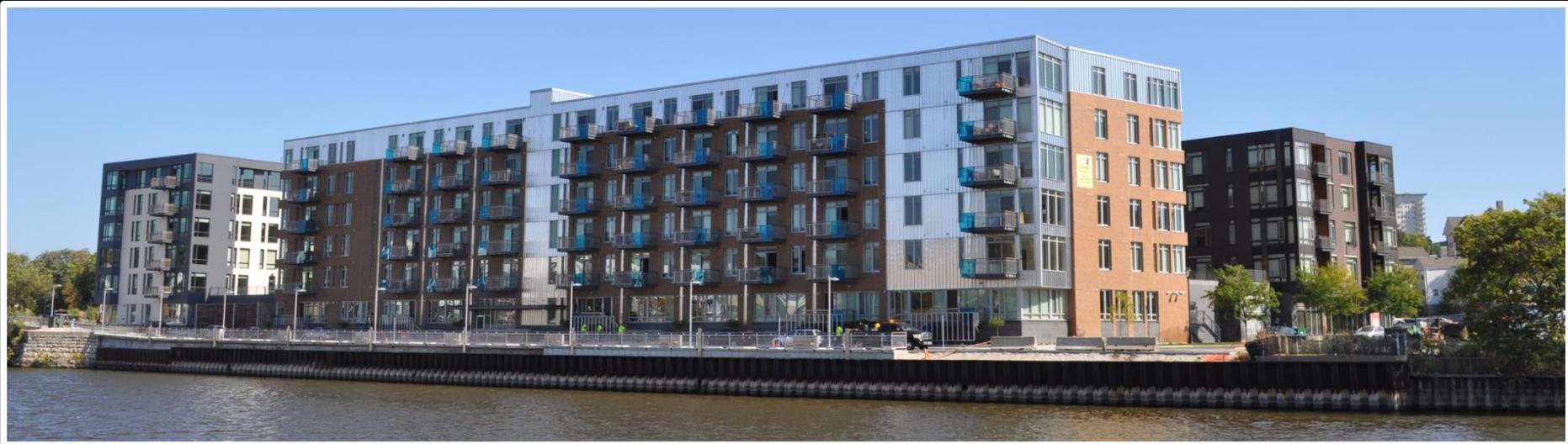
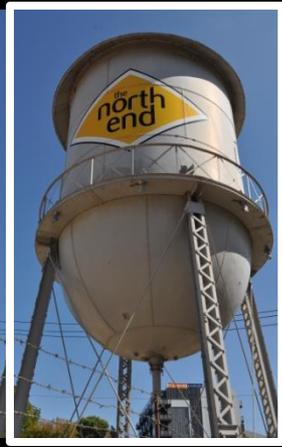
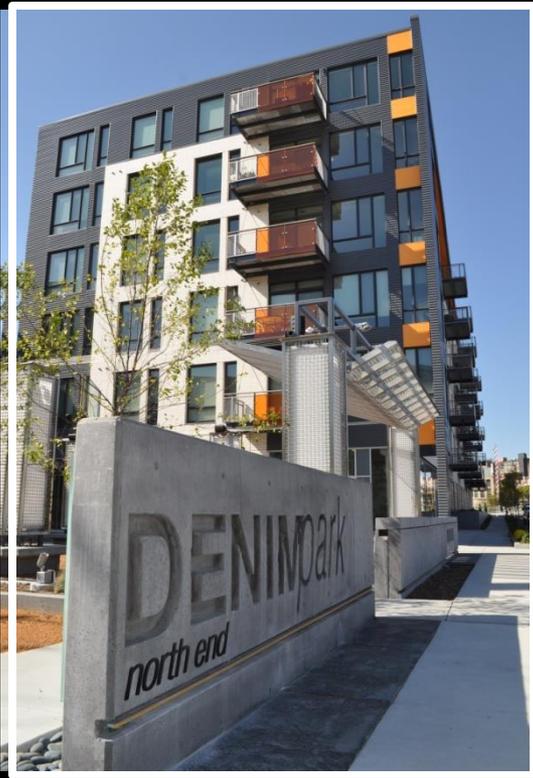


# DCD 2014 Budget Hearing



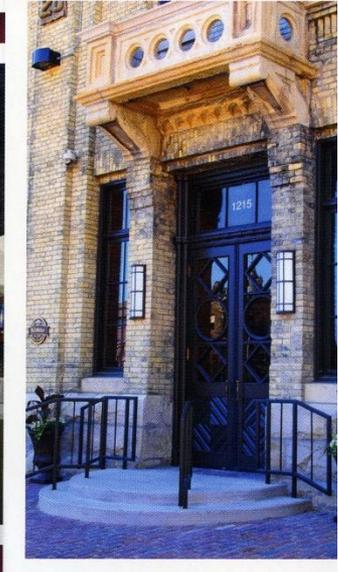
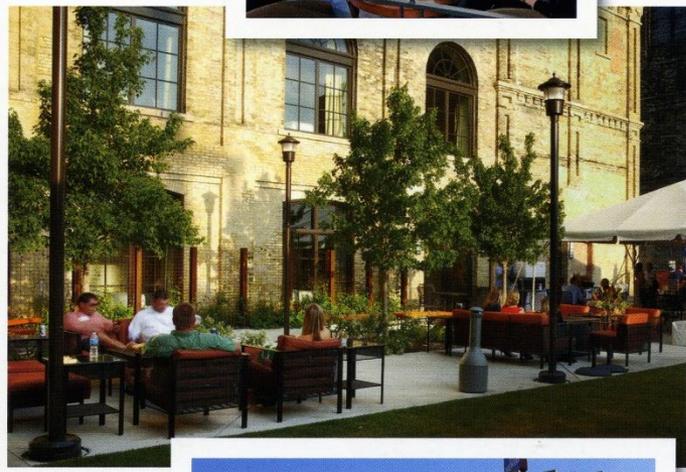




