

- NOTES**
- DENOTES PROPOSED 7" CURB TAPER
 - DENOTES PROPOSED 6" TALL RAISED CONCRETE ISLAND. COORDINATE CONDUITS WITH GATE INSTALLER AND ELECTRICAL AND I.T. PLANS
 - COORDINATE LOCATION OF GATE DETECTION LOOPS WITH GATE INSTALLER
 - DENOTES PROPOSED TRANSFORMER LOCATION. CONTRACTOR TO COORDINATE EXACT LOCATION WITH UTILITY COMPANY.
 - DENOTES PROPOSED GENERATOR LOCATION. REFER TO ELECTRICAL PLANS FOR EXACT SIZE AND LOCATION.
 - DENOTES PROPOSED CURB AND GUTTER. ALL CURB AND GUTTER WITHIN THE R.O.W. TO MATCH CITY OF MILWAUKEE STANDARD STYLE. (TYP)
 - DENOTES PROPOSED CITY OF MILWAUKEE TYPE II CURB RAMP.
 - REMOVE EXISTING CURB AND REPLACE WITH DEPRESSED STYLE AS REQUIRED TO INSTALL PROPOSED ENTRANCE.
 - EXISTING TRAFFIC CONTROL SIGNAL TO BE RE-LOCATED. COORDINATE WITH CITY OF MILWAUKEE.
 - DENOTES PROPOSED ADA RAMP. W/ TRUNCATED DOMES. 5' L.F. DEPRESSED CURB AND 2' CURB TAPERS BOTH SIDES. SEE DETAIL.
 - CAUTION! EXISTING UTILITY CROSSING. VERIFY EXACT LOCATION AND ELEVATION PRIOR TO STARTING CONSTRUCTION.
 - EXISTING PAVEMENT AND CURB TO BE REMOVED AND REPLACED PER CITY OF MILWAUKEE ROADWAY STANDARDS. SLURRY BACKFILL REQUIRED. MATCH EXISTING CITY CURB STYLE.
 - ALL SIDEWALK SHALL BE REMOVED AND REPLACED AT THE COMPLETION OF THE PROJECT. FOR ANY AREAS DETERMINED TO NOT NEED REMOVAL AND REPLACEMENT WILL BE CREDITED AT THE UNIT PRICE.
 - DENOTES STRIPED LOADING AND TURN AROUND AREA.
 - ADJUST EXISTING UTILITY TO MATCH PROPOSED GRADES.
 - INSTALL NEW CURB RAMP W/ TRUNCATED DOMES. MATCH INTO EXISTING CURB.
 - REMOVE AND REPLACE EXISTING PAVEMENT AS REQUIRED TO MATCH INTO NEW CURB. MATCH EXISTING PAVEMENT TYPE AND SECTION.
 - DENOTES PROPOSED 1" CURB TAPER

- UTILITY TAGS**
- SANITARY**
- CONNECT TO EXISTING COMBINED SEWER. INSTALL RISER AS REQUIRED.
 - PROP 48 L.F. 6" PVC SANITARY SEWER @ 1.00% (MIN)
 - EXISTING WATERMAIN CROSSING. VERIFY EXACT LOCATION AND ELEVATION OF WATERMAIN PRIOR TO STARTING CONSTRUCTION. MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN SEWER AND WATERMAIN.
 - INVERT @ BLDG = 72.00 (REFER TO PLUMBING PLANS)
- WATER**
- CONNECT TO EXISTING 12" WATERMAIN W/ LIVE TAP.
 - PROPOSED 6" G.W. W/ BOX (MATCH EXISTING GRADE)
 - EXISTING COMBINED SEWER CROSSING. INSTALL WATERMAIN OVER COMBINED SEWER. MAINTAIN A MINIMUM OF 12" OF VERTICAL SEPARATION.
 - STORM SEWER CROSSING. INSTALL WATERMAIN OVER STORM AND MAINTAIN A MINIMUM OF 6" OF VERTICAL SEPARATION.
 - DENOTES PROPOSED 263 L.F. 6" DI. WATERMAIN
 - STORM SEWER CROSSING. INSTALL WATERMAIN UNDER STORM SEWER. MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION.
 - REFER TO PLUMBING PLANS FOR CONNECTION @ BLDG

SITE CALCULATION TABLE

TOTAL SITE AREA	2.65 AC
TOTAL DISTURBED AREA	2.65 AC
EXISTING IMPERVIOUS AREA	1.27 AC
PROPOSED TOTAL IMPERVIOUS AREA	2.07 AC
PROPOSED GREENSPACE	0.58 AC (22% OF SITE)
PROPOSED REGULAR PARKING SPACES	83
PROPOSED HANDICAP PARKING	4
PROPOSED TOTAL PARKING	87

DENOTES EXISTING COMBINED SEWER SEE TABLE ON GRADING PLAN FOR PIPE SIZES AND INVERT INFORMATION.

UTILITY LEGEND

SYMBOL	DESCRIPTION
(Symbol)	EXISTING WATER MAIN
(Symbol)	PROPOSED WATER SERVICE
(Symbol)	EXISTING ELECTRICAL LINE
(Symbol)	PROPOSED ELECTRICAL LINE
(Symbol)	EXISTING GAS MAIN
(Symbol)	PROPOSED GAS MAIN
(Symbol)	EXISTING SANITARY SEWER
(Symbol)	PROPOSED SANITARY SEWER
(Symbol)	EXISTING STORM SEWER
(Symbol)	PROPOSED STORM SEWER
(Symbol)	OVERHEAD WIRES
(Symbol)	EXISTING POWER POLES
(Symbol)	EXISTING LIGHT POLES
(Symbol)	SANITARY MANHOLE
(Symbol)	FIRE HYDRANT
(Symbol)	EXISTING WATER VALVE
(Symbol)	PROPOSED WATER VALVE
(Symbol)	EXISTING STORM STRUCTURE
(Symbol)	PROPOSED STORM STRUCTURE
(Symbol)	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
(Symbol)	PROPOSED & EXISTING SPOT GRADE

HATCH LEGEND

(Hatch)	PROPOSED CONCRETE SIDEWALK
(Hatch)	PROPOSED REGULAR DUTY ASPHALT PAVEMENT
(Hatch)	PROPOSED DEPRESSED CURB
(Hatch)	PROPOSED TAPER CURB
(Hatch)	PROPOSED REVERSE CURB
(Hatch)	PROPOSED CONCRETE PAVEMENT

CIVIL SHEET INDEX:

C100	SITE PLAN
C101	GRADING PLAN
C102	EROSION CONTROL PLAN
C103	DEMOLITION PLAN
C104	EXISTING SITE SURVEY
C200	STORMWATER MANAGEMENT DETAILS
C201	STORMWATER MANAGEMENT DETAILS
C202	STORMWATER MANAGEMENT DETAILS
C500	CONSTRUCTION DETAILS

- GENERAL NOTES AND SPECIFICATIONS**
- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY CAPITOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
 - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO (VERIFYING ELEVATION, LOCATION AND SIZE). SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
 - ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS THE CITY OF MILWAUKEE CONSTRUCTION STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC. 382-387.
 - ALL UTILITY PERMITS MUST BE RECEIVED FROM THE CITY OF MILWAUKEE PRIOR TO THE START OF CONSTRUCTION.
 - NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
 - BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT. SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS).
 - ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
 - ALL PROPOSED WATERMAIN SHALL BE DUCTILE IRON, CLASS 52.
 - PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
 - PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
 - UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
 - SILT FENCE AND ALL OTHER EROSION CONTROL METHODS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALSO, CONTRACTOR IS RESPONSIBLE FOR REMOVING EROSION CONTROL METHODS ONCE THE SITE IS STABILIZED.
 - THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
 - ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
 - ALL DISTURBED GRASS AREAS SHALL BE STABILIZED (PER DNR TECHNICAL STANDARDS) WITHIN 7 DAYS OF COMPLETION. DISTURBED GRASS AREAS SHALL BE TOPSOILED (6"), RESEEDED AND STABILIZED. AREAS WITH A SLOPE OF 3:1 OR STEEPER SHALL BE COVERED WITH A CLASS 1 - TYPE A EROSION FABRIC. (SEE SPECIFICATIONS)
 - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
 - ALL ON-SITE CONCRETE CURB AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
 - ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
 - ALL CURB RADII ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
 - REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
 - ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
 - PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

SYMBOL

DESCRIPTION

100.00

REVISIONS

DATE	DESCRIPTION
9/22/2014	Construction Set
10/27/2014	CB #2
11/4/2014	CB #3
11/26/2014	CB #4
12/22/2014	CB #5
02/06/2015	CB #7
02/16/2015	CB #8
04/10/2015	CB #10
05/01/2015	CB #11
07/14/2015	RP #192 RESPONSE
08/17/2015	CB #13
08/19/2015	CB #14

DATE: 9/22/2014

PROJECT INFORMATION

Site Plan

SCALE: 1" = 20'

REVISIONS

DATE: 9/22/2014

PROJECT NUMBER	ST.00
130108.00	Sabinash

Zimmerman
ARCHITECTURAL STUDIOS, INC.

