



WISCONSIN HISTORICAL SOCIETY

Project A

HISTORIC HOMEOWNER'S INCOME TAX CREDIT APPLICATION

PART 1 - EVALUATION OF SIGNIFICANCE

1. PROPERTY ADDRESS Street 2635 N Terrace Avenue City Milwaukee County Milwaukee ZIP 53211

Listed individually in the State Register or National Register. COMPLETE THIS PAGE ONLY LISTING NAME Henry Harnischfeger House

Located in a State Register or National Register historic district. COMPLETE THIS PAGE ONLY NAME OF HISTORIC DISTRICT North Point North Historic District

PRELIMINARY CERTIFICATION Not listed in State Register or National Register or located in a State Register or National Register historic district - COMPLETE BOTH PAGES

2. OWNER'S NAME Dewey Caton and Patrick Schmidt Street 2635 N. Terrace Avenue

City Milwaukee State WI ZIP 53211 Telephone (days) 847-226-4446

Email address deweyjcaton@gmail.com

3. PROJECT CONTACT Dewey Caton

Email address deweyjcaton@gmail.com Telephone (days) 847-226-4446

4. PHOTOGRAPHS Please enclose photographs of the exterior of the building to be rehabilitated. Photos should be in color, at least 4" x 6", commercially printed and clearly show all sides of the building.

5. OWNER'S CERTIFICATION I hereby attest that the information I have provided is, to the best of my knowledge, correct and that I own the property described above. I understand that the falsification of factual representations in the application may be subject to criminal sanctions.

SIGNATURE OF OWNER [Signature] DATE 11/29/2022

SEND COMPLETED APPLICATIONS TO State Historic Preservation Office Wisconsin Historical Society - Room 312 816 State Street, Madison, WI 53706

STATE HISTORIC PRESERVATION OFFICE USE ONLY WHS PROJECT NO. The State Historic Preservation Office has reviewed this application and has determined that: [ ] the property is listed in the State Register of Historic Places or National Register of Historic Places and is historic property for purposes of the Historic Homeowner's Income Tax Credit. [ ] the property contributes to the above-named State Register or National Register historic district and is historic property for purposes of the Historic Homeowner's Income Tax Credit. [ ] the property appears to meet the State Register or National Register Criteria for Evaluation and, therefore is determined to be historic property for purposes of the Historic Homeowner's Income Tax Credit. [ ] NON-CERTIFICATION: the property is not listed in the State Register of Historic Places or National Register of Historic Places, is not a contributing element to a State Register historic district or National Register historic district, and does not appear to meet the State Register or National Register Criteria for Evaluation; therefore, the property is not a historic property for purposes of the Historic Homeowner's Income Tax Credit. For Daina Penkiunas, State Historic Preservation Officer Date



WISCONSIN  
HISTORICAL  
SOCIETY

HISTORIC HOMEOWNER'S INCOME TAX CREDIT APPLICATION

**PART 2 – DESCRIPTION OF PROPOSED WORK**

Project A

1. **PROPERTY ADDRESS** Street 2635 N. Terrace Avenue  
 City Milwaukee County Milwaukee ZIP 53211
2. **OWNER'S NAME** Dewey Caton + Patrick Schmidt  
 Street 2635 N. Terrace Avenue  
 City Milwaukee State WI ZIP 53211 Telephone (days) 847, 226-4446  
 Email address deweyjcaton@gmail.com
3. **PROJECT CONTACT** Dewey J. Caton  
 Email address deweyjcaton@gmail.com Telephone (days) 847, 226-4446

4. **OWNER'S CERTIFICATION** I hereby attest that the information I have provided is, to the best of my knowledge, correct and that I own the property described above. I understand that the falsification of factual representations in the application may be subject to criminal sanctions. I further agree to submit the *Request for Certification of Completed Work* within 30 days of the date of completion of work or face forfeiture of any tax credit claimed for this project.

**SIGNATURE OF OWNER** [Signature] **DATE** 11/29/2022

**SEND COMPLETED APPLICATIONS TO** State Historic Preservation Office  
 Wisconsin Historical Society – Room 312  
 816 State Street, Madison, WI 53706

**STATE HISTORIC PRESERVATION OFFICE USE ONLY**

**WHS PROJECT NO.** \_\_\_\_\_

The State Historic Preservation Office has reviewed this application for the above name property and has determined that:

- the property is historic property and the rehabilitation as described meets the "Secretary of the Interior's Standards for Rehabilitation." This is a preliminary determination only. Final certification can be issued only after work has been completed and a Request for Certification of Completed Work has been approved.
- the property is historic property and the rehabilitation will meet the "Secretary of the Interior's Standards for Rehabilitation" if the attached conditions are met. This is a preliminary determination only. Final certification can be issued only after work has been completed and a Request for Certification of Completed Work has been approved.

\_\_\_\_\_  
 For Daina Penkiunas, State Historic Preservation Officer

\_\_\_\_\_  
 Date

**NON-CERTIFICATION**

- THE OWNER MAY NOT CLAIM THE TAX CREDIT. The rehabilitation is not consistent with the historic character of the property and that the project does not meet the "Secretary of the Interior's Standards for Rehabilitation" for reasons given in the attached materials.
- THE OWNER MAY NOT CLAIM THE TAX CREDIT. The property has not been determined to be historic property for purposes of this program.

\_\_\_\_\_  
 For Daina Penkiunas, State Historic Preservation Officer

\_\_\_\_\_  
 Date



HISTORIC HOMEOWNER'S INCOME TAX CREDIT APPLICATION  
PART 2 – DESCRIPTION OF PROPOSED WORK

*Project A*

5a. TAX CREDIT-ELIGIBLE WORK

Below is a list of common eligible work items. If you have a work item that is not on the list, please add it. Select the work for which you plan to claim the 25% tax credit.

