

Request to Deviate from Performance Standards
Midtown Center Development Incentive Zone
First-Citizens Bank
5610 W. Capitol Drive
October 19, 2020

First-Citizens Bank is submitting a Request to Deviate from Performance or Design Standards within an Overlay Zone, for the Project Site located at 5610 W. Capitol Drive. This property is zoned RB2 and is located within the Midtown Development Incentive Zone (DIZ) established by Section 295-91.0044 of the previous Milwaukee Code, in the 2nd Aldermanic District. This site is currently vacant and is comprised of 0.52-acres of previously developed area which consists of an existing one-story 1,500-square-foot building and associated utility infrastructure, drive-through lane, concrete sidewalk, asphalt parking lot, landscaping, and monument sign foundation. This property was operated as a Starbucks from around 2003 to 2019. First-Citizens Bank intends to renovate and repurpose the existing building and site to serve as a branch bank, which would utilize the existing drive-through facility and approximate former monument sign location. While the drive-through lane remained on the site, the monument sign was removed when Starbucks vacated the site. The Midtown Center DIZ limits the number of freestanding signs within Sub Area B (which the subject site is within) to two, both of which currently exist.

PREVIOUS ENTITLEMENTS

The existing Starbucks site plan and building was reviewed and approved via public hearing by the City of Milwaukee City Plan Commission on April 28, 2003. In this decision, the CPC ruled that the proposed Starbucks drive-through and monument sign were “generally consistent with the established guidelines.” The new project by First-Citizens Bank will propose to replace the former monument sign and keep the existing drive-through. Therefore, First-Citizens Bank requests that the previous CPC decision be considered when evaluating this project.

PROPOSED IMPROVEMENTS

First-Citizens Bank intends to renovate and repurpose the existing 1,500-square-foot building as necessary to utilize it as a branch bank facility. This renovation will include the addition of an approximately 70-square-foot security vestibule to the front entrance of the building, removal of a building entrance on the western elevation, the conversion of the drive-through window to a secure deal drawer, and minor façade renovations made necessary by the building additions. First-Citizens Bank wall signage (adhering to applicable City standards) will be proposed to mimic the previous Starbucks sign layout. It is the intent of First-Citizens Bank to maintain the existing building architecture as possible given the renovation scope. Landscaping on the site will be restored to be consistent with the previously approved plans. The building, building signage, and site changes are minor in scope and do not impact the design standards of the DIZ.

The site plan will be modified as necessary to accommodate the security vestibule. These slight modifications will include the removal of two parking spaces and associated parking space directly in front of the new vestibule to allow for ample pedestrian access and clearance. Pedestrian routes to the right-of-way and existing ADA access will be maintained.

A monument sign will be proposed in the location of the previously approved Starbucks monument sign.

DEVIATION REQUEST

The proposed First-Citizens Bank project requires a Deviation request from the City Plan Commission due to the proposed monument sign. All other site elements have been determined to be compliant by DCD staff, including the reuse of existing drive-through facility based on the previous Starbucks approval. Per the Midtown Center Design Standards, Area B Section III.C.3: "Up to two monument signs in Area B are permitted preferably at entrances to the project." Area B already contains two monument signs (one of which is directly adjacent to the subject property), located at the NW corner of Capitol Dr and 56th St as well as at the SE corner of 60th St and Hope Ave.

The deviation request for the monument sign aligns with the Criteria for Deviation (Section 295-311-8-c) as outlined below:

- I) **The purpose of the overlay zone is met;** (1) The purpose of the DIZ overlay in relation to site improvements is to: minimize impacts on adjacent properties and uses, locate site elements to define street edges and corners, coordinate landscaping and site improvements with building features, enhance the pedestrian experience, and relate to the physical character and scale of the neighborhood. The proposed sign will be similar in nature to the previously approved Starbucks monument sign. The monument sign will be adherent to City standards for Type 'A' monument signs. The sign will not impact adjacent properties and uses and will related to the scale of the neighborhood, as it will be considerably shorter than the adjacent DIZ monument sign and be over 200 feet away from the nearest adjacent use (Pizza Hut). The sign will be located along W Capitol Blvd, and serve to define the "corner" of the site development as it relates to W Capitol Dr. The sign will enhance the pedestrian experience by providing a clear indicator of the pedestrian route to the new retail branch, as well as being surrounded by aesthetically pleasing hardscape and landscape elements.
- II) **The deviation improves the aesthetics of the site;** First-Citizens Bank intends to use this project as an opportunity to return the subject property to its originally approved and code compliant Landscape Design by providing new shrubs and canopy trees. This will result in an increase to the aesthetics of the property, which has been lost over the years.
- III) **If applicable, the deviation addresses one or more unique site factors that make application of the standard impractical;** This criterion is not applicable to the request for a monument sign deviation.
- IV) **The deviation is consistent with the comprehensive plan;** The proposed First-Citizens Bank project is located within the West Side Comprehensive Plan, File NO: 090849, December 14, 2009. The project site is located within the Midtown Gateway Area. This project is consistent with the West Side Comprehensive plan's goals for the Midtown Gateway area, by expanding upon Midtown Center's success, heightening visual prominence, providing stability to the area by reoccupying a currently vacant lot, and therefore improving the perception of the area surrounding Midtown Center.

Should you have any questions concerning this project please do not hesitate to contact me via email (Liz.Kolepp-Mayer@firstcitizens.com) or by phone at 919-349-2046.

