

SITE DATA
 Lot Area: 104,881 sq. ft. (2.408 Ac.)
 Zoning: X-1 Industrial - Light to 15-1 Business
 Proposed Hotel Building Area (Footprint): 14,884 sq. ft.
 Proposed Hotel Canopy Area (Column to Column): 38,000 sq. ft.
 Proposed Parking: 119 spaces + (6) handicapped
 74' (50') x 24' (12') Slabs
 30' (15') x 24' (12') Slabs + 2' HC Slabs (6) slabs/1000 s.f.
 Construction Type: VII unreinforced wood frame
 Occupancy Classification: BU (Hotel) BU (Residential)
 BU (M) (Residential)

USDA PLANTING ZONE MAP

THE BASIC DEFINITION OF A "ZONE" IS AN AREA WHERE THE TEMPERATURE USUALLY DOES NOT FALL BELOW A CERTAIN TEMPERATURE. ZONES ARE LINES BY LANDSCAPE ARCHITECTS, CONTRACTORS, AND PLANT NUMBERS TO DETERMINE THE HARDINESS OF INDIVIDUAL PLANT TYPES. PLEASE REMEMBER THAT THIS IS JUST A GUIDELINE, AND THAT THERE ARE VARIATIONS DUE TO MICROCLIMATE, INCLUDING THE PROTECTION AND SHADE OF THE BUILDING CANOPY. IN MANY CASES, PLANTS IN YOUR ZONE LOCATION WILL SURVIVE IN ZONES WITH HIGHER NUMBERS. CONSULT YOUR LOCAL NURSERY FOR PLANTING AT YOUR PROPERTY.

USING THE ZONE MAP IS REALLY VERY SIMPLE. FIND YOUR GEOGRAPHIC LOCATION ON THE MAP. OBSERVE THE CORRESPONDING PATTERN (OR COLORS) FOR THAT LOCATION. LOOK AT THE MAP KEY. THAT NUMBER DETERMINES THE ZONE FOR YOUR PROPERTY.

YOU SHOULD SELECT PLANTS THAT WILL SURVIVE IN YOUR ZONE. SIMPLY READ THE PLANT DESCRIPTION AND YOU WILL FIND EITHER A ZONE NUMBER OR RANGE IN WHICH THAT PLANT CAN SURVIVE. SOMETIMES, AN ITEM WILL THRIVE OUTSIDE OF THAT ZONE AREA. REMEMBER, THOUGH, IT IS A GUIDE.

EXAMPLE: NATCHEZ GRAPE MYRTLE - LOWEST (COLDEST) ZONE 7 - MAY THRIVE IN PORTIONS OF ZONE 8 DEPENDING UPON YOUR PLANTING LOCATION AND LOCAL WEATHER CONDITIONS.

LANDSCAPE NOTES

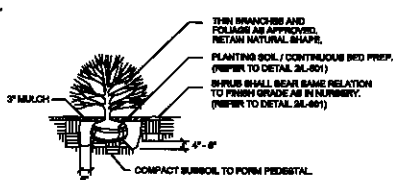
1. CONTRACTOR SHALL STAKE OUT ALL TREES AND PLANTING BED CONFIGURATIONS PRIOR TO ACTUAL CONSTRUCTION FOR APPROVAL BY OWNER'S REPRESENTATIVE.
2. ENSURE THAT ALL PLANTING BEDS AND LAWN AREAS HAVE POSITIVE DRAINAGE AWAY FROM BUILDING. CONTACT OWNER'S REPRESENTATIVE IF PROBLEMS ARISE.
3. ALL SHRUBS AT EDGE OF PLANTING BED SHALL BE PLANTED IN LINE AND FOLLOWING THE EDGE OF THE PLANTING BED. PLANTS TO BE SET BACK FROM EDGE OF PLANTING BED, 1/2 THE DISTANCE OF O.C. PLANT SPACING.
4. INSTALL SOIL IN ALL AREAS AS INDICATED. ZONES 7-8 SOIL TO BE MEYERS 2-42 ZOVISA. ZONE 6 SOIL TO BE KENTUCKY 31 PESCUE. SOIL LAYER TO BE 1'-1.5" ABOVE ADJACENT PAVEMENT OR EXISTING LAWN.
5. EDGING TO BE 3/4" X 4" STEEL, EDGING PAINTED DARK GREEN, BY JOSEPH RYANSON & SONS, ST. LOUIS, MISSOURI (314) 281-1820 (FOR EQUAL). INSTALL EDGING IN CONSISTENT STRAIGHT OR CURVED ALIGNMENT. TOP OF EDGING TO BE 1'-1.5" ABOVE ADJACENT GRADE.
6. INSTALL PLANT MULCH RING AROUND EXISTING TREES IN ALL SOG AREAS. MULCH TO BE 2" THICKNESS, 2' BEYOND TRUNK. MULCH TO BE 8" RIGID HARDWOOD BARK OR PINE NEEDLES, AS APPROPRIATE TO REGION.

LANDSCAPE SPECIFICATIONS

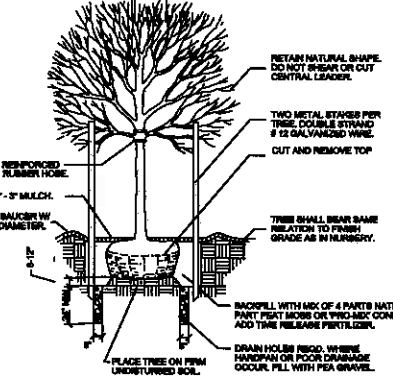
1. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (STANDARDS, CURRENT EDITION).
2. ALL PLANTING BEDS FOR SHRUBS, GROUND COVER, AND ANNUALS/PERENNIALS SHALL HAVE CONTINUOUS BED PREPARATION. EXISTING SOIL SHALL BE MIXED WITH SOIL. AMENDMENTS AND/OR CONDITIONS COMBINED WITH THE BEST LOCAL PRACTICES OF THE REGION, TO A DEPTH OF 2'-4" BELOW AND 12" WIDER THAN THE ROOT BALL OR CONTAINER.
3. ALL PLANTING BEDS SHALL BE MULCHED WITH 2"-3" DEPTH OF MULCH. MULCH TO BE 8" RIGID HARDWOOD BARK OR PINE NEEDLES AS APPROPRIATE TO REGION.
4. ALL LANDSCAPE AND IRRIGATION WORK SHALL BE GUARANTEED FOR ONE (1) YEAR BEGINNING ON THE DATE OF ACCEPTANCE OF THE COMPLETE INSTALLATION BY THE OWNER OR PROJECT DESIGN CONSULTANT.

MAINTENANCE REQUIREMENTS

1. DO NOT TOP OR SEVERELY PRUNE ANY TREES, ESPECIALLY GRAPE MYRTLES.
2. DO NOT PRUNE SHRUBS INTO BALLS OR SEPARATE BRANCHES. ALLOW SHRUBS TO GROW TOGETHER TO FORM CONTINUOUS MASS.
3. DO NOT MOW GROUND COVER. DO NOT MOW OR SEVERELY PRUNE ORNAMENTAL GRASSES.
4. DO NOT FORM MULCH MOUNDS AROUND ANY TREES. ENSURE THAT MULCH RINGS AROUND TREES ARE CONSISTENT.