Eligible Work	Specific Type				Estimated Cost	Start Date	Completion Date (estimated)
<input type="checkbox"/> Doors	<input type="checkbox"/> Repair	<input type="checkbox"/> Replace	<input type="checkbox"/> Front/Rear	<input type="checkbox"/> Garage	\$		
<input checked="" type="checkbox"/> Chimney	<input checked="" type="checkbox"/> Repair	<input type="checkbox"/> Replace	<input type="checkbox"/> Chimney Cap	<input type="checkbox"/> Liner/Insert	\$1500	Spring 2023	October 2023 est.
<input type="checkbox"/> Electrical	<input type="checkbox"/> Repair	<input type="checkbox"/> Update	<input type="checkbox"/> New Service	<input type="checkbox"/> Wall Repair	\$		
<input checked="" type="checkbox"/> Foundation	<input checked="" type="checkbox"/> Repair	<input checked="" type="checkbox"/> Rebuild	<input checked="" type="checkbox"/> Waterproofing	<input type="checkbox"/> Drain Tile	\$5500	Spring 2023	October 2023 est.
<input type="checkbox"/> HVAC	<input type="checkbox"/> Boiler	<input type="checkbox"/> Furnace	<input type="checkbox"/> Water Heater	<input type="checkbox"/> AC	\$		
<input checked="" type="checkbox"/> Masonry	<input type="checkbox"/> 100%	<input checked="" type="checkbox"/> Partial / Repair + Maintenance			\$8000	Summer 2023	Summer 2024
<input type="checkbox"/> Painting	<input type="checkbox"/> House	<input type="checkbox"/> Trim	<input type="checkbox"/> Garage	<input type="checkbox"/> Outbuilding	\$		
<input type="checkbox"/> Plumbing	<input type="checkbox"/> Repair	<input type="checkbox"/> Update	<input type="checkbox"/> New Service	<input type="checkbox"/> Wall Repair	\$		
<input checked="" type="checkbox"/> Porch / Stoop	<input checked="" type="checkbox"/> Repair	<input type="checkbox"/> Replace	<input type="checkbox"/> New	<input checked="" type="checkbox"/> Steps	\$1000	Summer 2023	Summer 2024
<input type="checkbox"/> Roof	<input type="checkbox"/> Repair	<input type="checkbox"/> Replace	<input type="checkbox"/> Shingles	<input type="checkbox"/> Sheathing	\$		
	<input type="checkbox"/> Gutters	<input type="checkbox"/> Downspouts	<input type="checkbox"/> Soffits	<input type="checkbox"/> Facia	\$		
<input type="checkbox"/> Siding	<input type="checkbox"/> Repair	<input type="checkbox"/> Replace	<input type="checkbox"/> Remove artificial		\$		
<input type="checkbox"/> Structural	<input type="checkbox"/> Columns	<input type="checkbox"/> Beams	<input type="checkbox"/> Joists	<input type="checkbox"/> Trusses	\$		
<input type="checkbox"/> Utilities	<input type="checkbox"/> Solar Panels	<input type="checkbox"/> Geo-thermal	<input type="checkbox"/> Well/Septic		\$		
<input checked="" type="checkbox"/> Windows	<input checked="" type="checkbox"/> Repair	<input checked="" type="checkbox"/> Replace	<input checked="" type="checkbox"/> Storm Windows	<input type="checkbox"/> Skylights	\$24,000	as soon as approved	Dec. 2023
<input type="checkbox"/> Other					\$		(approx. Dec. 2022)
<input type="checkbox"/> Other					\$		
<b>TOTAL COST</b>					<b>\$40,000</b>		

5b. INELIGIBLE WORK

Below is a list of common ineligible work items. If you have a work item that is not on the list, please add it.  
ALL WORK MUST BE REVIEWED REGARDLESS OF ELIGIBILITY. Include work completed within the last year.

Ineligible Work	Specific Type				Estimated Cost	Start Date	Completion Date
<input type="checkbox"/> Driveway	<input type="checkbox"/> Repair	<input type="checkbox"/> New			\$		
<input type="checkbox"/> Fixtures	<input type="checkbox"/> Lighting	<input type="checkbox"/> Plumbing			\$		
<input type="checkbox"/> Insulation	<input type="checkbox"/> Wall	<input type="checkbox"/> Attic			\$		
<input type="checkbox"/> Interior	<input type="checkbox"/> Refinish	<input type="checkbox"/> Plaster Repair	<input type="checkbox"/> Paint		\$		
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Patio	<input type="checkbox"/> Fencing	<input type="checkbox"/> Sidewalks		\$		
<input type="checkbox"/> New	<input type="checkbox"/> New Addition				\$		
<input type="checkbox"/> Remodeling	<input type="checkbox"/> Kitchen	<input type="checkbox"/> Bath	<input type="checkbox"/> Attic	<input type="checkbox"/> Basement	\$		
<input type="checkbox"/> Other					\$		
<input type="checkbox"/> Other					\$		
<input type="checkbox"/> Other					\$		
<b>TOTAL COST</b>					<b>\$</b>		



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PART 2 -- ADDITIONAL REQUIRED INFORMATION

**6. PHOTOGRAPHS**

Enclose clear color photographs of the pre-project conditions of all items listed.

**7. ADDITIONAL PROJECT INFORMATION**

Describe your project and the materials and methods you propose using on the next page. Submit architect/contractor drawings if applicable. Submit a copy of all contractor estimates. See the chart below for other types of information required.

Proposed Work	Additional Information Required
Construct Deck	Submit drawings showing location, design, materials and finish.
Fencing	Submit manufacturer literature showing location, design, materials and finish.
Doors (exterior)	Submit manufacturer literature showing design, materials and finish.
Insulation	Describe insulation type and installation method.
Masonry Pointing	Submit photos of areas requiring pointing.
Mini-Split System	Show locations of vertical piping and wall units.
New Construction	Submit drawings showing location, design, materials and finish.
Porch	Submit photo of original and drawings showing location, design, materials and finish.
Remodeling	Submit drawings showing existing and proposed interior design.
Replace Roof	Submit specific shingle manufacturer, shingle name and shingle color.
Replace Windows	Submit detailed photos of existing window deterioration (int & ext) & new window information
Storm Windows	Submit manufacturer literature showing design, materials and finish.
Structural	Submit written description of the proposed work and location.



