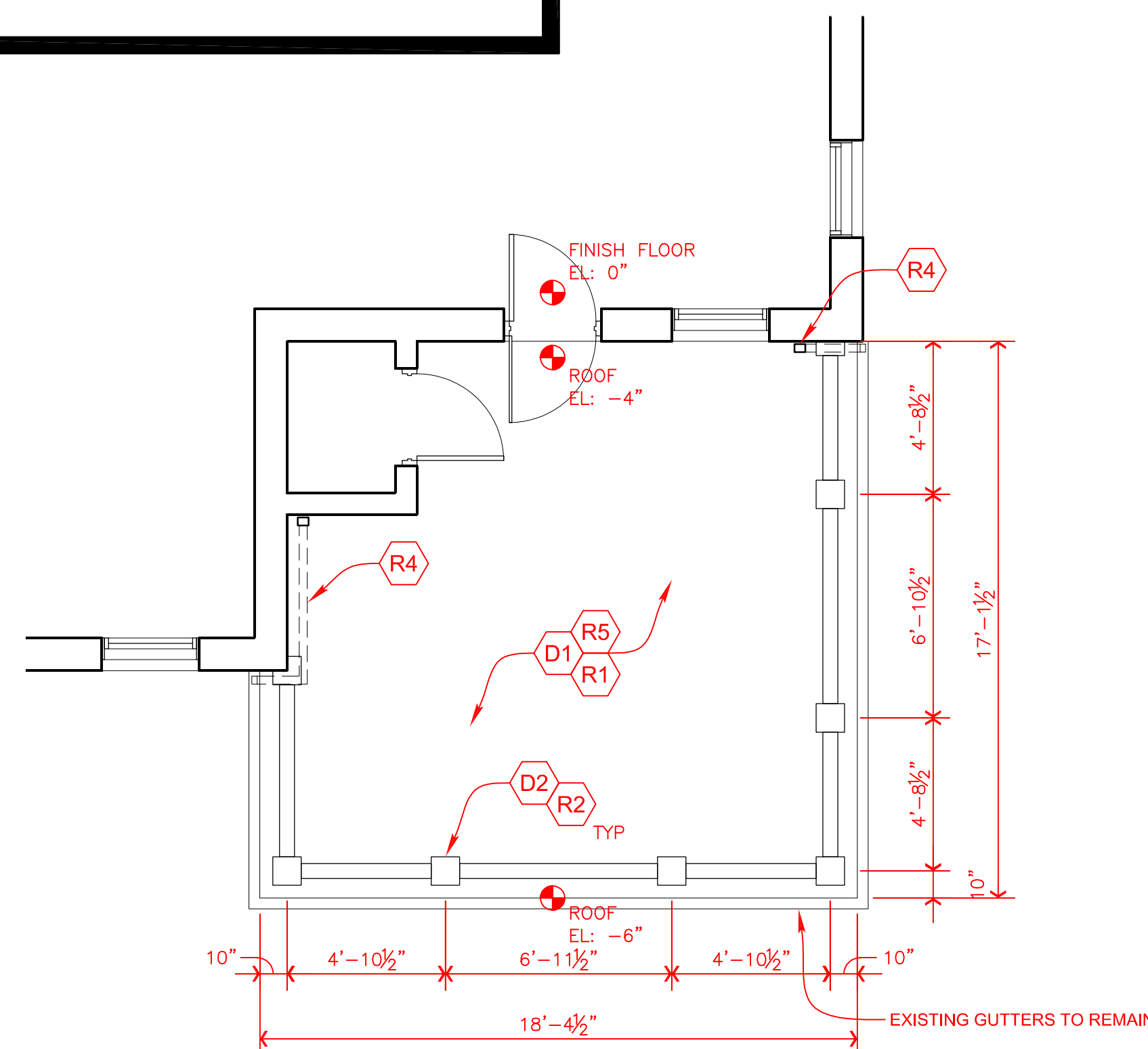
- D1** REMOVE EXISTING WOOD DECK BOARDS AND SLEEPERS, SAVE FOR RE-INSTALLATION.
- D2** DEMOLISH EXISTING RAILINGS AND POST TRIM.

**POST-DEMOLITION EVALUATION:**

- EVALUATE EXISTING 6x6 POSTS FOR RE-USE OR REPLACEMENT.
- EVALUATE EXISTING EPDM ROOF MEMBRANE FOR RE-USE OR REPLACEMENT.
- EVALUATE EXISTING PLYWOOD DECKING AND ROOF FRAMING BEFORE INSTALLING NEW ROOFING.

**REPAIR:**

- R1** INSTALL NEW EPDM ROOF MEMBRANE IF REQUIRED. INSTALL TERMINATION BARS AT GUTTER AND EXTERIOR WALL OF HOUSE. INSTALL FLASHING AT GUARDRAIL POST PENETRATIONS.
- R2** INSTALL NEW WOOD WRAP, TRIM, AND CAPS AT POST. INSTALL NEW WOOD RAILINGS TO MATCH EXISTING DIMENSIONS AND PROFILES. SEE DETAIL 1/A1, THIS SHEET.
- R3** PAINT NEW RAILINGS SW 7069 "IRON ORE" TO MATCH EXISTING.
- R4** INSTALL NEW DOWNSPOUTS TO ROUTE WATER FROM MAIN ROOF GUTTERS DIRECTLY INTO PORCH GUTTER AND DOWNSPOUT (2 LOCATIONS). DOWNSPOUTS TO BE PREFINISHED TO MATCH NORANDEX BRONZE.
- R5** INSTALL EXISTING WOOD DECK BOARDS WITH NEW 2x4 PRESSURE-TREATED SLEEPERS.



**REVISION 1 SUMMARY:**  
ALL NOTES CHANGED FROM "COMPOSITE WOOD" TO "WOOD"

**FISCHER-FISCHER-THEIS, INC.**  
ARCHITECTS • ENGINEERS • PLANNERS

S22 W22660 BROADWAY  
WAUKESHA, WI 53186

262-547-6969  
ffrarchitects.com

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2125 N. LAKE DRIVE  
MILWAUKEE, WISCONSIN

MILWAUKEE HPC	04 / 17 / 2024	C/JF
REVISION 1	04 / 29 / 2024	C/JF

PROJECT NO.  
**24022**

SHEET NO.  
**A1**  
1 of 1