

NORTH SHORE BANK

EL REY BRANCH

CONSTRUCTION SET

MPA 2019.10

**NORTH SHORE BANK
EL REY BRANCH**
1320 W. BURNHAM ST.
MILWAUKEE, WI. 53204

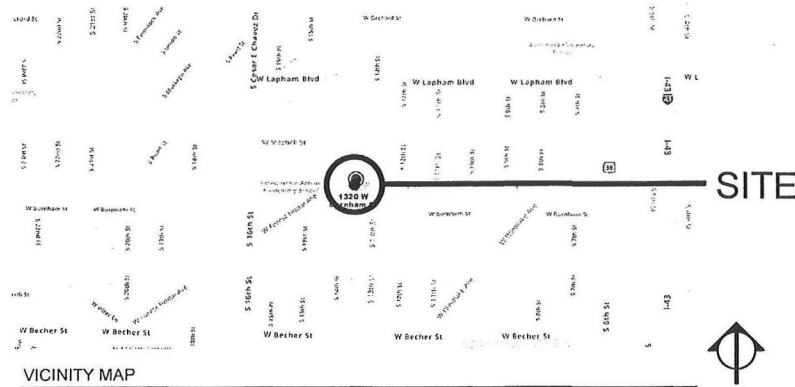
OWNER:

NORTH SHORE BANK
OWNER'S REPRESENTATIVE : DAVID KANE
15700 WEST BLUEWOUND ROAD
BROOKFIELD, WI 53005
262-787-6818
DKANE@NORTHSHOREBANK.COM



**Michael Peine
Architects**
Commercial - Industrial
Design/Build Partnering

4617 N. Idlewild Ave.
Whitefish Bay, WI 53211
(608) 516-0531 Phone
e-mail: mpeine@wi.rr.com



PROJECT DESCRIPTION:

North Shore Bank is a tenant to the El Rey Grocery store at 1320 W. Burnham St in Milwaukee. They currently occupy 722 sf of space near the entry to the store and with to alter their existing space to accommodate a new service delivery for their customers. Additionally, per ADA Disproportionality, an existing ADA Unisex toilet will be updated to current ADA requirements as part of the scope of the project.

CODE ANALYSIS:

The project is a 722 sf, "B" occupancy, Type 2 Alteration on the first floor Sprinkled, Type 2B Class of Construction building.

NOTES:

- ALTHOUGH EVERY EFFORT HAS BEEN MADE IN CHECKING AND PREPARING THESE PLANS FOR ACCURACY, ALL CONTRACTORS MUST CHECK, VERIFY AND BE RESPONSIBLE FOR ALL DETAILS ON NEW AND EXISTING BUILDINGS.
- ALL WORK ON THIS PROJECT IS TO BE GOVERNED BY THE LAST EDITION OF THE CODES APPLICABLE TO THE LOCAL ORDINANCES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACCEPTED BUILDING PRACTICES AND INDUSTRY STANDARDS.
- VERIFY AND USE ONLY WRITTEN DIMENSIONS. DO NOT SCALE OR MEASURE DIMENSIONS DIRECTLY FROM THE PRINTS.
- ALL CONTRACTORS MUST BE RESPONSIBLE FOR ALL AND ANY DAMAGE TO "EXISTING" STRUCTURE(S) CAUSED EITHER DIRECTLY OR INDIRECTLY BY THEIR TRADES.
- VERIFY ALL UNCERTAIN ITEMS WITH OWNER, BUILDER, AND/OR ARCHITECT.
- ARCHITECT WILL NOT BE RESPONSIBLE FOR EXISTING OR PRE-EXISTING SOIL OR STRUCTURAL CONDITIONS.
- THE ARCHITECT SHALL NOT BE REQUIRED TO MAKE EXHAUSTIVE OR CONTINUOUS ON-SITE INSPECTIONS TO CHECK THE QUALITY OR QUANTITY OF WORK PERFORMED.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PROCEDURES OR PROGRAMS IN CONNECTION WITH THE WORK. NOR SHALL THE ARCHITECT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- LIMITATION OF WARRANTY OF ARCHITECT'S WORK/PRODUCT
THE ARCHITECT AND THE ARCHITECTS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY OR COMPLETENESS OF THE WORK/PRODUCT THERE-IN BEYOND REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE WORK/PRODUCT, THE ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT THE ARCHITECT MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ARCHITECT OF SUCH CONDITIONS SHALL ABSOLVE THE ARCHITECT OF ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT OF THE ARCHITECT, OR IN CONTRADICTION TO THE ARCHITECT'S WORK/PRODUCT OR RECOMMENDATIONS SHALL BECOME THE RESPONSIBILITY, NOT OF THE ARCHITECT, BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

SHEET INDEX:

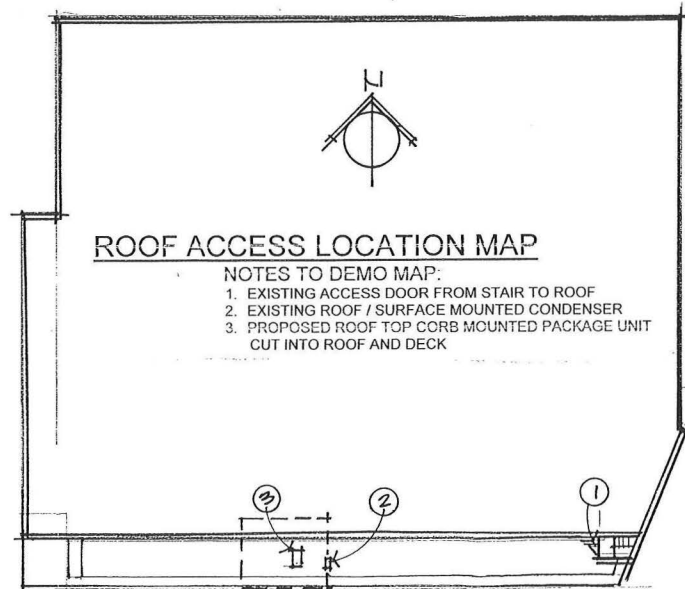
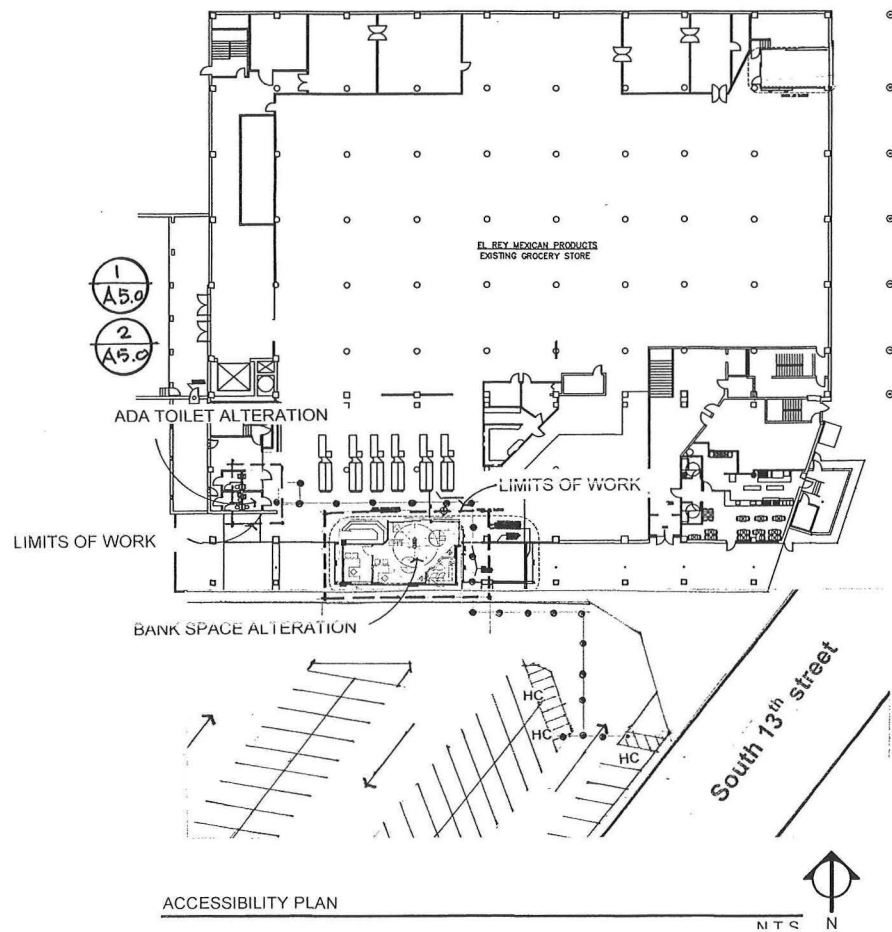
T-1 TITLE SHEET

ARCHITECTURAL

- D-1.0 DEMOLITION
- A-1.0 PLANS
- A-2.0 SECTIONS & ELEVATIONS
- A-3.0 SECTIONS AND DETAILS
- A-4.0 DETAILS AND CASEWORK
- A-4.1 DETAILS AND CASEWORK
- A-5.0 SCHEDULES AND DETAILS

