



215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202
414.277.9700
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

PLACE LOGO HERE

STOWELL AVE APARTMENTS

2560 N Stowell Ave,
Milwaukee, WI 53211

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RELATED PURPOSES.

OWNER

REVISIONS

NO.	DESCRIPTION	DATE

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	
PROJECT NUMBER	240703
ISSUED FOR	PLANNED DEVELOPMENT
DATE	01/10/2025

SHEET

VICINITY MAP



PROJECT

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PLACE LOGO HERE

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ARCHITECTURAL SITE PLAN

X002

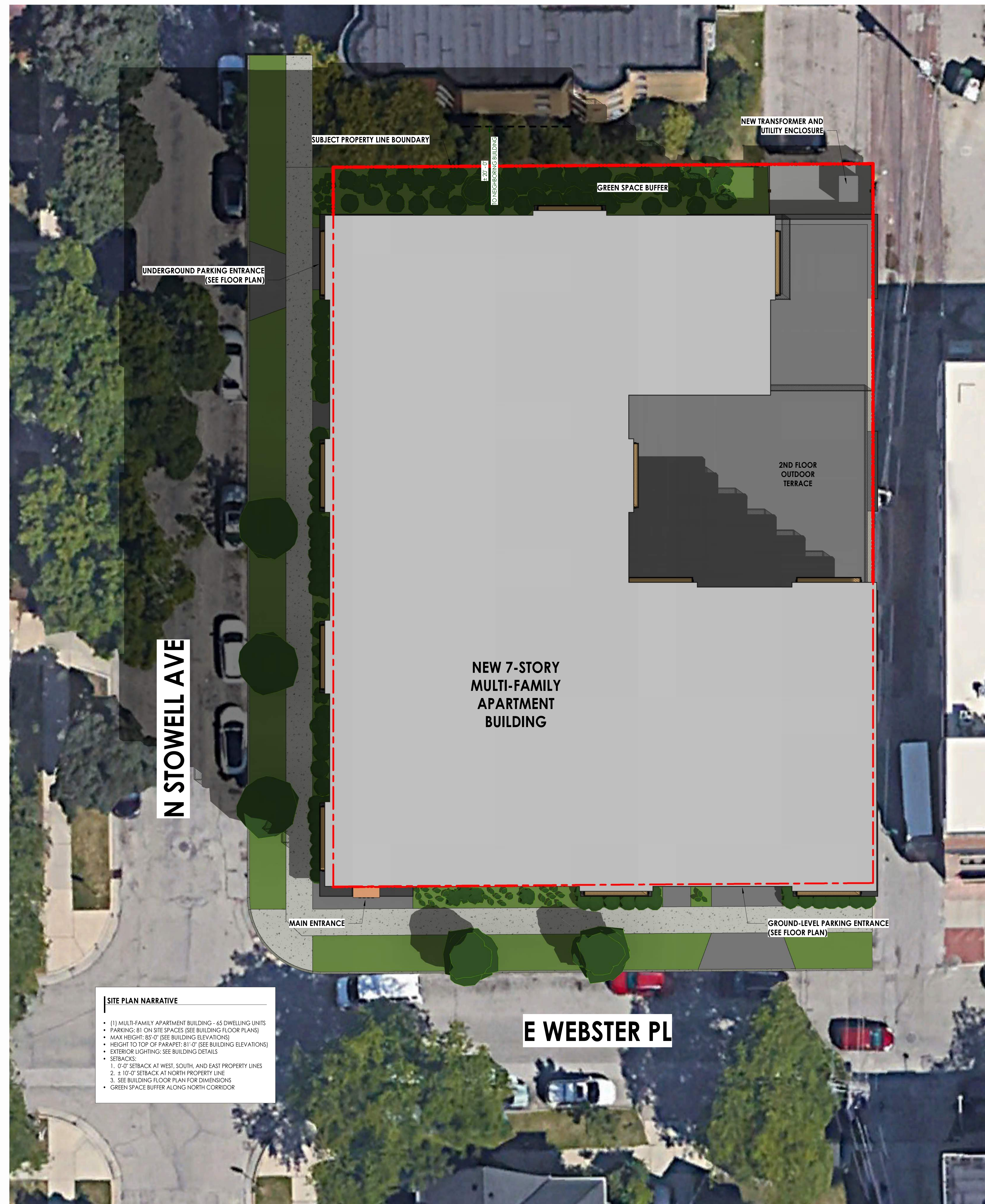
© STEPHEN PERRY SMITH ARCHITECTS, INC.



RENDERING - MAIN ENTRY



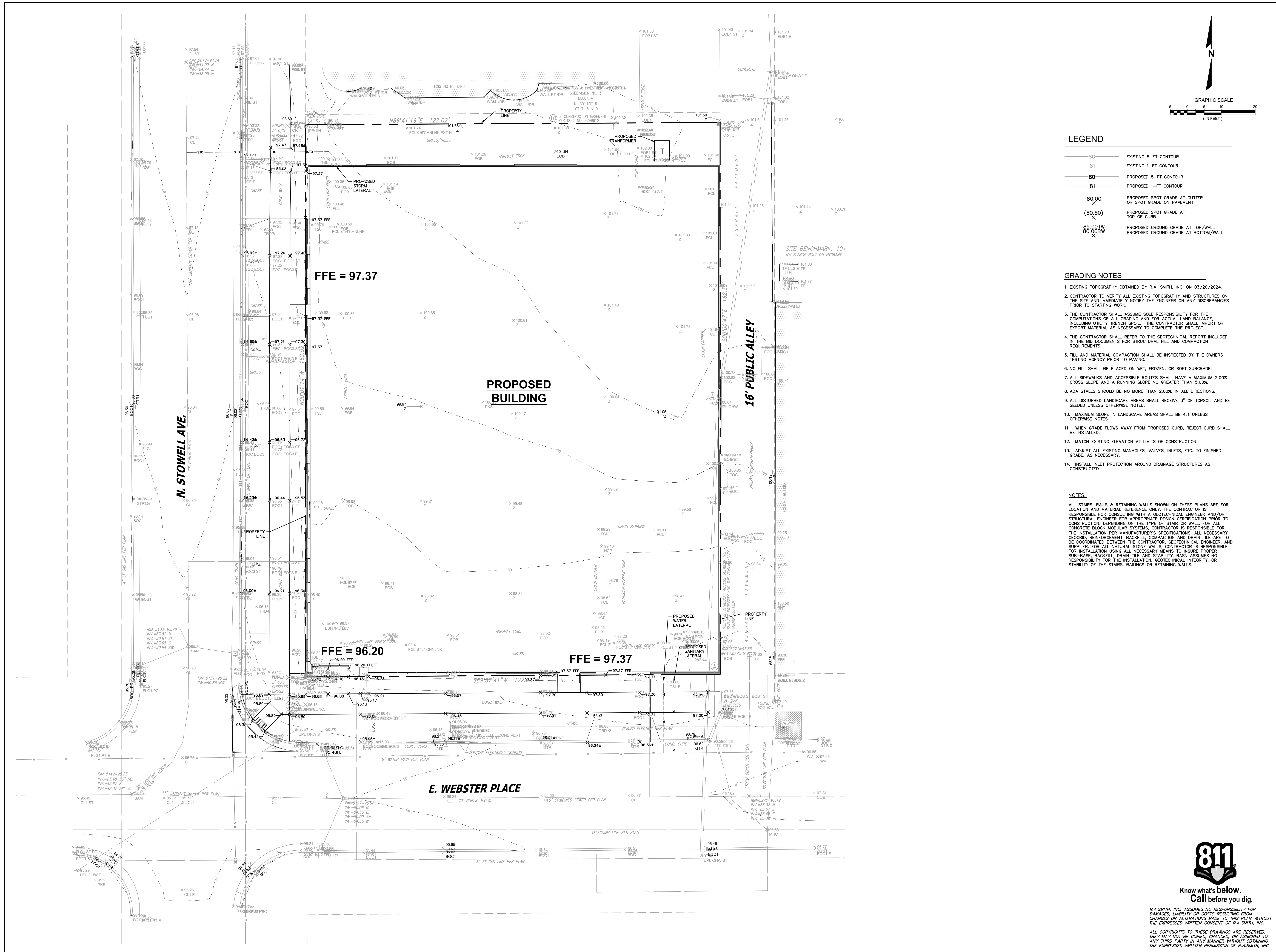
RENDERING - SOUTHWEST CORNER



SITE PLAN NARRATIVE

- (1) MULTI-FAMILY APARTMENT BUILDING - 65 DWELLING UNITS
- PARKING: 81 ON SITE SPACES (SEE BUILDING FLOOR PLANS)
- MAX HEIGHT: 85'-0" (SEE BUILDING ELEVATIONS)
- HEIGHT TO TOP OF PARAPET: 81'-0" (SEE BUILDING ELEVATIONS)
- EXTERIOR LIGHTING: SEE BUILDING DETAILS
- SETBACKS:
 1. 0'-0" SETBACK AT WEST, SOUTH, AND EAST PROPERTY LINES
 2. ± 10'-0" SETBACK AT NORTH PROPERTY LINE
 3. SEE BUILDING FLOOR PLAN FOR DIMENSIONS
- GREEN SPACE BUFFER ALONG NORTH CORRIDOR