Thank you,

Elizabeth Kolepp-Mayer
First-Citizens Bank

Site Location:

5610 Capitol Drive,
Milwaukee, WI 53216

Order Status:

Your product order was installed on 9/16/2020
Product Order was ready for shipping/installation
Product Pricing was confirmed on 8/24/2020
Design Stage

Ordered Items

1 each Monument (M-35) Standard

Monument (M-35) Standard

- The sign will be 6 ft. 1" high by 8 ft. 0" wide overall.
- The top portion of the sign to be 4ft 5" high by 8ft 0" wide overall.
- The base of the sign to be 1ft 8" high by 8ft 0" wide by 8" deep overall.
- The sign will be fabricated from .125" aluminum.
- Sign to have a smooth silver LV5-5432902-268076-A metallic finish with a light stipple clear coat.
- The base of the sign to have First Citizens blue LV5-5071512 to match PMS 288 smooth finish with a light stipple clear coat.
- The copy to read "Logo First Citizens Bank".
- The sign will have a radius face.
- The sides of the sign to have a depth of 8" on the ends and 19.2" in the middle.
- The logo to be 34.894" high by 31.422" wide.
- The face of the logo will be custom printed 3M premium vinyl graphics with a clear laminate applied to the first surface of 3/16" thick 2406 white acrylic.
- The "First Citizens Bank" copy will be routed out of the aluminum and will have custom printed perforated vinyl printed to match PMS 288 blue applied to first surface of 2406 white acrylic.
- The copy "First Citizens Bank" will have a 8.333" high "F" with the other copy in proportion.
- The sign will be internally illuminated with LEDs.
- The sign will have a disconnect switch located behind a removable panel and a photo cell.
- The sign will have a x" by x" steel tubes with xx" thick steel base plate.
- Sign to bear UL Label.



1 each Channel Letters (CL-L-F18-B)

Channel Letters (CL-L-F18-B)

- Logo to be 24.468" high.
- F in First to be 18" high.
- Logo and letters to be face lighted.
- Logo and letters to be 3" deep overall.
- Logo face to be 2406 white acrylic with custom printed 3M vinyl graphics applied to the first surface.
- Letters to be 2406 white acrylic with custom printed perforated vinyl applied to the first surface.
- Perforated vinyl to be printed to match PMS 288 blue.
- Logo and letters to have silver jewelrite.
- Returns on letters to be painted smooth to match LV5-5432902-268076-A.



1 each Channel Letters (CL-L-F14-B)

Channel Letters (CL-L-F14-B)

- Logo to be 19.037" high.

- F in First to be 14" high.
- Logo and letters to be face lighted.
- Logo and letters to be 3" deep overall.
- Logo face to be 2406 white acrylic with custom printed 3M vinyl graphics applied to the first surface.
- Letters to be 2406 white acrylic with custom printed perforated vinyl applied to the first surface.
- Perforated vinyl to be printed to match PMS 288 blue.
- Logo and letters to have silver jewelite.
- Returns on letters to be painted smooth to match LV5-5432902-268076-A.



1 each Channel Letters (CL-L-F18-B)

Channel Letters (CL-L-F18-B)

- Logo to be 24.468" high.
- F in First to be 18" high.
- Logo and letters to be face lighted.
- Logo and letters to be 3" deep overall.
- Logo face to be 2406 white acrylic with custom printed 3M vinyl graphics applied to the first surface.
- Letters to be 2406 white acrylic with custom printed perforated vinyl applied to the first surface.
- Perforated vinyl to be printed to match PMS 288 blue.
- Logo and letters to have silver jewelite.
- Returns on letters to be painted smooth to match LV5-5432902-268076-A.



1 each Directional Sign (DS-36-3)

Directional Sign (DS-36-3)

- The sign will be 36" high by 18" wide with a radius face that has a depth of 2 1/4" on the ends and 4 3/16" in the middle.
- The sign will be fabricated from .090" aluminum and will have a silver LV5-5432902-268076-A metallic light stipple finish and First Citizens blue LV5-5071512 light stipple finish to match PMS 288.
- The copy will be Avery Pantone 288C A9584-T vinyl.
- Sign will have a 2" by 2" by .125" aluminum tube for direct burial.

The copy to read as follows:

- Side A
(arrow up) Customer Parking
(arrow right) Drive-Thru Banking
- Side B
(arrow left) Drive-Thru Banking



Site Sign Book

32263

5610 Capitol Drive,
Milwaukee, WI 53216

Original Image

Proposed Image

Monument (M-35) Standard



Channel Letters (CL-L-F18-B)



Channel Letters (CL-L-F14-B)



