

# STORM FOSTER GARAGE & ADU

1911 NORTH 2ND STREET | MILWAUKEE, WI, 53212

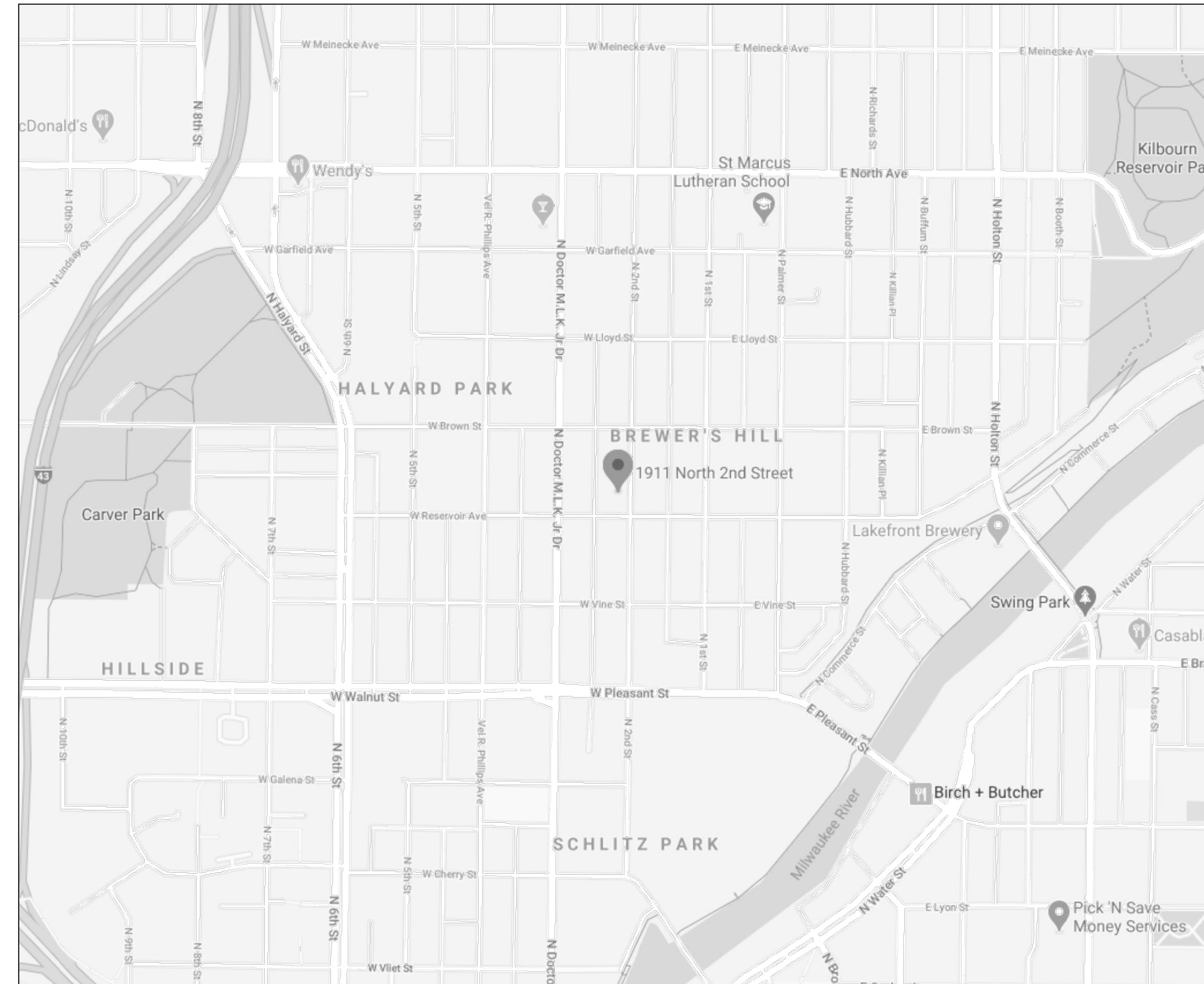
## HISTORIC PRESERVATION COMMISSION REVIEW SUBMISSION AUGUST 6, 2020

AMY  
CARMAN  
DESIGN

RENOVATION FOR  
**STORM  
FOSTER**

GENERAL CONTRACTOR  
**TED STORM**

STRUCTURAL ENGINEER  
**XXXXXXXX**



PROJECT SITE

### SHEET INDEX:

- T 1.0 TITLE SHEET
- T 1.1 EXISTING EXTERIOR HOUSE IMAGES
- C 1.0 EXISTING SURVEY
- A 1.0 ARCHITECTURAL SITE PLAN
- A 2.1 GARAGE & ADU FLOOR PLAN
- A 3.1 GARAGE & ADU EXTERIOR ELEVATIONS

### PROJECT INFORMATION:

This project proposes add a two car garage and attached accessory dwelling unit at the west end of the property. All exterior facade materials and detail will be derived from the existing house to be complimentary to the existing historic fabric. The project will looking to also have a 4'-0" alley setback instead of the prescribed 15'-0" setback stated in the ordinance.