LEGEND

— 80 —	EXISTING 5-FT CONTOUR
— 81 —	EXISTING 1-FT CONTOUR
— 80 —	PROPOSED 5-FT CONTOUR
— 81 —	PROPOSED 1-FT CONTOUR
80.00 X	PROPOSED SPOT GRADE AT GUTTER OR SPOT GRADE ON PAVEMENT
(80.50) X	PROPOSED SPOT GRADE AT TOP OF CURB
85.00TW 80.00BW X	PROPOSED GROUND GRADE AT TOP/WALL PROPOSED GROUND GRADE AT BOTTOM/WALL

- GRADING NOTES**
- EXISTING TOPOGRAPHY OBTAINED BY R.A. SMITH, INC. ON 03/20/2024.
 - CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER ON ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPILL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
 - THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT INCLUDED IN THE BID DOCUMENTS FOR STRUCTURAL FILL AND COMPACTION REQUIREMENTS.
 - FILL AND MATERIAL COMPACTION SHALL BE INSPECTED BY THE OWNER'S TESTING AGENCY PRIOR TO PAVING.
 - NO FILL SHALL BE PLACED ON WET, FROZEN, OR SOFT SUBGRADE.
 - ALL SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM 2.00% CROSS SLOPE AND A RUNNING SLOPE NO GREATER THAN 5.00%.
 - ADA STALLS SHOULD BE NO MORE THAN 2.00% IN ALL DIRECTIONS.
 - ALL DISTURBED LANDSCAPE AREAS SHALL RECEIVE 3" OF TOPSOIL AND BE SEEDED UNLESS OTHERWISE NOTED.
 - MAXIMUM SLOPE IN LANDSCAPE AREAS SHALL BE 4:1 UNLESS OTHERWISE NOTED.
 - WHEN GRADE FLOWS AWAY FROM PROPOSED CURB, REJECT CURB SHALL BE INSTALLED.
 - MATCH EXISTING ELEVATION AT LIMITS OF CONSTRUCTION.
 - ADJUST ALL EXISTING MANHOLES, VALVES, INLETS, ETC. TO FINISHED GRADE, AS NECESSARY.
 - INSTALL INLET PROTECTION AROUND DRAINAGE STRUCTURES AS CONSTRUCTED.

NOTES:

ALL STAIRS, RAILS & RETAINING WALLS SHOWN ON THESE PLANS ARE FOR LOCATION AND MATERIAL REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CONSULTING WITH A GEOTECHNICAL ENGINEER AND/OR STRUCTURAL ENGINEER FOR APPROPRIATE DESIGN CERTIFICATION PRIOR TO CONSTRUCTION, DEPENDING ON THE TYPE OF STAIR OR WALL. FOR ALL CONCRETE BLOCK MODULAR SYSTEMS, CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION PER MANUFACTURER'S SPECIFICATIONS. ALL NECESSARY GEORIG, REINFORCEMENT, BACKFILL, COMPACTION AND DRAIN TILE ARE TO BE COORDINATED BETWEEN THE CONTRACTOR, GEOTECHNICAL ENGINEER, AND SUPPLIER. FOR ALL NATURAL STONE WALLS, CONTRACTOR IS RESPONSIBLE FOR INSTALLATION USING ALL NECESSARY MEANS TO INSURE PROPER SUB-BASE, BACKFILL, DRAIN TILE AND STABILITY. RASN ASSUMES NO RESPONSIBILITY FOR THE INSTALLATION, GEOTECHNICAL INTEGRITY, OR STABILITY OF THE STAIRS, RAILINGS OR RETAINING WALLS.

DATE	DESCRIPTION

16745 W. Blumound Road
Brookfield, WI 53005-5938
(262) 781-1000
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raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

**STOWELL APARTMENTS
MILWAUKEE, WI**

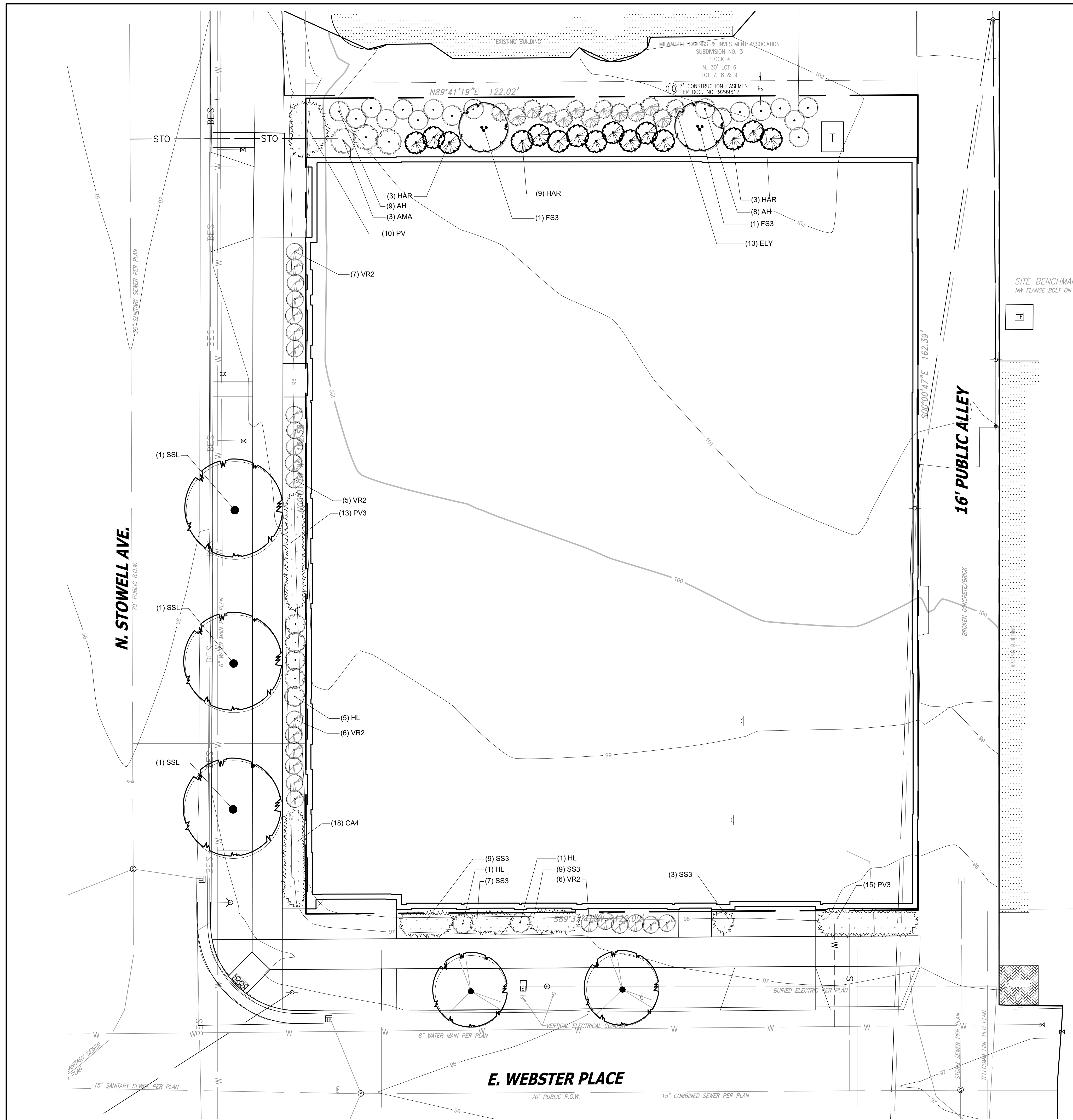
GRADING/UTILITY PLAN

**PRELIMINARY
NOT FOR
CONSTRUCTION**

© COPYRIGHT 2024 R.A. Smith, Inc.
DATE: 11/22/2024
SCALE: 1" = 10'
JOB NO. 3240167
PROJECT MANAGER: RYAN J. LANCOUR, P.E.
DESIGNED BY: JJJ
CHECKED BY: RJL
SHEET NUMBER C300