PROJECT
Sojourner Family Peace Center
UPDATED PER FN150608

ISSUANCE AND REVISIONS
CONSTRUCTION SET

KEY PLAN

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HRC Project Number: 130108.00

C100

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IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

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UTILITY LEGEND

SYMBOL	DESCRIPTION
(Symbol)	EXISTING WATER MAIN
(Symbol)	PROPOSED WATER SERVICE
(Symbol)	EXISTING ELECTRICAL LINE
(Symbol)	PROPOSED ELECTRICAL LINE
(Symbol)	EXISTING GAS MAIN
(Symbol)	PROPOSED GAS MAIN
(Symbol)	EXISTING SANITARY SEWER
(Symbol)	PROPOSED SANITARY SEWER
(Symbol)	EXISTING STORM SEWER
(Symbol)	PROPOSED STORM SEWER
(Symbol)	OVERHEAD WIRES
(Symbol)	EXISTING POWER POLES
(Symbol)	EXISTING LIGHT POLES
(Symbol)	SANITARY MANHOLE
(Symbol)	FIRE HYDRANT
(Symbol)	EXISTING WATER VALVE
(Symbol)	PROPOSED WATER VALVE
(Symbol)	EXISTING STORM STRUCTURE
(Symbol)	PROPOSED STORM STRUCTURE
(Symbol)	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
(Symbol)	PROPOSED & EXISTING SPOT GRADE

Storm Structure Table

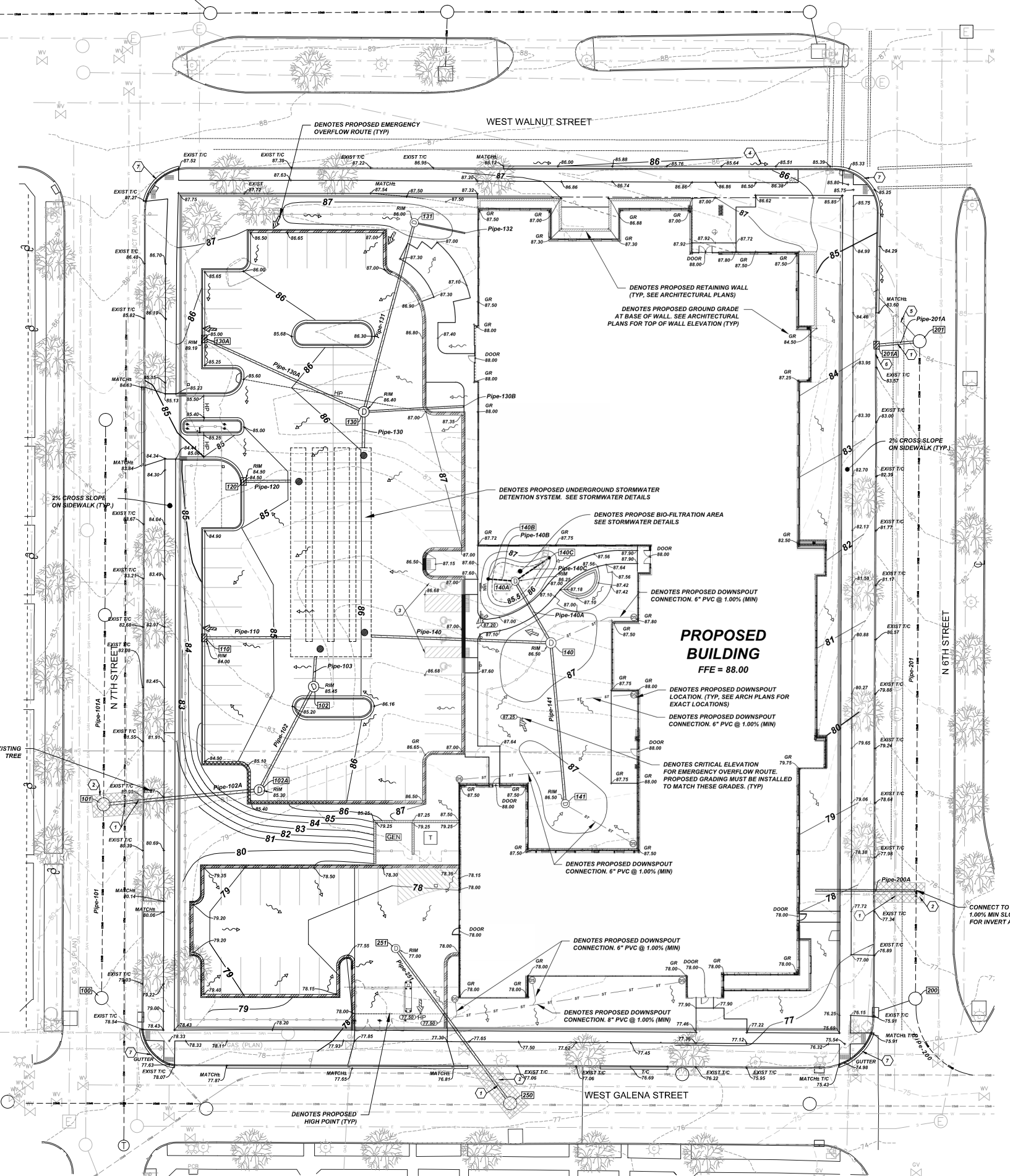
#	Structure Details	Notes	
100	EXIST COMBINED MANHOLE RM = 78.52 Pipe-101 = 86.26	200	EXIST COMBINED MANHOLE RM = 78.51 Pipe-200 = 64.35 Pipe-201 = 64.37
101	EXIST COMBINED MANHOLE RM = 72.50 Pipe-102 = 71.80 Pipe-103 = 69.07	201	EXIST COMBINED MANHOLE RM = 84.05 Pipe-201 = 72.35 Pipe-201A = 77.99
102	OUTLET CONTROL STRUCTURE (SEE DETAIL) RM = 85.45 Pipe-102 = 75.89 Pipe-103 = 75.89	201A	TRAPPED CATCH BASIN W/ CITY OF MKE STANDARD CURB FRAME & GRATE. RM = 83.45 Pipe-201A = 77.88
102A	TRAPPED CATCH BASIN RM = 85.30 Pipe-102A = 74.73 Pipe-102 = 74.73	250	EXIST COMBINED MANHOLE RM = 74.87 Pipe-251 = 69.12
110	CATCH BASIN - CURB RM = 84.50 Pipe-110 = 81.00	251	TRAPPED CATCH BASIN (3' DIA) RM = 77.00 Pipe-251 = 74.00
120	CATCH BASIN - CURB RM = 84.50 Pipe-120 = 81.00		
130	CATCH BASIN RM = 86.40 Pipe-130B = 82.52 Pipe-131 = 82.10 Pipe-300A = 82.10 Pipe-130 = 82.10		
130A	CATCH BASIN - CURB RM = 89.19 Pipe-130A = 83.91		
131	CATCH BASIN (3' DIA) W/ NEENAH R2505-C RM = 86.00 Pipe-131 = 83.50 Pipe-131 = 83.00		
140	CATCH BASIN W/ NEENAH R2505-C RM = 86.50 Pipe-140 = 82.67 Pipe-140 = 82.67		
140A	OUTLET CONTROL STRUCTURE (SEE DETAIL) RM = 86.25 Pipe-140 = 83.00 Pipe-140B = 83.25 Pipe-140C = 83.25		
140B	CLEANOUT RM = 89.19 Pipe-140B = 83.25		
140C	CLEANOUT RM = 89.19 Pipe-140C = 83.25		
141	CATCH BASIN (3' DIA) W/ NEENAH R2505-C RM = 83.41 Pipe-141 = 83.41		

Storm Pipe Table

Pipe Name	Size	Material	Length	Slope	Description
Pipe-101	12	PVC	89	1.87%	EXIST COMBINED SEWER
Pipe-101A	12	PVC	84	1.52%	EXIST COMBINED SEWER
Pipe-102	12	RCP	54	2.00%	
Pipe-102A	15	RCP	72	5.19%	
Pipe-103	12	PVC	14	1.45%	
Pipe-110	12	PVC	40	1.00%	
Pipe-120	12	PVC	22	1.00%	
Pipe-130	15	PVC	17	0.61%	
Pipe-130A	12	PVC	81	1.00%	
Pipe-130B	10	PVC	46	1.86%	INSTALL BACKFLOW PREVENTER AT STRUCTURE 130. REFER TO PLUMBING PLANS FOR CONNECTION @ BUILDING
Pipe-131	12	PVC	90	1.00%	
Pipe-132	6	PVC	24	4.22%	INSTALL BACKFLOW PREVENTER AT STRUCTURE 130. REFER TO PLUMBING PLANS FOR CONNECTION @ BUILDING
Pipe-140	12	PVC	82	1.00%	
Pipe-140A	12	PVC	33	1.00%	
Pipe-140B	4	HORE	12	0.00%	UNDERDRAIN (ADS H-12 SLOTTED)
Pipe-140C	4	HORE	19	0.00%	UNDERDRAIN (ADS H-12 SLOTTED)
Pipe-141	12	PVC	74	1.00%	
Pipe-200	15	PVC	44	1.00%	EXIST COMBINED SEWER
Pipe-200A	10	PVC	45	1.03%	REFER TO PLUMBING PLANS FOR CONNECTION @ BLDG
Pipe-201	15	RCP	392	2.54%	EXIST COMBINED SEWER
Pipe-201A	12	RCP	20	1.47%	
Pipe-251	12	RCP	88	5.52%	

NOTE: BACKFLOW VALVES FOR PIPES-130B AND 132 SHALL BE TERMINAL STYLE EITHER GASKETED OR SOLVENT WELD AND SUPPLIED BY PLASTIC TRENDS, INC. OR APPROVED EQUAL.