HISTORIC HOMEOWNER'S INCOME TAX CREDIT APPLICATION

PART 2 - DESCRIPTION OF PROPOSED WORK

Photos for context of front. See pictures ① + ②

7. INSTRUCTIONS Describe each item of your project and the materials and methods you propose

1) Chimney/Masonry Repair/Pointing:

Using approved historically ~~and~~ accurate mortar, tuckpoint and repair mortar at various places on exterior of house. See pictures numbered ③ through ⑬. Replace single bricks with similar brick where needed (very few locations and just a single brick at ground level needed). See pictures numbered ⑤, ⑬, ⑭.

Tuckpoint and clean bricks on chimney, following historic preservation guidelines and requirements. See pictures ⑮, ⑯.

2) Foundation:

Foundation on north side of home is leaching/permitting water intrusion and damage to wall. Repair/waterproof north wall of basement; rebuild, if needed, certain section (to be determined after demolition of plaster/lathe in area). See pictures numbered ⑰ through ⑳.

3) Porch/Stoop: repair steps and stoop on front of house where settling/cracking has occurred, and remortar/caulk as needed, using materials + methods to match existing. See pictures ㉒ through ㉕.

4) Stone Repair/Maintenance: see photographs of front/side stoops and architectural elements, using historically appropriate materials. See pictures ㉖ to ㉚.

5) Windows: replace existing storm<sup>s</sup> with custom-made, wood Acker Millwork combination storms and screens to match existing windows. See attached description and quotation from Acker Millwork and pictures ㉜ through ㉞, which show existing windows and certain replacement storms previously built and installed by Acker (that earlier work is not the subject of this proposed work. Additional<sup>storm</sup> windows are now being replaced, that were not done previously, No tax credit was sought for prior work).

SEND COMPLETED APPLICATIONS TO

State Historic Preservation Office  
Wisconsin Historical Society - Room 312  
816 State Street  
Madison, WI 53706