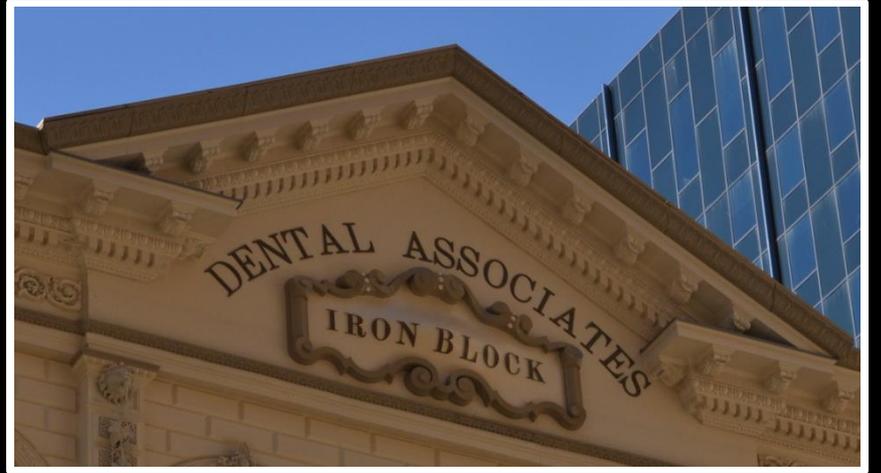


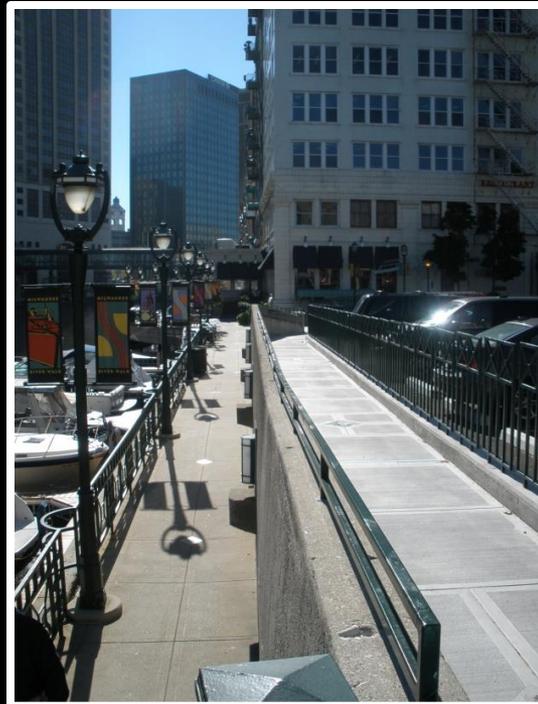














Northwestern  
Mutual®





# THE WALL STREET JOURNAL.

DOW JONES

News Corp

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WEDNESDAY, SEPTEMBER 25, 2013 ~ VOL. CCLXII NO. 73

WSJ.com

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DJIA 15334.59 ▼ 66.79 0.4% NASDAQ 3768.25 ▲ 0.1% NIKKEI 14732.61 ▼ 0.1% STOXX 600 313.20 ▲ 0.2% 10-YR. TREAS. ▲ 18/32, yield 2.650% OIL \$103.13 ▼ \$0.46 GOLD \$1,316.00 ▼ \$10.90 EURO \$1.3473 YEN 98.75



Studio AMD

Northwestern Mutual's \$450 million, 32-story tower will be one of Milwaukee's tallest buildings.