Original Image

Proposed Image

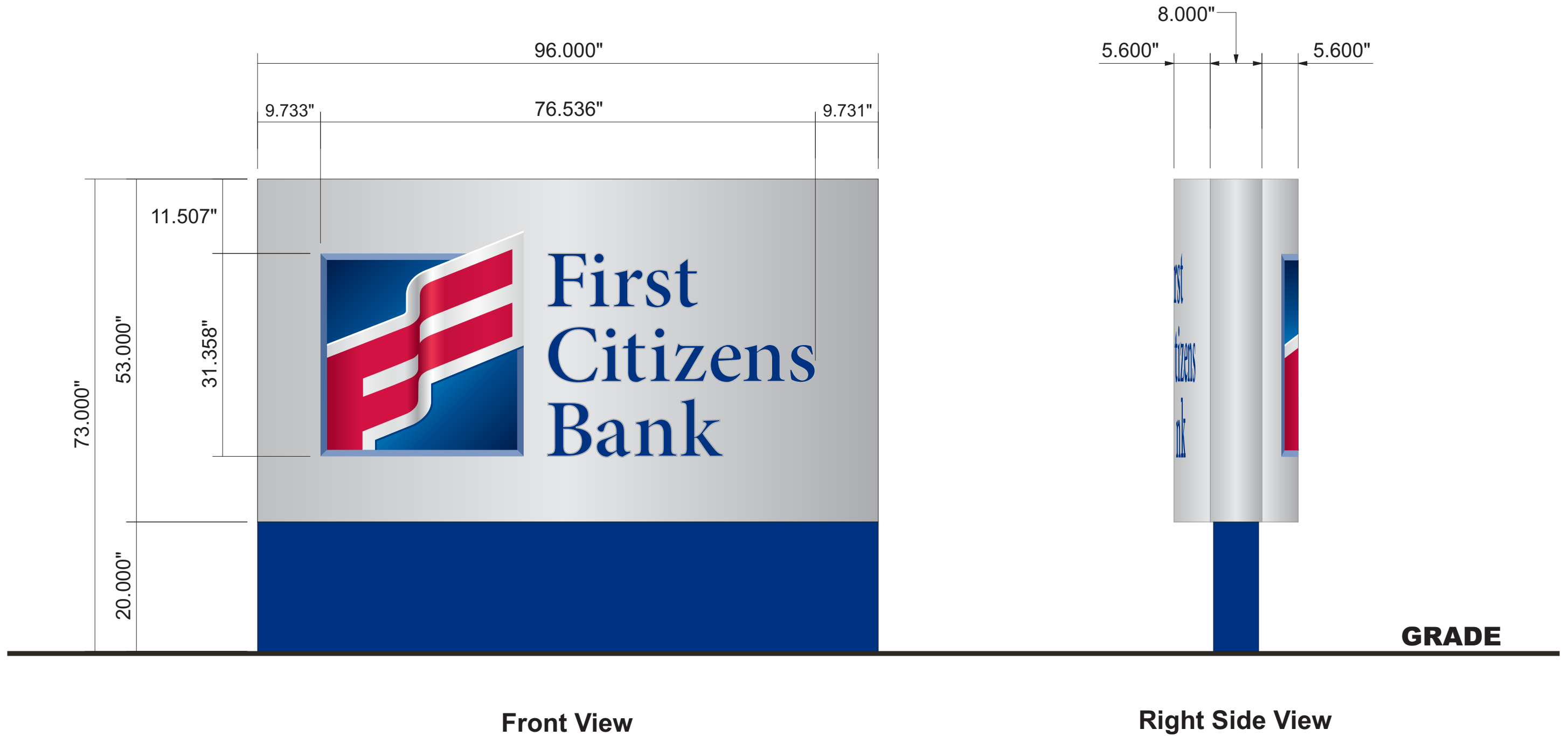
Channel Letters (CL-L-F18-B)



Directional Sign (DS-36-3)



SIDE A

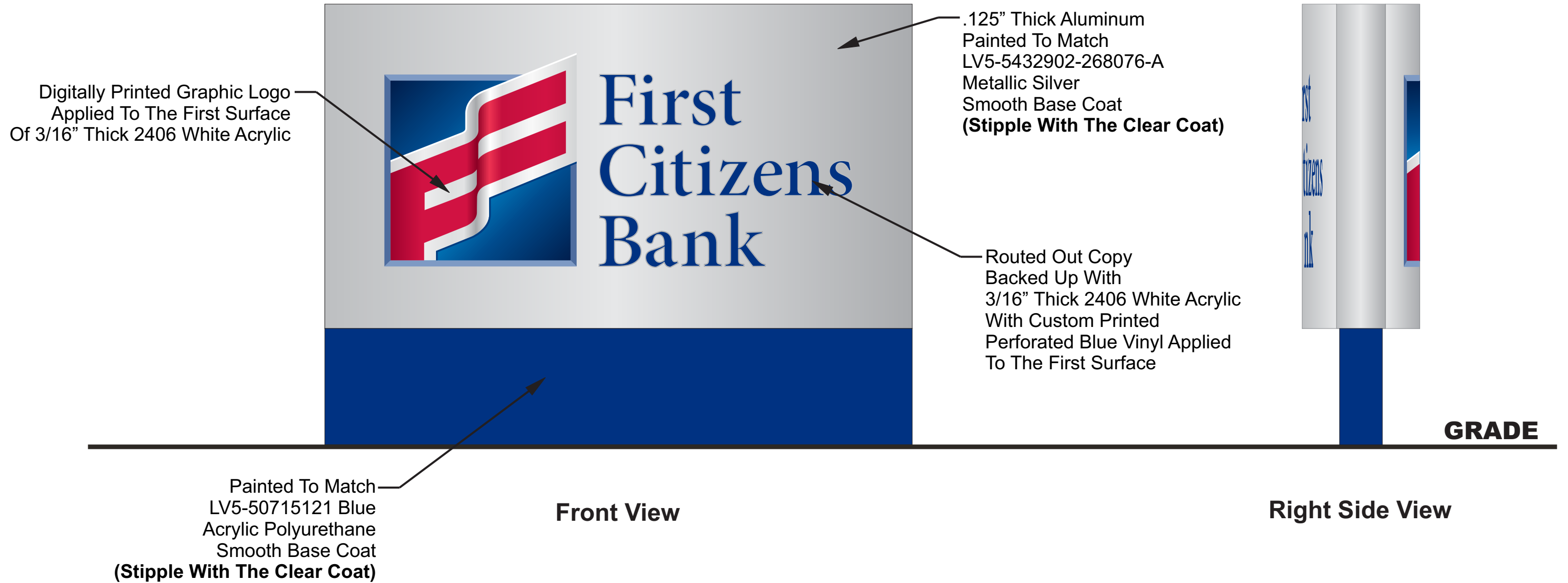


Sign Cabinet Is Internally Illuminated And Is UL Approved.