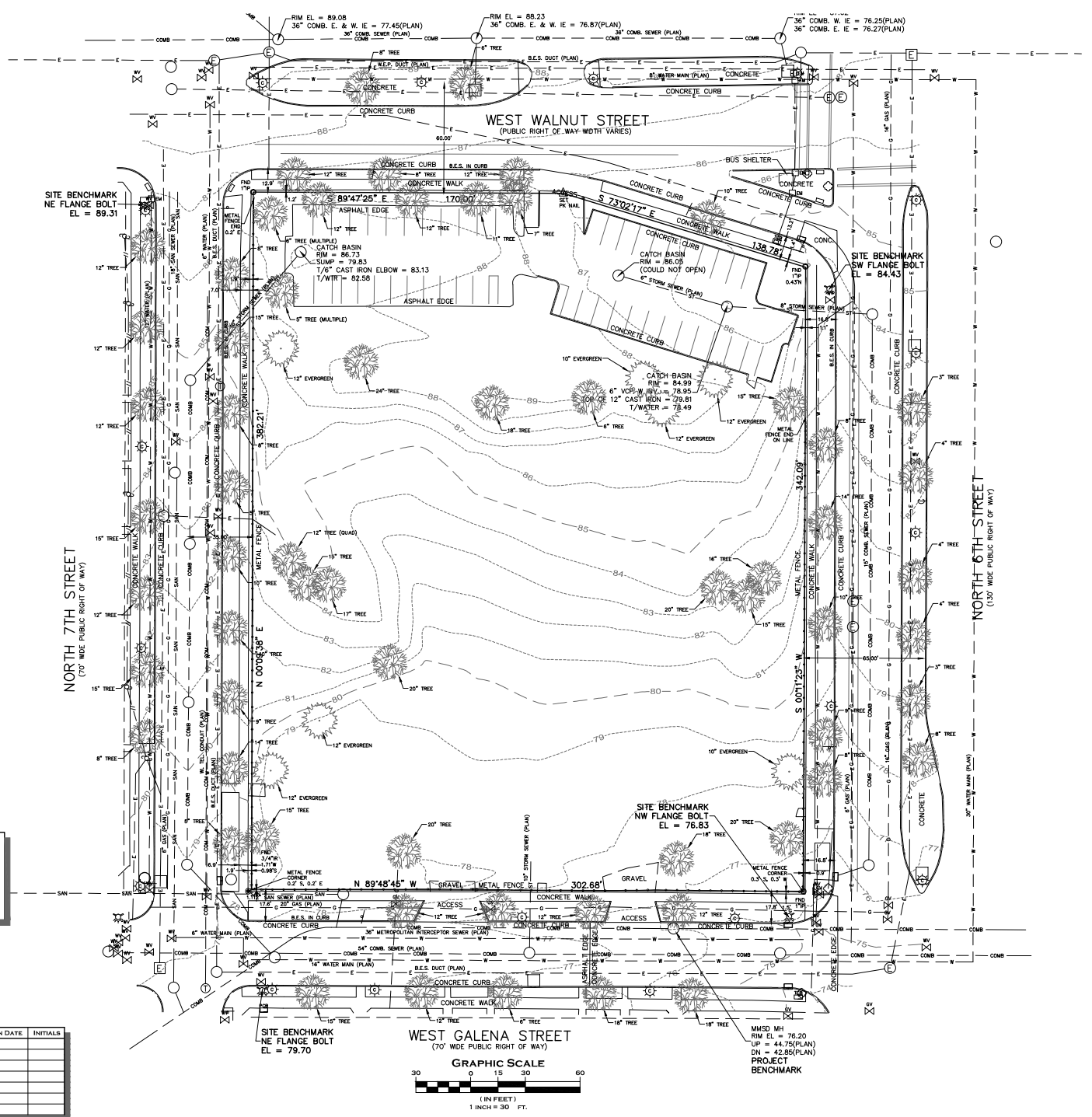
- NOTES**
- CAUTION BURIED UTILITIES. VERIFY EXACT LOCATION AND ELEVATION PRIOR TO STARTING CONSTRUCTION.
 - EXISTING PAVEMENT AND CURB TO BE REMOVED AND REPLACED PER CITY OF MILWAUKEE ROADWAY STANDARDS. SLURRY BACKFILL REQUIRED. MATCH EXISTING CITY CURB STYLE.
 - DENOTES PROPOSED HANDICAP PARKING LOCATION. MAX SLOPE OF 2% IN ANY DIRECTION FOR THIS AREA.
 - REMOVE AND REPLACE EXISTING PAVEMENT AS REQUIRED TO MATCH INTO PROPOSED CURB. PROVIDE POSITIVE DRAINAGE TO THE CURB LINE AND ALONG THE CURB LINE TO THE EAST.
 - ABANDON EXISTING STORM LINE PER CITY OF MILWAUKEE REQUIREMENTS.
 - REMOVE AND REPLACE EXISTING CURB AND PAVEMENT AS REQUIRED TO INSTALL PROPOSED CATCH BASIN. PAVEMENT SECTION SHALL MATCH CITY OF MILWAUKEE REQUIREMENTS. SLURRY BACKFILL REQUIRED.
 - INSTALL CITY OF MILWAUKEE TYPE II CURB RAMP. REMOVE AND REPLACE CURB AS REQUIRED TO INSTALL RAMP.



IN ACCORDANCE WITH WISCONSIN STATUTE 182.075, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED TONE CALL SYSTEM NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS. A FOURTH EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



CAPITOL SURVEY ENTERPRISES
 237 SOUTH CURTIS ROAD
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 WWW.CAPITOLSURVEY.COM



LEGEND

— SAN	— SANITARY SEWER	□ ELEC. TRANSFORMER	⊗ METAL LIGHT POLE
— ST	— STORM SEWER	□ ELEC. BOX AT GRADE	⊗ YARD LIGHT
— W	— WATER MAIN	□ GAS METER	⊗ UTILITY POLE
— G	— BURIED GAS LINE	□ TV PEDestal	⊗ HYDRANT
— TEL	— BURIED TELEPHONE LINE	□ FENCE OPTIC BARRIER	⊗ AUTO SPRAWLER
— E	— BURIED ELECTRIC LINE	□ AIR CONDITIONER	⊗ GAS VALVE
— U	— OVERHEAD UTILITY LINES	□ METAL SIGN	⊗ DOOR SILL ELEVATION
— T	— BURIED FIBER OPTIC LINE	□ HOLLOW	⊗ MAIL BOX
—	— EDGE OF TREES AND BRUSH		

NO.	DESCRIPTION	REVISION DATE	INITIALS

LEGAL DESCRIPTION:
 BLOCK LETTERED "E" IN PLYMOUTH HILL, BEING A RE-SUBDIVISION OF BLOCKS 98, 99, 100, 101 AND PART OF BLOCK 106 AND VACATED ALLEYS THEREIN AND CERTAIN VACATED STREETS ADJACENT IN THE PLAT OF THE TOWN OF MILWAUKEE (ORIGINAL BLOCKS) ON THE WEST SIDE OF THE RIVER, IN THE SOUTHWEST 1/4 OF SECTION 20, IN TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

NOTES
 1. LEGAL DESCRIPTION OBTAINED FROM CLIENT.
 2. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 3. PROJECT BENCHMARK - MMSD MANHOLE RIM FOUND ON THE NORTH SIDE OF GALENA STREET RIGHT OF WAY APPROXIMATELY 90' WEST OF N. 6TH ST. EL = 76.20

DIGGERS HOTLINE
 Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

TOPOGRAPHIC MAP
 FOR
SOLOURNER FAMILY PEACE CENTER
 619 W WALNUT ST
 MILWAUKEE, WI

DRAWN BY:	RAP/NF	DATE:	10-3-13
CHECKED BY:	MJB	DRAWING NO.:	T-0
CSE JOB NO.:	13-119	SHEET:	1 OF 1

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 ARCHITECTURAL STUDIOS, INC.
 2122 West Mt. Vernon Avenue | Milwaukee, WI 53233 | zstudios.com
 TELEPHONE [414] 476.9500
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PROJECT
Sojourner Family Peace Center



205 West Highland Avenue
 Milwaukee WI 53203
 Tel 414.690.1256
 Fax 414.224.7764
 MSE Project No: 007-13

ISSUANCE AND REVISIONS
DPD Submittal

KEY PLAN

PROGRESS PRINT
 FOR COORDINATION ONLY
 DATE: February 11, 2014

SHEET INFORMATION
Existing Site Survey

SCALE: 1" = 30'

DATE	DESCRIPTION

DATE
 3/11/2014

PROJECT NUMBER	STUDIO
130108.00	Sabinash

HARWOOD ENGINEERING CONSULTANTS, LTD.
 255 North 31st Street Milwaukee Wisconsin 53233
 414.478.5554 414.473.9299 fax: 414.478.5554
 HEC Project Number: 13-0108.00

C102

NOTE: SURVEY COMPLETED BY CAPITOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED.