① Photo of house for context



② Photo for context



rear of house: tuckpointing needed

4 windows needing storm/screen replacement



④

③ Photo





④

mortar / brick repair  
needed  
near back door

Stone column  
needs  
maintenance



5

mortar/brick repair/replacement  
needed by garage



6

brick repair/replacement  
corner of house



7

tuckpointing / maintenance

Photo 8 Tuckpointing





8

Tuckpointing/brick repair



⑨ Tuckpointing/brick maintenance

10 Tuckpointing





11

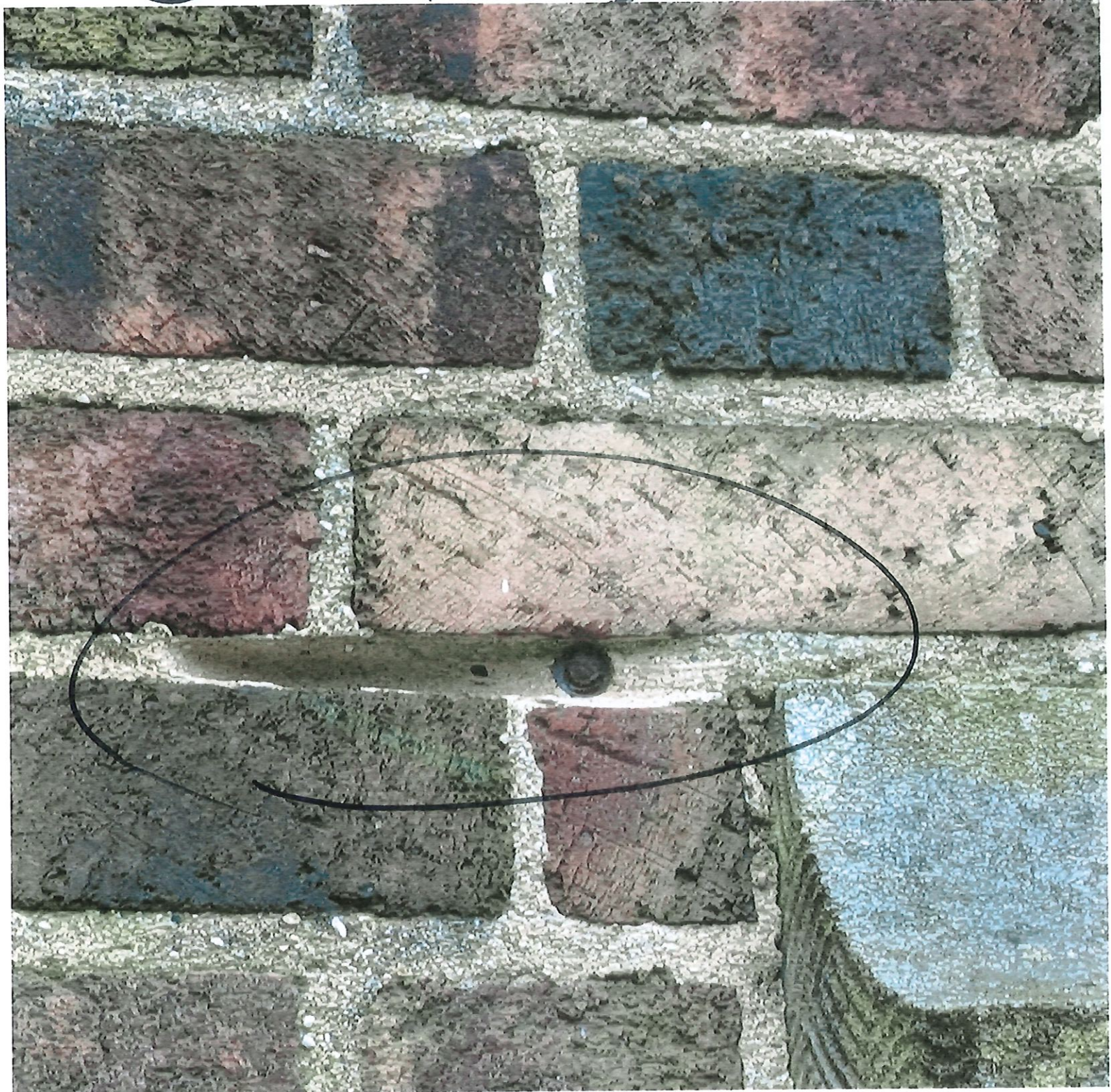
tuckpointing/brick maintenance



# 12 Tuck pointing



⑬ tuck pointing

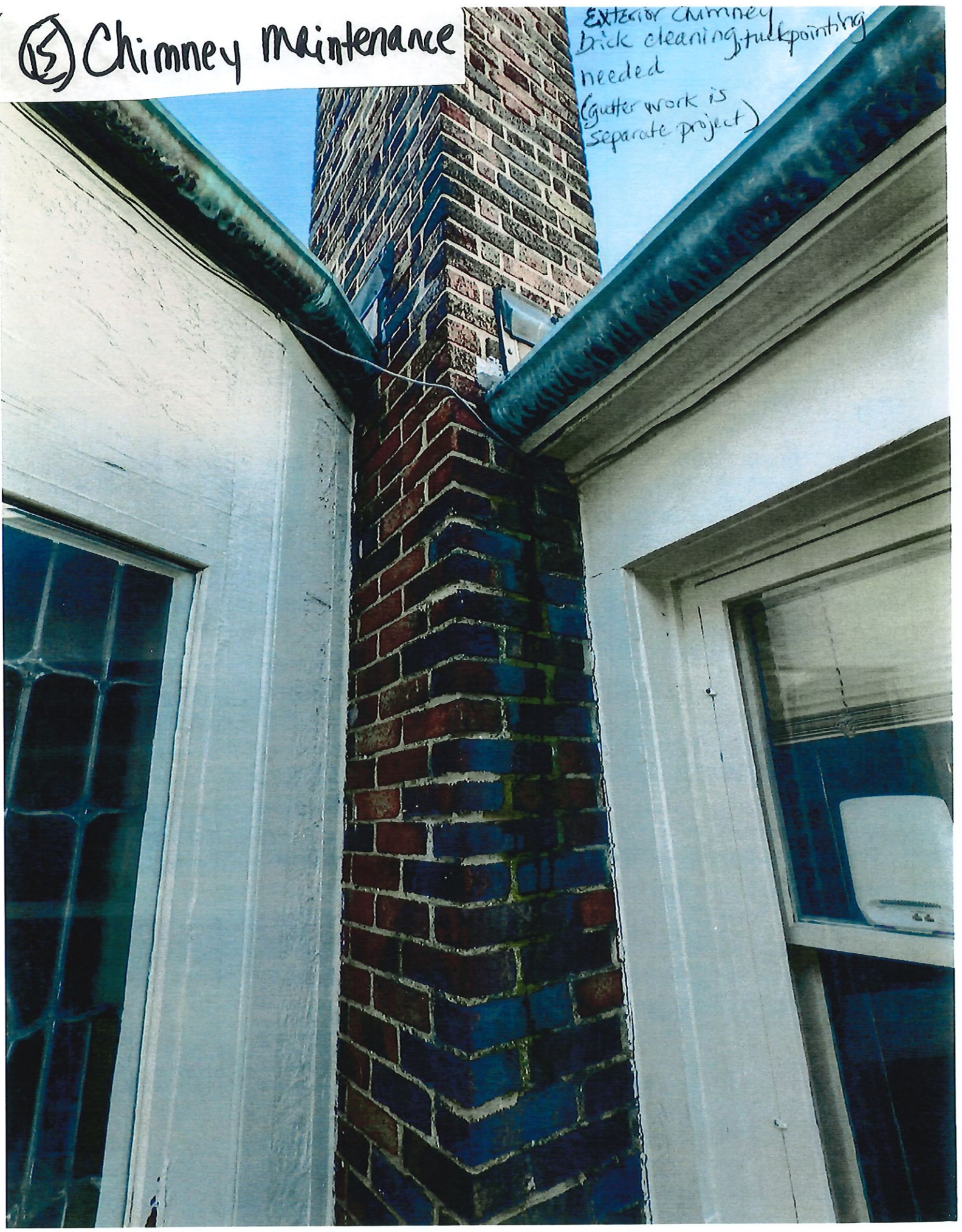




(14) Tuck pointing/repair

# ⑤ Chimney Maintenance

EXTERIOR Chimney  
brick cleaning, tuckpointing  
needed  
(gutter work is  
separate project)



# ① Chimney maintenance

Closeup  
of chimney  
work  
needed



(17) North foundation wall <sup>exterior</sup> water intrusion + damage



18

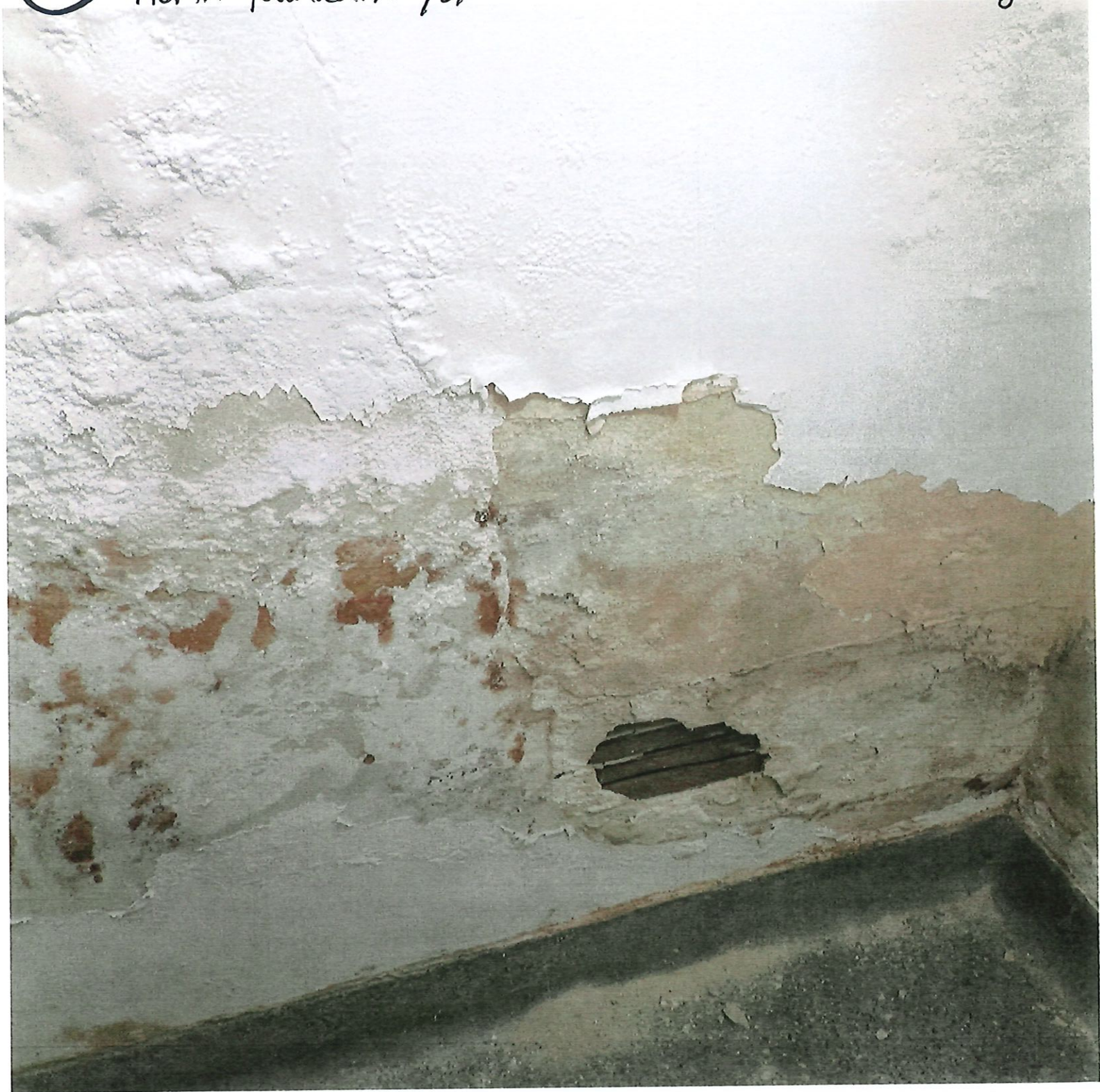
north foundation/  
exterior wall water  
intrusion &  
damage