<p>THE FITTS COMPANY INCORPORATED 55 Sirens Lane Gaston, SC 29053 P. 803-356-5947</p>	<p>CUSTOMER: First Citizens Bank & Trust Company</p>	<p>PRODUCT NUMBER: Standard Drawing</p>	<p>DRAWN BY: JBK</p>	<p>DATE: 9/19/17</p>	<p>REVISIONS:</p> <table border="0"> <tr> <td>1. ### Revision 1</td> <td>4. ### Revision #</td> </tr> <tr> <td>2. ### Revision #</td> <td>5. ### Revision #</td> </tr> <tr> <td>3. ### Revision #</td> <td>6. ### Revision #</td> </tr> </table>	1. ### Revision 1	4. ### Revision #	2. ### Revision #	5. ### Revision #	3. ### Revision #	6. ### Revision #	<p>SCALE: 3/4" = 1'-0"</p> <p>PAPER SIZE: 11 x 17</p>	<p>THE DESIGNS/INFORMATION CONTAINED IN THIS DRAWING ARE PROTECTED UNDER U.S. AND INTERNATIONAL TRADEMARK LAW AND ARE THE SOLE PROPERTY OF THE FITTS COMPANY, INC.</p> <p>ANY REPRODUCTION WITHOUT WRITTEN CONSENT IS STRICTLY PROHIBITED. THIS IS AN UNPUBLISHED DESIGN SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH THE PROJECT PLANNED FOR YOU BY THE FITTS COMPANY, INC. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE OF YOUR ORGANIZATION NOR IS IT TO BE USED, REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION. ALL OR ANY PART OF THIS DESIGN (EXCEPTING REGISTERED TRADEMARKS) REMAINS THE PROPERTY OF THE FITTS COMPANY, INC.</p>	<p>PAGE: 1 OF 3</p>
	1. ### Revision 1	4. ### Revision #												
2. ### Revision #	5. ### Revision #													
3. ### Revision #	6. ### Revision #													
<p>SITE ADDRESS: Various Locations</p>	<p>PRODUCT TITLE: Monument (M-35)</p>	<p>CHECKED: ###</p>	<p>DATE: #####</p>	<p>APPROVED: ###</p>	<p>DATE: #####</p>									

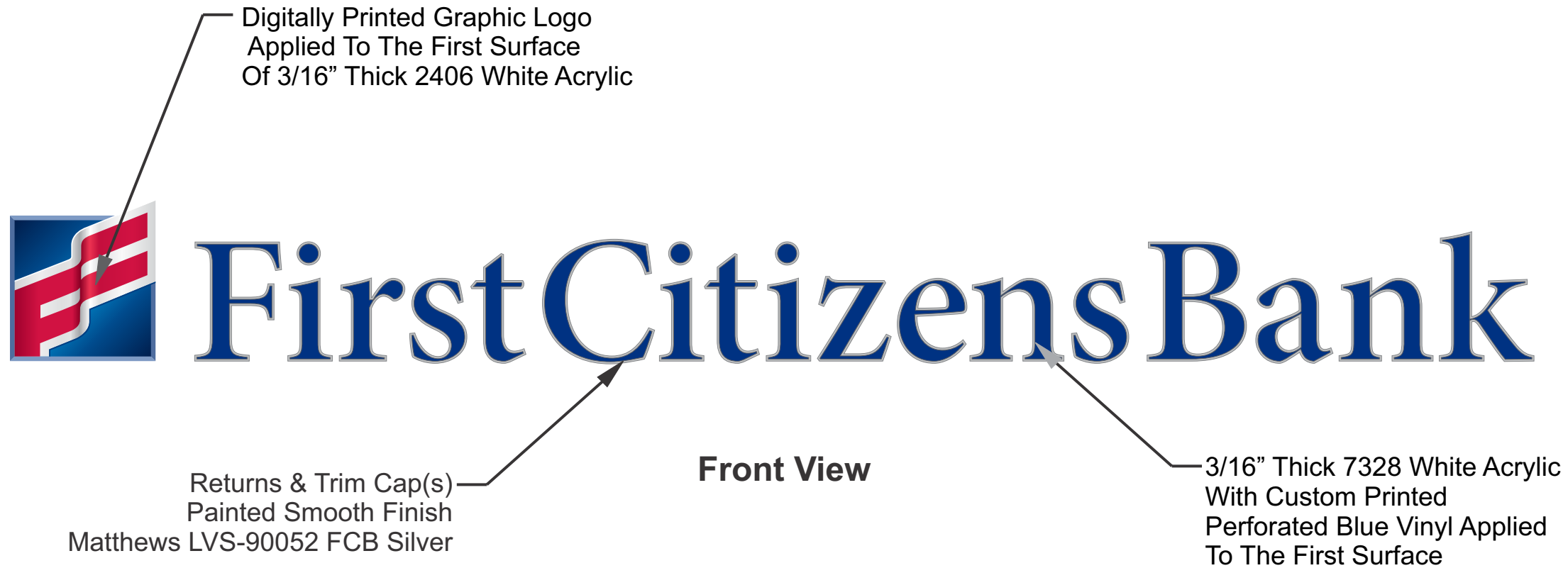
SIDE B







Front View



Digitally Printed Graphic Logo
Applied To The First Surface
Of 3/16" Thick 2406 White Acrylic