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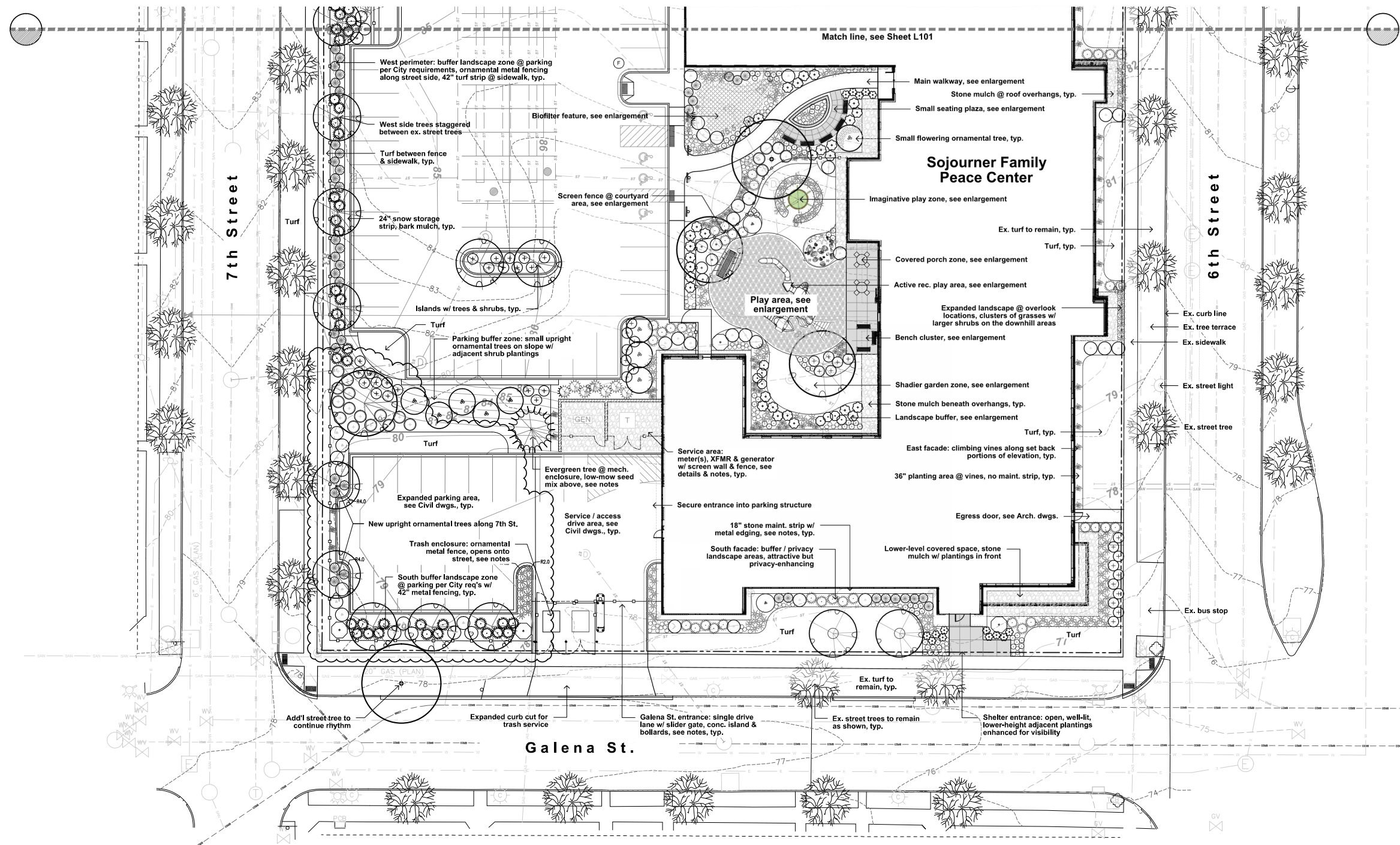
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PROJECT
Sojourner Family Peace Center
Updated per FN150608

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M&B Project No. 007-13

ISSUANCE AND REVISIONS
Bid Set

KEY PLAN

SHEET INFORMATION

REVISIONS

DATE	DESCRIPTION
09/28/15	CB#14 revised

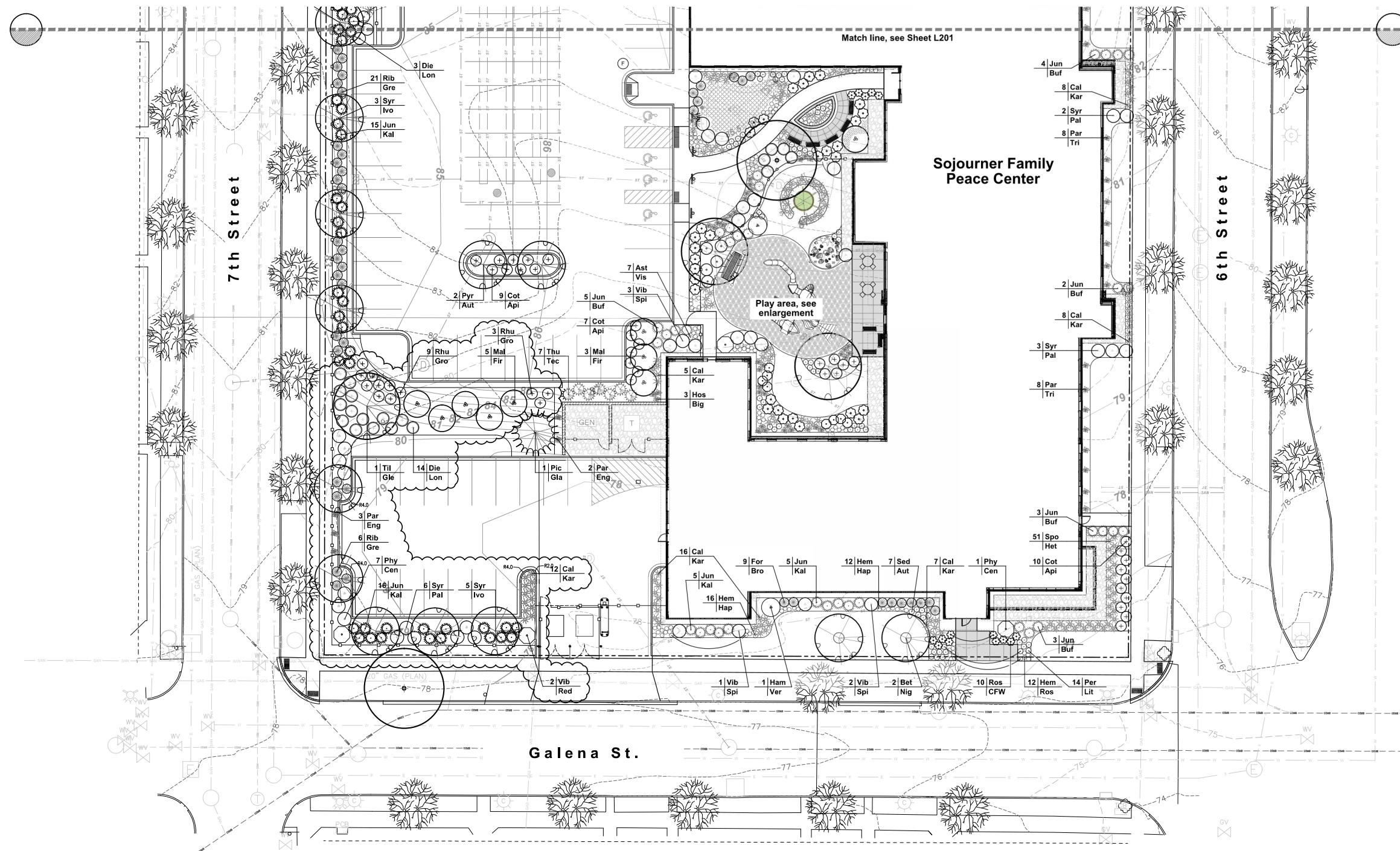
DATE
June 20, 2014

PROJECT NUMBER 130108.00	STUDIO Sabinash
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Site / Landscape Plans

L100
© ZIMMERMAN ARCHITECTURAL STUDIOS, INC.

1 Landscape Plan - South
Scale: 1/16"=1'-0"



Sojourner Family Peace Center

Play area, see enlargement

Match line, see Sheet L201

7th Street

6th Street

Galena St.

1 Landscape Plan - South
Scale: 1/16"=1'-0"

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09/28/15	CB#14 revised

DATE	June 20, 2014
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STUDIO	Sabinash

Planting Plans
L200
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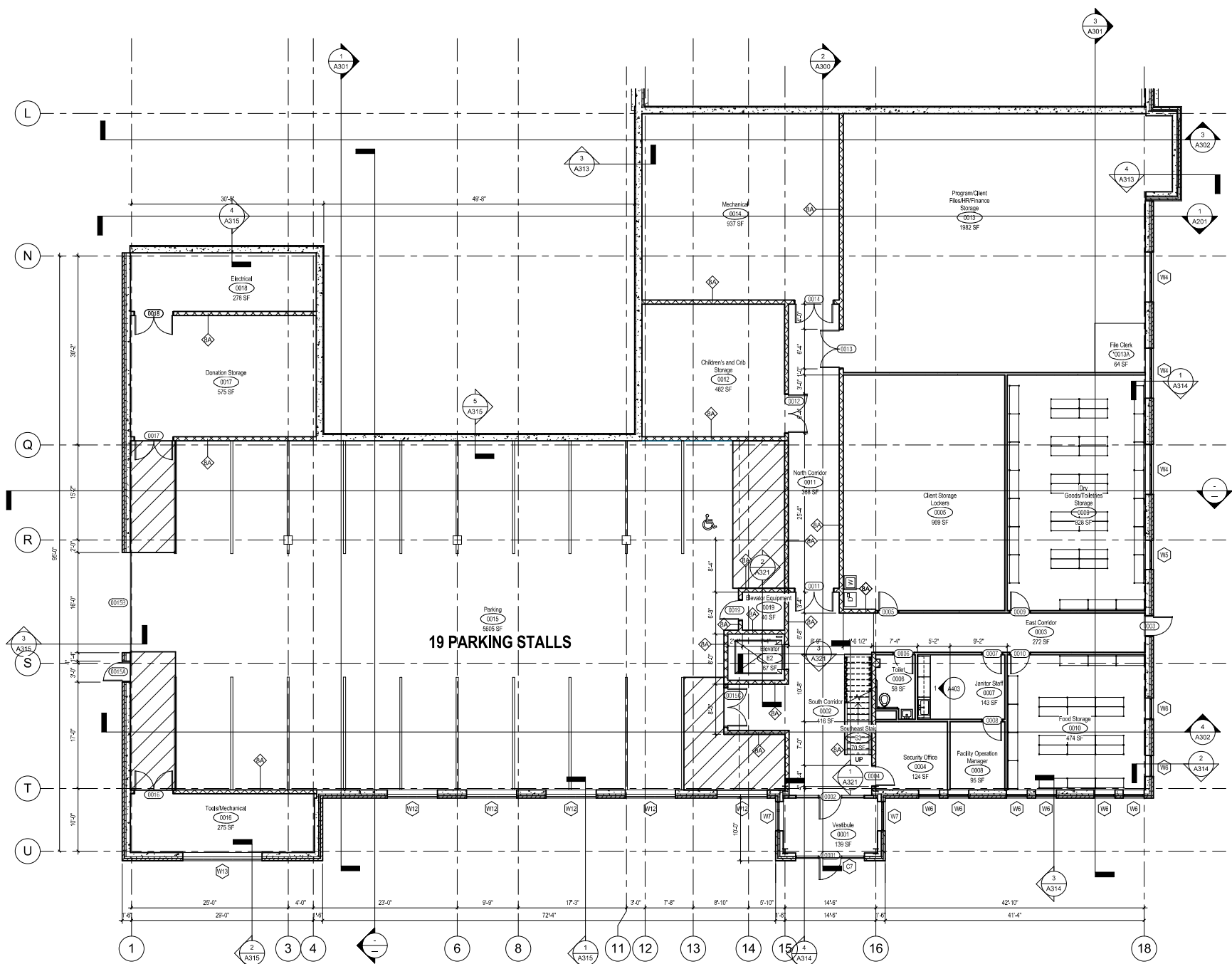
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GENERAL NOTES