19

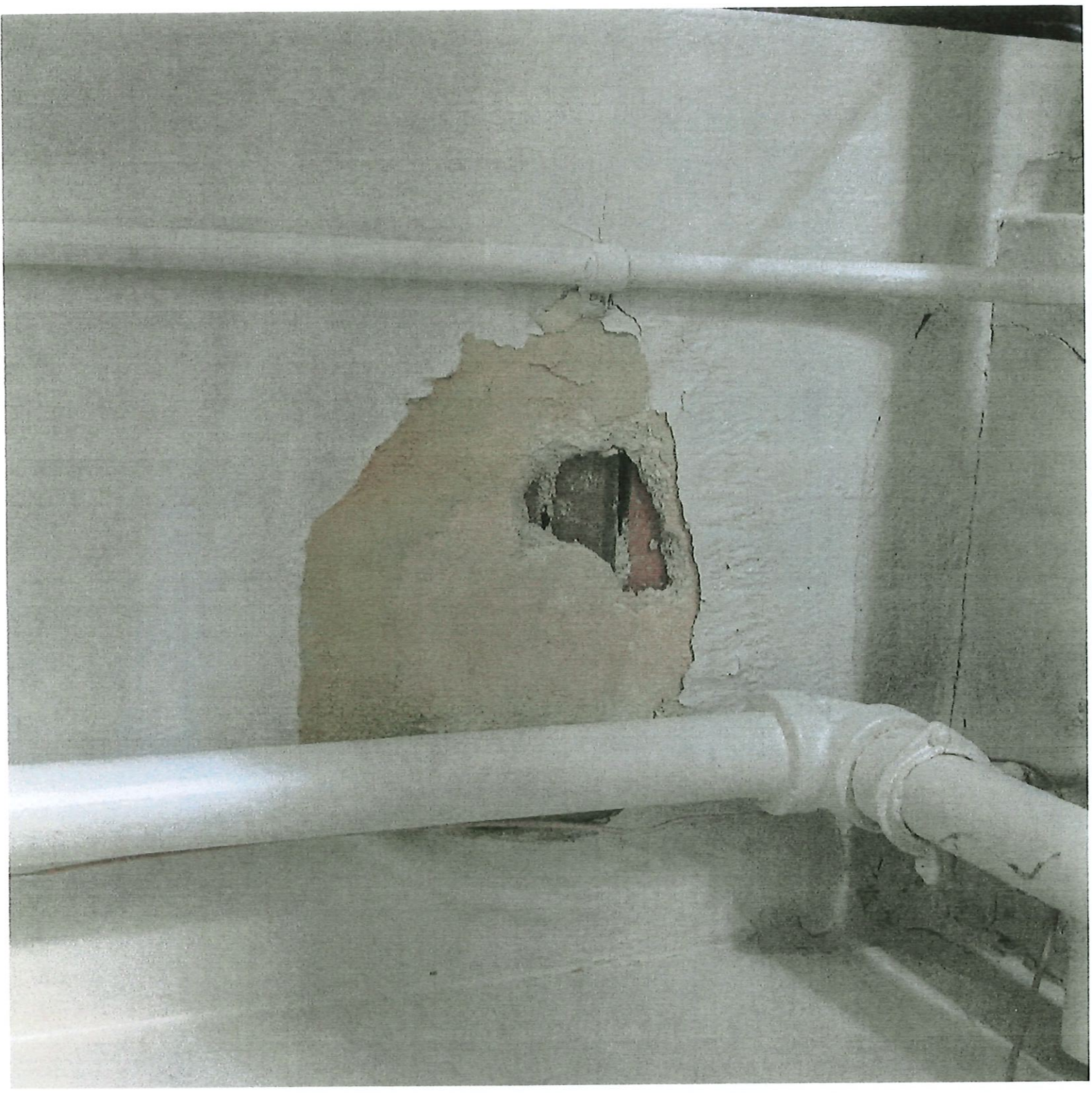
north foundation/external wall water intrusion + damage