SHRUB PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

PLANT MATERIAL SCHEDULE						
SYMBOL	MARK	QUANTITY	BOTANICAL NAME	COMMON NAME	USE	MATURE SIZE
DECIDUOUS CANOPY TREE						
AS	2	2	Acer Fraxinifera 'Lacey'®	Maple, Lacey	Planting Lot Tree Street Tree	60'
TC	4	4	Tilia Cordata 'Greenstar'®	Linden, Greenstar	Planting Lot Tree Street Tree	40-50'
DECIDUOUS FOCAL TREE						
AP	2	2	Acer Platanoides 'Royal Red'	Norway Maple	Street Tree	20-30'
AR	8	8	Acer Rubrum 'Red Sunset'	Red Maple	Street Tree	20-30'
MA	4	4	Magnolia Londrina Dr Merrill	Magnolia	Planting Lot Tree Island	10-20'
MV	7	7	Malus Vilmorinii 'Crimispire'	Flowering Crabapple	Planting Lot Tree Island	10-20'
PC	2	2	Pyrus Calleryana 'Yakobovii'	Callery Pear, New Bradford	Island	20-30'
EVERGREEN FOCAL TREE						
JB	14	14	Juniperus Schemmingeri 'Savon Glen'	Juniper, Savon Glen	6-10' High, 2-3' wide	5-6' HT - 10'
TO	3	3	Thuja Occidentalis 'Tussock'	Arborvitae, Tussock		5-6' HT - 10'
PN	17	17	Pinus Glauca Oerstedii	Black Hills Spruce		60' High 60' DB
PA	11	11	Pinus Nylas	Aspen Pine		80' High 60' DB
DECIDUOUS SHRUB						
AM	6	6	Aronia melanocarpa 'Aut. Magik'	Chokeberry, Autumn Maple		10-12'
CA	9	9	Cornus alternifolia	Common Dogwood		3-5'
SA	5	5	Spiraea alba 'Commodore'	Burning Bush, Dwarf		10-20' SPD - 3 GAL
NA	0	0	Nyctaginia arborea 'Aurea'	Hydrangea, Aurea		10-20' SPD - 3 GAL
RL	4	4	Rhododendron 'P.J.M'	Rhododendron, P.J.M		10-20' SPD - 3 GAL
RA	0	0	Rosa Arnica 'Old Law'	Rose, Old Law		10-20' SPD - 3 GAL
RA1	5	5	Rosa rugosa	Rose, Rugosa		7' High 10-20' SPD - 3 GAL
RA2	5	5	Rosa rugosa 'Santini'	Rose, Rugosa		7' High 10-20' SPD - 3 GAL
BL	20	20	Buxus japonica 'Frontal'	Buxus		7' High 10-20' SPD - 3 GAL
EVERGREEN SHRUB						
JH	0	0	Juniperus Horizontalis 'Var. Horizontalis'	Juniper, Bar Harbor		7'
JH1	24	24	Juniperus Horizontalis 'Var. Compacta'	Juniper, Bar Harbor		4-5'
JP	12	12	Juniperus Chinensis 'Pfitzer'	Juniper, Blue Rock		4-5'
TCP	20	20	Taxus Canadensis 'Penciltop'	Chinese Spreading Juniper		4' High, 6" wide 10-20' SPD - 3 GAL
TM	20	20	Taxus Media 'Tussock'	Tussock Spreading Yew		4' High, 6" wide 10-20' SPD - 3 GAL
PERENNIAL / ORNAMENTAL GRASS						
CSA	20	20	Chrysopsis x Anulifolia	Grass, Premier's Feather Reed		10-20' SPD - 1 GAL
SH	20	20	Hemiphragma hybridum	Daylily, Shells of Ore		10-20' SPD - 1 GAL
GROUNDCOVER *						
SC	0	0	Saxifraga oppositifolia	Wintergreen		3-4'
			Ternstroemia virginiana	Plantain		8-12' SPD - 4" POT

PLANTINGS TO BE OF SIMILAR MATERIALS ON EACH SIDE OF THE CANOPY



* Groundcover shall be provided to cover the area indicated planting numbers by landscaping contractor

PROPOSED 3 STORY HOTEL - 80 ROOMS:
SLEEP INN & SUITES
 SOUTH 6TH STREET
 CITY OF MILWAUKEE, MILWAUKEE COUNTY

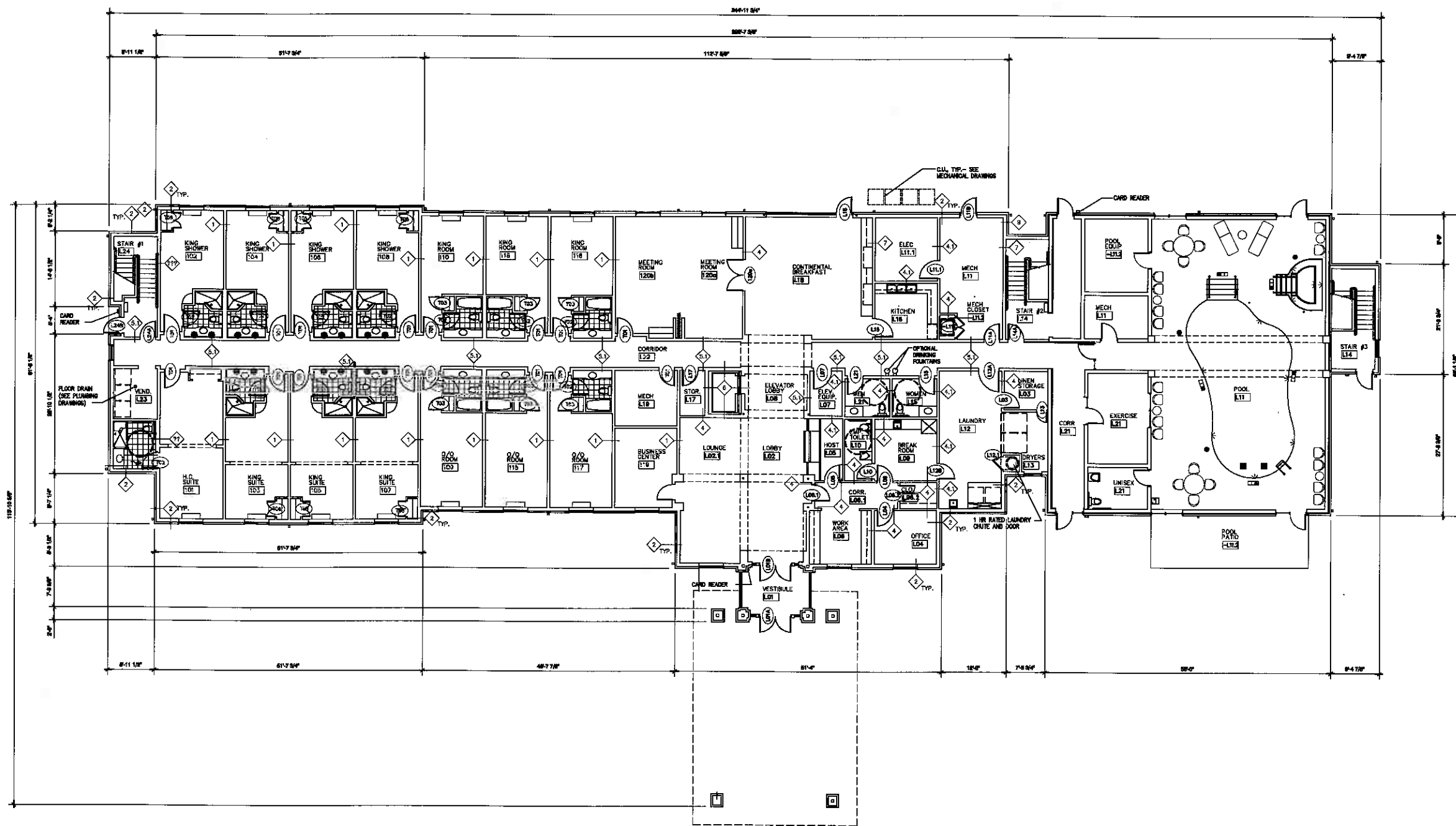
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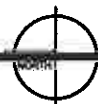
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Sheet Title
LANDSCAPE PLAN