INTERIOR WALLS TO BE WALL TYPE 2, UNLESS NOTED OTHERWISE.



PROJECT

Sojourner Family Peace Center



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ISSUANCE AND REVISIONS

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KEY PLAN

SHEET INFORMATION

REVISIONS

DATE	DESCRIPTION

DATE
March 12, 2014

PROJECT NUMBER 130108.00	STUDIO Sabinash
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Lower Level Floor Plan

A100

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1 Lower Level Plan - South
 1/8" = 1'-0"

GENERAL NOTES

INTERIOR WALLS TO BE WALL TYPE 2, UNLESS NOTED OTHERWISE.

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ISSUANCE AND REVISIONS
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KEY PLAN

SHEET INFORMATION

REVISIONS

DATE	DESCRIPTION
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DATE
March 12, 2014

PROJECT NUMBER	STUDIO
130108.00	Sabinash

First Floor Plan - North
A101
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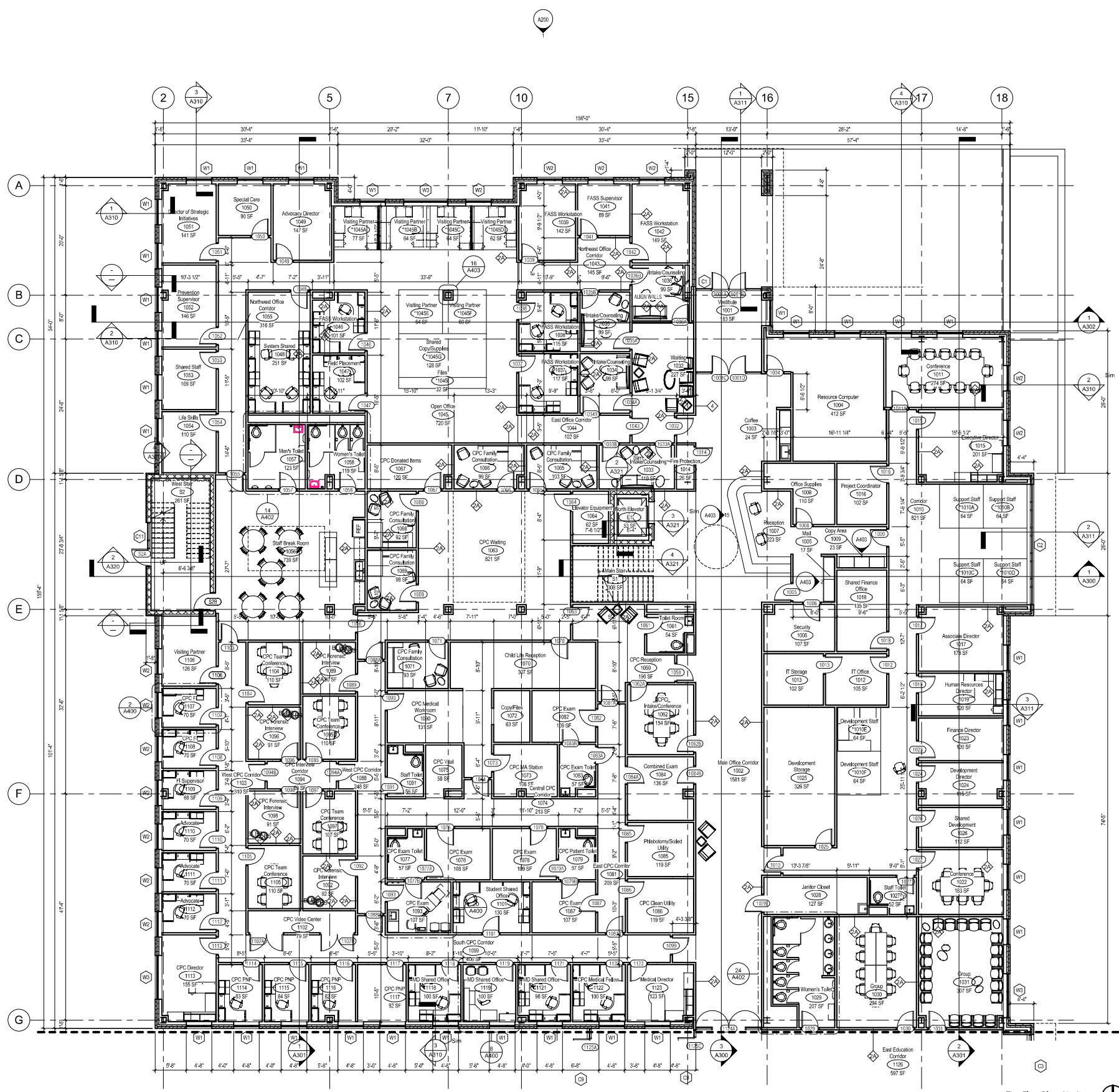
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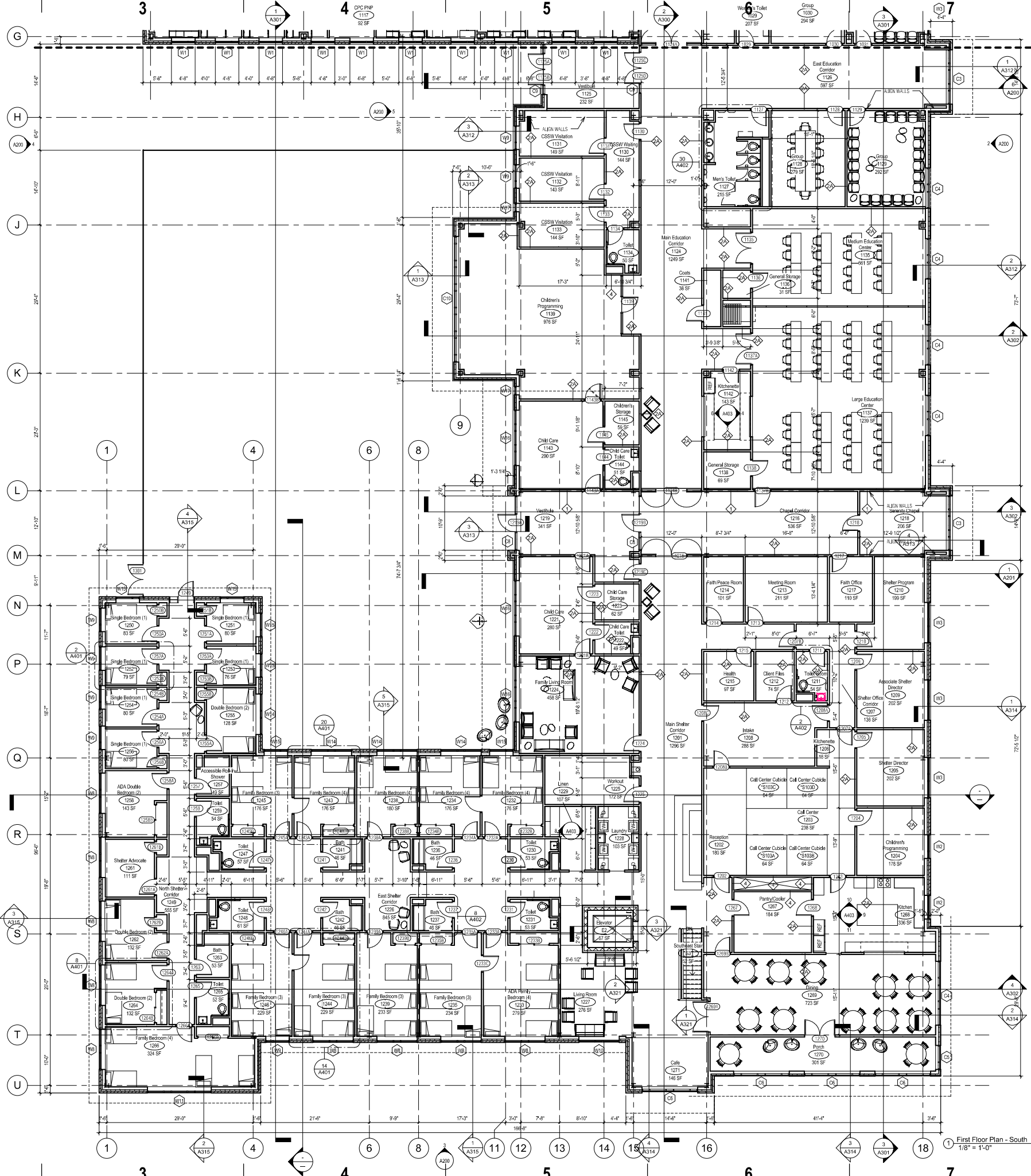
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1 First Floor Plan - North
1/8" = 1'-0"

GENERAL NOTES

INTERIOR WALLS TO BE WALL TYPE 2, UNLESS NOTED OTHERWISE.