**Northwestern  
Mutual®**



# Lakefront Gateway



eppstein uhen : architects

**CH2MHILL**





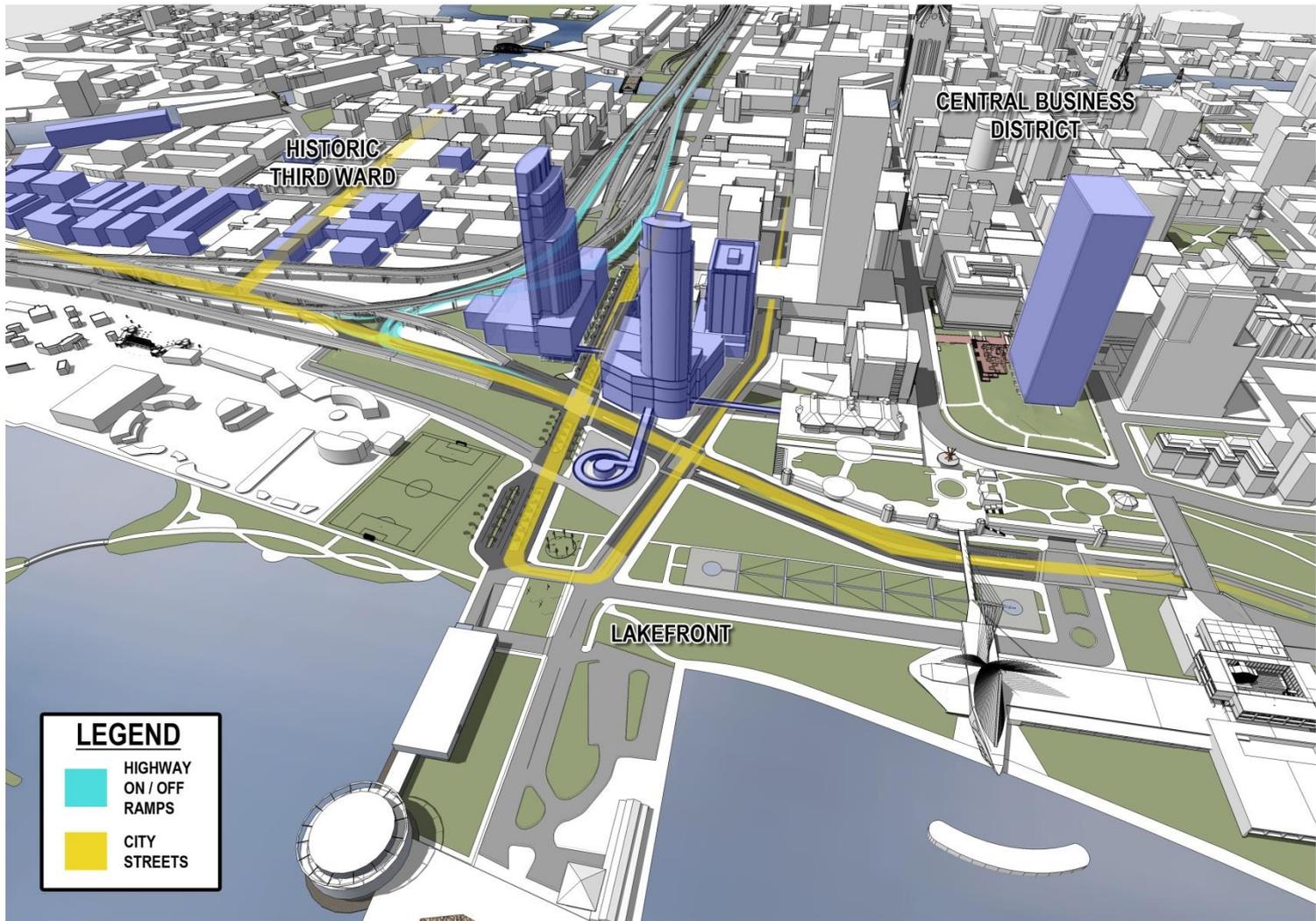


NORTH

## LAKE INTERCHANGE / DOWNTOWN PLAN

Existing Pedestrian Challenges – Up Close

03/01/2013

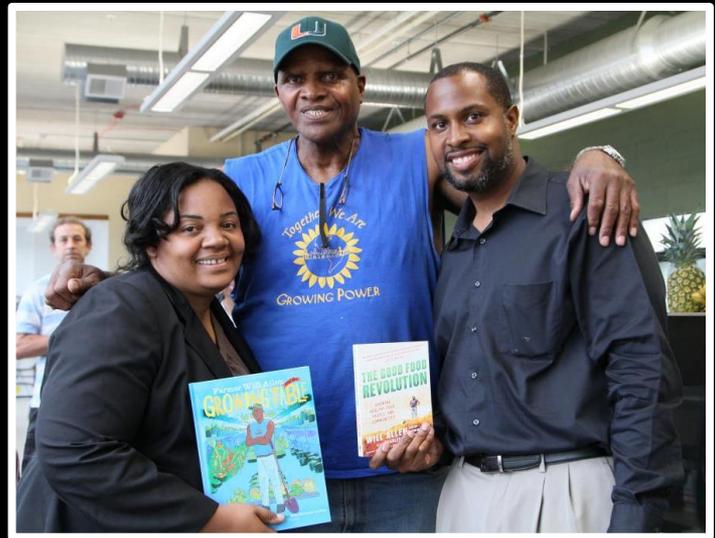


# LAKEFRONT GATEWAY PROJECT

Overall Plan

03/01/2013





**BRONZEVILLE WEEK**  
*The place where history, culture, and community meet.*

FOR ADDITIONAL DETAILS:  
[www.milwaukee.gov/bronzeville](http://www.milwaukee.gov/bronzeville)



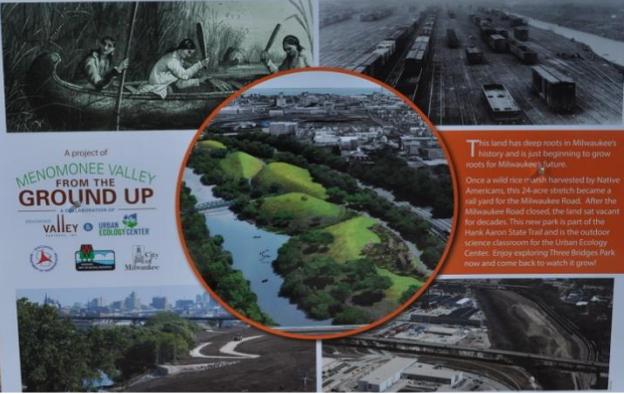


# MENOMONEE VALLEY 2.0

**WE'RE NOT DONE YET**

Help us #PlanTheValley at [PlanTheValley.org](http://PlanTheValley.org)

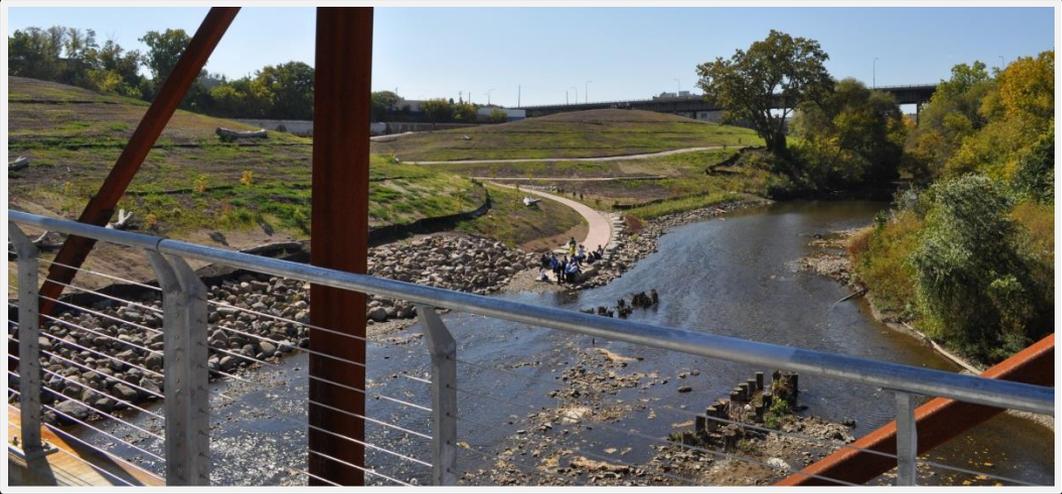
# Welcome to Three Bridges Park



A project of  
**MENOMONEE VALLEY FROM THE GROUND UP**  
 A COLLABORATION OF  
 MENOMONEE VALLEY PARTNERS, INC. & URBAN ECOLOGY CENTER

This land has deep roots in Milwaukee's history and is just beginning to grow roots for Milwaukee's future.

Once a wild rice marsh harvested by Native Americans, the 24-acre stretch became a rail yard for the Milwaukee Road. After the Milwaukee Road closed, the land sat vacant for decades. This new park is part of the Hank Aaron State Trail and is the outdoor science classroom for the Urban Ecology Center. Enjoy exploring Three Bridges Park now and come back to watch it grow!




A project of  
**MENOMONEE VALLEY FROM THE GROUND UP**  
 A COLLABORATION OF  
 MENOMONEE VALLEY PARTNERS, INC. & URBAN ECOLOGY CENTER

WISCONSIN DEPARTMENT OF TRANSPORTATION  
 WISCONSIN DEPT. OF NATURAL RESOURCES  
 City of Milwaukee

PLEASE STAY ON TRAILS TO PROTECT PLANTINGS & TREES



Milwaukee Road Shops Site



October 2004



2.5

2.5 acres for sale

Mayor Tom Barrett & the City of Milwaukee present...