Sheet Number



1st FLOOR PLAN
14,496 S.F. BUILDING FOOTPRINT
1,352 S.F. CANOPY PERIMETER



- FIRST FLOOR
- (1) ACC KING SUITE
 - (2) KING SUITE
 - (3) KING
 - (4) KING BECHWER
 - (14) TOTAL LINETS

PROPOSED 3 STORY HOTEL - 80 ROOMS:
SLEEP INN & SUITES
SOUTH 6TH STREET
CITY OF MILWAUKEE, MILWAUKEE COUNTY

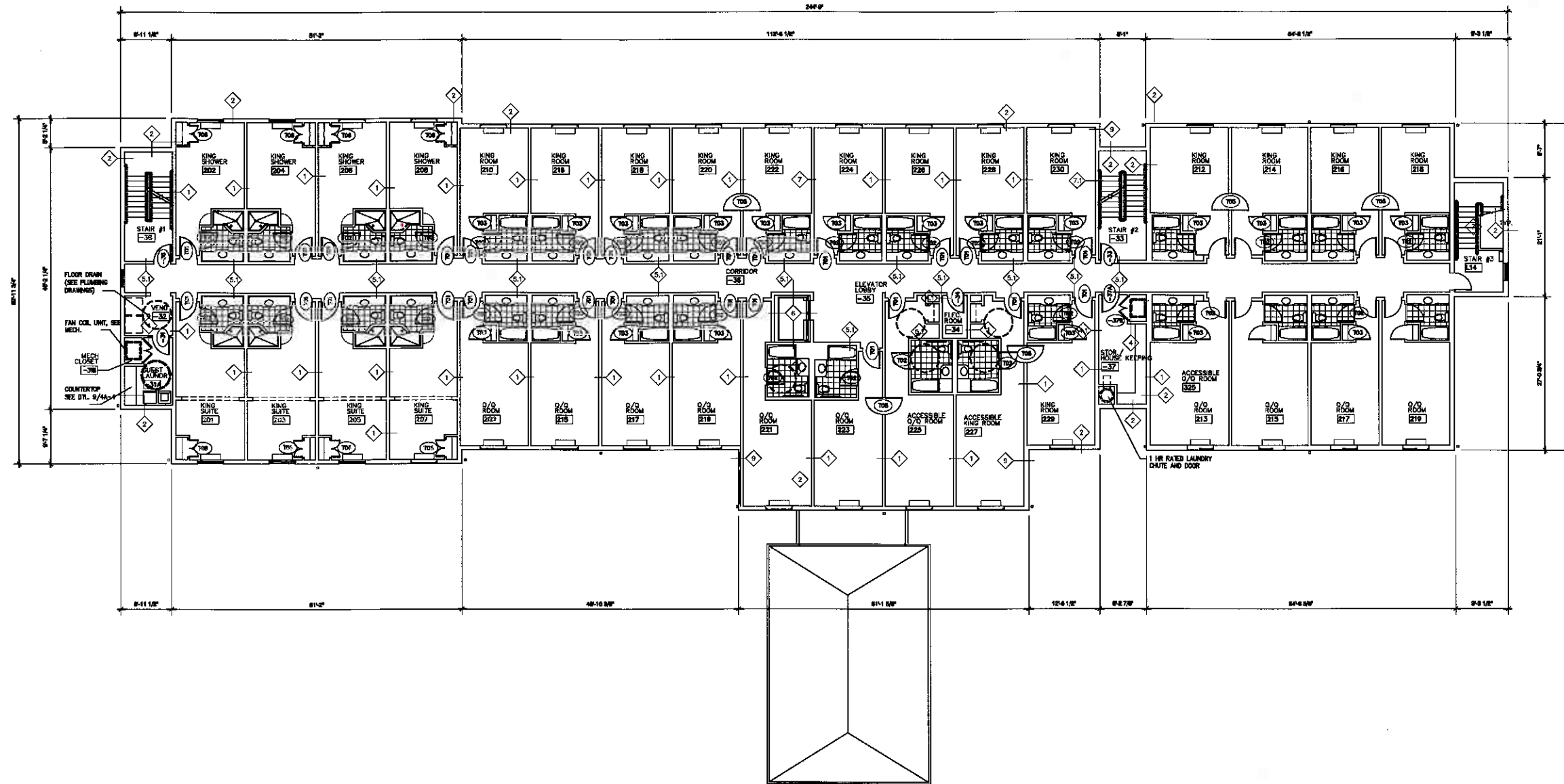
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Project Number
07042

Sheet Title
1st FLOOR PLAN

Sheet Number
A-101



PROPOSED 3 STORY HOTEL - 80 ROOMS:
SLEEP INN & SUITES
SOUTH 6TH STREET
CITY OF MILWAUKEE, MILWAUKEE COUNTY

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2nd & 3rd FLOOR PLAN
14,320 S.F. BUILDING FOOTPRINT



SECOND FLOOR	THIRD FLOOR
(20) KING SUITE	(20) KING SUITE
(14) K/R	(14) K/R
(6) KING SHOWER	(6) KING SHOWER
(1) ACC KING	(1) ACC KING
(1) ACC Q/R	(1) ACC Q/R
(24) TOTAL UNITS	(24) TOTAL UNITS

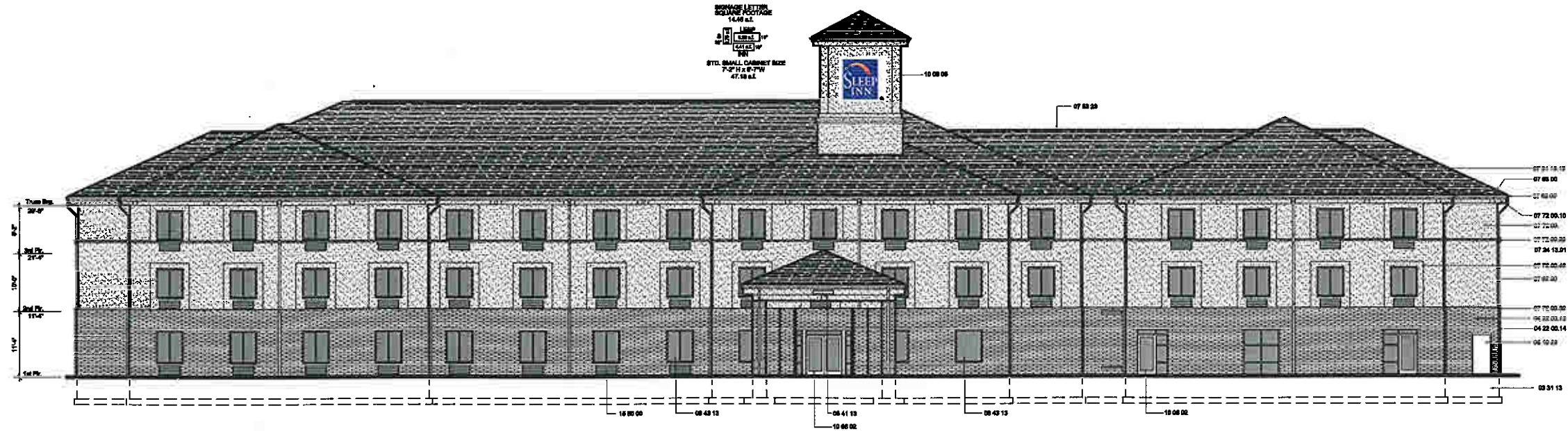
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Sheet Title
2nd & 3rd FLOORS