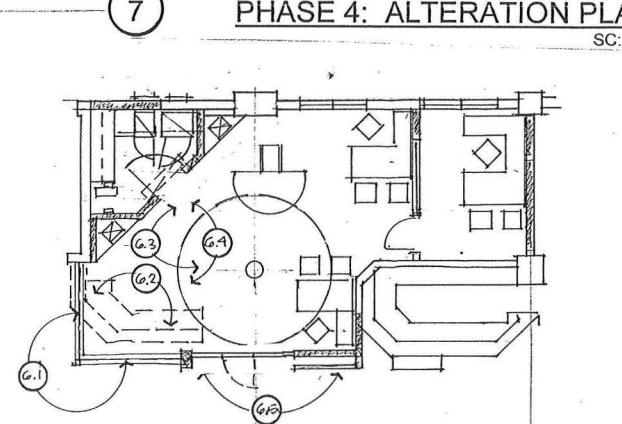
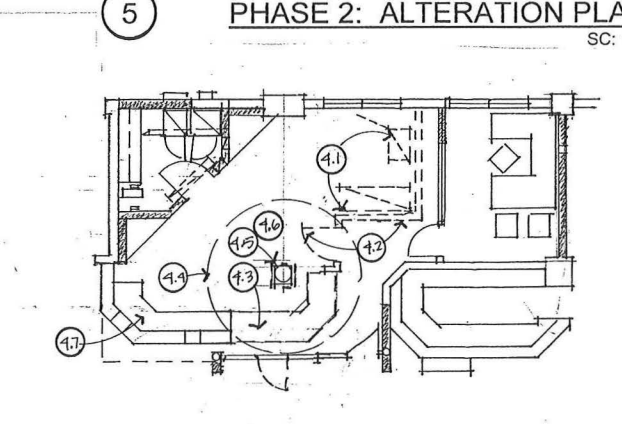
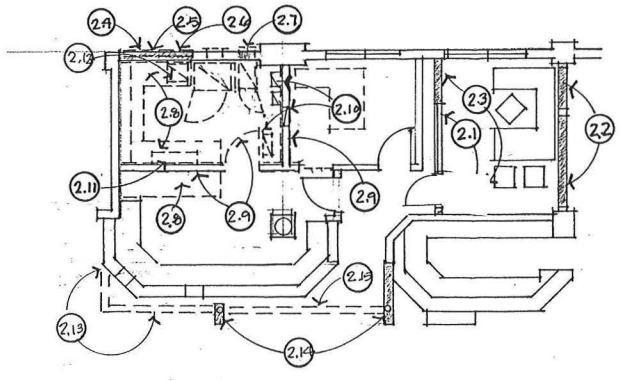
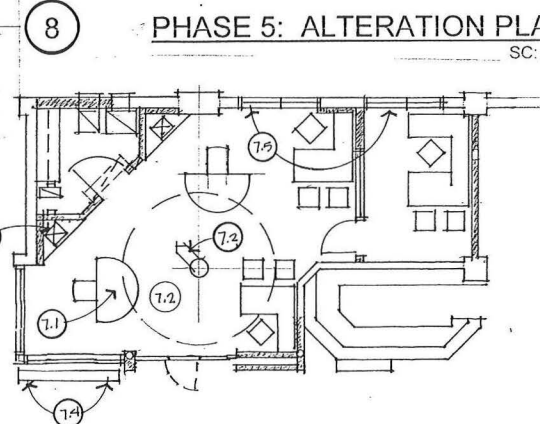
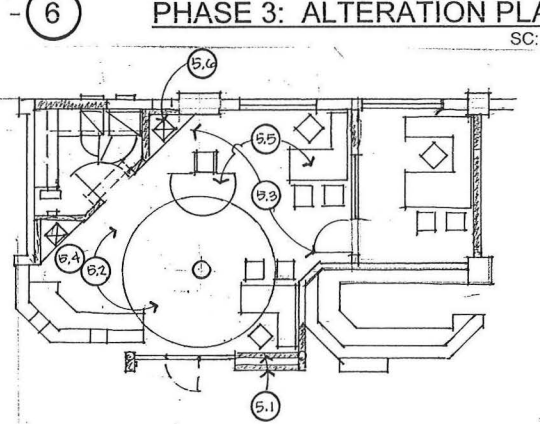
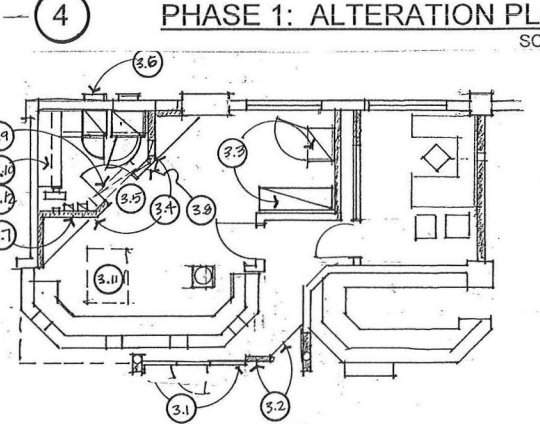
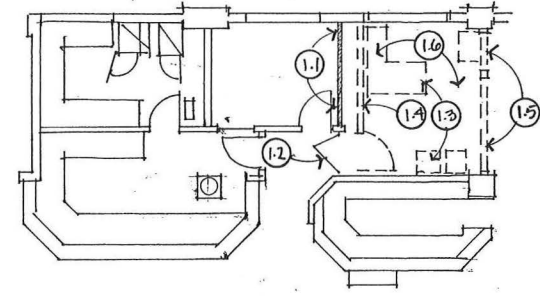
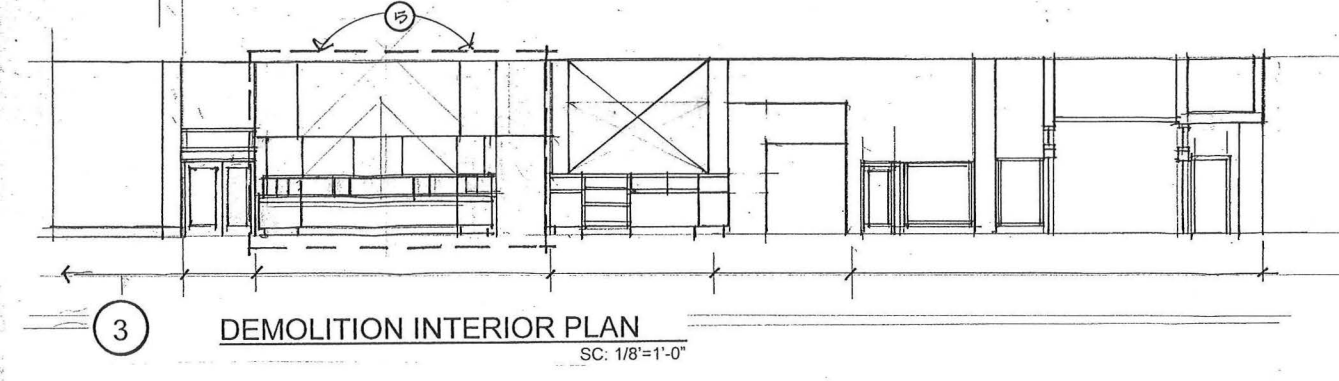
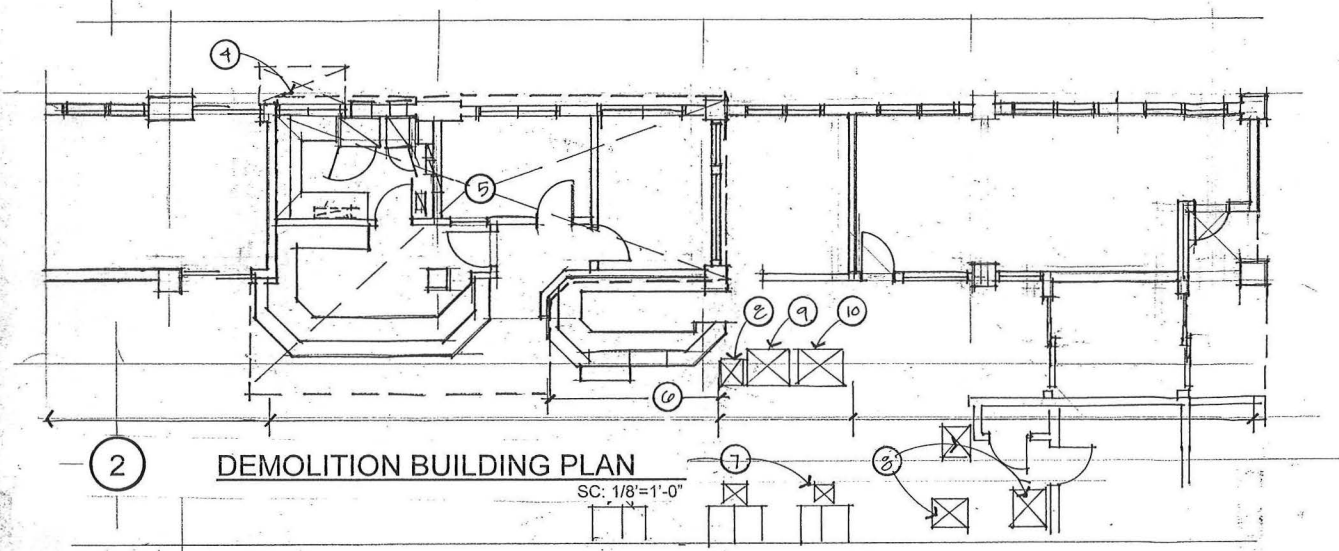
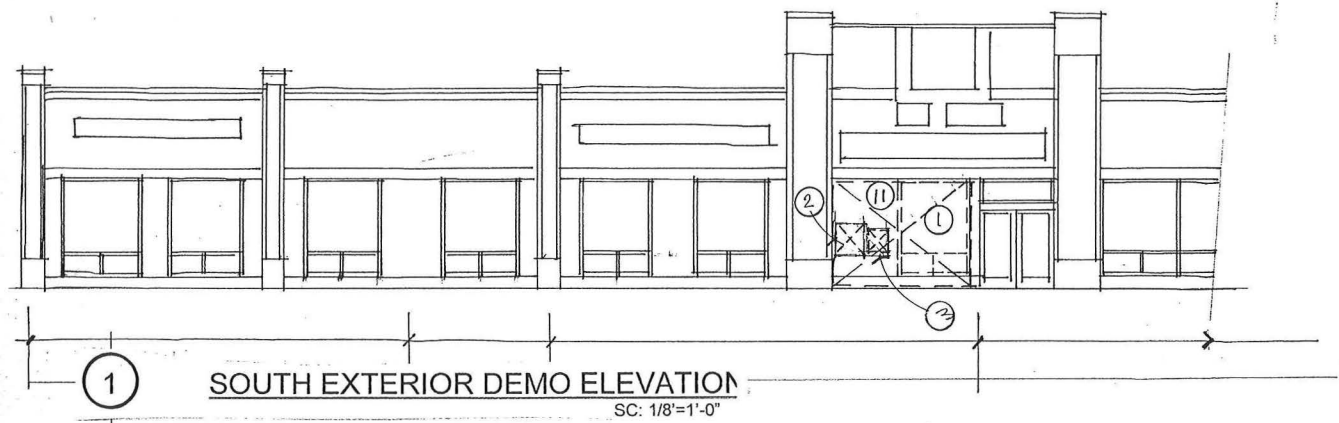
FURNITURE EQUIPMENT POWER DATA