# Menomonee Valley Industrial Center

- Zoned industrial
- Parcels from 1-10 acres

CALL

414-274-4655





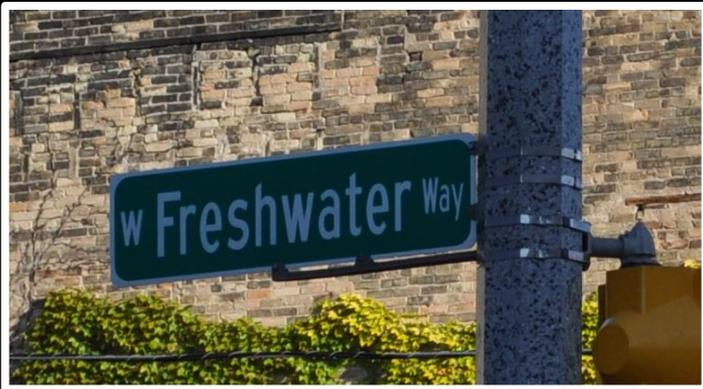














# Milwaukee's Inner Harbor

A multi-year  
focus For the School of  
Architecture and Urban  
Planning

Funding Provided by:

**The Brico Fund**

The SARUP Urban Edge  
Prize. The UWM Graduate School  
and others







# New opportunities arriving daily



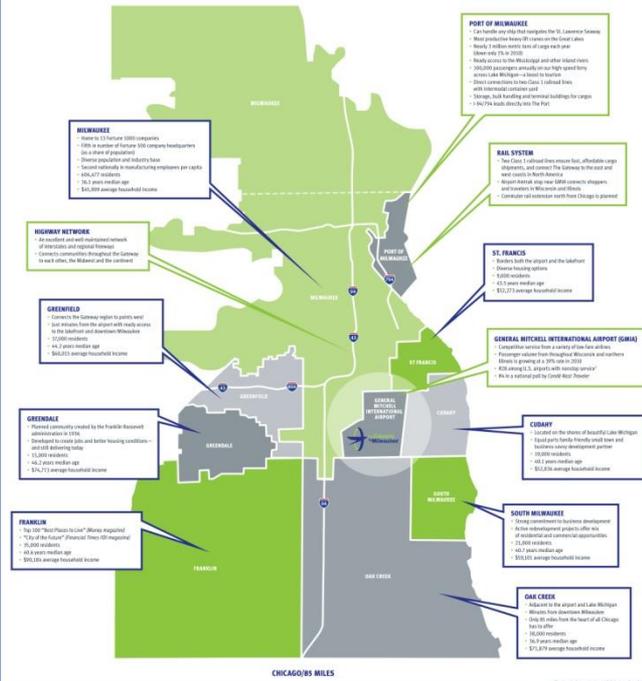
## EIGHT GREAT COMMUNITIES. FOUR TRANSPORTATION NETWORKS. ONE DRIVING COMMITMENT: YOUR BUSINESS SUCCESS.

### WE CONNECT THE MIDWEST TO THE WORLD

The Gateway to Milwaukee is a community of economic, residential and business supporting the area and around General Mitchell International Airport.

- Chicago - 85 miles
- St. Louis - 140 miles
- Madison - 75 miles

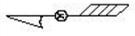
### WE GATEWAY TO THE CENTER-BREAK ACCESS







# Century City Proposed Site Plan



**PRELIMINARY PLANNING EXHIBIT**

CENTURY CITY  
MILWAUKEE, WISCONSIN

NO.	REVISION	DATE	BY

DATE: 9/4/12

# Century City II

---

**“Jonco president acquires Eaton building”**

**-Business Journal, April 13, 2011**



# Preferred Plans





LOVE TO COOK—COOK TO LOVE

# Penzeys Spices

## Great Milwaukee

Volume One, Issue One

Brat, Beer and Cheese Soup • Apple Kuchen • Country-Style Pork Chops



Love People.  
Cook them tasty food.

SEPTEMBER 2013 NEWSLETTER

# GRANVILLE GAZETTE

GRANVILLE BUSINESS IMPROVEMENT DISTRICT

## GRANVILLE MANUFACTURING EMPLOYEE APPRECIATION DAY OCT 1-2

INSIDE

ACTS OF KINDNESS

MPD BIKE DONATION

Primary Care





# ReFresh Milwaukee



**FRESH COAST. FRESH IDEAS.**  
A Vision for Community Sustainability  
[www.ReFreshMKE.com](http://www.ReFreshMKE.com)





# MILWAUKEE 7

**DRIVING ECONOMIC GROWTH**



# Milwaukee Economic Development Corporation



- 2013 YTD
  - 23 projects
  - \$49 million total investment
  - Retain 1300 jobs
  - Create 600 jobs
- Supporting initiatives
  - \$40 million NMTC
  - Milwaukee County RLF
  - Venture Debt loans
- 2004-2013 YTD
  - 619 projects
  - \$516.8 investment
  - Retain 23,300 jobs
  - Create 4600 jobs

# Small business assistance

- Façade grants 2012-13
  - 82 grants
  - \$3.5 million investment
- Retail investment fund 2012-2013
  - 5 projects
  - 87 jobs
- Neighborhood Ambassador Program
  - 16 BID participants
  - 21 jobs



# Neighborhood Improvement Development Corporation (NIDC)

Healthy Neighborhood Initiative / Community Improvement  
Projects



Neighborhood Improvement  
Development Corporation  
In partnership with the City of Milwaukee

## 2013 Activity to Date

**\$147,800** committed to **41** Community Improvement Projects  
Leveraged **\$200,000+** in additional investment

- **18** projects in Healthy Neighborhoods (\$87,600)
- **9** projects in Targeted Investment Neighborhoods (\$37,200)
- **14** projects in other areas of the City (\$23,000)