Sheet Number

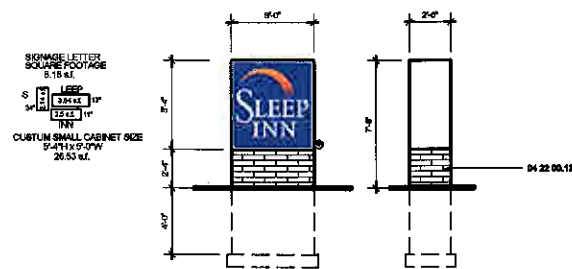
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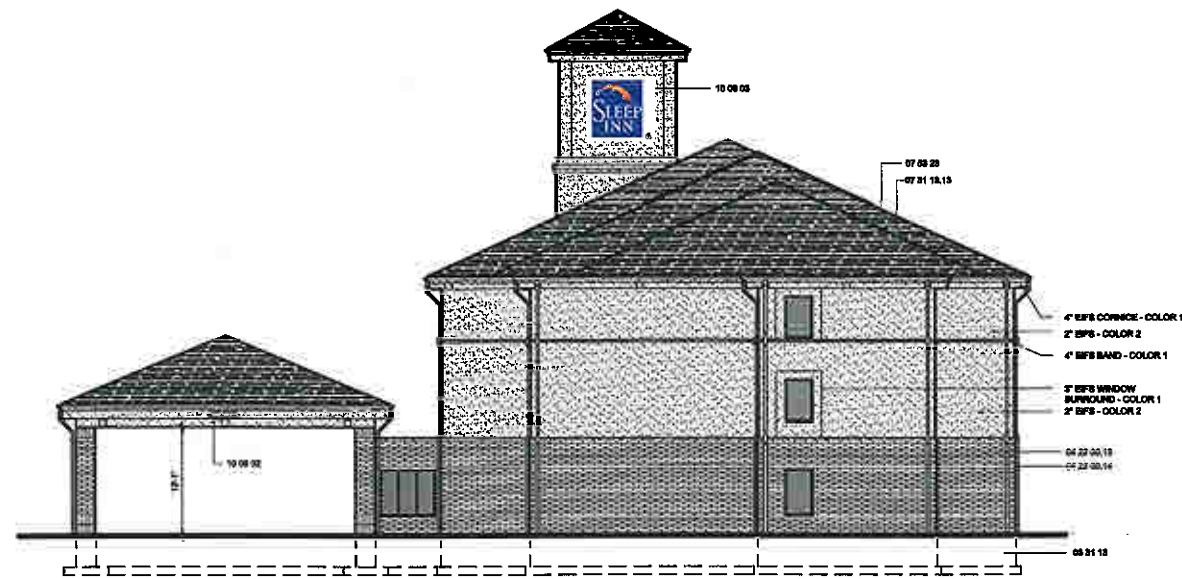
WEST ELEVATION

EXTERIOR FINISH MATERIALS

- 03 31 13 Concrete foundation wall on continuous concrete wall footing.
- 04 22 00.13 4" x 12" x 4" Celu Veneer, "Cable-Strik" style, by Oldcastle, Adobe Rustic Smooth, half-lap running bond, red, mod.
- 04 22 00.14 4" x 12" x 4" Celu Veneer, "Cable-Strik" style, by Oldcastle, Adobe Rustic Smooth, horizontal accent band, red, mod.
- 06 40 13 8 x 12 RE Cedar w/ (2) coats white primer; Cabot's _____
- 07 31 13.13 Fiberglass reinforced asphalt shingles, "Omniere Corning" Duration Premium Soy. Darkwood color.
- 07 45 19 Prefinished steel fascia system, light stone grey color.
- 07 53 23 Shingle Over Ridge vent sized for attic ventilation.
- 07 62 00 Prefinished metal gutter & downspout system. All gap connection the storm line, Mesh EPS ins finish.
- 07 63 00 Prefinished metal trim and flashings, match gutter & downspout system material finish.
- 07 72 00. E.I.F.S. decorative swirl pattern finish & 2" base system (Sleep Inn SKL Color #2)
- 07 72 00.10 E.I.F.S. decorative 4" corner, 2" fascia & soffit swirl pattern finish & 3/4" base system (Sleep Inn SKL Color #1)
- 07 72 00.20 E.I.F.S. decorative reveal swirl pattern finish & 4x2 chamfer (Sleep Inn SKL Color #1)
- 07 72 00.30 E.I.F.S. decorative brick cap swirl pattern finish & 5x2 chamfer (Sleep Inn SKL Color #1)
- 07 72 00.40 E.I.F.S. decorative 2" window reveal swirl pattern finish (Sleep Inn SKL Color #1)
- 08 10 23 Insulated hollow metal door & frame (paired to Mesh Veneer)
- 08 41 13 Thermally broken anodized aluminum storefront entrance system.
- 08 43 13 Thermally broken anodized aluminum windows w/ insulated low-E glazing; A & B type window sliding, C/D & E type window fixed
- 10 08 01 6" High vinyl address numerals on glazing above the main entrance doors
- 10 08 02 6" High vinyl canopy entrance signage above canopy
- 10 08 03 Sleep Inn & Suites SKL Tower face Signage
- 10 08 03 Sleep Inn & Suites Custom Tower face Signage
- 15 50 00 PTAC Wall Units with Decorative grille



GROUND SIGN (OPTIONAL)



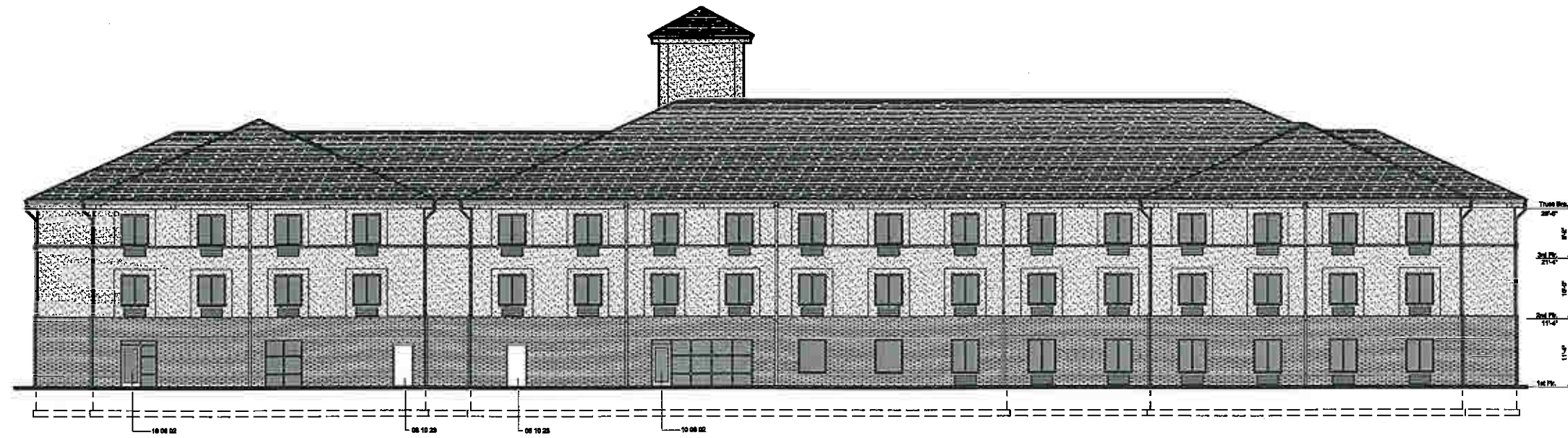
SOUTH ELEVATION

PROPOSED 3 STORY HOTEL - 80 ROOMS:
SLEEP INN & SUITES
SOUTH 6TH STREET
CITY OF MILWAUKEE, MILWAUKEE COUNTY

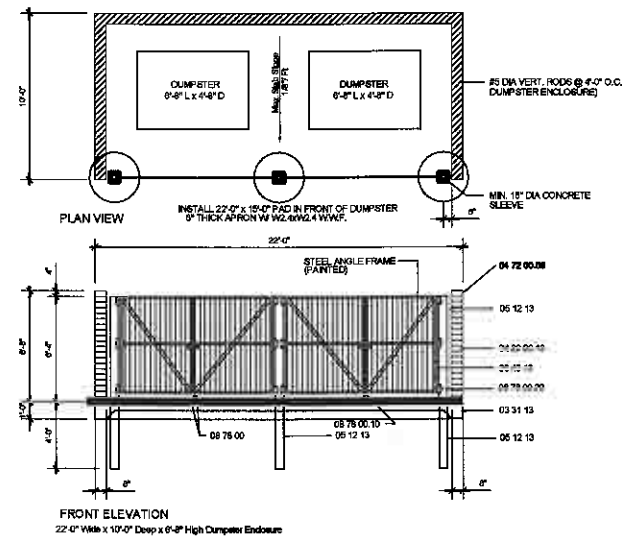
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Sheet Title
ELEVATIONS