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PROJECT
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MBE Project No. 007-13

ISSUANCE AND REVISIONS

KEY PLAN

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REVISIONS

DATE	DESCRIPTION

DATE
March 12, 2014

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130108.00

STUDIO
Sabinash

First Floor Plan - South
1/8" = 1'-0"

A102

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GENERAL NOTES

INTERIOR WALLS TO BE WALL TYPE 2, UNLESS NOTED OTHERWISE.

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PROJECT

**Sojourner Family
Peace Center**



ARCHITECTS-ENGINEERS

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Tel 414.690.1256
Fax 414.224.7764
MBE Project No: 007-13

ISSUANCE AND REVISIONS

DPD Submittal

KEY PLAN

SHEET INFORMATION

REVISIONS

DATE	DESCRIPTION
07/23/2014	Design Development Set

DATE
March 12, 2014

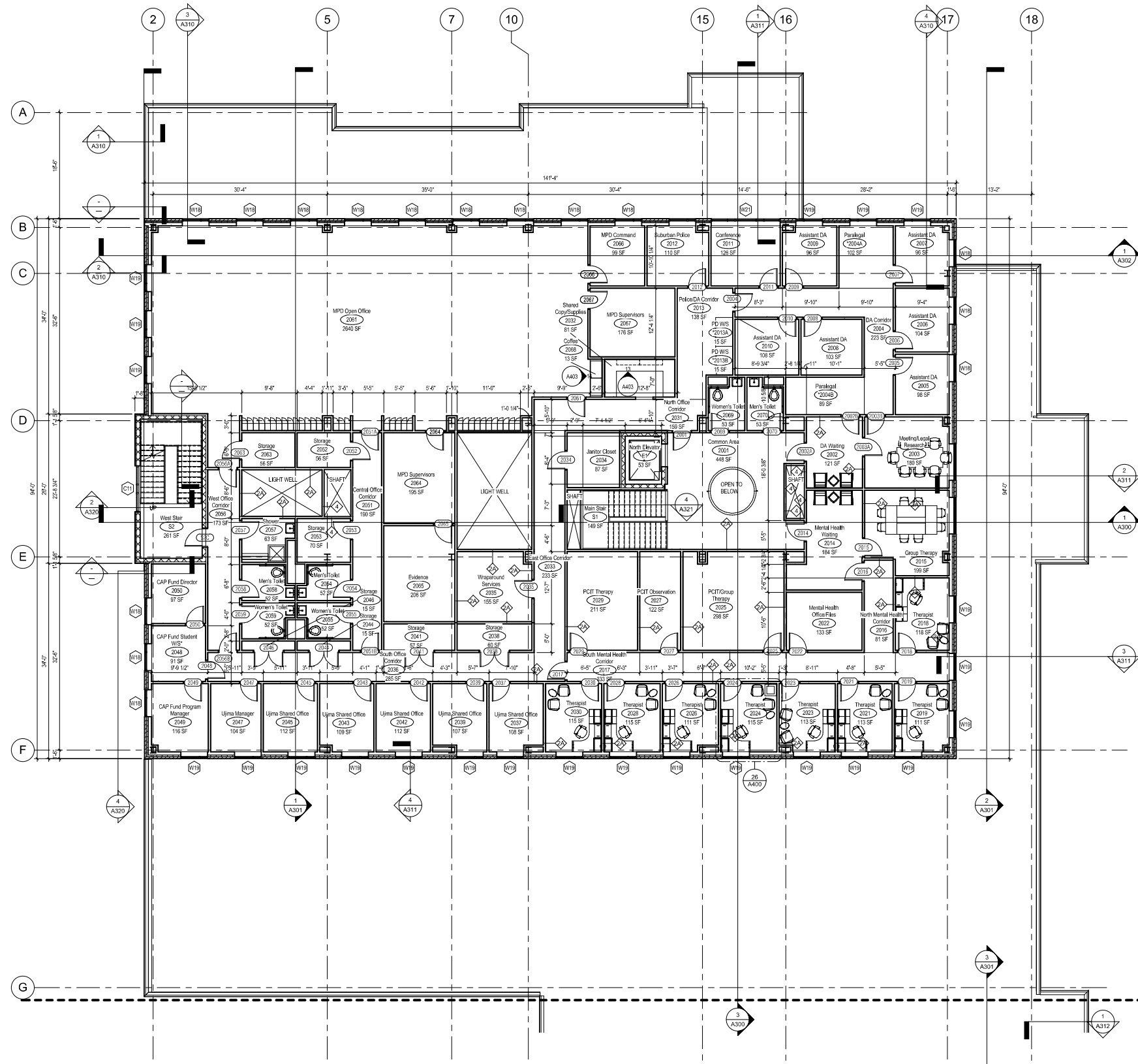
PROJECT NUMBER
130108.00

STUDIO
Sabinash

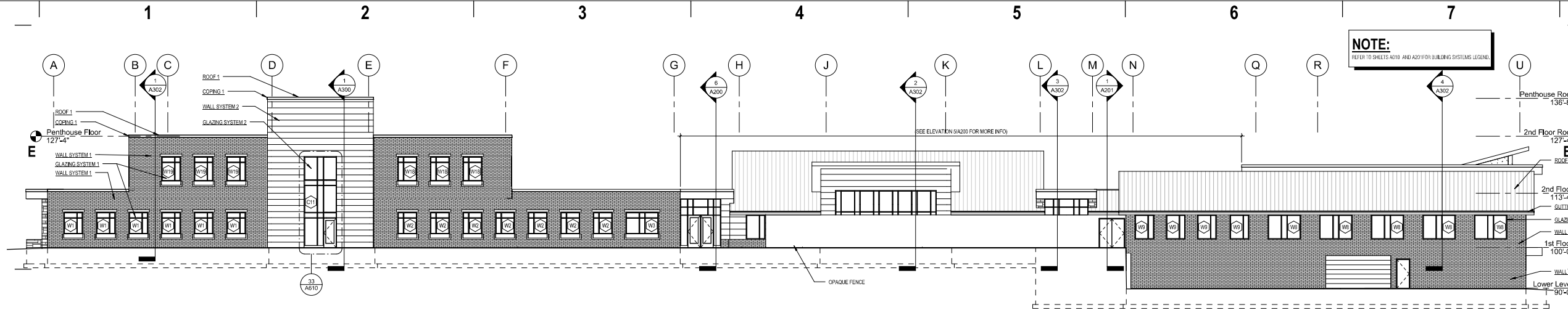
Second Floor Plan

A103

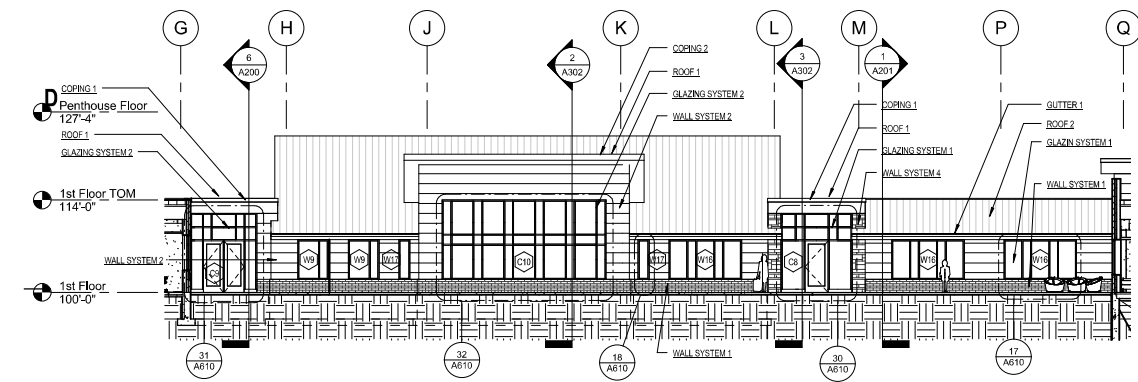
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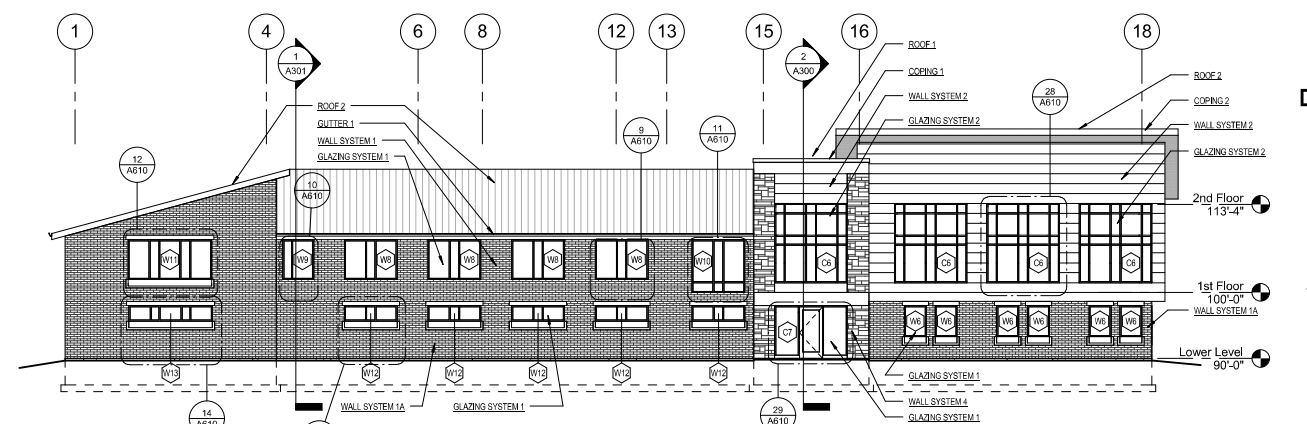
1 Upper Level Plan - North
1/8" = 1'-0"