5 Points  
Beautification



# Neighborhood Improvement Development Corporation (NIDC)

*Loan activity from 2004 – September 2013*



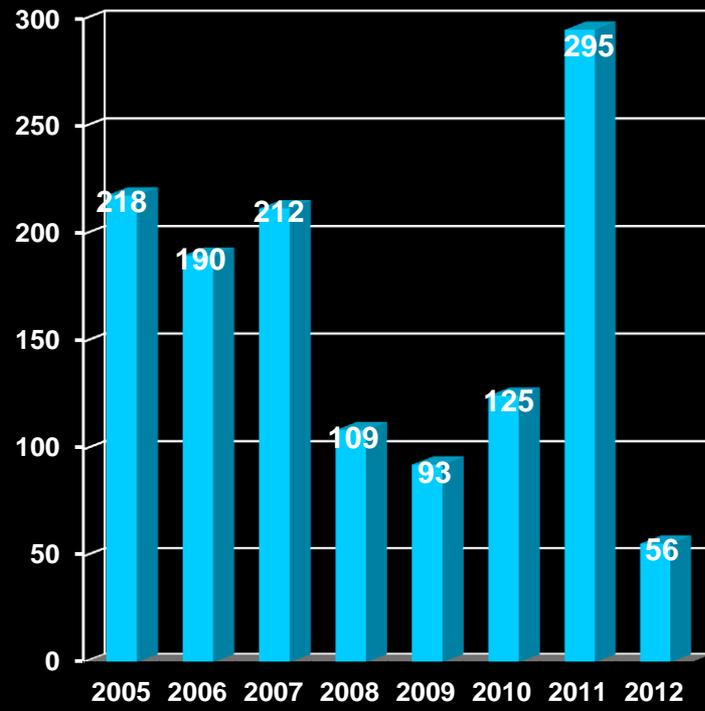
Neighborhood Improvement  
Development Corporation  
*In partnership with the City of Milwaukee*

Loan Category	Number of Loans	Units Rehabilitated	Loan Volume
HOME Rehabilitation	636	837	\$11,807,332
Rental Rehabilitation	163	545	\$3,740,901
TID Funded Loans	162	246	\$1,569,642
Emergency Loans	98	127	\$568,608
<b>Total:</b>	<b>1,059</b>	<b>1,755</b>	<b>\$17,686,483</b>

Includes 606 loans made in City of Milwaukee Target Investment Neighborhoods (TINs) active during this period (~23 TINs)



- **37.9%** of rehabilitation contracts have been awarded to minority-owned contractors
- **181** different minority-owned contractors have worked on NIDC projects since 2004



# Affordable housing activity

2013: 297 units

- Lindsay Scattered Sites\*
- Northside Neighborhood Initiative I & II\*
- King Commons IV\*
- Grand Avenue Lofts
- Kilbourn Apartments
- Northside Homeowners Initiative\*
- LBWN Rent to Own Homes\*

\* *Reused City property*

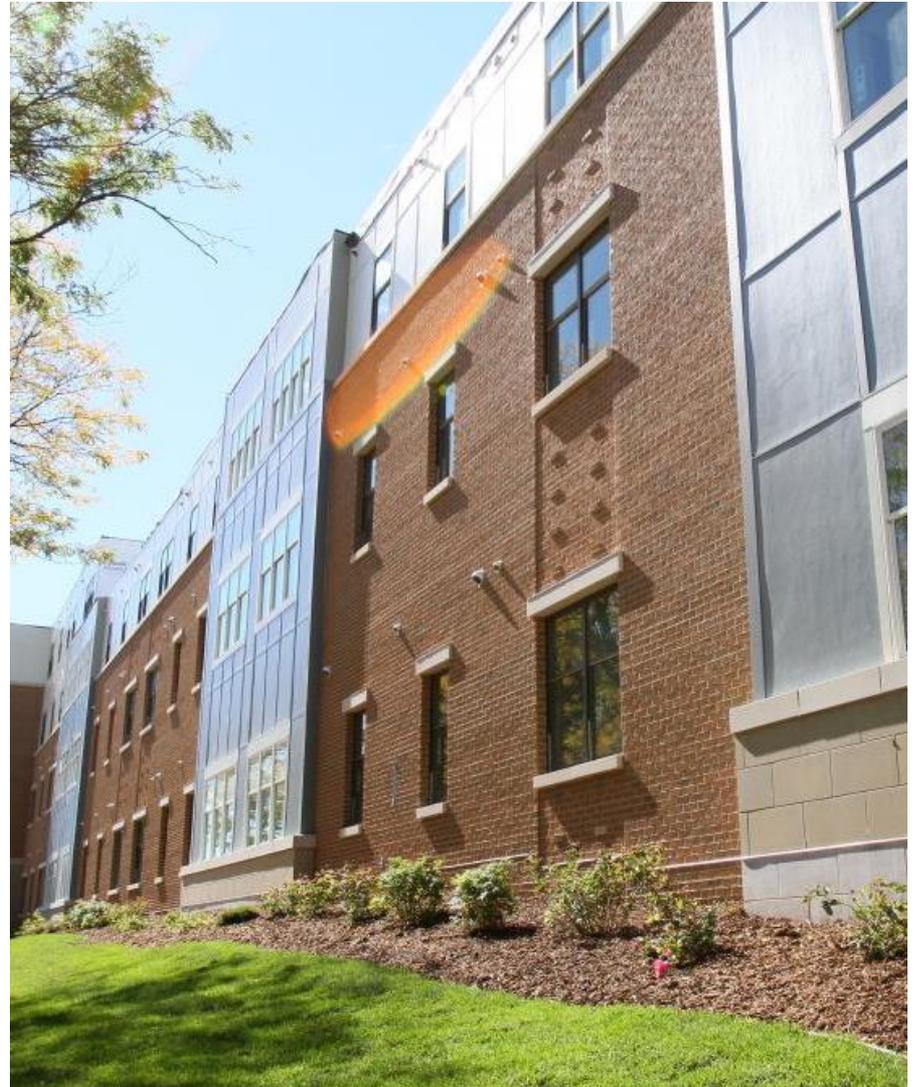


2004-2013: 5051 units

- \$750 million investment
- 38% of projects have involved the sale of City property (lots or tax-foreclosed houses)

# Supportive housing

- One new building
  - Maskani Place, 37 units
- One renovated building
  - Farwell Studios
- In development phase
  - Bradley Crossing Phase II (2013 tax credit award)
  - Veterans Gardens (reusing foreclosures)
- 455 units occupied by end of 2013
- 36% of 10-year goal