Sheet Number
A-201



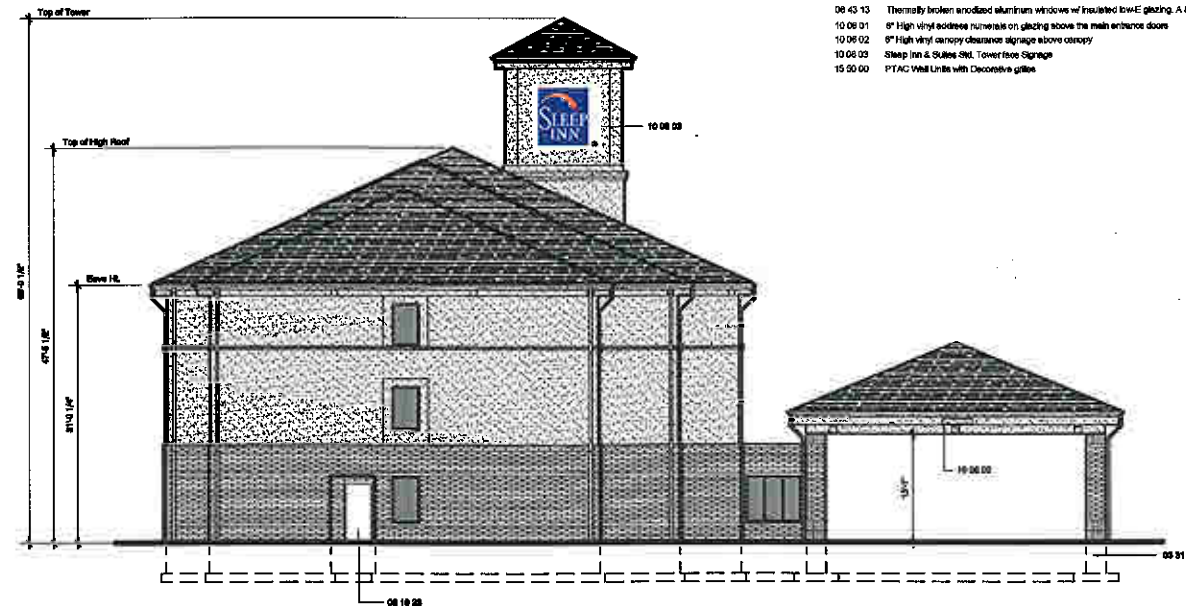
EAST ELEVATION



HOTEL DUMPSTER

DUMPSTER MATERIALS

- 03 31 13 Concrete grade beam foundation 16"x16" with 6" dia. reb. with 6x6x1/2 W.W.F.
- 04 22 00 13 8" x 16" x 4" CMU veneer, "Cultu-Block" mfg. by Oldcastle, Adobe Rustic Smooth, half-lap racking bond, std. mortar.
- 04 72 00 02 8" x 48" x 4" chemically cast stone cap. Beveled out corners.
- 05 12 13 (3) Gate poles with steel bronze "Bullfinch" painted.
- 06 78 00 Gate hardware with 1" Dia. Carve bolt.
- 06 78 00 10 Lockable Over-Head.
- 06 78 00 20 Heavy-duty hinges 3/4" center and bottom weld to post & gate frame.
- 06 40 13 1-1/2" Western Red Cedar boards attached to steel frame-gate. Stained to match "Cultu-Block" 1/4" spacing of vertical boards.



NORTH ELEVATION

EXTERIOR FINISH MATERIALS

- 03 31 13 Concrete foundation wall on continuous concrete wall footing.
- 04 22 00 13 4" x 16" x 4" CMU veneer, "Cultu-Block" mfg. by Oldcastle, Adobe Rustic Smooth, half-lap racking bond, std. mortar.
- 04 22 00 14 4" x 16" x 4" CMU veneer, "Cultu-Block" mfg. by Oldcastle, Adobe Rustic Smooth, horizontal accent band, std. mortar.
- 06 40 13 8 x 12 PG Cedar w/ (2) coats stain/sealer, Cabote.
- 07 31 13 13 Fiberglass reinforced asphalt shingles, "Owens Corning" Duration Premium 50y; Diftwood color.
- 07 46 19 Prefinished steel fascia system, light stone gray color.
- 07 55 23 Single Over Ridge vent sized for also ventilation.
- 07 62 00 Prefinished metal gutter & downspout system, All gap contraction the storm line. Match EFS tin finish.
- 07 63 00 Prefinished metal tin and flashing, match gutter & downspout system material finish.
- 07 72 00 E.I.F.S. decorative vinyl pattern finish & 2" down system (Sleep Inn Std. Color #1)
- 07 72 00 10 E.I.F.S. decorative 4" cornice, 9" fascia & soffit vinyl pattern finish & 3/4" down system (Sleep Inn Std. Color #1)
- 07 72 00 20 E.I.F.S. decorative reveal vinyl pattern finish & 4x2 chamfer (Sleep Inn Std. Color #1)
- 07 72 00 30 E.I.F.S. decorative latex top vinyl pattern finish & 5x2 chamfer (Sleep Inn Std. Color #1)
- 07 72 00 40 E.I.F.S. decorative 3" window reveal vinyl pattern finish (Sleep Inn Std. Color #1)
- 08 10 23 Insulated hollow metal door & frame (Painted to Match Veneer)
- 08 41 13 Thermally broken anodized aluminum storefront entrance system.
- 08 43 13 Thermally broken anodized aluminum windows w/ insulated low-E glazing, A & B type window sliding, C, D & E type window fixed
- 10 06 01 6" High vinyl window nicks/rolls on glazing above the main entrance doors
- 10 06 02 6" High vinyl window nicks/rolls on glazing above the main entrance doors
- 10 06 03 Sleep Inn & Suites Std. Tower face signage
- 15 00 00 PTAC VAV Units with Decorative grille

PROPOSED 3 STORY HOTEL - 80 ROOMS:
SLEEP INN & SUITES
SOUTH 6TH STREET
CITY OF MILWAUKEE, MILWAUKEE COUNTY

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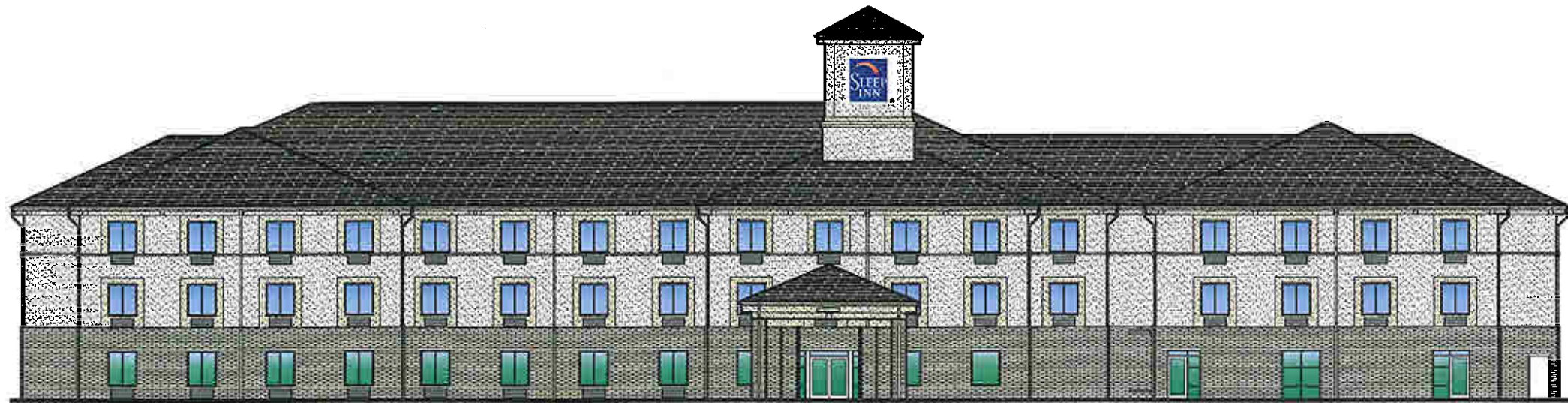
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ELEVATIONS