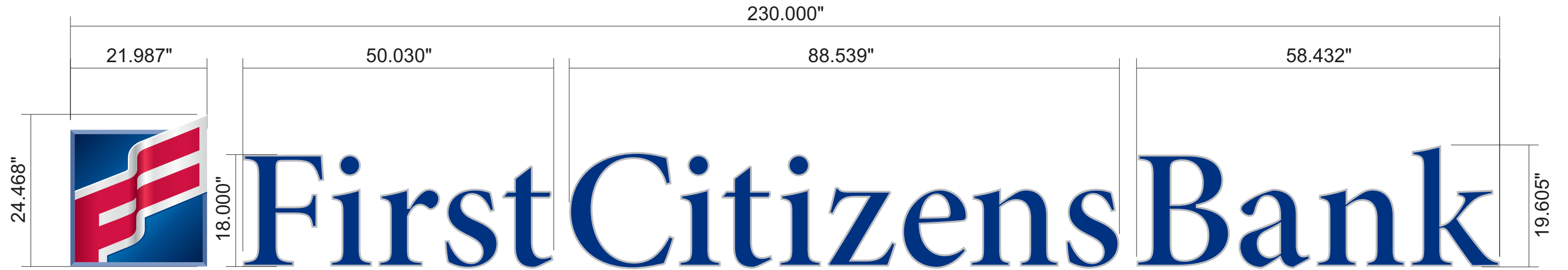


First Citizens Bank

Returns & Trim Cap(s)
Painted Smooth Finish
Matthews LVS-90052 FCB Silver

Front View

3/16" Thick 7328 White Acrylic
With Custom Printed
Perforated Blue Vinyl Applied
To The First Surface



Front View



Digitally Printed Graphic Logo
Applied To The First Surface
Of 3/16" Thick 2406 White Acrylic

3/16" Thick 7328 White Acrylic
With Custom Printed
Perforated Blue Vinyl Applied
To The First Surface