20 north foundation/exterior wall water + intrusion damage



② north foundation / exterior water intrusion & damage



22

Front stoop incurring water seepage  
+ damage



23



Front stoop settled; mortar needs repair/maintenance

24

Front stoop/step needs maintenance



25

Side entrance stoop/step needing repair/  
maintenance



26

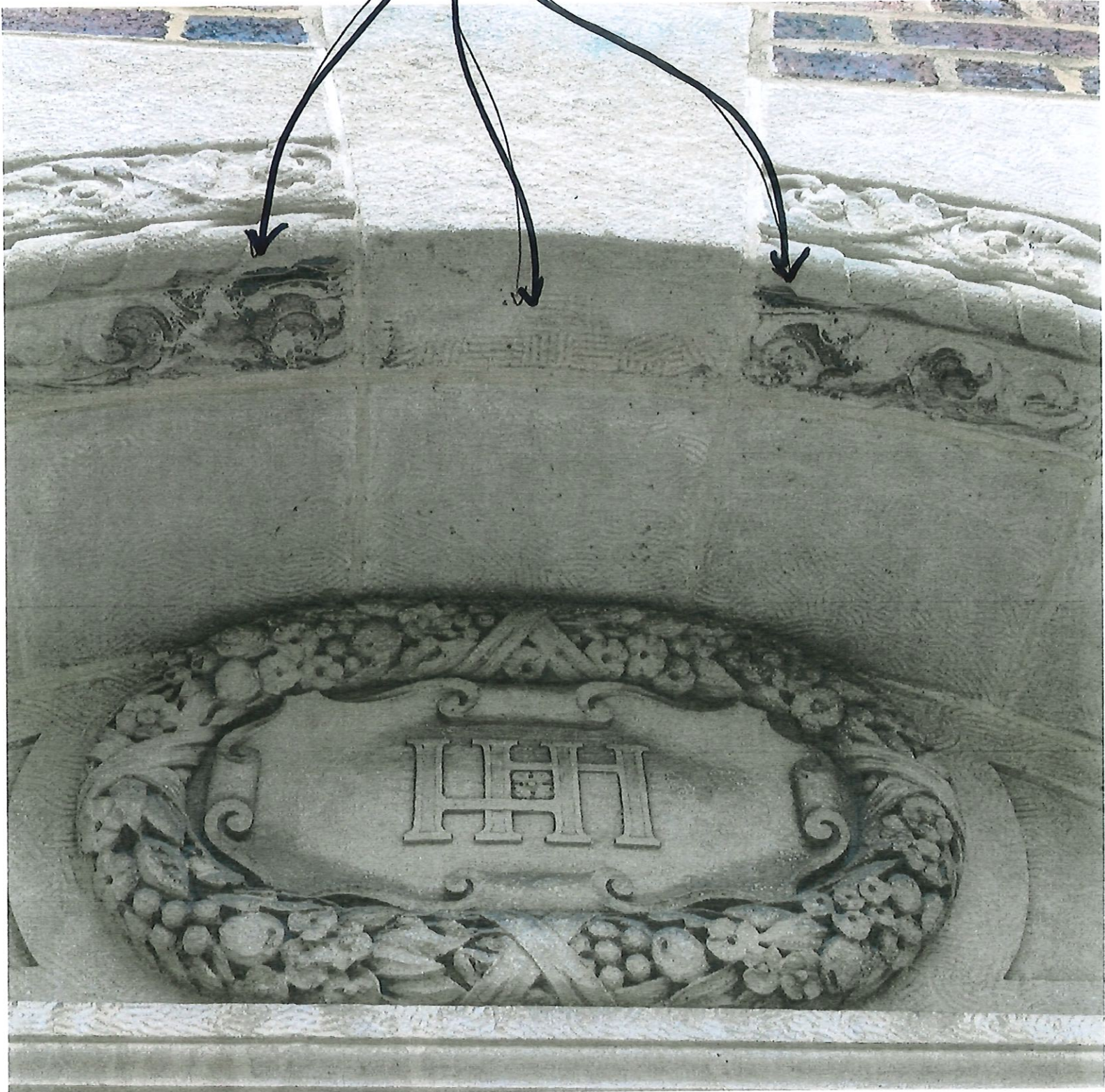
Architectural Stone evidencing water / environmental damage + seeping