ZONING:	MILWAUKEE R-4
BUILDING CODE:	WISCONSIN UDC
TOTAL SF:	1,147 SF (GROSS)
GARAGE SF:	652 SF
ADU SF:	495 SF

NO. OF STORIES:	1
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APPROVAL SET  
NOT FOR CONSTRUCTION

REVISIONS

DESIGN  
DEVELOPMENT  
AUGUST 6, 2020

TITLE PAGE  
**T1.0**

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**1** EXISTING EAST ELEVATION - NO CHANGE TO THIS ELEVATION  
SCALE: NOT TO SCALE

EXISTING BALCONY, WOOD COLUMNS AND STAIR TO BE REMOVED AND REPLACED WITH NEW BALCONY.  
· WOOD SUPPORT BRACKETS TO MATCH EXISTING  
· POSTS, BALUSTERS & HANDRAIL TO MATCH EXISTING  
FRONT AND SIDE PORCH

EXISTING BASEMENT WINDOW TO BE CONVERTED INTO NEW EGRESS WINDOW WITH WINDOW WELL

CONCRETE WALL TO BE REMOVED



**2** EXISTING WEST ELEVATION  
SCALE: NOT TO SCALE



NEW WINDOW & DOOR OPENINGS TO MATCH EXISTING TRIM SIZES & PROFILES

EXHAUST VENT TO BE REMOVED

EXPOSED MECHANICAL CHASE TO BE REMOVED

ROOF & STOOP TO BE REPLACED WITH NEW COVERED SIDE PORCH THAT MATCHES EXISTING SIDE PORCH & FRONT PORCH DETAILS

AT GRADE WOOD PATIO TO BE REMOVED AND REPLACED WITH NEW HARD-SCAPED PATIO



**VIEW OBSTRUCTED BY NEIGHBORING HOME**

**3** EXISTING SOUTH ELEVATION - NO CHANGE  
SCALE: NOT TO SCALE

**4** EXISTING NORTH ELEVATION  
SCALE: NOT TO SCALE

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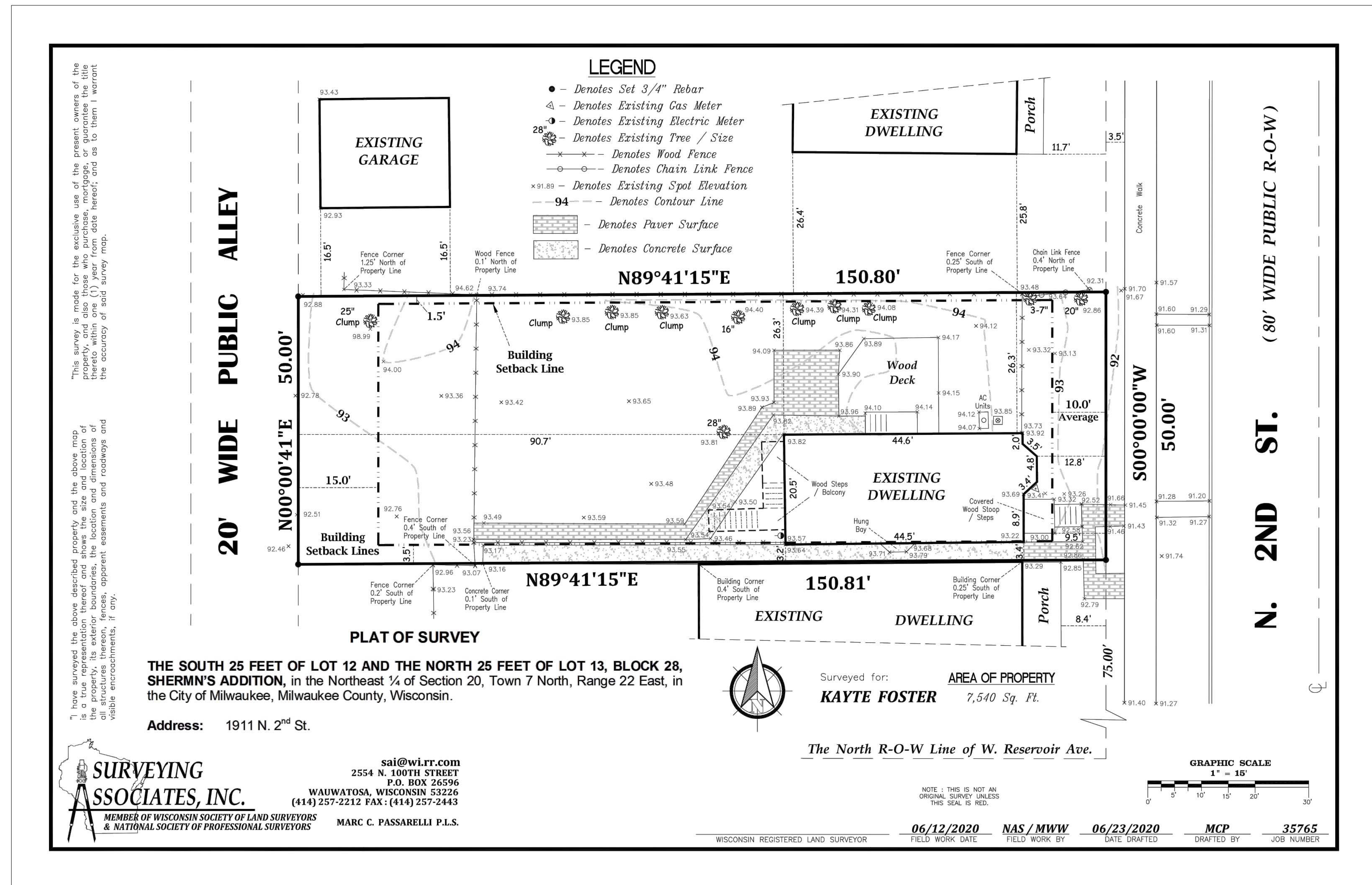
1911 NORTH 2ND ST  
MILWAUKEE, WI 53212