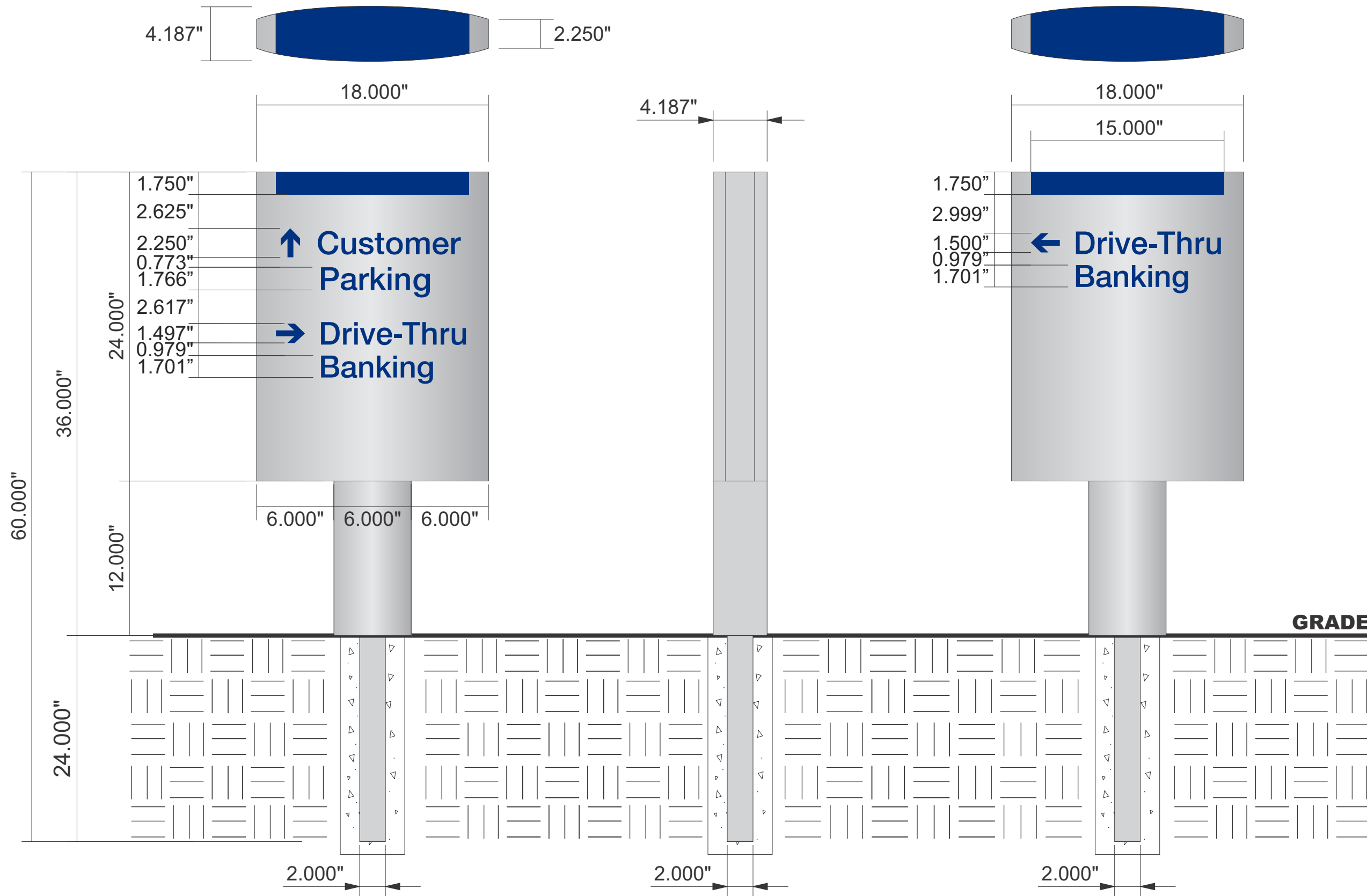
First Citizens Bank

Front View

Returns & Trim Cap(s)
Painted Smooth Finish
Matthews LVS-90052 FCB Silver

SIDE A

SIDE B

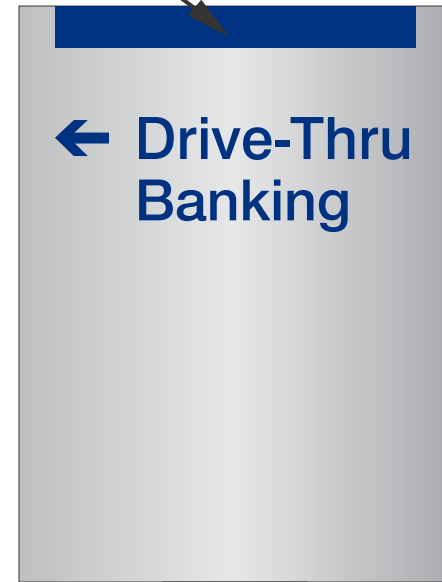


SIDE A

SIDE B

Digitally Printed Vinyl