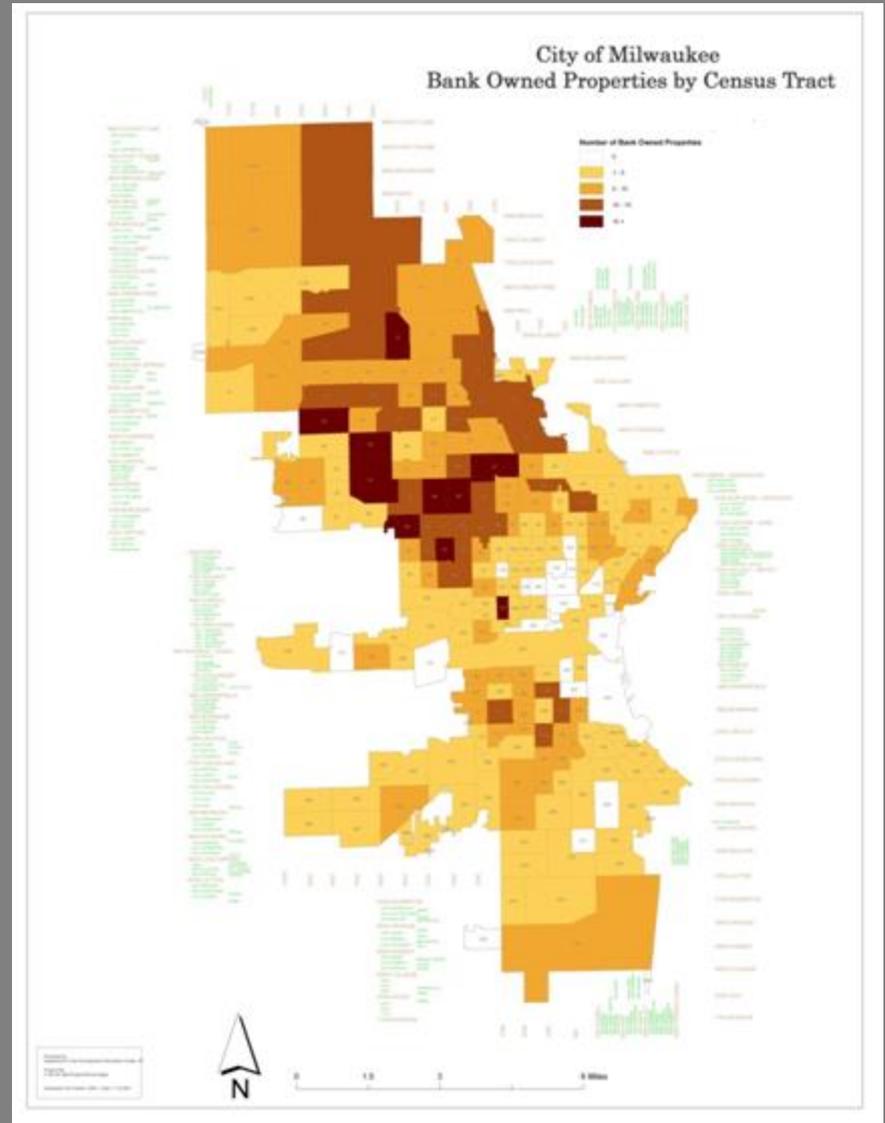
# Neighborhood Stabilization Program

- \$30 million federal NSP funds spent
- More than \$140 million leveraged
- More than 1,300 housing units acquired, rehabilitated and constructed