GENERAL CONTRACTOR  
**TED STORM**

Storm DBR, LLC  
414.400.1951

STRUCTURAL ENGINEER

APPROVAL SET  
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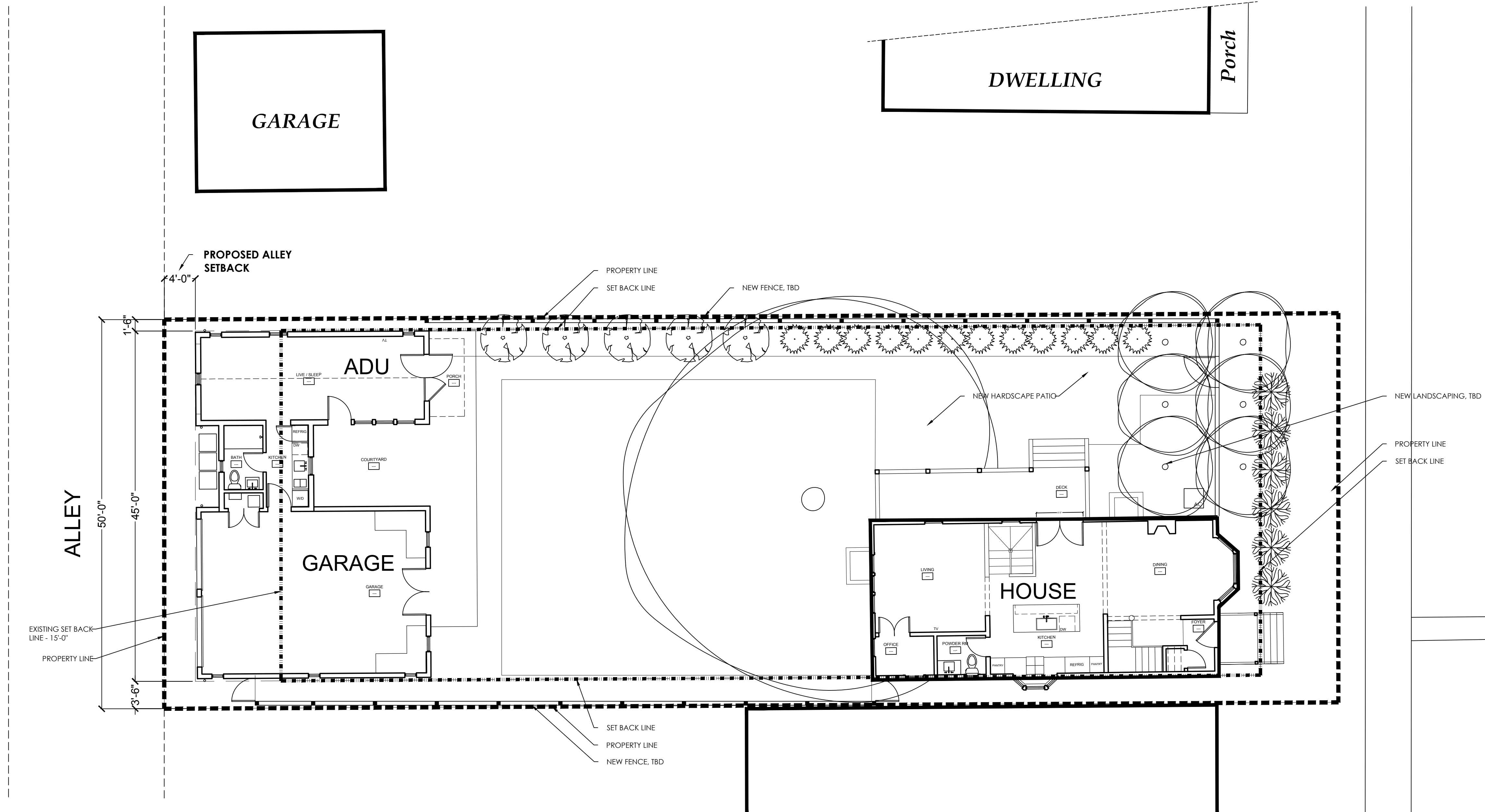