811
Know what's below.
Call before you dig.

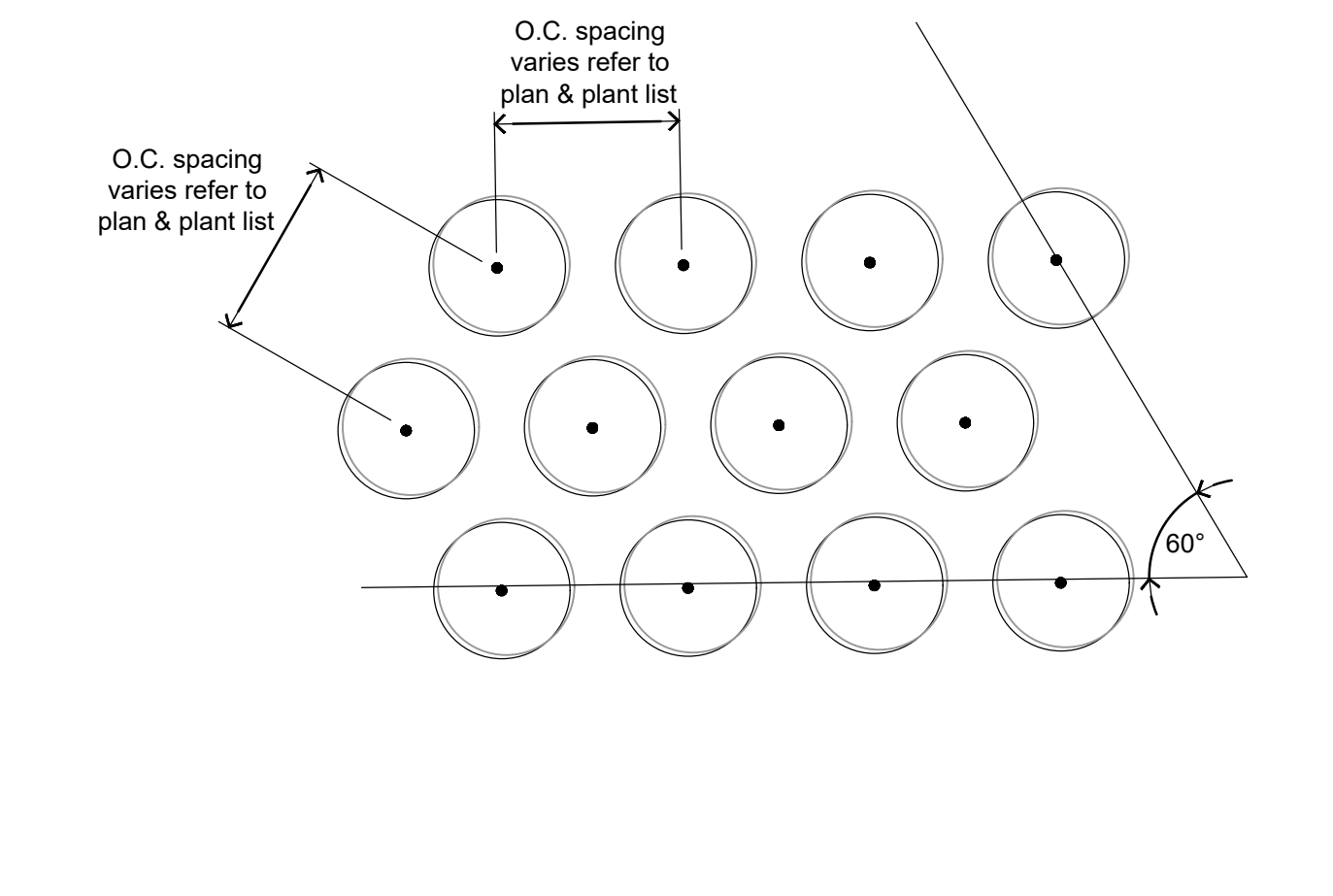
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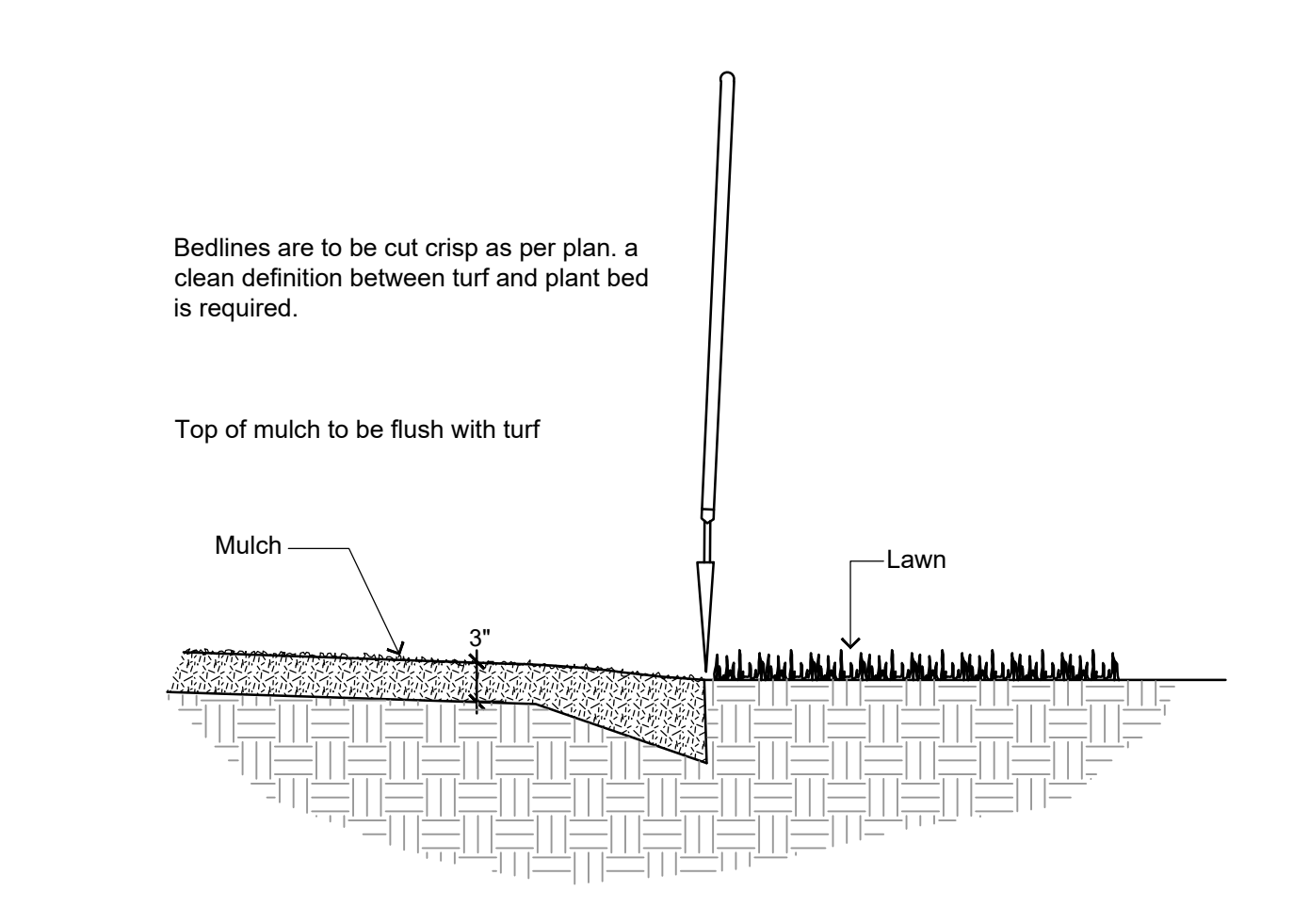
CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT	SPACING
EVERGREEN TREES						
HAR	15	Holmstrup Arborvitae	Thuja occidentalis 'Holmstrup'	5' HT	B&B	Spacing as shown
SHADE TREES						
CA	2	Regal Prince® Oak	Quercus robur x bicolor 'Long'	2 1/2" CAL	B&B	Spacing as shown
SSL	3	Sweet Street Linden	Tilia americana 'Korm'	2 1/2" CAL	B&B	Spacing as shown
ORNAMENTAL TREES						
FS3	2	Forsythe Musclewood	Carpinus caroliniana 'J.N. Upright'	7' HT	B&B	Spacing as shown
DECIDUOUS SHRUBS						
AMA	3	Autumn Magic Black Chokeberry	Aronia melanocarpa 'Autumn Magic'	24" HT	CONT	Spacing as shown
VR2	24	Kodiak® Black Honeysuckle	Dienella nutans 'SHANDSP'	12" HT	CONT	Spacing as shown
AH	17	Annabelle Smooth Hydrangea	Hydrangea arborescens 'Annabelle'	18" HT	CONT	Spacing as shown
HL	7	Little Quick Fire® Hydrangea	Hydrangea paniculata 'SMHPLOF'	18" HT	CONT	Spacing as shown
EVERGREEN SHRUBS						
ELY	13	Everlow Yew	Taxus x media 'Everlow'	15" HT	B&B	Spacing as shown
ORNAMENTAL GRASSES						
CA4	18	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	CONT	24" Spacing
PV	10	Ruby Ribbons® Switch Grass	Panicum virgatum 'RUBY'	1 GAL	CONT	30" Spacing
PV3	28	Heavy Metal® Switch Grass	Panicum virgatum 'Heavy Metal'	2 GAL	CONT	30" Spacing
SS3	28	Carousel Little Bluestem Grass	Schizachyrium scoparium 'Carousel'	1 GAL	CONT	24" Spacing