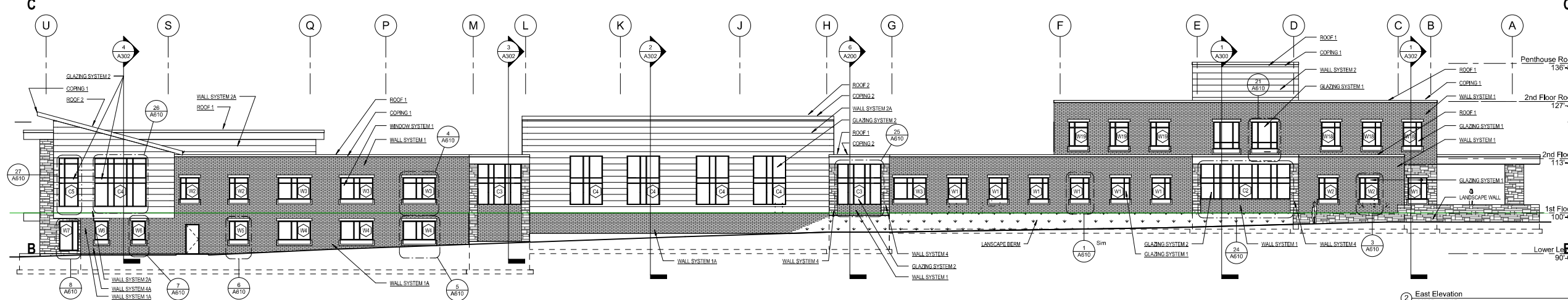
4 West Elevation
3/32" = 1'-0"



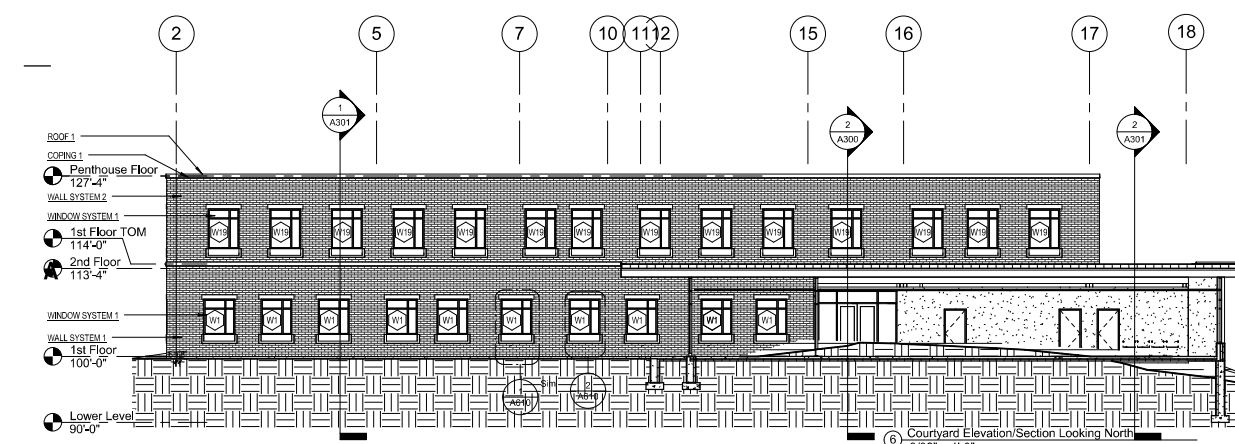
5 West Courtyard Elevation
3/32" = 1'-0"



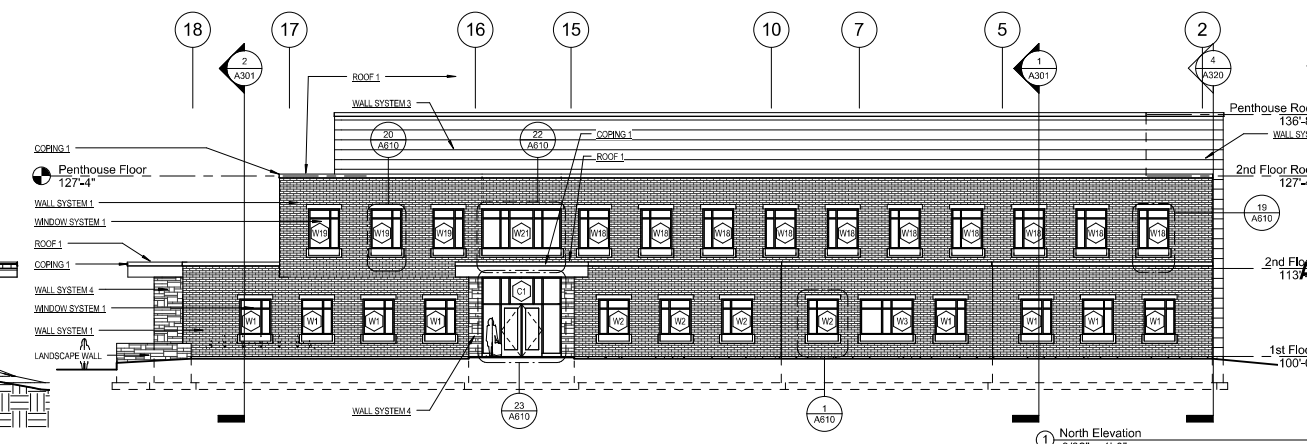
3 South Elevation
3/32" = 1'-0"



2 East Elevation
3/32" = 1'-0"



6 Courtyard Elevation/Section Looking North
3/32" = 1'-0"



1 North Elevation
3/32" = 1'-0"

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ISSUANCE AND REVISIONS

DPD Submittal

KEY PLAN

SHEET INFORMATION

REVISIONS

DATE	DESCRIPTION

DATE
March 12, 2014

PROJECT NUMBER
130108.00

STUDIO
Sabinash

Exterior Elevations

A200
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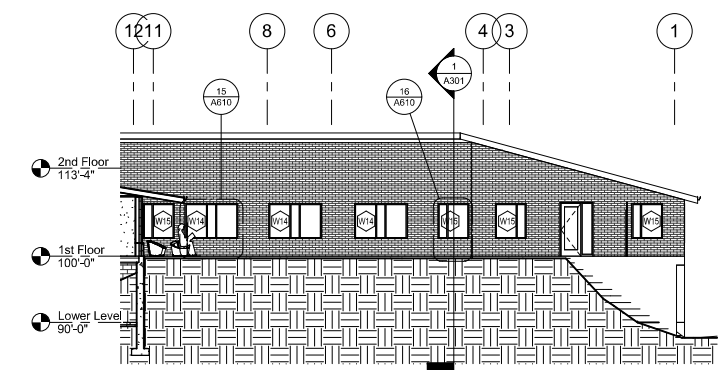
ISSUANCE AND REVISIONS
DPD Submittal

KEY PLAN

BUILDING SYSTEMS, ASSEMBLIES AND COMPONENTS

- ROOF 1:** (Typical Condition)
Thermoplastic polyolefin membrane on minimum 4" expanded polystyrene foam insulation on 1'-1/2" wide galvanized roof deck.
- ROOF 2:** (Pitched roof)
TPO membrane with welded ribs on minimum 4" expanded polystyrene foam insulation on 1'-1/2" wide galvanized roof deck.
- SOFFIT:**
3/8" fire-rated building panel system on 4" polystyrene insulation on spray air and vapor barrier on 1/2" fiberglass mat gypsum panel sheathing on 3-6" structural steel studs.
- STAIR 1:**
Concrete-filled metal pan stair on steel framing as designed by steel stair supplier.
- WALL SYSTEM 1A:** (Brick exterior wall)
Utility brick with plastic weeps and vents at 36" o.c. with 1" airspace (G.U.O.) on 3" polystyrene insulation on spray air and vapor barrier on cast-in-place concrete wall.
- WALL SYSTEM 1B:** (Brick exterior wall at Shelter parking)
Utility brick with plastic weeps and vents at 36" o.c. with 1" airspace (G.U.O.) on 3" polystyrene insulation on spray air and vapor barrier on cast-in-place concrete wall.
- WALL SYSTEM 2:** (Fiber cement board wall at West stair)
18" x 12" fiber cement board panel on metal clip system on 3" polystyrene insulation on spray air and vapor barrier on 1/2" fiberglass mat gypsum panel sheathing on 6" structural steel stud with 5/8" GWS on inside face.
- WALL SYSTEM 2A:** (Fiber cement board wall)
18" x 12" fiber cement board panel on metal clip system on 3" polystyrene insulation on spray air and vapor barrier on 1/2" fiberglass mat gypsum panel sheathing on 6" structural steel stud with 5/8" GWS on inside face.
- WALL SYSTEM 3:** (Screen wall)
18" x 12" fiber cement board panel on metal clip system on 1/2" fiberglass mat gypsum panel sheathing on 6" metal stud wall.
- WALL SYSTEM 4:** (Stone exterior wall)
Random natural stone with plastic weeps and vents at 36" o.c. with 1" airspace (G.U.O.) on 3" polystyrene insulation on spray air and vapor barrier on cast-in-place concrete wall.
- WALL SYSTEM 5:** (Stone exterior wall at Shelter parking)
Random natural stone with plastic weeps and vents at 36" o.c. with 1" airspace (G.U.O.) on 3" polystyrene insulation on spray air and vapor barrier on cast-in-place concrete wall.
- CEILING 1:** (Typical Condition)
Thermoplastic polyolefin membrane on minimum 4" expanded polystyrene foam insulation on 1'-1/2" wide galvanized roof deck.
- FLOOR 1:** (Slo on grade)
3" concrete slab w/ rebar mesh over polyethylene vapor barrier and 6" freely draining compacted granular fill sub-base. Provide pre-cast panel fill at columns and perimeter. (See structural drawings for reinforcing, control joint locations and additional information).
- FLOOR 2:** (Upper Level Floor)
3" concrete topping over 1-1/2" wide rebar mesh on steel joist and beam system.
- FLOOR 3:** (Shelter Floor)
3" concrete topping on 1" polystyrene insulation over hollow core precast concrete plank.
- FOUNDATION 1:**
Reinforced, cast-in-place, poured concrete foundation wall over reinforced concrete footing. Provide 2" rigid insulation (R-10 min.) from top of concrete footing to top of foundation wall on the interior face of the concrete foundation wall. Provide joint fill at columns and exterior wall once concrete slab is poured.
- GLAZING SYSTEM 1:**
Fixed anchored aluminum storefront window.
- GLAZING SYSTEM 2:**
Fixed anchored aluminum curtain wall window.
- GUARDRAIL 1:**
Painted steel rail system to be mounted 3'-6" above finish floor. Intermediate space to be filled with 1" x 1" horizontal painted steel balusters @ 4" o.c.
- GLAZER 1:**
Prefinished aluminum quarter.
- HANGAR 1:**
1'-1/2" dia. painted steel rail system to be mounted 3'-0" A.F.F. and attached to gwall or wall.
- LINTEL & SILL:**
Cast stone lintel & sill.