REVISIONS

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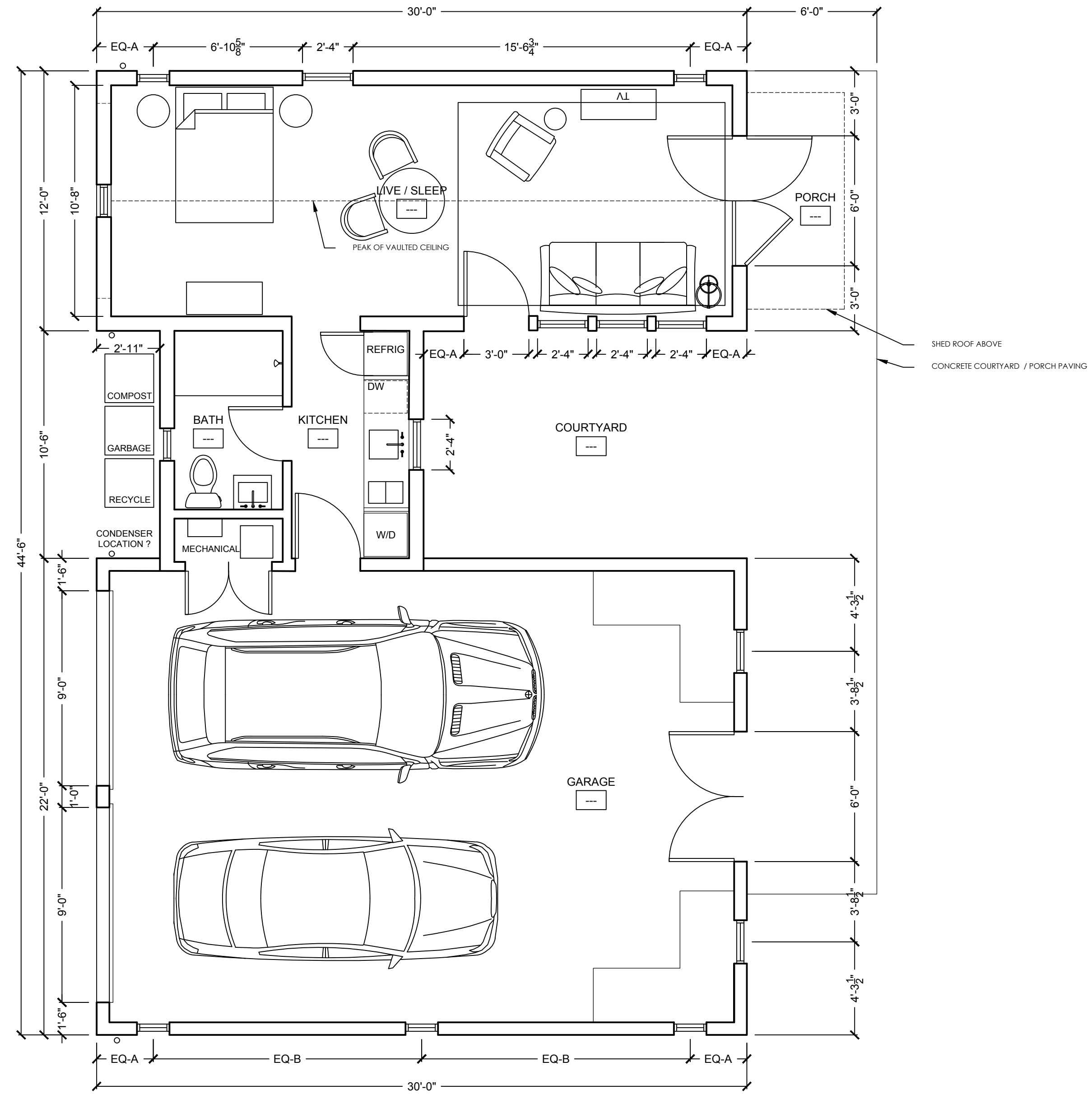
EXISTING SITE SURVEY  
**C1.0**

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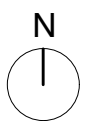