Color to Match FCB Blue

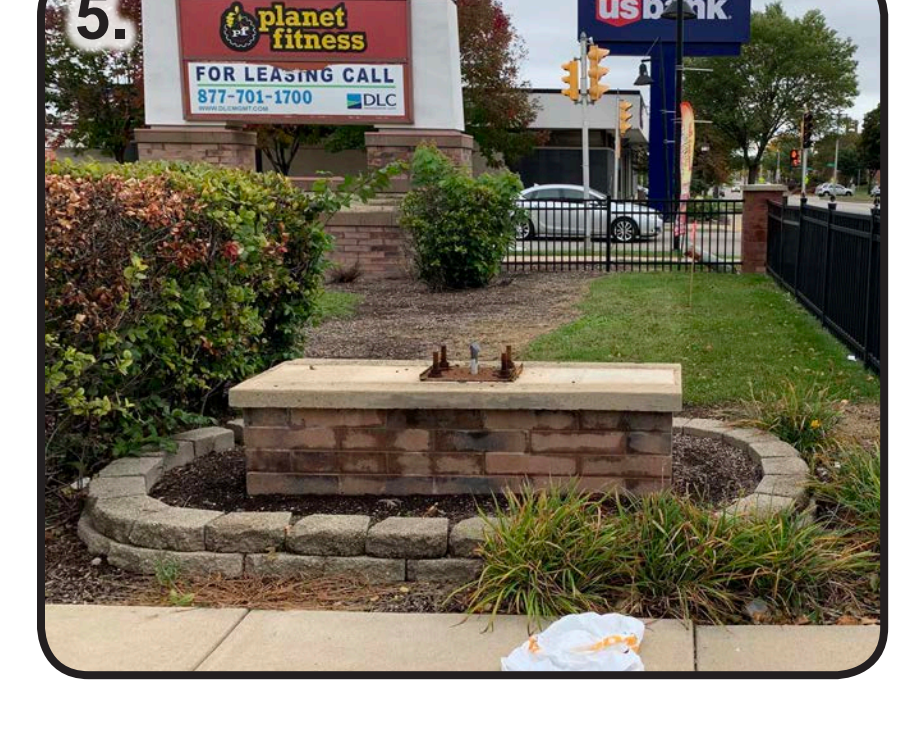
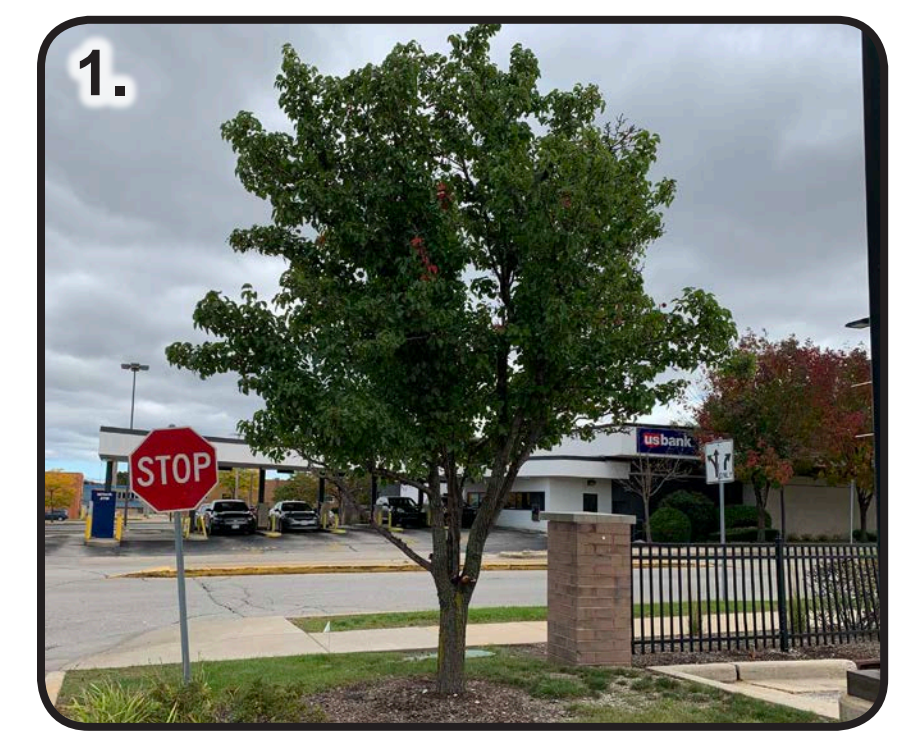
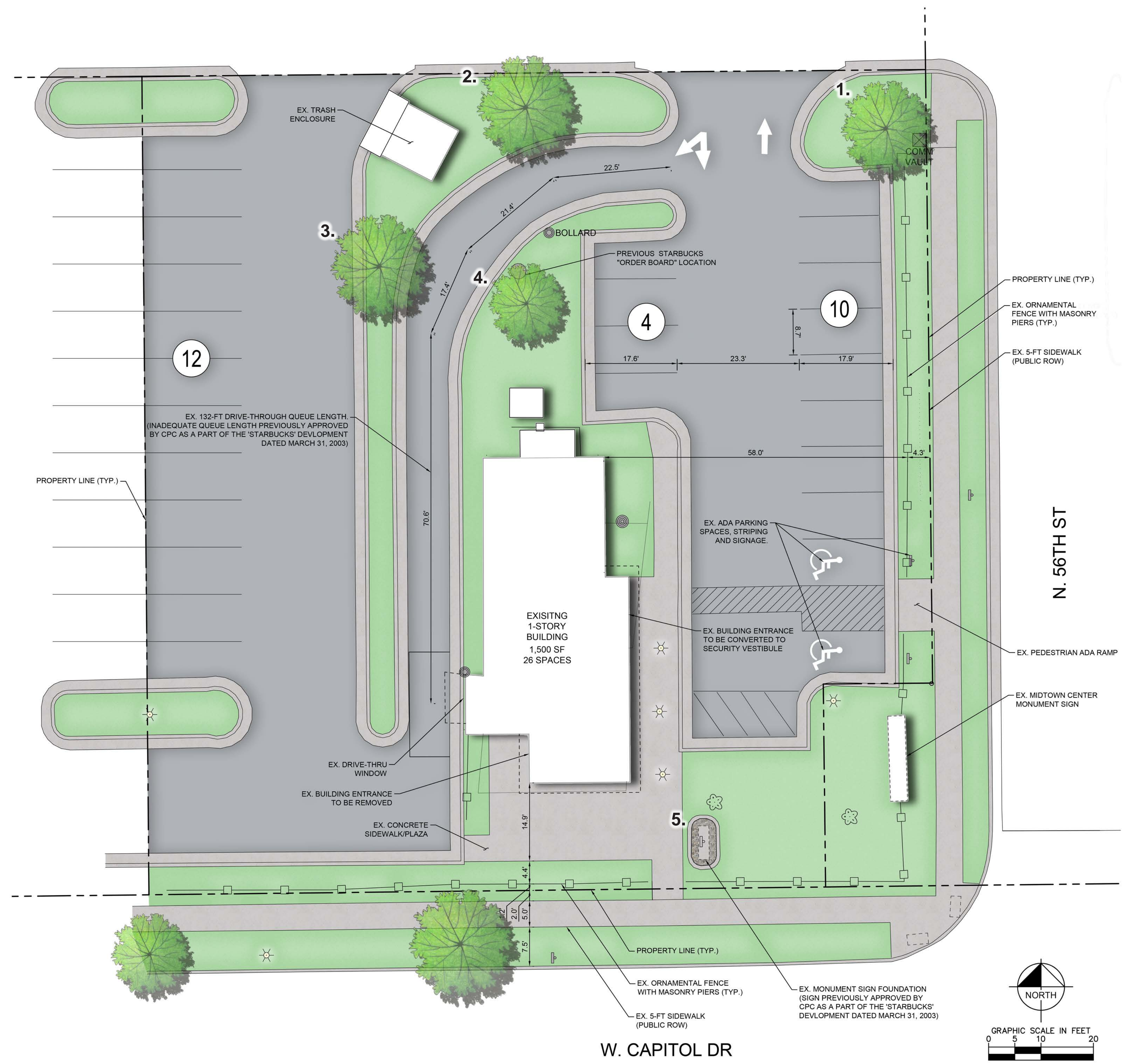
Painted Smooth Finish
Base Coat Matthews
LVS-90053 FCB Blue
With Light Stipple
Matthews 282 208SP
Gloss Clear Top Coat