FE-1.0 FURN / EQUIPT/ PWR / DATA



REVISIONS	
DRAWN	
CHECKED	MPA
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SCALE	N/S
JOB NO.	MPA 2019.10
SHEET DESCRIPTION	TITLE SHEET
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T-1.0



DEMOLITION DESCRIPTION PER PHASES

- NOTES TO PHASE 1:**
- 1.1 ERECT TEMPORARY PARTITION
 - 1.2 INSTLL TEMPORARY LOCKABLE DOOR
 - 1.3 REMOVE EXISTING FURNITURE
 - 1.4 REMOVE EXISTING PARTITION TO EXTENT SHOWN
 - 1.5 REMOVE INTERIOR GLAZING TO EXTENT SHOWN
 - 1.6 REMOVE FLOORING, CEILING AND FICIELING FIXTURES
- NOTES TO PHASE 2:**
- 2.1 ERECT NEW GLAZED PARTITION AND DOOR
 - 2.2 INFILL WALL OPENINGS WITH FRAMING AND DRYWALL
 - 2.3 INSTALL FLOORINGS, CEILING AND FICIELING FIXTURES
 - 2.4 REMOVE EXTERIOR GLAZED WALL OPENING
 - 2.5 INFILL EXTERIOR WALL OPENING WITH FRAMING AND BRICK
 - 2.6 PROVIDE NEW WALL OPENING FOR RELOCATION OF ATM
 - 2.7 INFILL FORMER ATM WALL OPENING WITH FRAME AND BRICK
 - 2.8 REMOVE CASEWORK TO EXTENT SHOWN
 - 2.9 REMOVE PARTITIONS WINDOW AND DOOR TO EXTENT SHOWN
 - 2.10 PROTECT SERVER, POWER PANEL, ALRAM / VIDEO PANELS
 - 2.11 PROTECT MECHANICAL WALL UNIT
 - 2.12 REMOVE REFRIGERATOR
 - 2.13 ERECT NEW DRYWALL BULKHEADS ABOVE
 - 2.14 ERECT NEW DOOR PIPE COLUMNS WITH DRYWALL WRAPS
 - 2.15 ERECT NEW DOORWAY HEADER WITH DRYWALL WRAP
- NOTES TO PHASE 3:**
- 3.1 INSTALL SLIDING GLASS DOORS
 - 3.2 INSTALL TEMPORARY PARTITION AND TEMPORAY DOOR
 - 3.3 RELOCATE CASH ROOM FIXTURES HERE TEMPORARILY
 - 3.4 INSTALL NEW PARTITIONS
 - 3.5 INSTALL NEW DOOR AND FRAME
 - 3.6 RELOCATE ATM TO NEW LOCATION

- 3.7 RECOLATE ALARM PANELS HERE
 - 3.8 RELOCATE POWER PANEL HERE
 - 3.9 RELOCATE MECHANICAL WALL UNIT HERE
 - 3.10 INSTALL NEW CASEWORK HERE
 - 3.11 INSTALL NEW RTU AND DUCTWORK ABOVE
 - 3.12 RELOCATE SERVER TOWER HERE
- NOTES TO PHASE 4:**
- 4.1 RELOCATE CASH ROOM EQUIPMENT TO NEW CASH ROOM
 - 4.2 REMOVE PARTITIONS AND DOORS TO EXTENT SHOWN
 - 4.3 PARTIALLY REMOVE TELLER COUNTER, BR GLASS AND ' DRYWALL BULKHEAD ABOVE
 - 4.4 INSTALL CIRCULAR DRYWALL BULKHEAD ABOVE
 - 4.5 STRIP COLUMN FURRING AND FINISH
 - 4.6 REFINISH ROUND COLUMN
 - 4.7 KEEP TELLER POSITIONS OPEN FOR BUSINESS
- NOTES TO PHASE 5:**
- 5.1 INSTALL DRYWALL STACKING DOOR ENCLOSURE
 - 5.2 INSTALL CEILING TILES AND FIXTURE TO GREATEST EXTENT
 - 5.3 INSTALL FLOORING TO GREATEST EXTENT
 - 5.4 INSTALL CEILING FIXTURES TO GREATEST EXTENT
 - 5.5 INSTALL TELLER POD AND FURNITURE
 - 5.6 INSTALL PRINTER EQUIPMENT
- NOTES TO PHASE 6:**
- 6.1 INSTALL FRAMELESS GLASS
 - 6.2 REMOVE REMAINING TELLERLINE, BR GLASS AND BULKHEAD
 - 6.3 INSTALL REMAINING FLOOR FINISH
 - 6.4 INSTALL REMAINING CEILING FINISHES AND FIXTURES
 - 6.5 INSTALL NEW SIGNAGE
- NOTES TO PHASE 7:**
- 7.1 INSTALL 2ND TELLER POD
 - 7.2 INSTALL NEW CHECK WRITING DESK
 - 7.3 INSTALL 2ND PRINTER
 - 7.4 INSTALL NEW WAITING BENCH
 - 7.5 INSTALL NEW WINDOW TREATMENTS