2ND STREET

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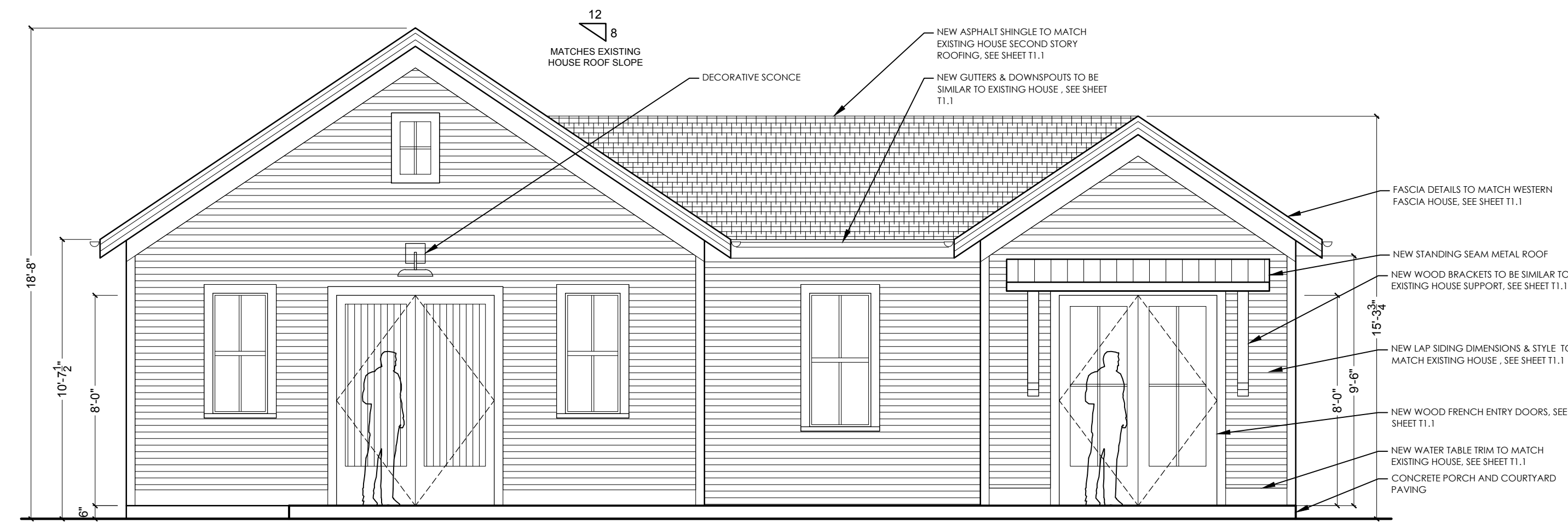


1 | GARAGE & ADU - LEVEL 1 FLOOR PLAN  
1/4" = 1'