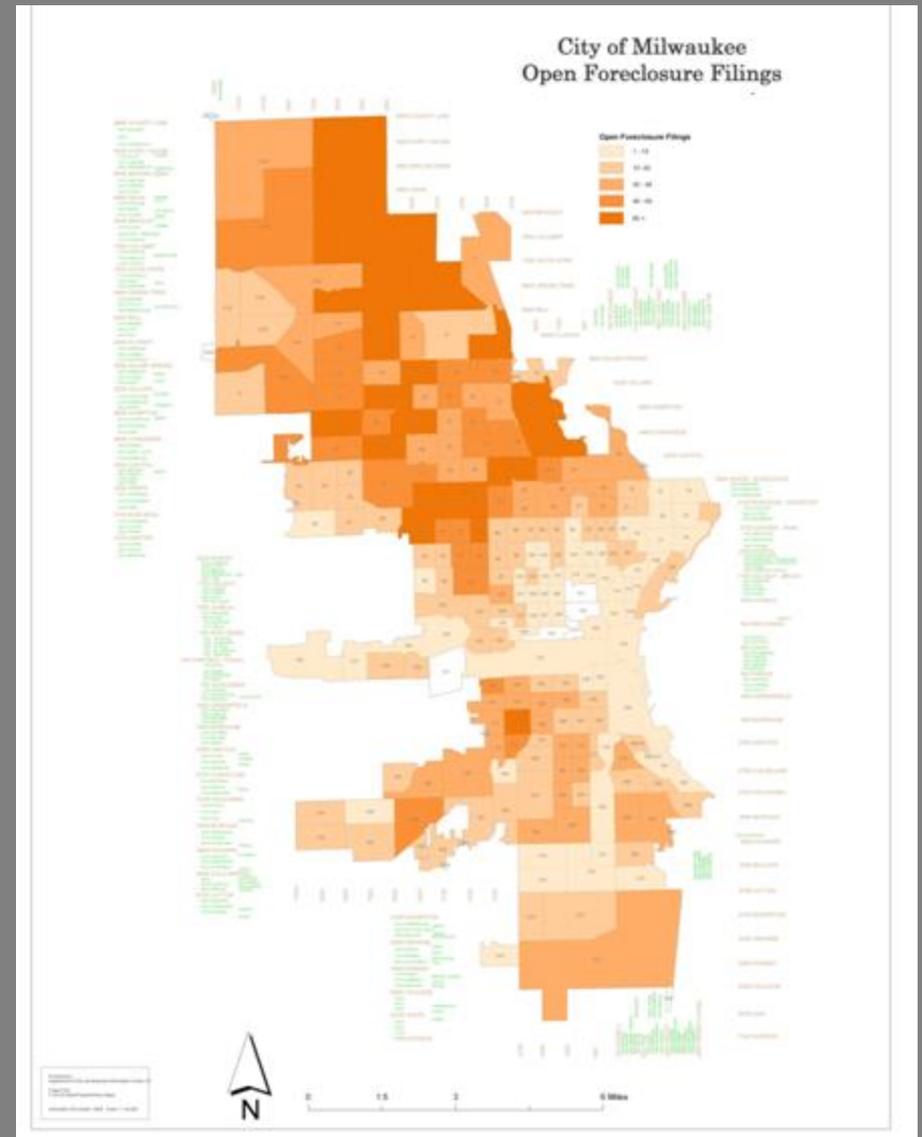


**Bank Owned Foreclosed Homes as  
of October 2013:  
1,530**

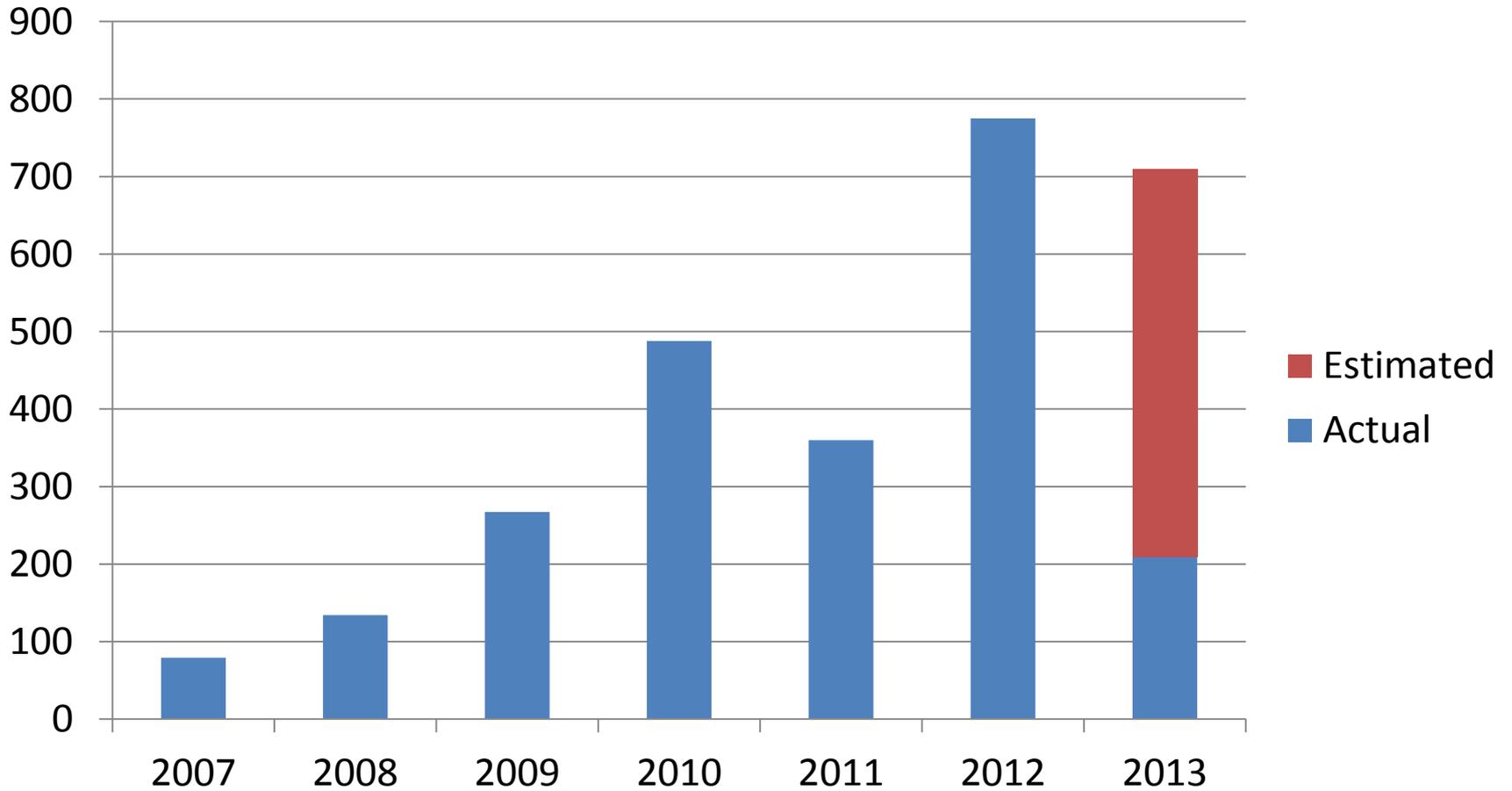
**City Owned Tax Foreclosed Homes:  
1,041**