- DEMOLITION NOTES:**
- 1. REMOVE EXISTING WINDOW
 - 2. REMOVE EXISTING ATM HEAD OPENING
 - 3. EXISTING NIGHT DEPOSIT HEAD TO REMAIN
 - 4. SAWCUT PAVING FOR NEW CONCRETE ADA APRON.
 - 5. SEE PHASES 1-7 FOR DEMO OF THE AREA
 - 6. EXISTING CUSTOMER SERVICE DESK TO REMAIN
 - 7. EXISTING CHECK OUT LANES TO REMAIN
 - 8. EXISTING VENDING MACHINE TO REMAIN
 - 9. EXISTING BANK COIN COUNTING MACHINE TO REMAIN
 - 10. EXISTING FREE STANDING REMOTE ATM TO REMAIN.
 - 11. REMOVE EXISTING BRICK VENEER AND STONE BASE FROM WALL FRAMING

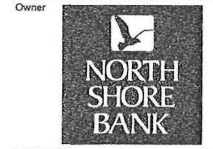
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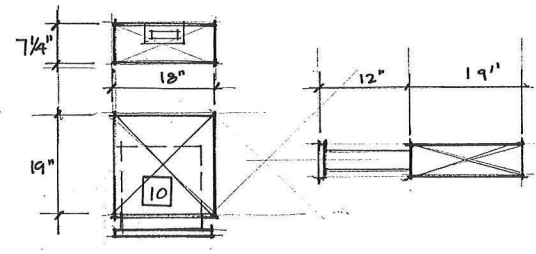
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 DEMOLITION**

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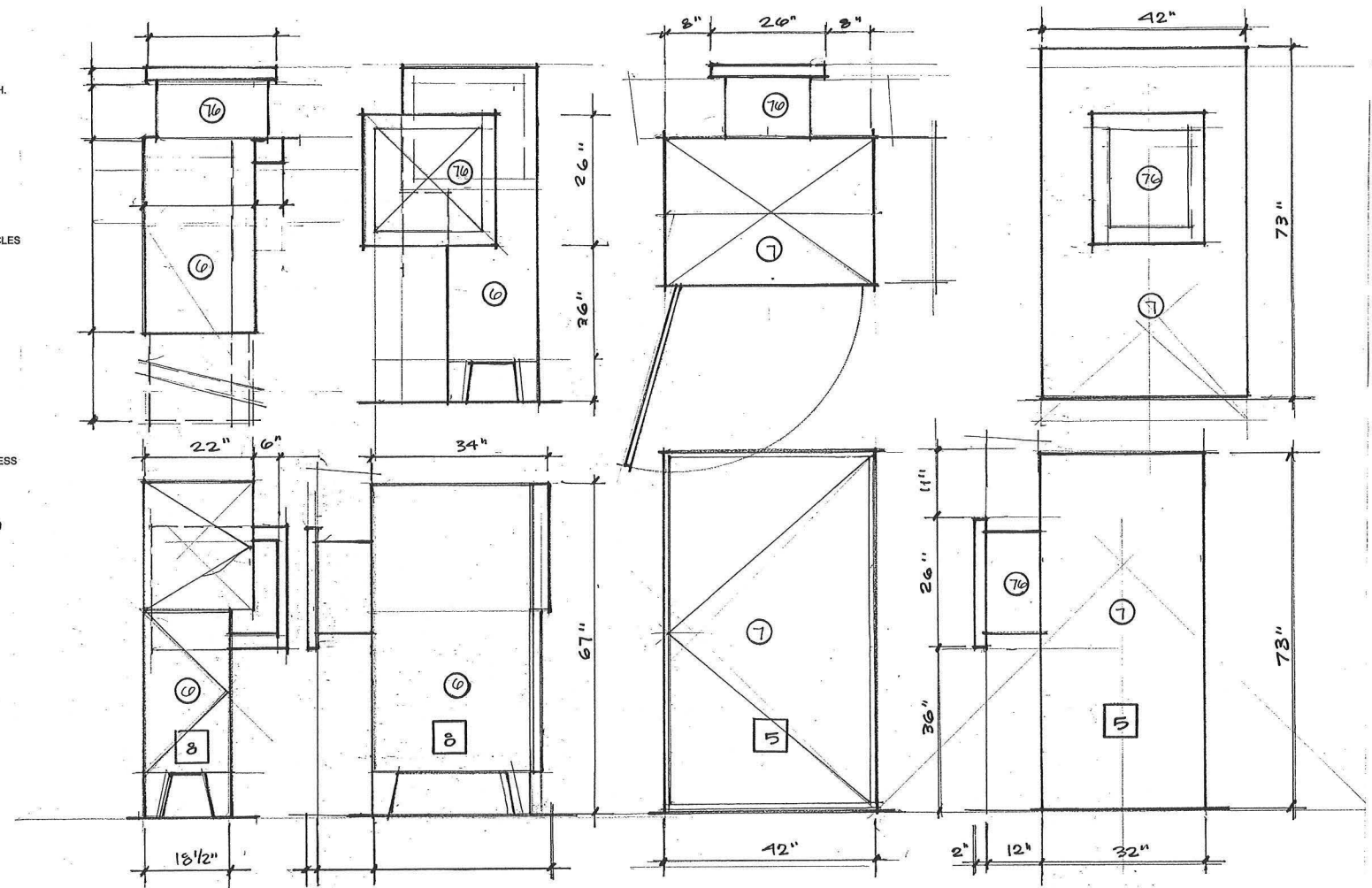


2 CASH DRAWER
SC: 3/4" = 1'-0"

EQUIPMENT LEGEND:

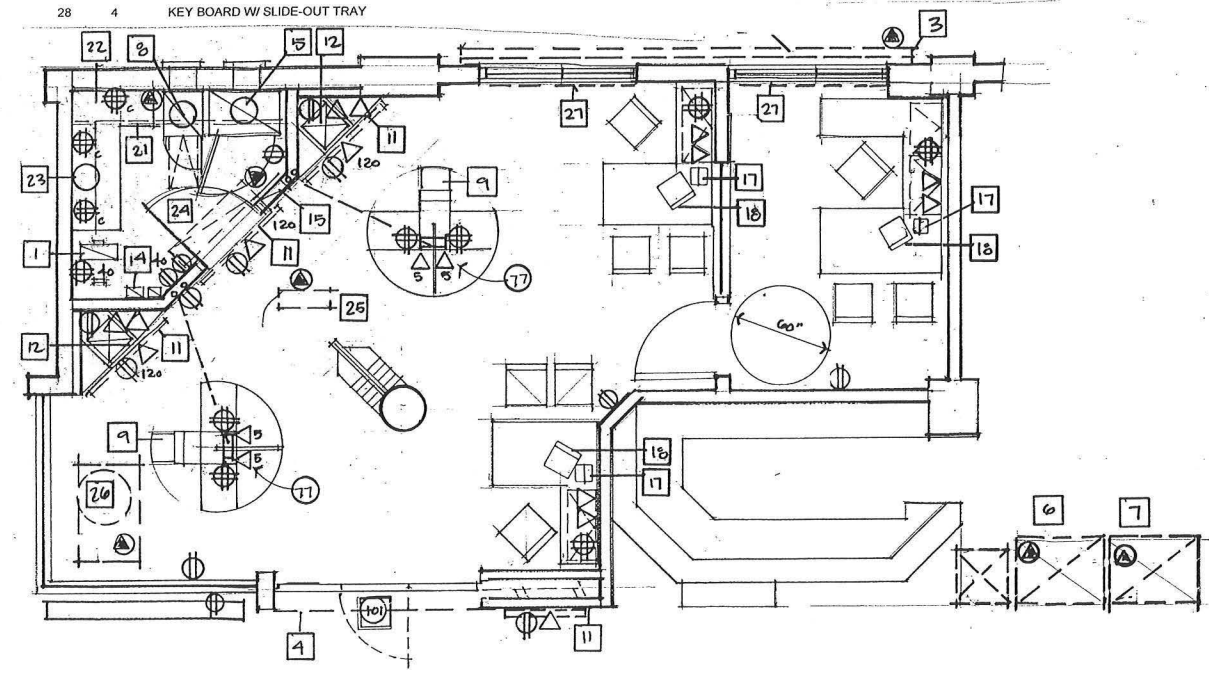
#	NO.	DESCRIPTION
1	1	EXISTING SERVER RACK WITH CCTV SERVER AND MONITOR
2	4	20" LED MAST MOUNTED COMPUTER MONITOR (BY OWNER)
3	1	SOUTH EXTERIOR ILLUMINATED BOX SIGN (BY OWNER)
4	1	NORTH INTERIOR ILLUMINATED BOX SIGN WITH INTERIOR JET CUT ALUMINUM SIGN (BY OWNER)
5	1	EXISTING NIGHT DEPOSIT / CASH COMBO CHEST
6	1	EXISTING COIN COUNTING MACHINE
7	1	EXISTING REMOTE FREE-STANDING ATM
8	1	EXISTING THRU - WALL ATM
9	2	RBG 100 CASH RECYCLER (BY OWNER)
10	4	FENCO P-30 STEEL CASH DRAWER
11	4	70" LED FLAT SCREEN WALL MONITOR (BY OWNER)
12	2	MULTI PURPOSE PRINTER COPIER FAX MACHINE (BY OWNER)
13	4	COMPUTER TOWER (BY OWNER)
14	2	EXISTING ALARM / CCTV PANEL
15	1	EXISTING POWER PANEL
16	5	HOLD UP BUTTON (BY OWNER)
17	7	DESKTOP TELEPHONE (BY OWNER)
18	3	DESKTOP COMPUTERS (BY OWNER)
19	2	RECIPT PRINTER (BY OWNER)
20	2	COIN DISPENSER (BY OWNER)
21	1	REFRIGERATOR (BY OWNER)
22	1	MICROWAVE (BY OWNER)
23	1	COFFEE MAKER (BY OWNER)
24	1	EXISTING SPLIT SYSTEM INTERIOR EVAPORATOR UNIT
25	1	EXISTING SPLIT SYSTEM EXTERIOR ROOFTOP CONDENSER
26	1	3 TON ROOFTOP UNIT
27	1	WINDOW TREATMENT (BY OWNER)
28	4	KEY BOARD W/ SLIDE-OUT TRAY

- SYMBOLS**
- + LOCAL SWITCH, SINGLE POLE - MOUNTED 48" AFF.
 - +PC LOCAL SWITCH, SINGLE POLE - PILOT LIGHT SWITCH.
 - +B WALLBOX DIMMER - MOUNTED 48" AFF.
 - ⊕ DUPLEX RECEPTACLE - MOUNTED 15" AFF.
 - ⊕_{en} DUPLEX RECEPTICAL - GFI
 - ⊕_{en} DUPLEX RECEPTACLE - MOUNTED VERTICALLY 6" ABOVE COUNTER OR HORIZONTALLY 4" ABOVE BACKSPASH.
 - ⊕_{en} FOURPLEX RECEPTACLE - TWO DUPLEX RECEPTACLES UNDER A COMMON COVERPLATE.
 - ⊕ SPECIAL PURPOSE OUTLET
 - ⊕ ELECTRICAL DISTRIBUTION PANEL - NEW
 - ⊕ GROUND
 - ⊕ COMBINATION DATA/TELEPHONE OUTLET.
 - ⊕ DATA
 - ⊕ TELEPHONE OUTLET ONLY
 - ⊕ COMBINATION (2) DATA, (2) COMMUNICATION, (1) SECURITY OUTLET
 - ⊕ DS SECURITY DOOR SWITCH - PROVIDE CONDUIT ACCESS TO DOOR FRAME FROM ALARM PANEL
 - ⊕ JUNCTION BOX - ("2" DENOTES SINGLE GANG BOX) ("4" DENOTES TWO GANG BOX)
 - DATA/POWER STRIP (DATA/POWER SET EVERY 1'-0")