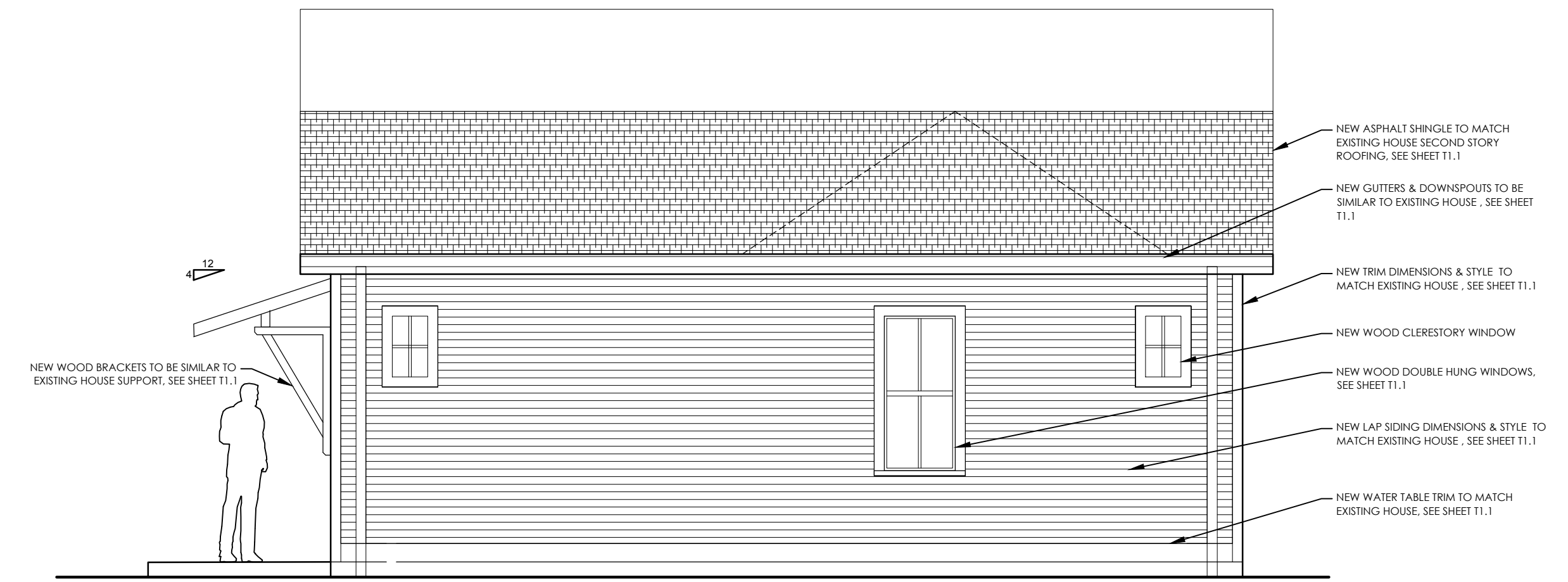


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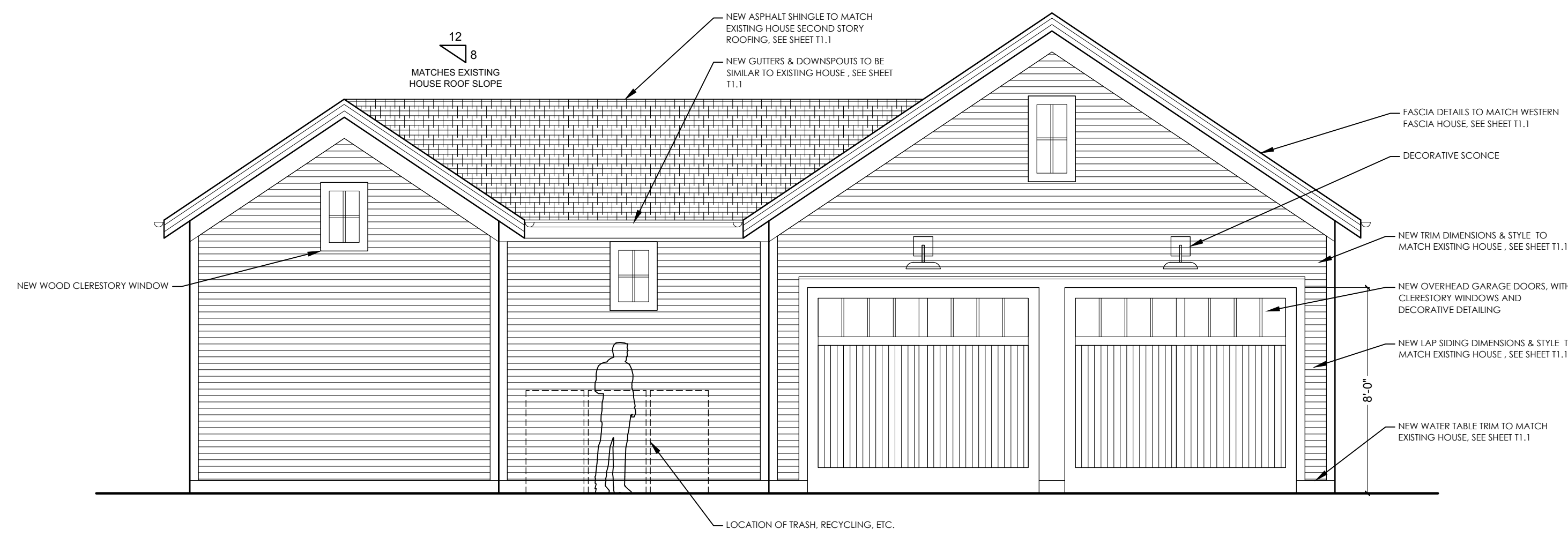
1 | EAST ELEVATION  
1/4" = 1'