# Currently Open Foreclosure Filings as of October 2013: 3,608

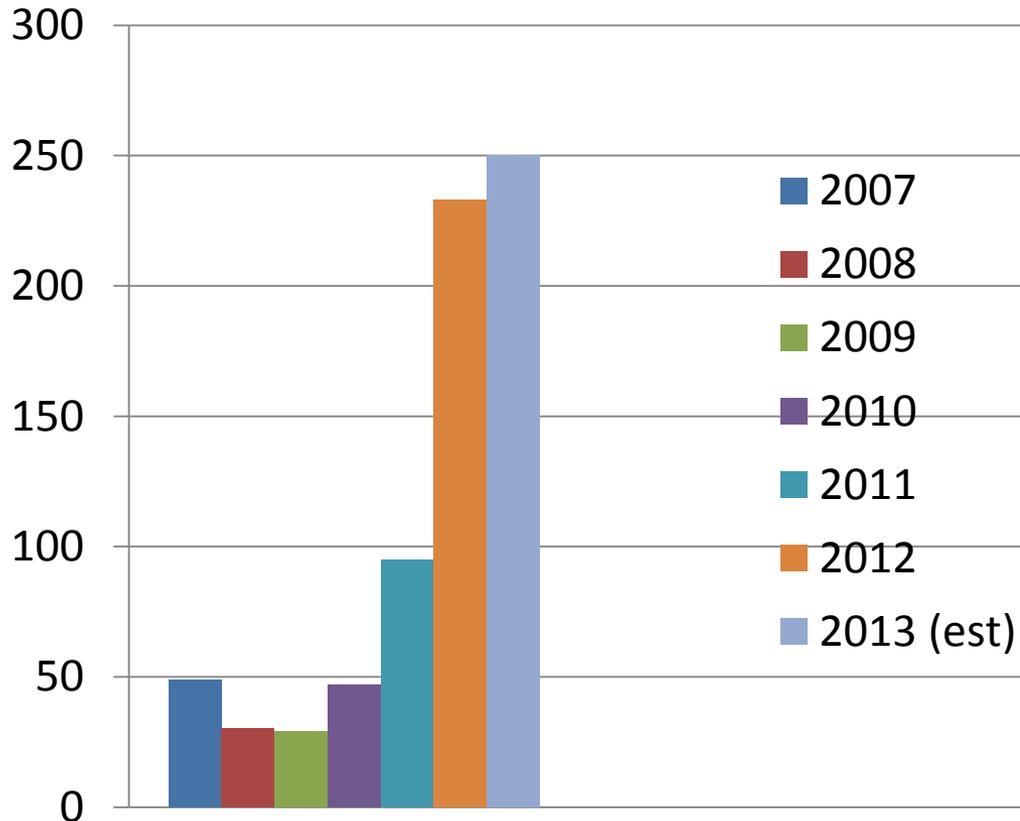


# In rem acquisitions



# Tax-foreclosed properties

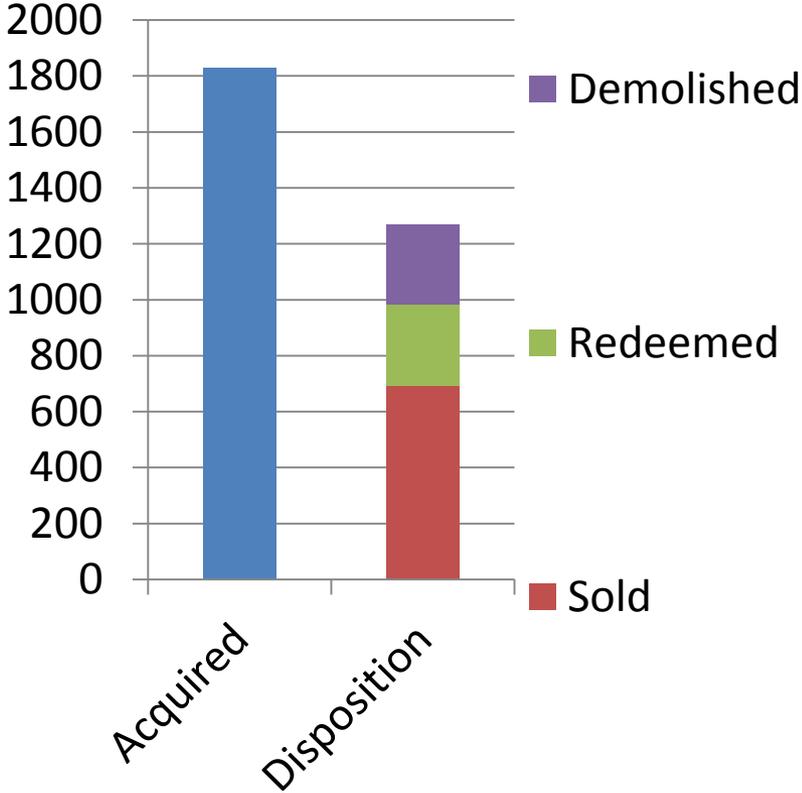
## 2013 sales goal: 250 properties



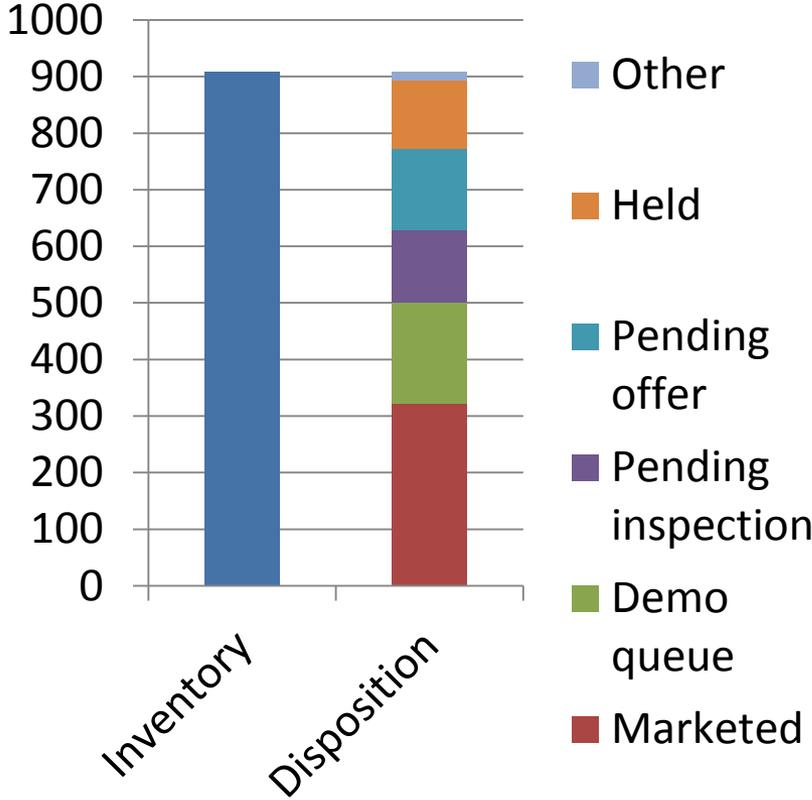
- 166 sales to date
- 50% of buyers are owner-occupants
- Anticipate 84 more sales in 2013
- 32 tenants in queue for rent-to-own program

# Status of 1-4 family properties

2007- 2013 YTD



Current inventory



# SNIP – 2014 capital request

## New initiatives

- Renovation of property in rent-to-own program
- Forgivable loans to buyers of tax-foreclosed properties
- Vacant lot beautification
  - City-owned
  - Incentivize lot lease or purchase and re-use



# Targeting investment

- Aldermanic insight
- Data analysis
  - Market Value Analysis of real estate market strength
  - Recent neighborhood investment
    - TIN, NSP, NIDC, LIHTC, infrastructure
    - Major projects
  - Neighborhood partners and initiatives
    - CBO, BIDs, churches, Byrne Grant, foundation target areas
  - Data from MPD, DNS

# Housing Infrastructure Preservation Fund

- Target properties:  
architecturally or  
historically significant
- Repairs complete or  
underway at 25 properties
- 8 sold to date
  - NIDC – 3
  - Private buyers – 5
- Per-property investment:  
\$27,712 - \$173,878



# Transfer of RACM positions to City

- Goal: Reduce RACM operating expenses; dedicate RACM resources to redevelopment projects
- Strategy: Transfer positions doing largely City activities from RACM to City payroll
- Previous transfers
  - 2012 – 2 positions
  - 2013 – 2 positions
- Transfers in 2014 budget
  - 3 positions proposed for transfer effective 1/1/2014
    - Grant budget analyst
    - Procurement and compliance manager
    - Resources and administration manager
  - First-time City funding for 2 positions transferred midyear 2013 upon vacancy
    - Real estate coordinator
    - Accounting specialist