GENERAL LANDSCAPE NOTES

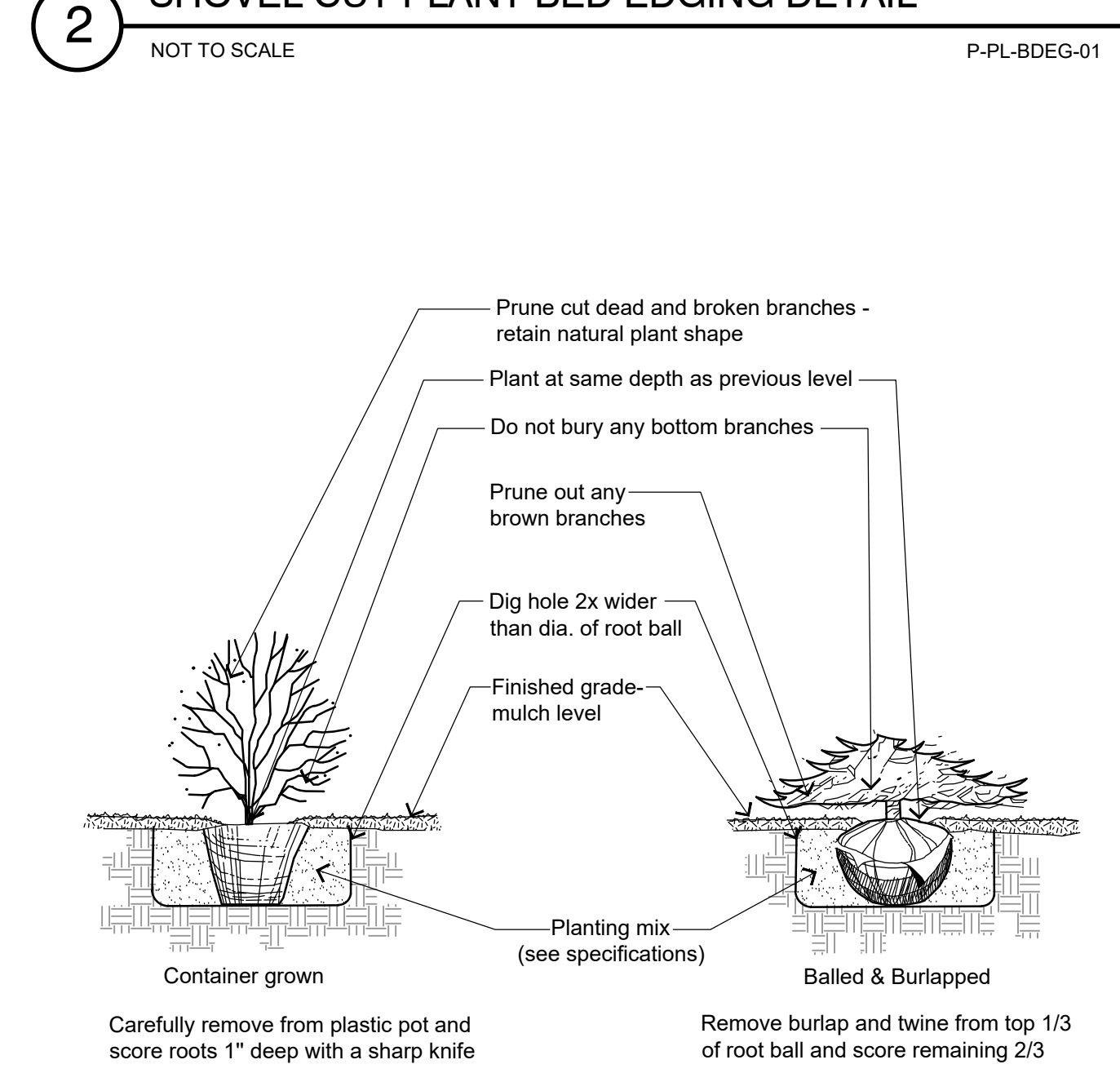
- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
- The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
- Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
- Topsoil shall be placed to meet proposed finished grade. Planting islands to be backfilled with clean topsoil free of debris (per note below) to a minimum depth of 12" by general contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 6" of clean topsoil (per note below).
- Topsoil shall be screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
- Planting beds and parking lot islands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for much depth. Crown all planting islands and parking beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
- Seeded areas: to receive a settled minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
- Tree planting (see planting detail): plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. An auger is not an acceptable method of digging tree planting holes. Scarify side walls of hole prior to installation. Once tree has been placed into the hole, is at the correct depth and vertical alignment and will no longer be moved, brace root ball by lashing soil around the lower portion of the root ball. Remove and discard twine / rope, burlap and support wire from the sides of root ball. Backfill pit with 75% existing soil removed from excavation and 25% compost blended prior to backfilling holes, in six-inch lifts. Lightly tamp each lift using foot pressure or hand tools to settle backfill, support the tree and eliminate voids. Do not over compact or use mechanical or pneumatic tamping equipment. Discard any gravel, heavy clay or stones. When hole has been backfilled to three-quarters of its depth, pour water around the root ball and allow to soak into soil to settle the soil. Continue backfilling until soil is brought to grade level. Keep mulch 3"-5" away from trunk of tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Trees too large for two people to lift in and out of holes, shall be placed with sling. Do not rock the trees in holes to raise them.
- Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Planting: all tree and shrub planting beds to receive a 3" deep layer of high-quality shredded hardwood bark mulch (not environment or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material injurious to plant growth. All perennial and ornamental grass planting areas to receive a 2" layer of groundcover areas a 1/2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
- Plant bed preparation: the soil in all perennial, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
- Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, ensure good seed to soil contact, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in waters and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing weed canary grass is not acceptable as a mulch covering.



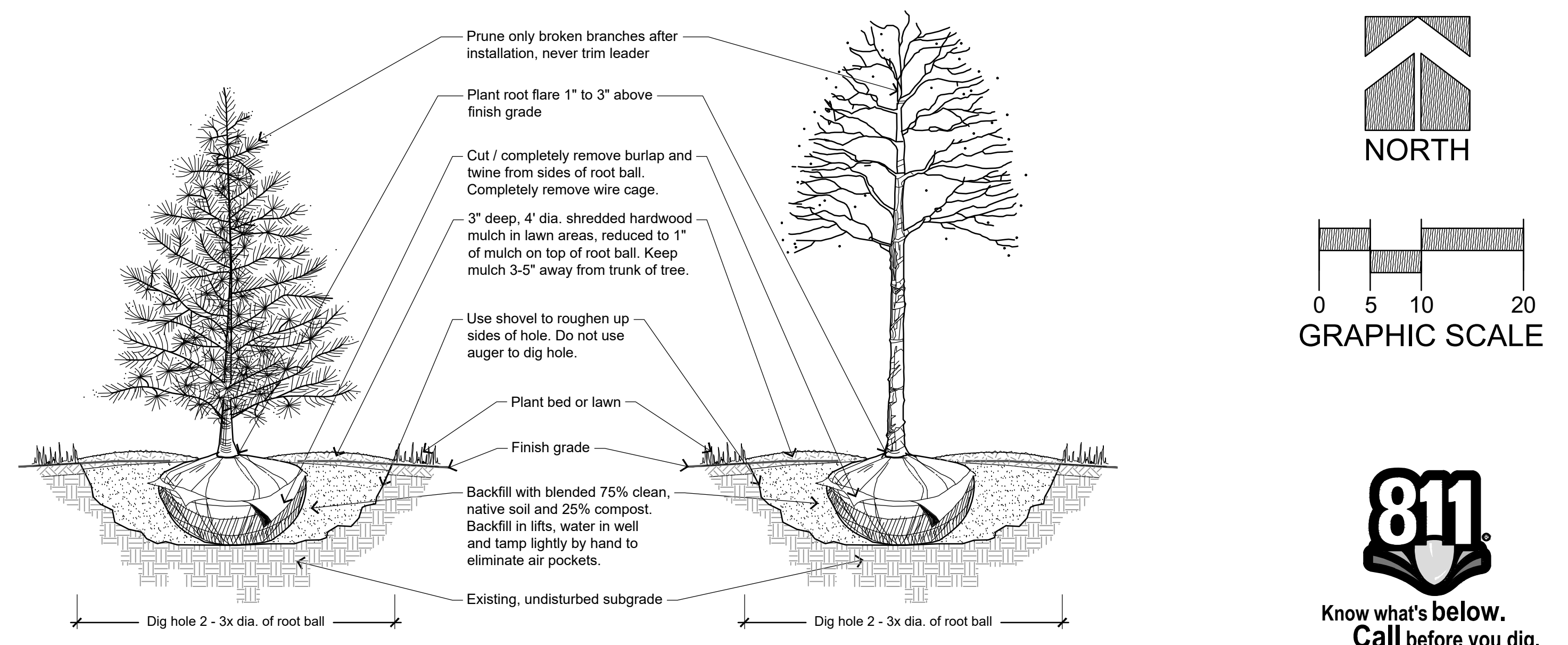
1 PLANTING LAYOUT
NOT TO SCALE
P-PL-PL-01



2 SHOVEL CUT PLANT BED EDGING DETAIL
NOT TO SCALE
P-PL-BDEG-01



3 SHRUB PLANTING DETAIL
NOT TO SCALE



4 TREE PLANTING DETAIL
NOT TO SCALE
P-PL-TREE-01

DESCRIPTION

DATE

16745 W. Blenheim Road
Brookfield, WI 53005-5938
(262) 781-1000
rosmith.com

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CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

**STOWELL APARTMENTS
MILWAUKEE, WI**

LANDSCAPE PLAN

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DATE: 11/22/2024

SCALE: 1" = 10'

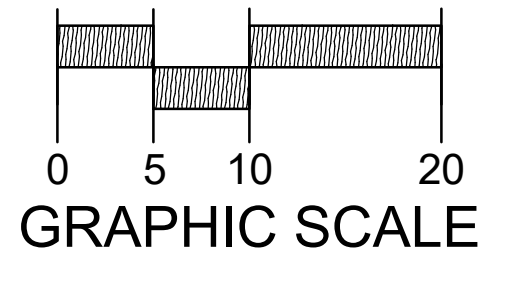
JOB NO. 3240167

PROJECT MANAGER:
RYAN J. LANCOUR, P.E.