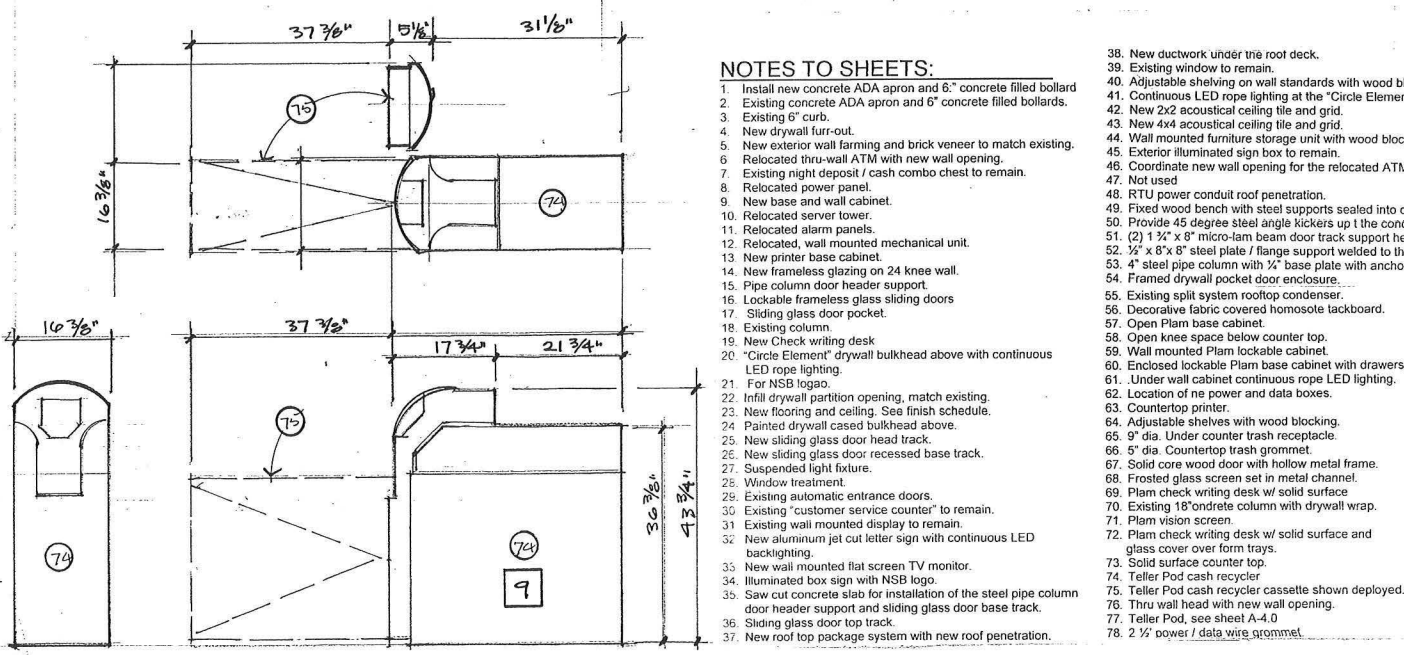


4 ATM THRU WALL
SC: 3/4" = 1'-0"

5 CASH CHEST
SC: 3/4" = 1'-0"



1 POWER / DATA / EQUIPT
SC: 3/4" = 1'-0"



6 CASH RECYCLER
SC: 3/4" = 1'-0"

- NOTES TO SHEETS:**
- Install new concrete ADA apron and 6" concrete filled bollard.
 - Existing concrete ADA apron and 6" concrete filled bollards.
 - Existing 6" curb.
 - New drywall furr-out.
 - New exterior wall framing and brick veneer to match existing.
 - Relocated thru-wall ATM with new wall opening.
 - Existing night deposit / cash combo chest to remain.
 - Relocated power panel.
 - New base and wall cabinet.
 - Relocated server tower.
 - Relocated alarm panels.
 - Relocated, wall mounted mechanical unit.
 - New printer base cabinet.
 - New frameless glazing on 24 knee wall.
 - Pipe column door header support.
 - Lockable frameless glass sliding doors.
 - Sliding glass door pocket.
 - Existing column.
 - New Check writing desk.
 - "Circle Element" drywall bulkhead above with continuous LED rope lighting.
 - For NSB logo.
 - Infill drywall partition opening, match existing.
 - New flooring and ceiling. See finish schedule.
 - Painted drywall cased bulkhead above.
 - New sliding glass door recessed base track.
 - New sliding glass door head track.
 - Suspended light fixture.
 - Window treatment.
 - Existing automatic entrance doors.
 - Existing "customer service counter" to remain.
 - Existing wall mounted display to remain.
 - New aluminum jet cut letter sign with continuous LED backlighting.
 - New wall mounted flat screen TV monitor.
 - Illuminated box sign with NSB logo.
 - Saw cut concrete slab for installation of the steel pipe column door header support and sliding glass door base track.
 - Sliding glass door top track.
 - New roof top package system with new roof penetration.
 - New ductwork under the roof deck.
 - Existing window to remain.
 - Adjustable shelving on wall standards with wood blocking.
 - Continuous LED rope lighting at the "Circle Element" bulkhead.
 - New 2x2 acoustical ceiling tile and grid.
 - New 4x4 acoustical ceiling tile and grid.
 - Wall mounted furniture storage unit with wood blocking.
 - Exterior illuminated sign box to remain.
 - Coordinate new wall opening for the relocated ATM head.
 - Not used.
 - RTU power conduit roof penetration.
 - Fixed wood bench with steel supports sealed into cored concrete pockets.
 - Provide 45 degree steel angle kickers up the concrete deck both directions.
 - (2) 1 1/2" x 8" micro-lam beam door track support header.
 - 1/2" x 8" x 8" steel plate / flange support welded to the 4" steel pipe column head.
 - 4" steel pipe column with 1/2" base plate with anchor bolts.
 - Framed drywall pocket door enclosure.
 - Existing split system rooftop condenser.
 - Decorative fabric covered homosote tackboard.
 - Open Plam base cabinet.
 - Open knee space below counter top.
 - Wall mounted Plam lockable cabinet.
 - Enclosed lockable Plam base cabinet with drawers.
 - Under wall cabinet continuous rope LED lighting.
 - Location of ne power and data boxes.
 - Countertop printer.
 - Adjustable shelves with wood blocking.
 - 9" dia. Under counter trash receptacle.
 - 5" dia. Countertop trash grommet.
 - Solid core wood door with hollow metal frame.
 - Frosted glass screen set in metal channel.
 - Plam check writing desk w/ solid surface.
 - Existing 18"ondrete column with drywall wrap.
 - Plam vision screen.
 - Plam check writing desk w/ solid surface and glass cover over form trays.
 - Solid surface counter top.
 - Teller Pod cash recycler.
 - Teller Pod cash recycler cassette shown deployed.
 - Thru wall head with new wall opening.
 - Teller Pod, see sheet A-4.0.
 - 2 1/2" power / data wire grommet.