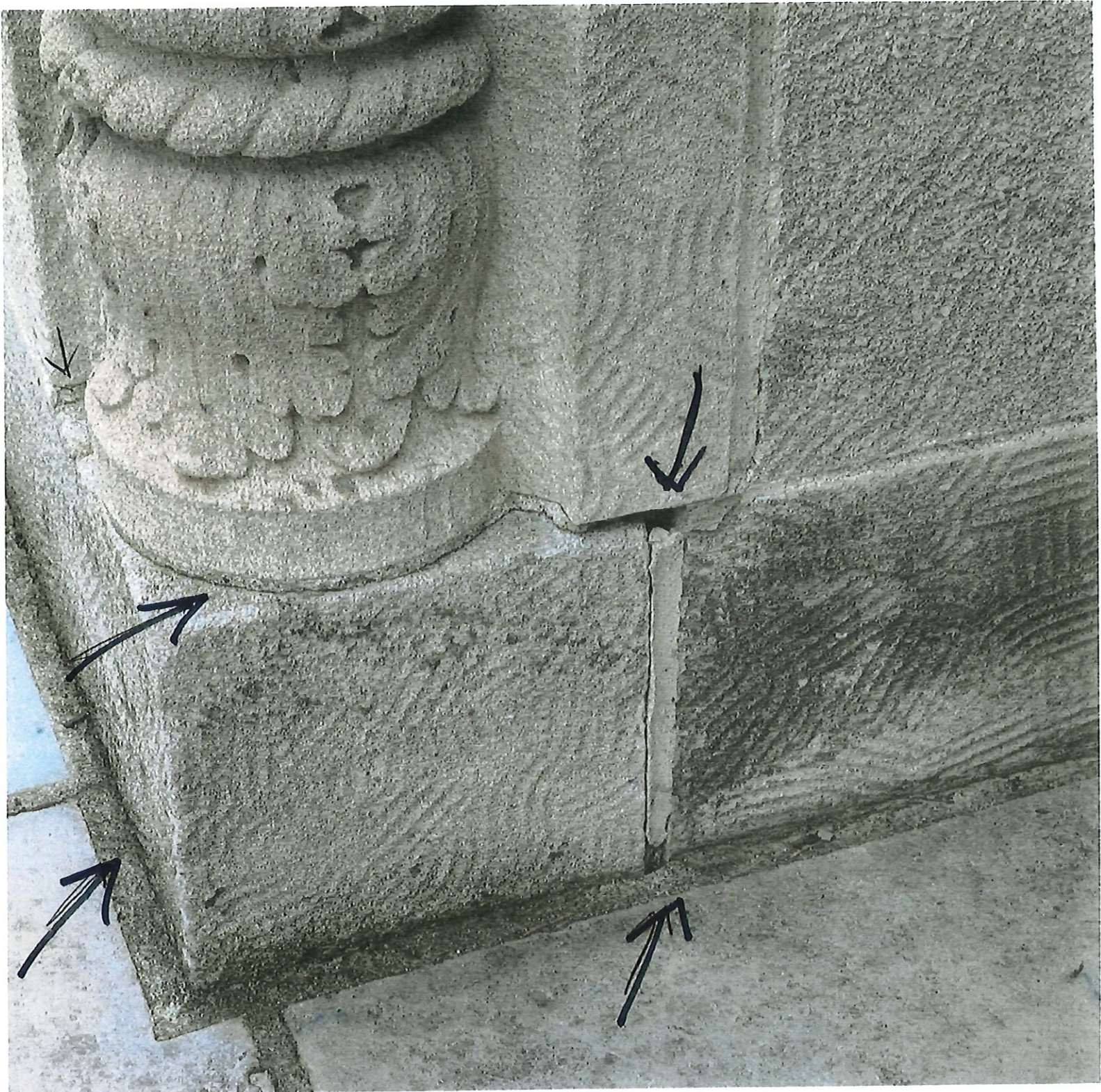
27

Water/environmental damage + seepage  
in stone architectural elements



28

Front entrance <sup>stone</sup> architectural elements need  
repair + maintenance



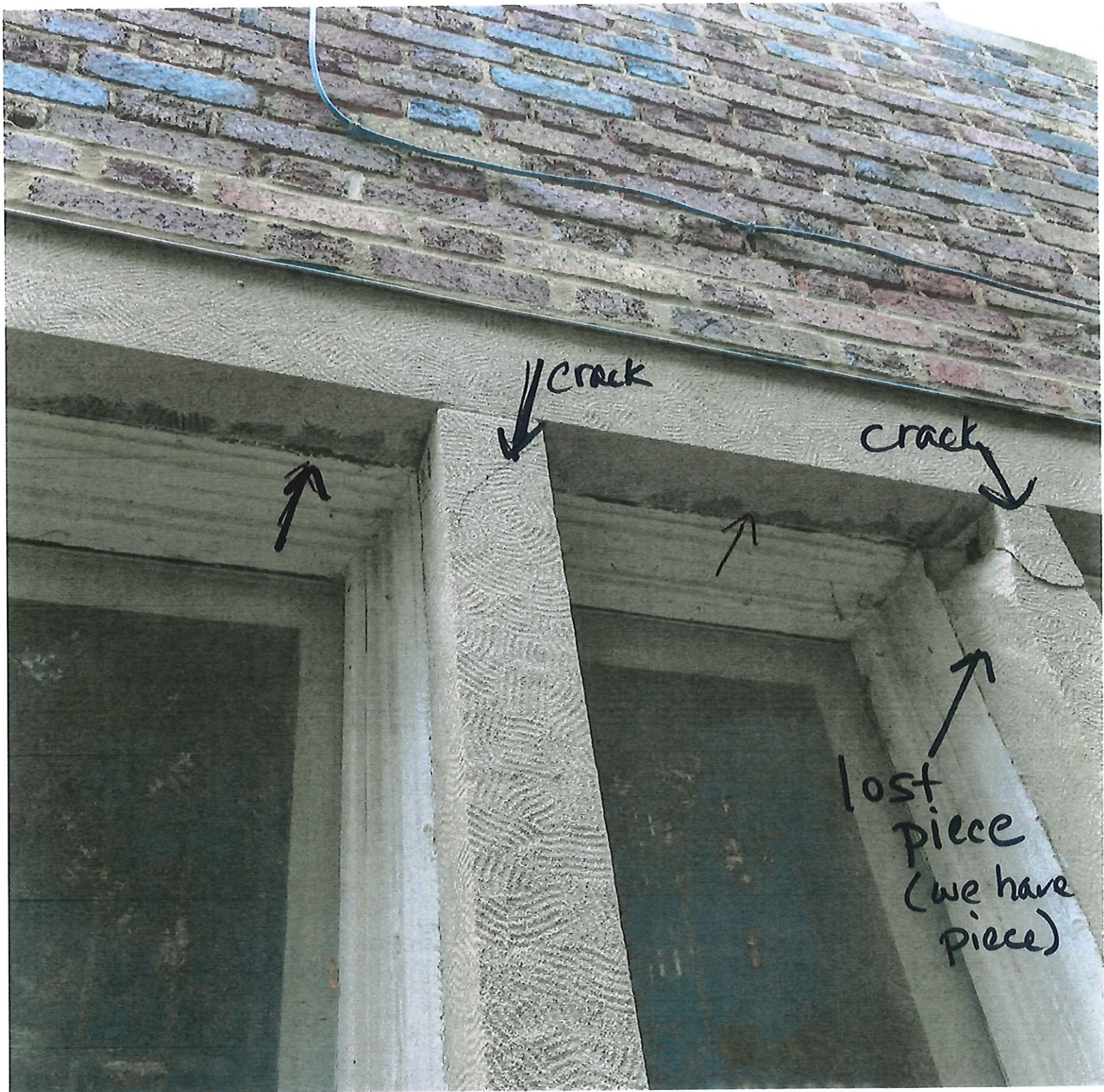


29

Front entrance architectural elements need maintenance

30

Stone architectural elements for north side window (triple window) need repair



31



(rear entrance)

maintenance of stone  
architectural columns needed





maintenance of  
stone architectural  
elements  
needed.