DESIGNED BY: REW

CHECKED BY: REW

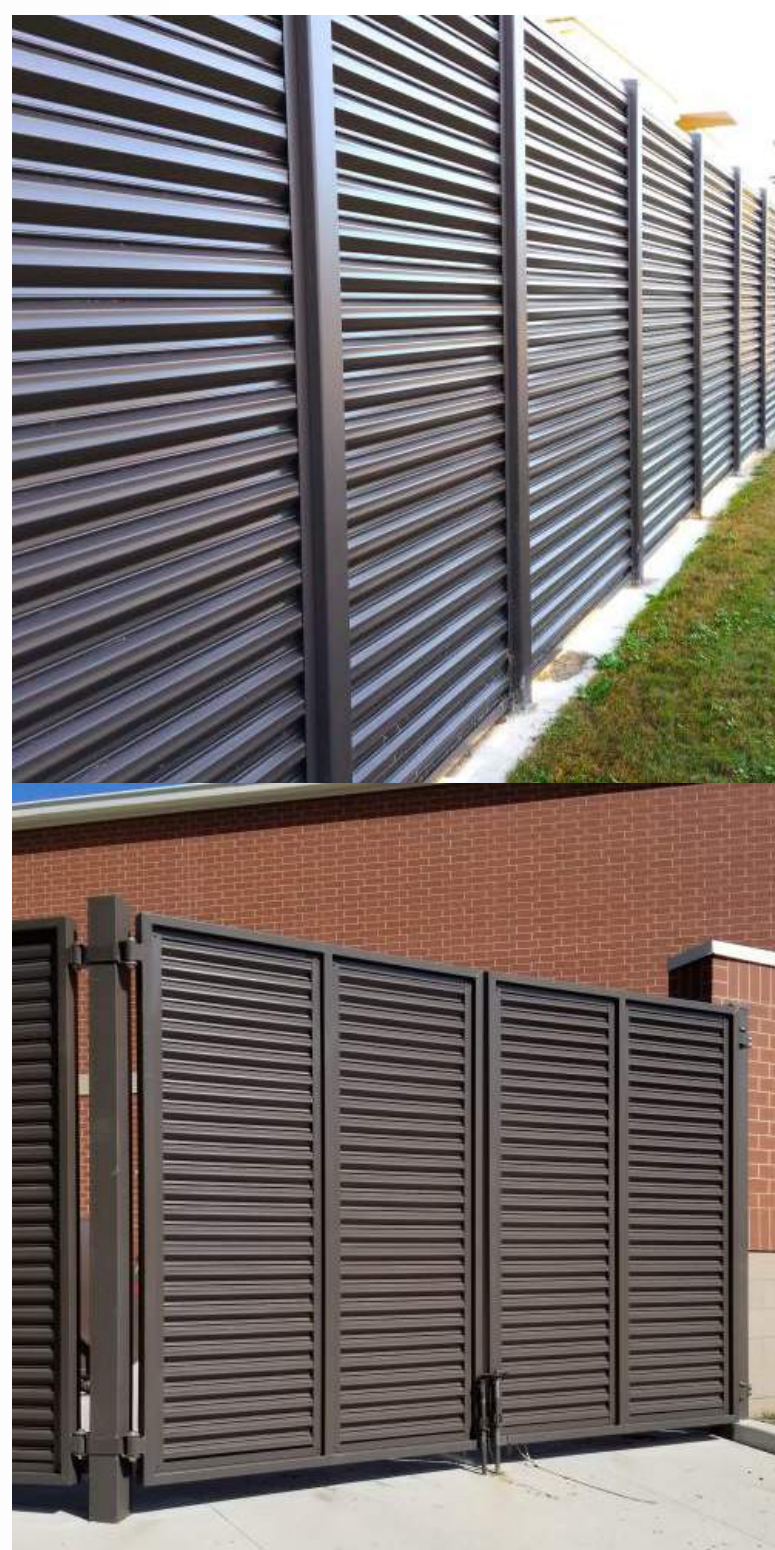
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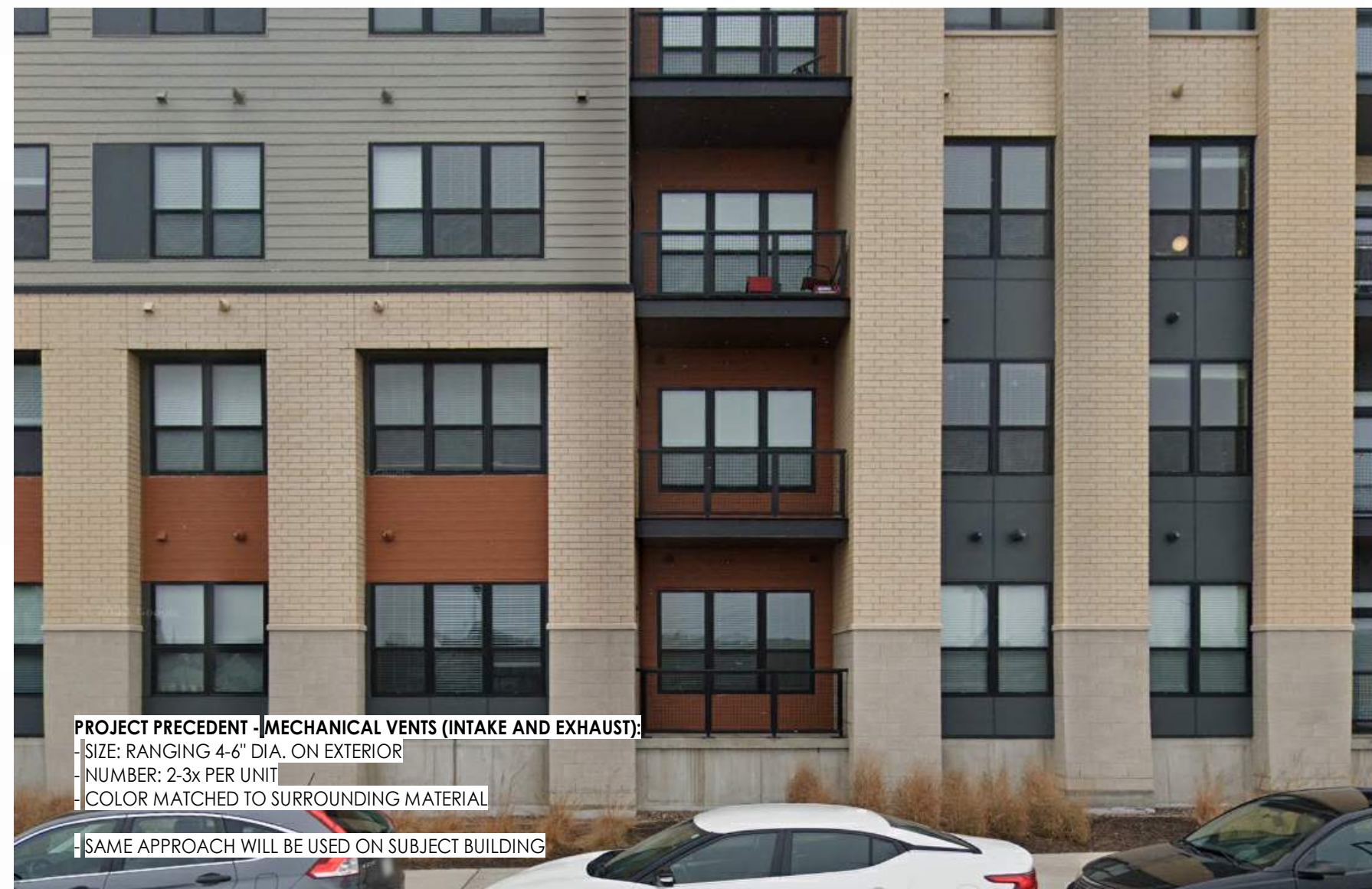
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UTILITY ENCLOSURE FENCING



PROJECT PRECEDENT - MECHANICAL VENTS (INTAKE AND EXHAUST)
 - SIZE: RANGING 4'-6" DIA. ON EXTERIOR
 - NUMBER: 2-3x PER UNIT
 - COLOR: MATCHED TO SURROUNDING MATERIAL
 - SAME APPROACH WILL BE USED ON SUBJECT BUILDING