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A-202



WEST ELEVATION



SOUTH ELEVATION



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SLEEP INN & SUITES
 SOUTH 6TH STREET
 CITY OF MILWAUKEE, MILWAUKEE COUNTY

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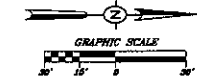
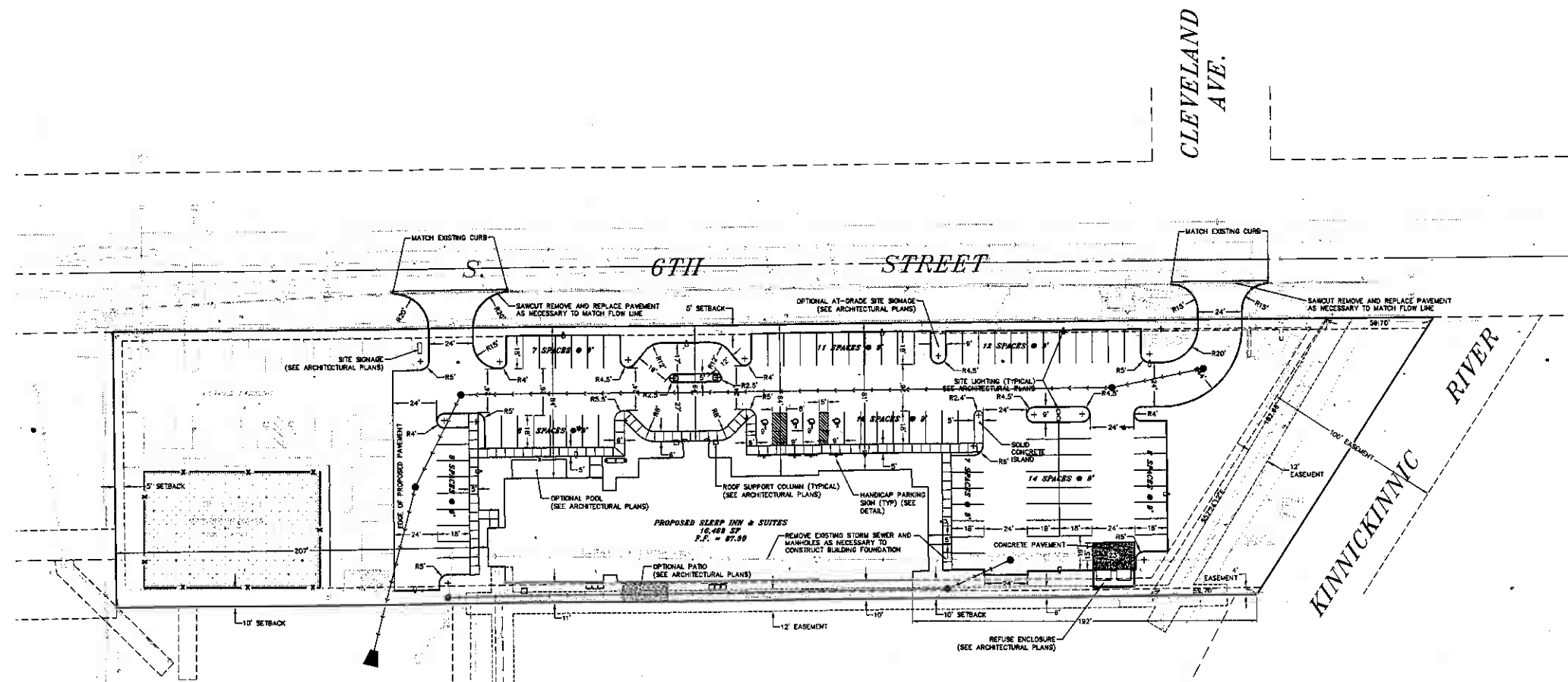
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Sheet Title
 COLOR ELEVS.

Sheet Number

A-203



LEGEND

---	EXISTING WATERMAIN
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING GAS MAIN
---	EXISTING ELECTRIC LINE
---	EXISTING TELEPHONE LINE
---	EXISTING OVERHEAD UTILITY LINE
---	EXISTING TRANSFORMER
---	EXISTING POWER POLE
---	EXISTING STORM MANHOLE
---	EXISTING STORM INLET
---	EXISTING SANITARY MANHOLE
---	EXISTING FIRE HYDRANT ASSEMBLY
---	EXISTING WATER VALVE
---	EXISTING WATER VALVE MANHOLE
---	PROPOSED STORM SEWER
---	PROPOSED STORM STRUCTURES

GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, EXIT PORCHES, VESTIBULE, AND TRUCK DOCK DETAILS.
3. ALL ANGLES FOR ROADWAY, PARKING LOT AND BUILDING LOCATION ARE 90° UNLESS NOTED OTHERWISE.
4. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
5. ALL RADII ARE DIMENSIONED TO THE EDGE OF PAVEMENT.
6. ALL DIMENSIONS ARE REFERENCED TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
7. SOME FIELD ADJUSTMENT MAY BE NECESSARY WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION OF WORK.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS FOR ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED TO COMPLETE PROPOSED ITEMS IN PLACE. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED AS SUCH. ALL COSTS SHALL BE INCLUDED IN THE BID.
9. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED POSSESSION AND THE FINAL CONNECTION OF SERVICES.
10. ALL PAVEMENT TO BE STANDARD DUTY ASPHALT PAVEMENT, UNLESS NOTED OTHERWISE.