NOTE:
REFER TO SHEETS A013 AND A201 FOR BUILDING SYSTEMS LEGEND.



1 Courtyard Elevation/Section Looking South
3/32" = 1'-0"

SHEET INFORMATION

REVISIONS

DATE	DESCRIPTION

DATE
March 12, 2014

PROJECT NUMBER
130108.00

STUDIO

Exterior Elevations
A201
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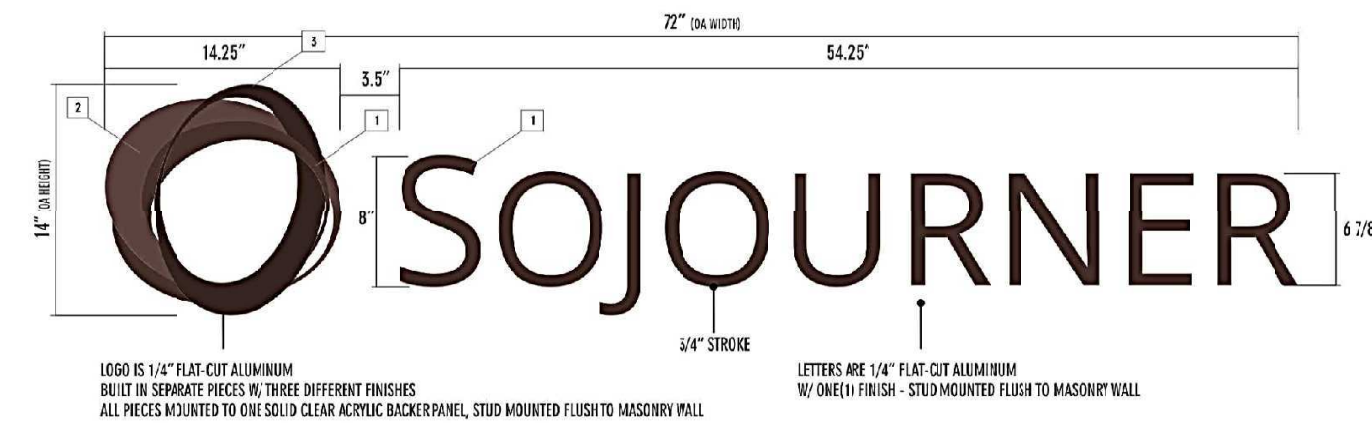
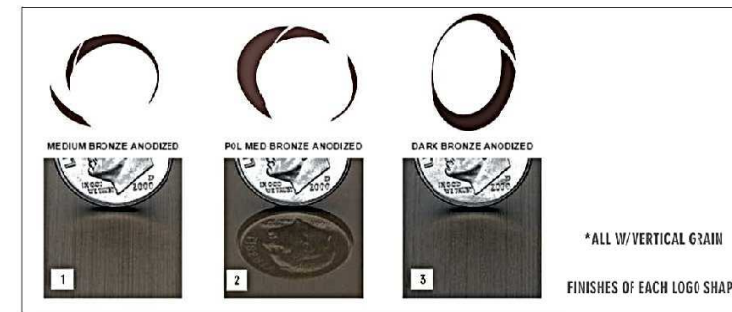


SCALE: 1/4" = 1' 0"

CROSS SECTION VIEW

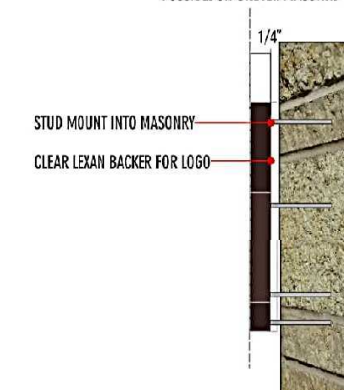


MOUNTING SURFACE



SCALE: 1 1/2" = 1' 0"

MOUNT SO FACES ARE FLUSH AS POSSIBLE ON UNEVEN MASONRY



SIDE VIEW
THICKNESS EXAGGERATED

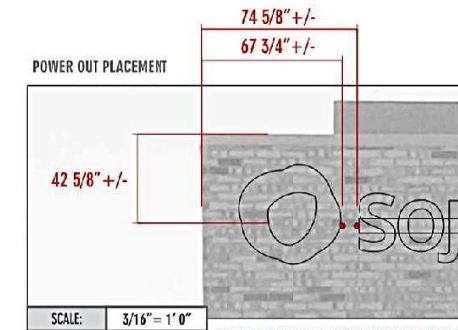
Planter Wall Sign at East Elevation



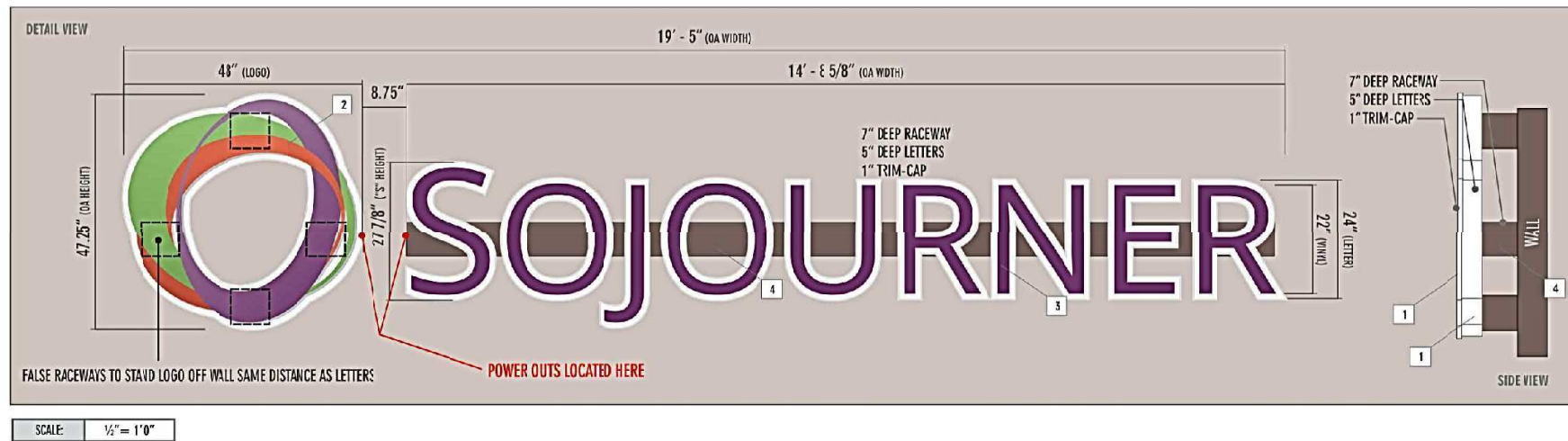
LOCATION OF SECURITY CAMERA (NOT SHOWN)
TO BE COORDINATED AND IDENTIFIED DURING FIELD SURVEY

FACE-LIT CHANNEL LETTERS/LOGO ON A RACEWAY

- 5" DEEP ALUMINUM RETURNS - PRE-FINISHED WHITE
- 3/16" WHITE ACRYLIC FACES
- LOGO: DUAL LAYER DIGITALLY PRINTED GRAPHICS ON CLEAR VINYL W/ 1" WHITE FACE BORDER
POWER SUPPLY SELF CONTAINED
- LETTERS: ONE(1) COLOR TRANS. VINYL W/ 1" WHITE FACE BORDER
POWER SUPPLY INSIDE RACEWAY
- 1" WHITE TRIM-CAP
- LIT W/ WHITE LED'S
- 7" X 7" - ALUMINUM RACEWAY - PAINTED TO MATCH BUILDING TBD
- MOUNTED FLUSH TO BUILDING ON RACEWAY



IDEAL PLACEMENT PENDING SURVEY RESULTS



Building Sign at North Elevation- East End