PROJECT PRECEDENT - MECHANICAL VENTS

LIGHTING FIXTURES - EXTERIOR

TAG	Model	MANUFACTURER	DESCRIPTION
LF-01	AXCENT	COOPER LIGHTING	LED WALL PACK
LF-02	7178-34-H21-40K	BROWNLEE LIGHTING	BEAM V2 WALL SCONCE

KEYNOTES

KEY	DESCRIPTION
B1	INTEGRATED BALCONY WITH RAILING TO MATCH B2
B2	PREFABRICATED METAL BALCONY, RAILING, AND TIEBACKS - COLOR TO MATCH STOREFRONT
D1	ENTRY DOOR IN STOREFRONT SYSTEM
D2	FULL GLASS OVERHEAD DOOR FOR PARKING ACCESS
D3	RESIDENTIAL SLOPING PATIO DOOR UNIT - PELLA IMPERVIA
E1	ELECTRICAL TRANSFORMER - PROPOSED LOCATION
F1	PRIVACY FENCE AROUND UTILITY ENCLOSURE
G1	ALL MATERIALS, OPENINGS, AND BALCONIES THE SAME AS ILLUSTRATED ON PRIMARY ELEVATION U.N.O.
L1	MECHANICAL LOUVER - INTAKE
L2	MECHANICAL LOUVER - EXHAUST
R1	RAILING SYSTEM TO MATCH BALCONIES
S1	BUILDING NAME SIGNAGE (FINAL NAME TBD) - LIT FROM CANOPY ABOVE
S2	BUILDING ADDRESS SIGNAGE (FINAL ADDRESS TBD) - BACKLIN NUMBERS
W1	STOREFRONT GLAZING SYSTEM - DARK BRONZE
W2	STOREFRONT GLAZING SYSTEM - DARK BRONZE - PRIVACY FILM BELOW TRANSOM
W3	RESIDENTIAL WINDOW UNIT - PELLA IMPERVIA - FIXED OVER VENT AWNING

MATERIALS - EXTERIOR

TAG	DESCRIPTION	MANUFACTURER	MODEL	COLOR	STYLE / FINISH	SIZE	COMMENTS
AF-01	ARCHITECTURAL FENCING	BASTEEL Perimeter	Kynar 500	PATRICIAN BRONZE	BENNINGTON	4'-0" TALL	https://www.basteel.com/architectural-fencing/bennington/
AM-01	ARCHITECTURAL METAL	TBD	TBD	DARK BRONZE	-	-	-
AM-02	ARCHITECTURAL METAL	TBD	TBD	TERRACOTTA ORANGE	-	-	-
AP-01	ARCHITECTURAL PANEL	ZAHNER	MODA	STAR BLUE	PREWEATHERED PATINA ON COPPER	16" WIDE - VERTICAL	https://www.zahner.com/products/surfaces/star-blue
BR-01	BRICK MASONRY	ENDICOTT	-	DARK IRONSPOT	VELOUR	MODULAR; RUNNING BOND	-
PC-01	PRECAST CONCRETE	TBD	-	BUFF	ACID ETCH	-	-
PC-02	PRECAST CONCRETE	TBD	-	BUFF	SAND BLAST	-	-
WF-01	WINDOW FILM	DECORATIVE FILMS	SXJ-0547 FEATHER GRADIENT	WHITE	GRADIENT	-	https://www.decorativefilm.com/solxy-sxj-0547-feather-gradient-71-high



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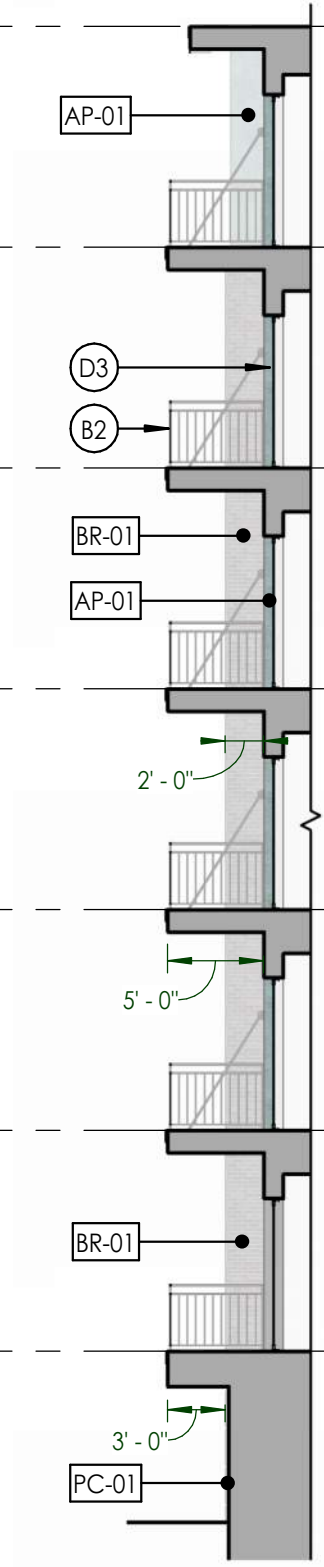
BUILDING ELEVATIONS

X005

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5 | EAST BUILDING ELEVATION - EXHIBIT
 1" = 10'-0"



4 | WALL SECTION
 1" = 10'-0"



3 | NORTH BUILDING ELEVATION - EXHIBIT
 1" = 10'-0"



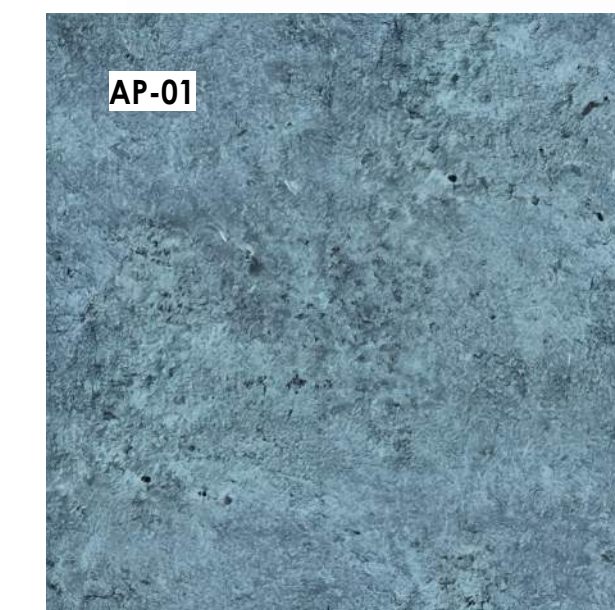
2 | WEST BUILDING ELEVATION - EXHIBIT
 1" = 10'-0"



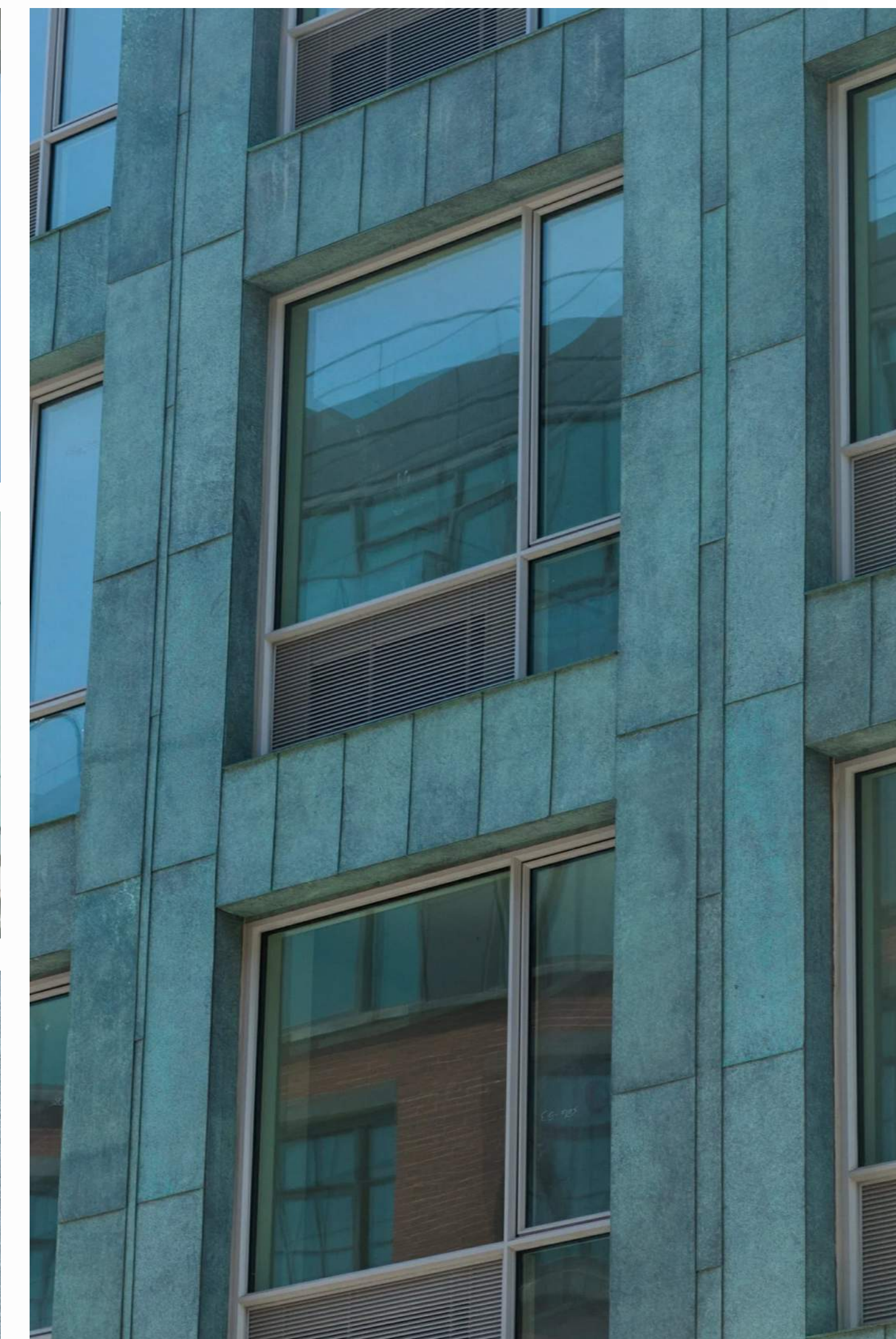
1 | SOUTH BUILDING ELEVATION - EXHIBIT
 1" = 10'-0"