Painted Smooth Finish Base Coat
Matthews LVS-90052 FCB Silver
with Light Stipple Matthews 282
208SP Gloss Clear Top Coat

GRADE

Plotted By: Oliverio, London - Sheet: Set: MILWAUKEE CAPITOL DR - Layout: C100 - EXISTING CONDITIONS PLAN - October 09, 2020 - 01:50:19pm - \\kimley-horn.com\SE_BALL_NRA_LDEV\00FCB\011737376 - Milwaukee WI - 5610 Capitol DR\Planning Phase\PI0_CAD_Files\PlanSheets\C100 - EXISTING CONDITIONS PLAN.dwg
 This document, together with the concepts and designs presented herein, is an instrument of service, in accordance with the contract between Kimley-Horn and Associates, Inc. and the client. It is to be used only for the specific purpose and client for which it was prepared. Reuse of any part of this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



No.	REVISIONS	DATE	BY

Kimley»Horn
 © 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000 FAX: 919-677-2050
 WWW.KIMLEY-HORN.COM
 #F-0102

KHA PROJECT	011737376
DATE	10/12/2020
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

EXISTING CONDITIONS PLAN

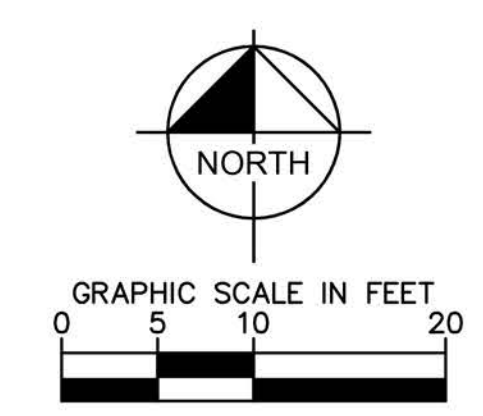
5610 CAPITOL DR
 PREPARED FOR
FIRST-CITIZENS BANK

Plotted By: Oliverio, London - Sheet Set: MILWAUKEE CAPITOL DR - Layout: C400 - CONCEPT SITE PLAN - October 09, 2020 - 02:36:35pm - \\kimley-horn.com\SE\RALI\REAL\DEV\DFCB\011737376 - Milwaukee WI - 5610 Capitol DR\Planning Phase\FZ_Graphics\Exhibits\2020-10-09_Renderings\C400_CONCEPT_SITE_PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LANDSCAPE REQUIREMENTS & CALCULATIONS					
Milwaukee, WI Code of Ordinances					
AREA TO BE LANDSCAPED	CODE REQUIREMENT	SQUARE FEET/ LINEAR FEET	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
PARKING LOT SCREENING	PARKING LOT SCREENING OPTION B IS REQUIRED TO SCREEN PARKING LOT FROM N 56TH STREET AND W CAPITOL DRIVE. SCREENING AREA SHALL BE 5' WIDE MINIMUM. 4 LOW SHRUBS OR 8 ORNAMENTAL GRASSES PER 20 LF. 1 CANOPY TREE PER 20 LF.	N 56TH ST 79 LF	79 / 20 = 3.9 3.9 X 4 = 16 SHRUBS 3.9 X 1 = 4 CANOPY TREES	16 PROPOSED SHRUBS 4 PROPOSED CANOPY TREES	295-405-3-a
		W CAPITOL DR 60 LF	60 / 20 = 3 3 X 4 = 12 SHRUBS 3 X 1 = 3 CANOPY TREES	12 PROPOSED SHRUBS 3 PROPOSED CANOPY TREES	295-405-3-a
PARKING LOT LANDSCAPING	MINIMUM ONE CANOPY TREE AND 100 SF OR LANDSCAPED AREA REQUIRED FOR EVERY 4 PARKING SPACES. MINIMUM 4 SMALL SHRUBS OR 8 ORNAMENTAL GRASSES ARE REQUIRED PER EVERY 100 SF OF LANDSCAPED AREA.	24 PARKING SPACES	24 / 4 = 6 CANOPY TREES 600 SF LANDSCAPED AREA	4 EXISTING CANOPY TREES 2 PROPOSED CANOPY TREES 600 SF EXISTING LANDSCAPED AREA	295-405-3-c

SITE DATA	
EXISTING SITE AREA =	0.52 AC
EXISTING USE:	VACANT (PREVIOUS RESTAURANT W DRIVE-THRU)
PROPOSED USE:	FINANCIAL INSTITUTION W/ DRIVE-THRU
BUILDING AREA (EXISTING):	1,500 SF
BUILDING AREA (PROPOSED):	1,570 SF
BUILDING HEIGHT, MINIMUM (FT)	24'-0"
BUILDING HEIGHT, MAXIMUM (FT)	85'-0"
BUILDING HEIGHT, EXISTING/PROP. (FT)	
SETBACK	
FRONT BUILDING =	0' MIN / 70' MAX
SIDE BUILDING =	0' MIN / 70' MAX
REAR BUILDING =	N/A
ZONING	RB2
FLOOD ZONE:	ZONE X FLOOD PLAIN PER FEMA MAP NO. 55079C0100E
VEHICULAR PARKING REQUIRED (1 SPACE / 500 SF, (1,570/500) = 3.14 SPACES)	4 SPACES
PARKING EXISTING (INCLUDES 2 HC)	26 SPACES
PARKING PROVIDED (INCLUDES 1 HC)	24 SPACES
REQUIRED STACKING SPACES	4 PER LANE (12 TOTAL)
DRIVE-THROUGH QUEUE REQUIRED	200 FT
DRIVE-THROUGH QUEUE (EXISTING/PROPOSED)	-132 FT



Kimley»Horn		© 2020 KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 PHONE: 919-677-2000 FAX: 919-677-2050 WWW.KIMLEY-HORN.COM #F-0102
KHA PROJECT 011737376	DATE 10/12/2020	SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY
CONCEPT SITE PLAN		
5610 CAPITOL DR PREPARED FOR FIRST-CITIZENS BANK		
MILWAUKEE WI		
SHEET NUMBER C400		
No.	REVISIONS	DATE

EAST ELEVATION

N.T.S.

General (on all facades):
replace damaged or
deteriorated materials and
those affected by new
construction as required

Repair fascia boards as
needed

Remove decorative structure
for new vestibule; repair
fascia as needed

Modify opening for new
vestibule

Remove light poles, typ.

Replace lighting, typ.

Modify sidewalk, curb cut
and parking lot as needed
for new vestibule

Replace lighting, typ.

Upgrade landscaping, typ.



NORTH ELEVATION

N.T.S.

Upgrade landscaping
and/or fence



SOUTH ELEVATION

N.T.S.

Signage

Potential removal of decorative structure; repair facades as needed

Replace lighting, typ.

Replace door with storefront system to match others

Replace lighting, typ.

Remove decorative railing; upgrade landscaping



WEST ELEVATION

N.T.S.

Modify opening for drive thru window and deal drawer; repair facade as required

Signage

Replace lighting, typ.

Upgrade landscaping, typ.