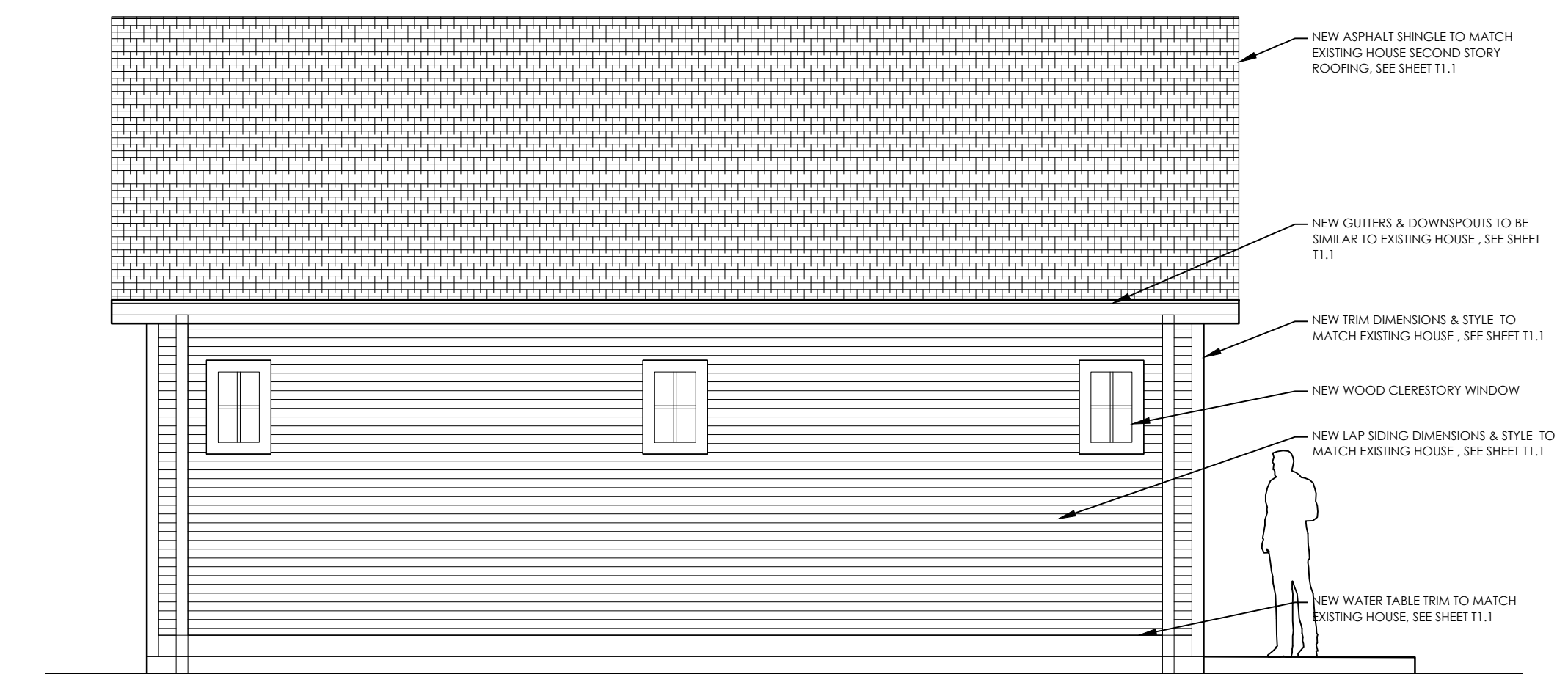
2 | NORTH ELEVATION  
1/4" = 1'