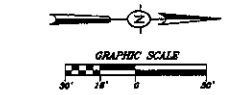
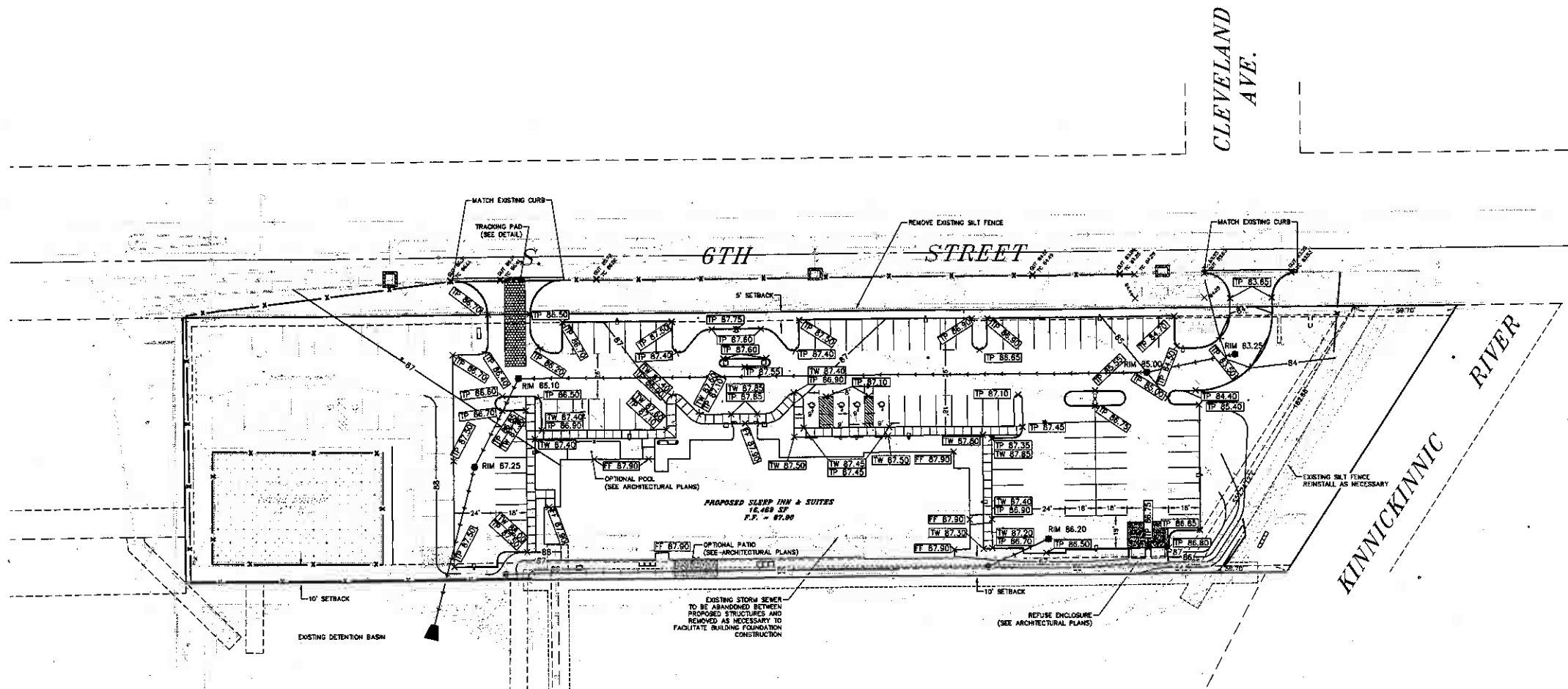
SITE PLAN
SLEEP INN DEVELOPMENT
AMERICAN DESIGN BUILD
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McClure Engineering Associates, Inc.
2447 North 118th Court
(414) 510-4888
MILWAUKEE, WISCONSIN 53225
JOB NUMBER: 06-15-07-104

PLOTTING SCALE: 1" = 30'
DESIGNED BY: EPN
DRAWN BY: CAR
CHECKED BY: EPN
DATE: NOVEMBER 9, 2007

NO.	REVISIONS	ITEM	DATE

SHEET NO.
C-100
08-15-07-104



LEGEND

	EXISTING GRADE ELEVATION
	TOP OF PAVEMENT ELEVATION
	TOP OF CURB ELEVATION
	FINISHED GRADE ELEVATION
	TOP OF WALK ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	SILT FENCE
	EXISTING CONTOUR
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	EXISTING STORM SEWER
	PROPOSED CONTOUR
	PROPOSED CATCH BASIN OR INLET
	PROPOSED STORM SEWER
	DITCH CHECK
	FILTER FABRIC INLET PROTECTION

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH SUBSECTION 107.20, AND SECTION 628, OF THE "STATE SPECIFICATIONS", THE DETAILS SHOWN ON THE PLANS AND THE SPECIAL PROVISIONS BELOW.
- THE CONTRACTOR SHALL USE THE PROVISIONS OF THE "WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE BOOK", LATEST EDITION, PREPARED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES, AS A REFERENCE AND GUIDE FOR EROSION CONTROL PRACTICES.
- EROSION CONTROL PLAN.
PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE EMPLOYED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
- IMPLEMENTATION.
THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
- EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - PROTECT DOWNSTREAM OR ADJACENT WATERWAYS AND WETLANDS WITH SILT FENCE.
 - DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 - PLACE SILT FENCE OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 - CONSTRUCT SEDIMENTATION BASINS.
 - PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.
 - PROMPT REMOVAL OF EXCAVATED MATERIAL.
 - PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
 - CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 - TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
 - TEMPORARY SEEDING ALL AREAS THAT WILL REMAIN DISTURBED AFTER SEPTEMBER 15, MUST BE TEMPORARILY SEEDDED AS OF THAT DATE.
 - INSTALL AND/OR REPAIR EXISTING SILT FENCE ON BOTH SIDES OF THE CONSTRUCTION CORRIDOR THROUGH WETLAND AREAS AS WELL AS AT ALL EDGES OF WETLAND AREAS.
 - INSTALL AND/OR REPAIR EXISTING SILT FENCE A MINIMUM OF 10' FROM WETLAND AREAS WHERE PRACTICABLE.
- ALL DISTURBED AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.
- TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) BEST MANAGEMENT PRACTICES. TRENCH AND SITE DEWATERING MAY GO INTO THE PONDS DURING CONSTRUCTION IF THE POND IS COMPLETED AND A TEMPORARY RISER IS INSTALLED TO COLLECT SEDIMENTS.
- REPAIR SILT FENCE ALREADY PRESENT ON THE SITE OR INSTALL SILT FENCE AS NEEDED IN ACCORDANCE WITH DETAIL SHOWN ON THE DETAIL SHEET.
- ALL RIP-RAP AT PIPE OUTLETS SHALL BE 3/4" MEDIUM RIP-RAP OVER TYPE "R" FABRIC PER STATE SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.
- EROSION CONTROL.
 - INSPECT EROSION CONTROLS WEEKLY OR AFTER HEAVY RAINFALL DURING CONSTRUCTION.
 - PROMPTLY REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
- ALL AREAS TO BE SEEDDED AND MULCHED SHALL USE WOOD SEED MIXTURE NO. 20. MULCH SHALL BE APPLIED PER STATE SPECIFICATIONS USING METHOD "B" FOR PLACEMENT.

CONSTRUCTION STAGING PLAN

SLEEP INN DEVELOPMENT
MILWAUKEE, WISCONSIN

THE DETENTION PONDS LOCATED AT VARIOUS LOCATIONS ON THE SITE ARE PERMANENT SITE FEATURES, BUT ALSO SERVE AS SEDIMENTATION BASINS DURING CONSTRUCTION. BASINS WILL BE CLEANED FOLLOWING COMPLETION OF CONSTRUCTION OPERATIONS. ALL SITE GRADING WORK AND EROSION CONTROL EFFORTS SHALL BE PERFORMED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES STANDARDS.

- STAGED OPERATIONS**
- INSTALL TRACKING PAD AT ENTRANCE TO SITE.
 - REPAIR SILT FENCE ALREADY PRESENT ON THE SITE AND/OR INSTALL ADDITIONAL SILT FENCE AS NEEDED.
 - GRADE SITE AS SHOWN ON THE APPROVED CONSTRUCTION PLANS COMPLETE WITH DITCH SYSTEMS AND STORM CULVERTS TO CONVEY STORMWATER TO THE DETENTION FACILITIES.
 - SEED AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. PLACE EROSION CONTROL MATTING AS SHOWN ON THE PLANS. DISTURBED AREAS LEFT INACTIVE FOR SEVEN (7) DAYS SHALL BE STABILIZED TO MINIMIZE EROSION.
 - THE CONTRACTOR SHALL TOPSOIL AND SEED DISTURBED PORTIONS OF THE SITE AS THEY ARE COMPLETED AS IS PRACTICAL.
 - ALL OF THE EROSION CONTROL MEASURES FOR THE ENTIRE SITE MUST BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH WISCONSIN DNR REQUIREMENTS AND AS REQUIRED BY THE CITY OF MILWAUKEE.