MASONRY & PRECAST



ARCHITECTURAL PANEL



PROJECT

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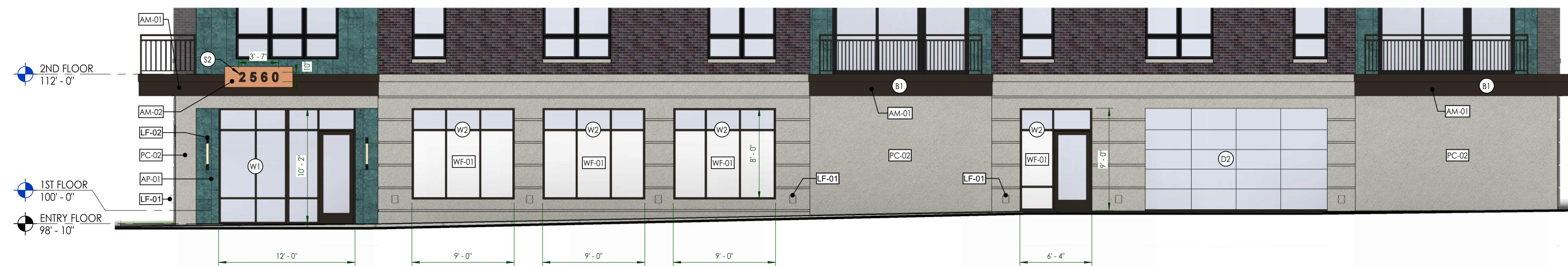


WINDOW FILM

LIGHTING FIXTURES - EXTERIOR			
TAG	Model	MANUFACTURER	DESCRIPTION
LF-01	ARCENT	COOPER LIGHTING	LED WALL PACK
LF-02	7178-34-H21-40X	BROWNLEE LIGHTING	BEAM V2 WALL SCENCE

KEYNOTES	
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BR-01	BRICK MASONRY	ENDICOTT	FACE BRICK	DARK IRONSPOT	VELOUR	MODULAR; RUNNING BOND	-
PC-01	PRECAST CONCRETE	TBD	-	BLUFF	ACID ETCH	-	-
PC-02	PRECAST CONCRETE	TBD	-	BLUFF	SAND BLAST	-	-
WF-01	WINDOW FILM	DECORATIVE FILMS	SXJ-0547 FEATHER GRADIENT	WHITE	GRADIENT	-	https://www.decorativefilm.com/solux/sxj-0547-feather-gradient-71-high



1 | SOUTH BUILDING ELEVATION - GLAZING
3/16" = 1'-0"



2 | WEST BUILDING ELEVATION - GLAZING
3/16" = 1'-0"

REVISIONS

NO.	DESCRIPTION	DATE
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INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	
PROJECT NUMBER	240703
ISSUED FOR	PLANNED DEVELOPMENT
DATE	01/10/2025