**DRAFT**

APPROVAL SET  
NOT FOR CONSTRUCTION

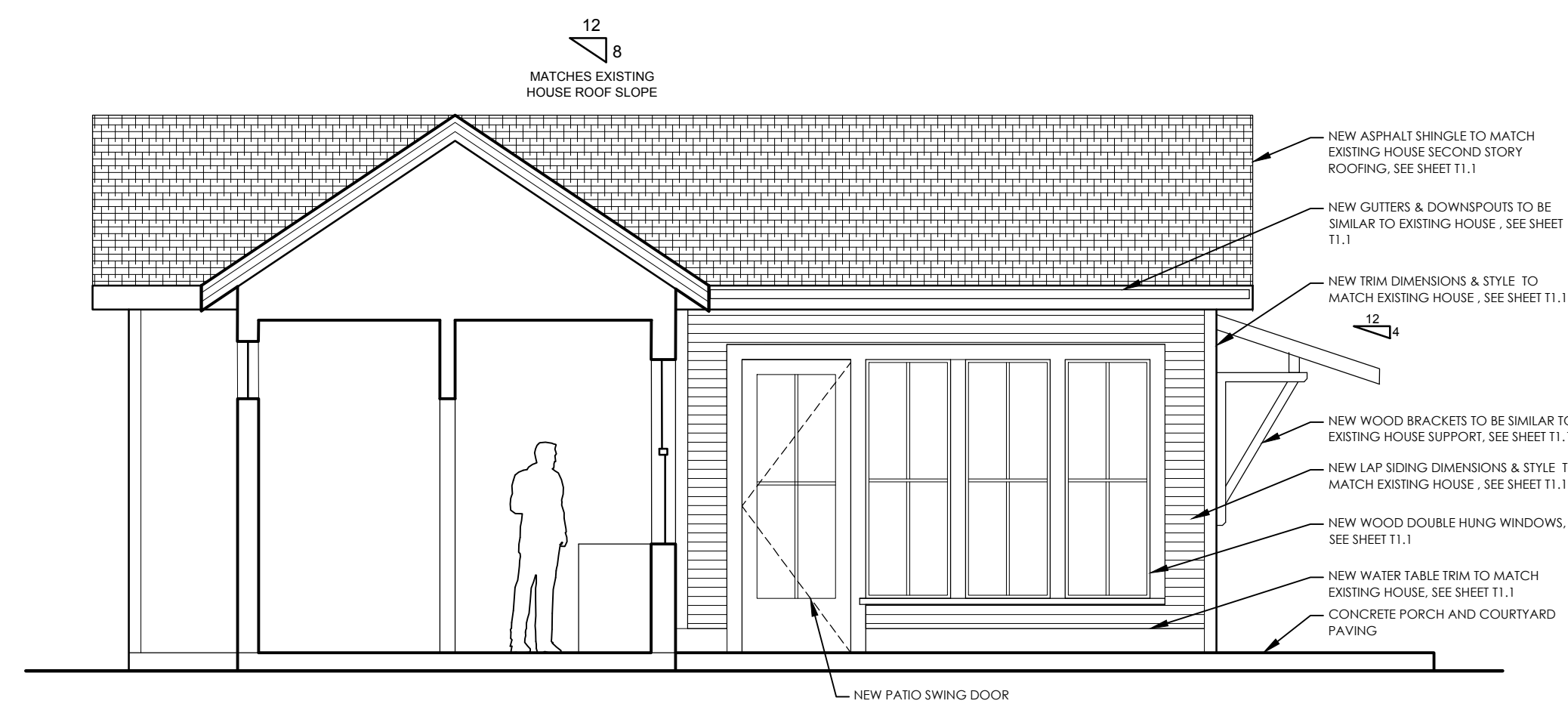


3 | WEST ELEVATION  
1/4" = 1'

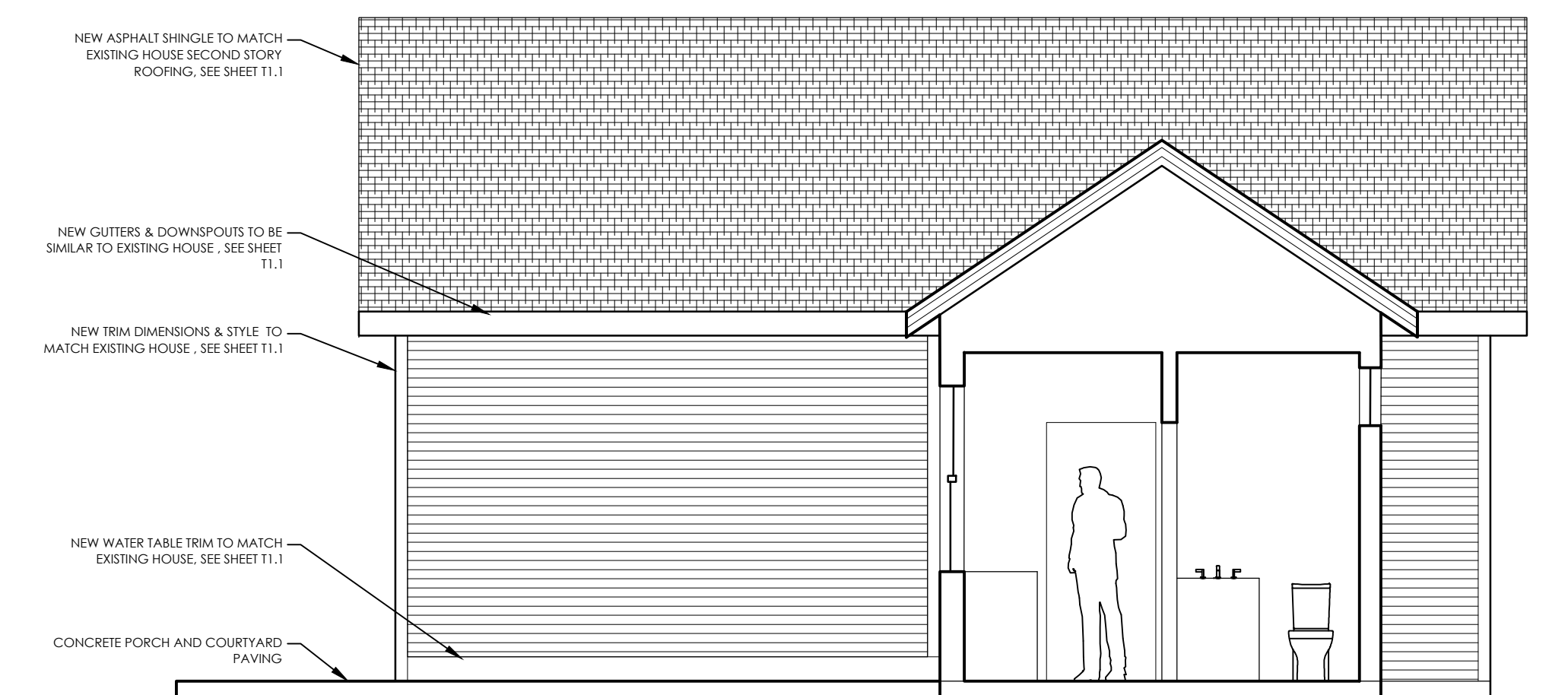


4 | SOUTH ELEVATION  
1/4" = 1'

**DRAFT**



5 | SOUTH COURTYARD ELEVATION  
1/4" = 1'



6 | NORTH COURTYARD ELEVATION  
1/4" = 1'

REVISIONS