GRADING NOTES

- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND BE SEEDDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- THIS GRADING PLAN IS BASED ON A TOPOGRAPHICAL SURVEY BY MCCLURE ENGINEERING ASSOCIATES, INC. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED GRADES MEET EXISTING. REVIEW ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES IS 3 HORIZONTAL TO 1 VERTICAL.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL TOPSOIL STOCKPILES SHALL BE COMPLETELY ENCLOSED WITH SILT FENCE.

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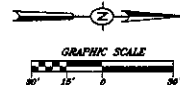
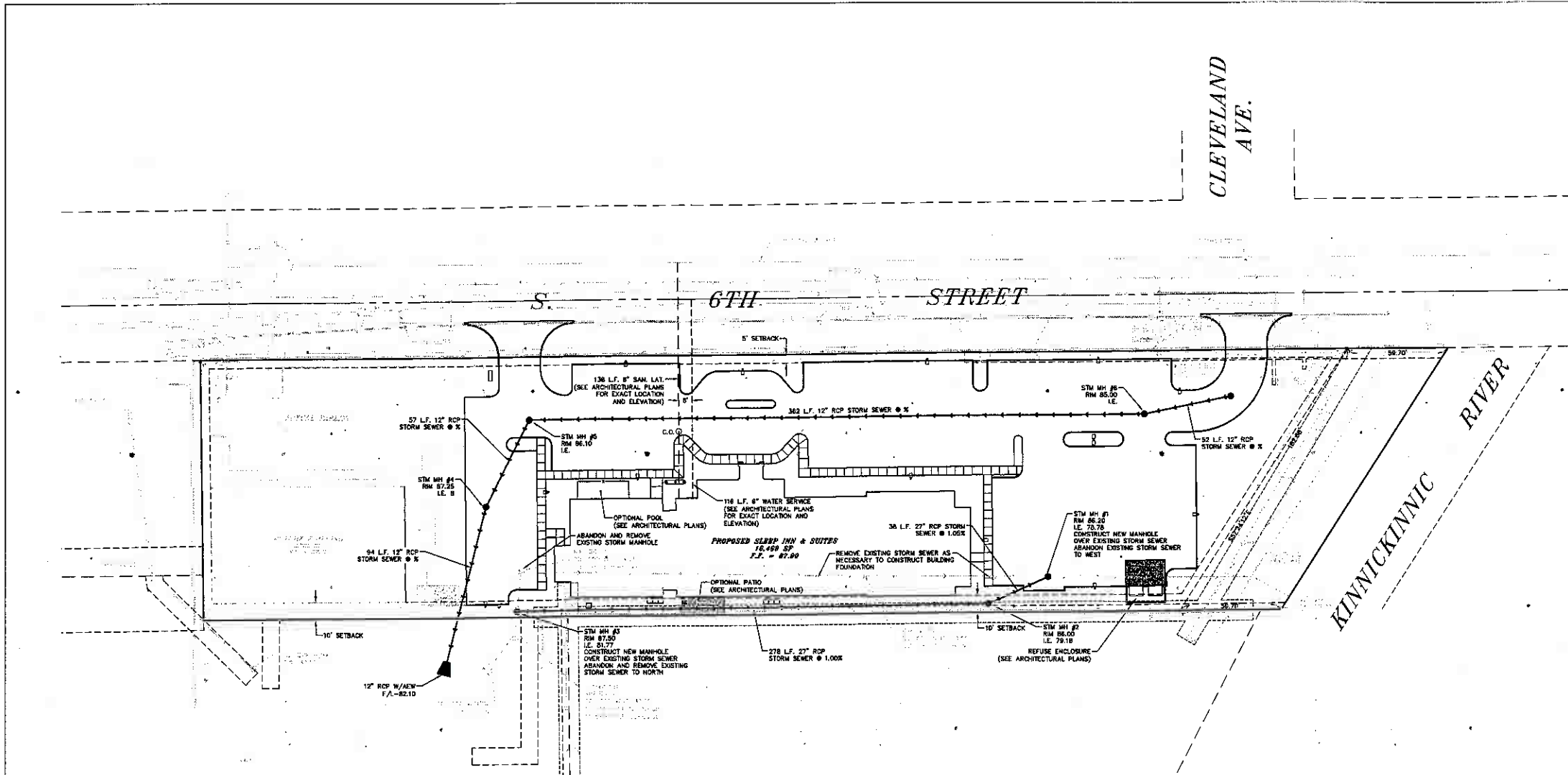
AMERICAN DESIGN BUILD
SLEEP INN DEVELOPMENT
282-234-3811
FILE NAME: T:\LAND PROJECTS\071041\071041.DWG
MILWAUKEE, WISCONSIN
JOB NUMBER: 06-15-07-104

PLOTTING SCALE: 1" = 30'

DESIGNED BY:	EPN
DRAWN BY:	CAR
CHECKED BY:	EPN
DATE:	NOVEMBER 9, 2007

NO.	REVISIONS	DATE

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LEGEND

- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING GAS MAIN
- EXISTING ELECTRIC LINE
- EXISTING TELEPHONE LINE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING TRANSFORMER
- EXISTING POWER POLE
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING WATER VALVE
- EXISTING WATER VALVE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SERVICE
- PROPOSED STORM SEWER

UTILITY NOTES

1. SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", SIXTH EDITION, HERENAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS".
2. EXISTING UTILITY INFORMATION IS BASED ON FIELD SURVEY, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS.
3. CONTACT DIGGERS HOTLINE PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
4. THE CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING:
 - A. ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
 - B. ELEVATION AND SIZE OF EXISTING UTILITIES
 - C. FLOOR ELEVATIONS
 - D. CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK.
 - E. HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES.
5. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
6. BACKFLOW PREVENTION DEVICES AND THE DOMESTIC WATER METER(S) ARE LOCATED WITHIN THE BUILDING(S). REFER TO ARCHITECTURAL PLANS.
7. REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
8. ALL PROPOSED UTILITY INSTALLATIONS SHALL BE IN ACCORDANCE WITH CITY OF MILWAUKEE STANDARDS.
9. SANITARY SEWER SPECIFICATIONS
 - A. PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE SDR-25 POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D-3034, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
 - B. BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION:

"COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 6.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTION OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRING LINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
 - C. BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.8.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 6.4.3.5 OF THE "STANDARD SPECIFICATIONS."
 - D. MANHOLES AND FRAMES
 - i. MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE COMM 82.35(8)(a).
 - ii. MANHOLE FRAMES AND LIDS SHALL BE GRAY IRON MATERIAL (PER ASTM A-48) OF STYLES/CATALOG NUMBERS AS INDICATED ON THESE CONSTRUCTION DRAWINGS. INTERNAL CHIMNEY SEALS SHALL BE ORETEX SPECIALTY PRODUCTS, OR EQUAL.
 - E. CLEANOUTS - CLEANOUTS SHALL BE EQUIPPED WITH FROST SLEEVES PER COMM 82.35 (5)(A)2. (REFER TO DETAIL).
10. FOR LOCATIONS WHERE THERE IS LESS THAN 4 FEET OF COVER OVER THE TOP OF THE SANITARY SEWER PIPE, THE SANITARY SEWER SHALL BE INSULATED IN ACCORDANCE WITH COMM 82.30(1)(c)3. THIS WORK SHALL BE INCLUDED IN THE UNIT COST FOR SANITARY SEWERS.
11. ALL SANITARY SEWER SHALL BE TESTED FOR EXFILTRATION OF AIR UNDER PRESSURE, INFILTRATION OF WATER, EXFILTRATION OF WATER, AND DEFLECTION FOR FLEXIBLE THERMOPLASTIC PIPE PER THE STANDARD SPECIFICATIONS.
12. WATER SERVICES SHALL BE AWWA C-900 PVC MEETING THE REQUIREMENTS OF ASTM D1785 AND ASTM D2241.

UTILITY PLAN
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SHEET NO.
C-103
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