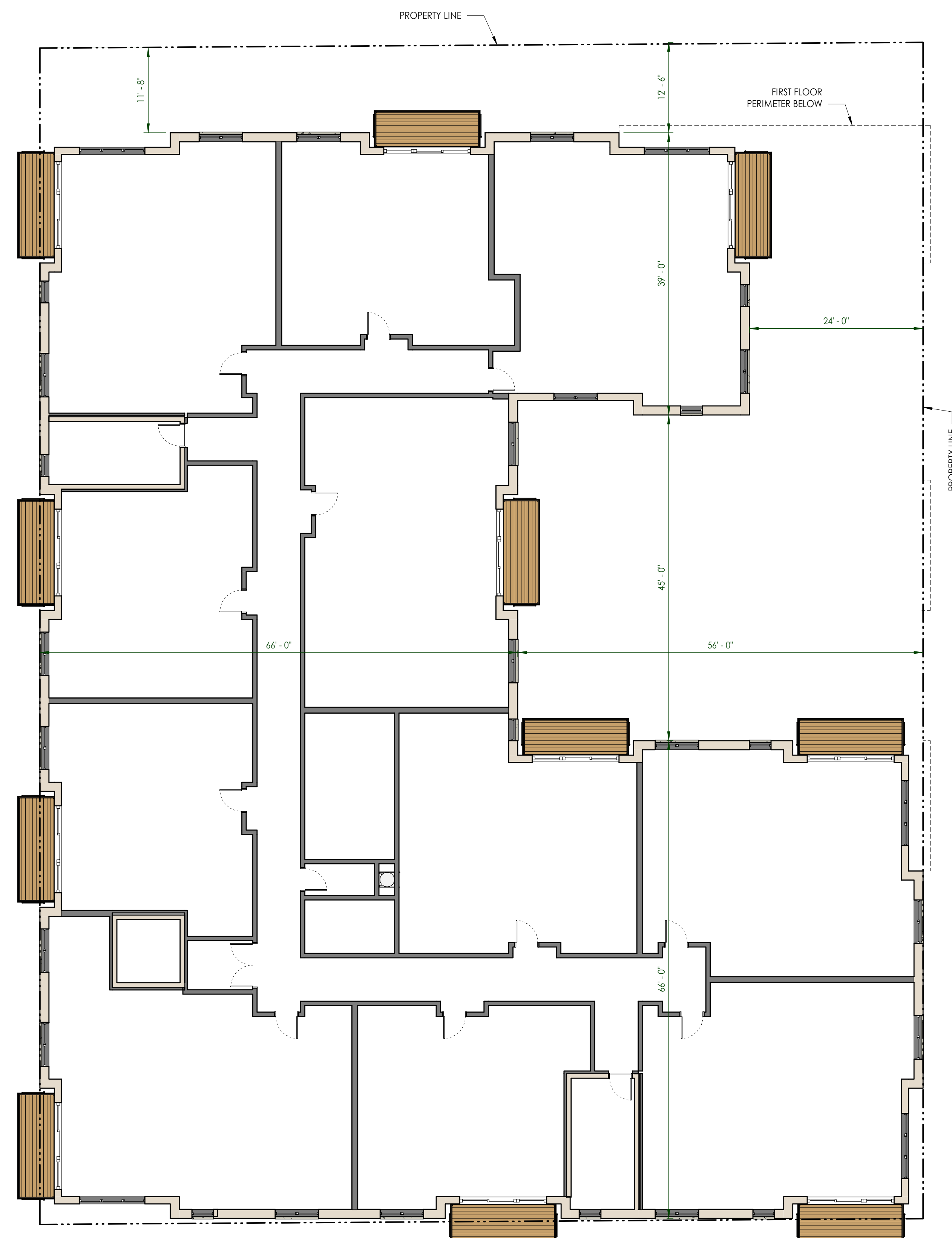
SHEET

BUILDING DETAILS & MATERIALS

X006



3 | BIKE STORAGE - DERO RACKS



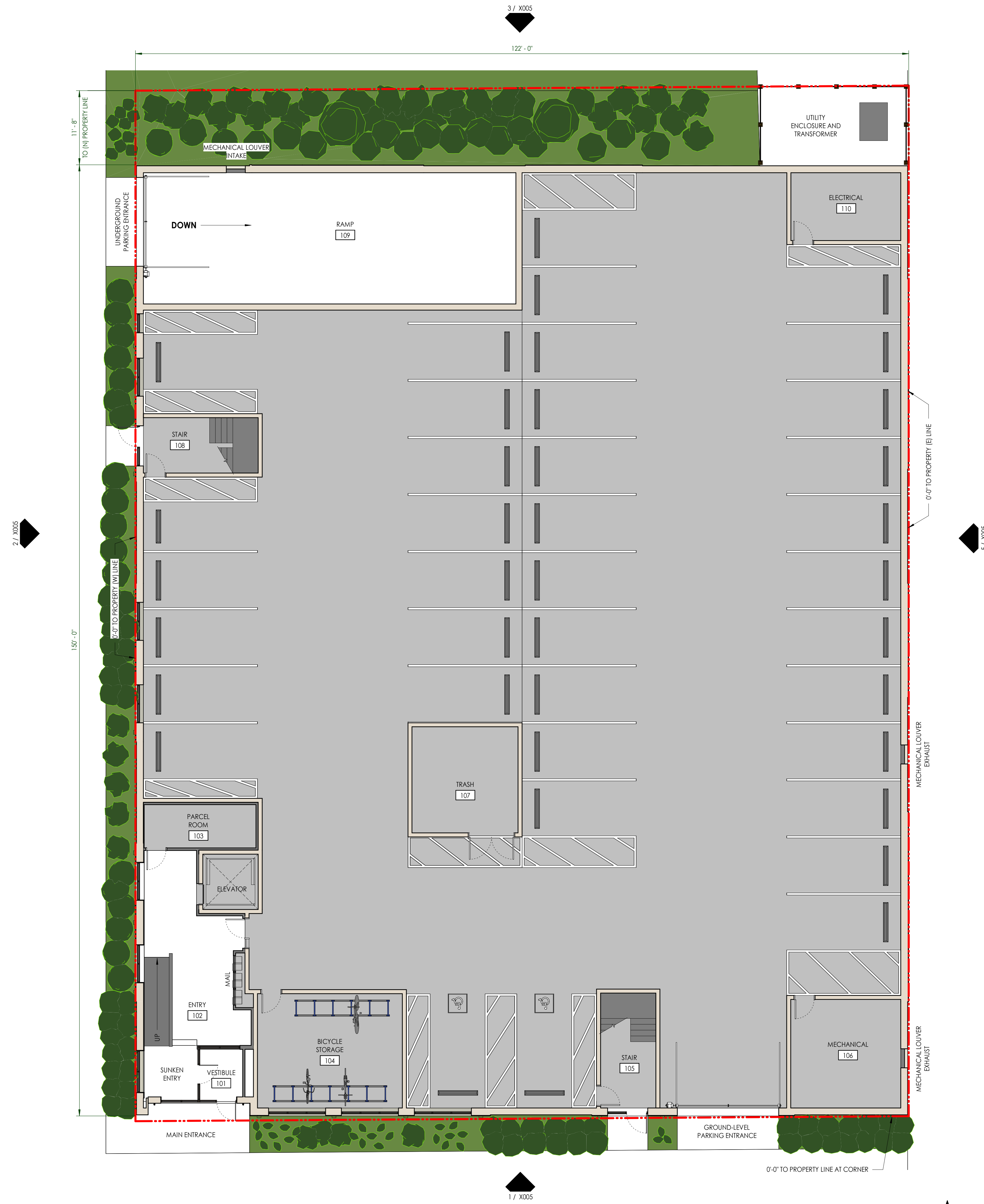
2 | TYPICAL RESIDENTIAL FLOOR

PARKING - BICYCLE		
QUANTITY	CAPACITY	DESCRIPTION
1ST FLOOR		
1	14 Bikes	Dero Rail Mounted Bike Rack - Downtown
1	12 Bikes	Dero Rail Mounted Bike Rack - Downtown

RATIO: BICYCLE SPACES PER UNIT
 REQUIRED: 0.25 (1 per 4 UNITS)
 PROVIDED: 0.30 (1.25 per 4 UNITS)

PARKING - VEHICLE		
QUANTITY	ADA HANDICAP	COMMENTS
LOWER LEVEL		
43	No	FULL SIZE PARKING STALL @ 9'-0" x 18'-0" TYP.
1ST FLOOR		
36	No	FULL SIZE PARKING STALL @ 9'-0" x 18'-0" TYP.
2	Yes	

TOTAL PARKING SPACES: 81
RATIO: PARKING SPACES PER UNIT
 REQUIRED: 1.00 (1 per 1 UNITS)
 PROVIDED: 1.25



1 | 1ST FLOOR - EXHIBIT



215 N. WATER STREET, SUITE 250
 MILWAUKEE, WI 53202
 414.277.9700
 spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

PLACE LOGO HERE

STOWELL AVE APARTMENTS

2560 N Stowell Ave,
 Milwaukee, WI 53211

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 RELATED PURPOSES.

OWNER

REVISIONS

NO. DESCRIPTION DATE

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BUILDING FLOOR PLANS

X007

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ARCHITECTS, INC.
215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202
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SITE PHOTOS

X008

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DEVELOPMENT COMPARISON

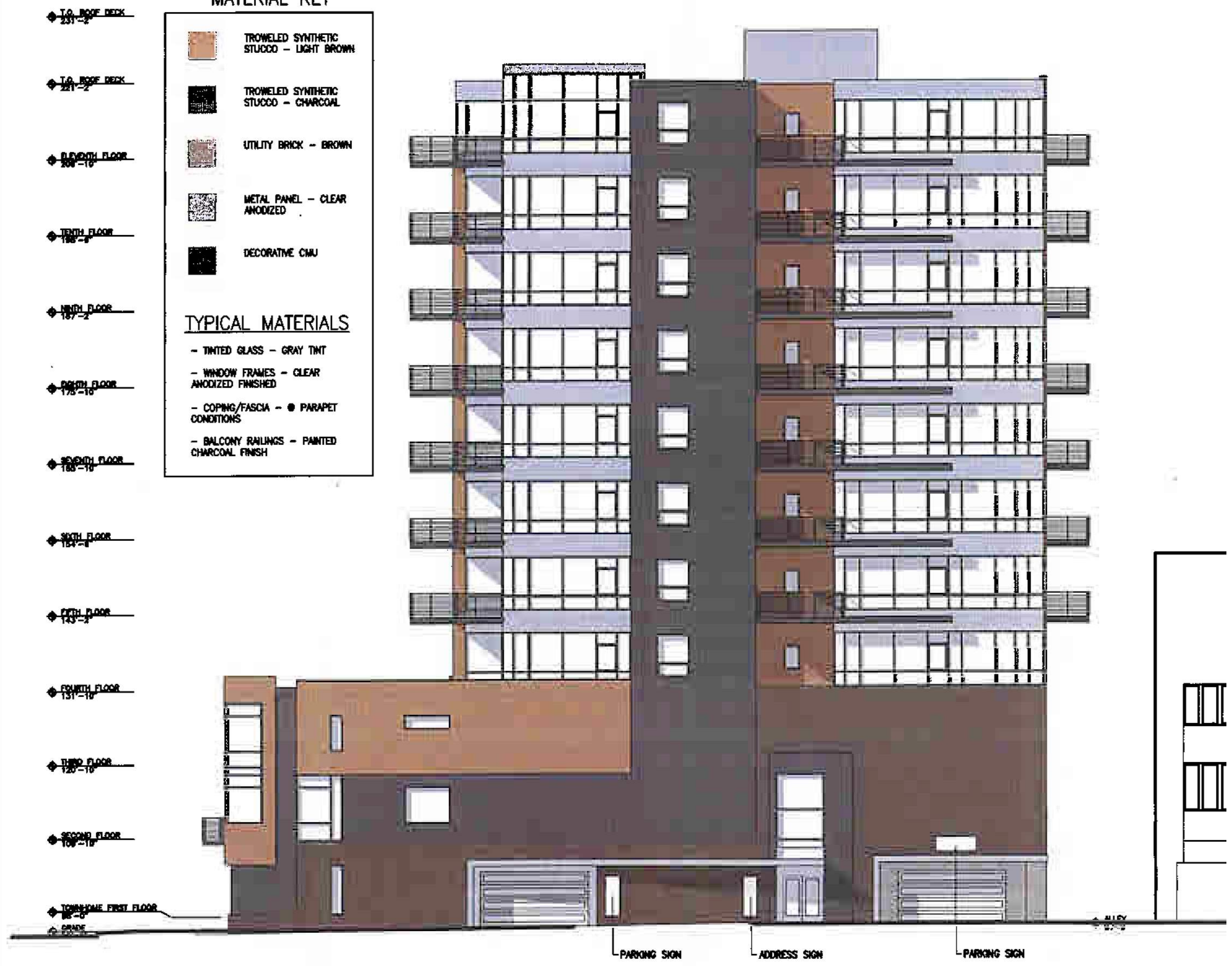
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MATERIAL KEY

- TROWELED SYNTHETIC STUCCO - LIGHT BROWN
- TROWELED SYNTHETIC STUCCO - CHARCOAL
- UTILITY BRICK - BROWN
- METAL PANEL - CLEAR ANODIZED
- DECORATIVE CMU

TYPICAL MATERIALS

- TINTED GLASS - GRAY TINT
- WINDOW FRAMES - CLEAR ANODIZED FINISH
- COPING/FASCIA - ● PARAPET CONDITIONS
- BALCONY RAILINGS - PAINTED CHARCOAL FINISH



SOUTH ELEVATION - PREVIOUS DEVELOPMENT



SOUTH ELEVATION - NEW DEVELOPMENT



WEST ELEVATION - PREVIOUS DEVELOPMENT



WEST ELEVATION - NEW DEVELOPMENT