32



Dewey Caton  
2635 N. Terrace  
Milwaukee WI

November 2, 2022  
PH 847-226-4446

Quotation as follows

Acker Combination Storms & Screens Single glazed with 1/8" clear glass  
Manufactured in Clear Northern White Pine Constructed with mortise and tenon glued joints  
Finish hand sanded, woodlife treated, oil-base primed and finish painted  
Includes Fitting/Installation

**1st Floor**

<u>Location: Bath Room</u>	1 DH Combination	\$696.00
<u>Location: Hall</u>	1 DH Combination	\$754.00
<u>Location: Office</u>		
North	2 DH Combinations	\$1,508.00
South	3 DH Combinations	\$2,274.00

**2nd Floor**

<u>Location: North Hall</u>	1 DH Combination	\$770.00
<u>Location: Purple Bedroom</u>	3 DH Combinations	\$2,472.00
<u>Location: Living Room</u>	4 DH Combinations	\$3,296.00
<u>Location Yellow Bedroom</u>	4 DH Combinations	\$3,296.00
<u>Location: Bath Room</u>	1 DH Combination	\$907.00
<u>Location: Master</u>	2 DH Combinations	\$1,370.00
<u>Location: West Closets</u>	2 DH Combinations	\$1,540.00
<u>Location: Office</u>	2 One-Lite Combinations	\$1,330.00
<u>Location: North East Bedroom</u>	3 One-Lite Combinations	\$2,178.00
<u>Location: Bath Room North</u>	1 DH Combination	\$793.00
<u>Location: Hall</u>	1 DH Combination	\$724.00

Manufacturing time TBD [ At this time Approx. 16-20 Weeks - Weather Permitting ]  
50% deposit required on all orders  
Balance due at Completion

Thank You...  
- Pete Acker

Quote Valid 30 Days

ACKER MILLWORK CO. INC. • 3300 West Pabst Avenue • Milwaukee, Wisconsin 53215 • Phone: (414) 672-2200  
www.ackermillwork.com (33rd & Cleveland) Fax: (414) 672-2203

34

(example of Acker Millwork stormy screen replacement)





35

storm/screen needs  
replacement

replaced storm/screen  
(Example of finished  
prior work by Acker  
Mullwork)

36



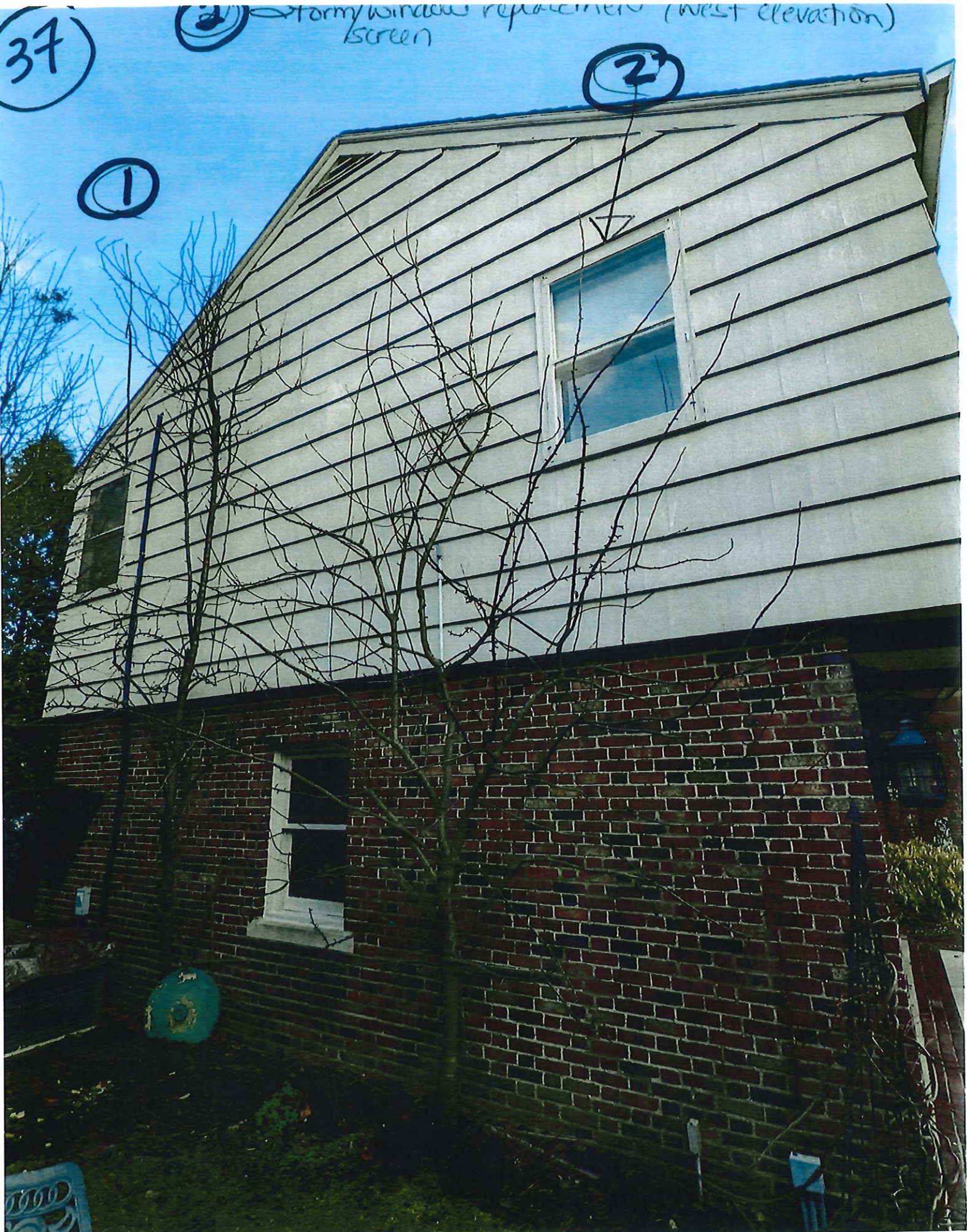
Stormscreen replacement needed

37

Storm window replacement (west elevation)  
screen

①

②



38

3 sets of storms/screens need replacements (3 triple double hungs)  
(south elevation of addition)

1

2

3



39

(north elevation)

Close up of window needing storm/screen replacement



③ Additional Storm/Screens

40



4

pair of windows  
needing storm  
screen replacement



42

pair of windows  
needing  
storm/ screen  
replacement