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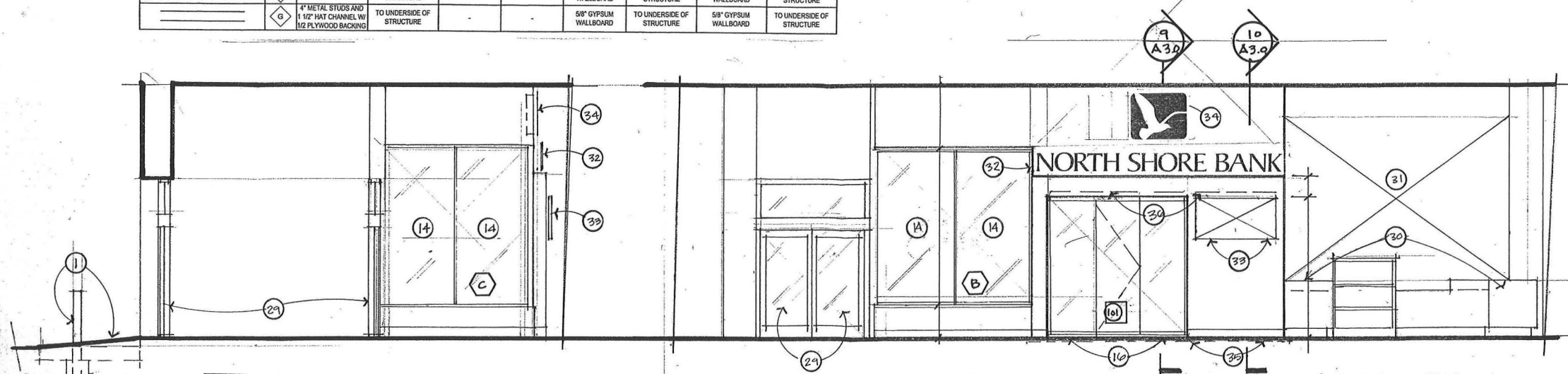


NORTH SHORE BANK
EL REY BRANCH
PLANS

- NOTES TO SHEETS:**
1. Install new concrete ADA apron and 6" concrete filled bollard, 30"x18"
 2. Existing concrete ADA apron and 6" concrete filled bollards.
 3. Existing 6" curb.
 4. New drywall furr-out.
 5. New exterior wall framing and brick veneer to match existing.
 6. Relocated thru-wall ATM with new wall opening.
 7. Existing night deposit / cash combo chest to remain.
 8. Relocated power panel.
 9. New base and wall cabinet.
 10. Relocated server tower.
 11. Relocated alarm panels.
 12. Relocated, wall mounted mechanical unit.
 13. New printer base cabinet.
 14. New frameless glazing on 24 knee wall.
 15. Pipe column door header support.
 16. Lockable frameless glass sliding doors
 17. Sliding glass door pocket.
 18. Existing column.
 19. New Check writing desk
 20. "Circle Element" drywall bulkhead above with continuous LED rope lighting.
 21. For NSB logo.
 22. Infill drywall partition opening, match existing.
 23. New flooring and ceiling. See finish schedule.
 24. Painted drywall cased bulkhead above.
 25. New sliding glass door head track.
 26. New sliding glass door recessed base track.
 27. Suspended light fixture.
 28. Window treatment.
 29. Existing automatic entrance doors.
 30. Existing "customer service counter" to remain.
 31. Existing wall mounted display to remain.
 32. New aluminum jet cut letter sign with continuous LED backlighting.
 33. New wall mounted flat screen TV monitor.
 34. Illuminated box sign with NSB logo.
 35. Saw cut concrete slab for installation of the steel pipe column door header support and sliding glass door base track.
 36. Sliding glass door top track.
 37. New roof top package system with new roof penetration.
 38. New ductwork under the roof deck.
 39. Existing window to remain.
 40. Adjustable shelving on wall standards with wood blocking.
 41. Continuous LED rope lighting at the "Circle Element" bulkhead.
 42. New 2x2 acoustical ceiling tile and grid.
 43. New 4x4 acoustical ceiling tile and grid.
 44. Wall mounted furniture storage unit with wood blocking.
 45. Exterior illuminated sign box to remain.
 46. Coordinate new wall opening for the relocated ATM head
 47. Not used
 48. RTU power conduit roof penetration.
 49. Fixed wood bench with steel supports sealed into cored concrete pockets.
 50. Provide 45 degree steel angle kickers up t the concrete deck both directions.
 51. (2) 1 1/2" x 8" micro-lam beam door track support header.
 52. 1/2" x 8" x 8" steel plate / flange support welded to the 4" steel pipe column .hd.
 53. 4" steel pipe column with 1/2" base plate with anchor bolts.
 54. Framed drywall socket door enclosure.
 55. Existing split system rooftop condenser.
 56. Decorative fabric covered homosote tackboard.
 57. Open Plam base cabinet.
 58. Open knee space below counter top.
 59. Wall mounted Plam lockable cabinet.
 60. Enclosed lockable Plam base cabinet with drawers.
 61. Under wall cabinet continuous rope LED lighting.
 62. Location of ne power and data boxes.
 63. Countertop printer.
 64. Adjustable shelves with wood blocking.
 65. 9" dia. Under counter trash receptacle.
 66. 5" dia. Countertop trash grommet.
 67. Solid core wood door with hollow metal frame.
 68. Frosted glass screen set in metal channel.
 69. Plam check writing desk w/ solid surface
 70. Existing 18"ondrete column with drywall wrap.
 71. Plam vision screen.
 72. Plam check writing desk w/ solid surface and glass cover over form trays.
 73. Solid surface counter top.
 74. Teller Pod cash recycler
 75. Teller Pod cash recycler cassette shown deployed.
 76. Thru wall head with new wall opening.
 77. Teller Pod, see sheet A-4.0
 78. 2 1/2" power / data wire grommet.

PARTITION TYPE SCHEDULE

SYMBOL	TAG	STUD TYPE	STUD HEIGHT	INSULATION	VAPOR BARRIER	NOTED SIDE SURFACE MATERIAL	NOTED SIDE SURFACE HEIGHT	OPPOSITE SIDE SURFACE MATERIAL	OPPOSITE SIDE SURFACE HEIGHT
	A	3 5/8" METAL STUDS	TO UNDERSIDE OF STRUCTURE	3 1/2" INSULATION	-	5/8" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE	-	-
	B	3 5/8" METAL STUDS	TO UNDERSIDE OF STRUCTURE	3 1/2" SOUND BATT.	-	5/8" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE	5/8" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE
	E	6" METAL STUDS	TO UNDERSIDE OF STRUCTURE	-	6" SOUND BATT.	5/8" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE	5/8" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE
	F	6" METAL STUDS	TO UNDERSIDE OF STRUCTURE	-	-	5/8" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE	5/8" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE
	G	4" METAL STUDS AND 1 1/2" HAT CHANNEL W/ 1/2" PLYWOOD BACKING	TO UNDERSIDE OF STRUCTURE	-	-	5/8" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE	5/8" GYPSUM WALLBOARD	TO UNDERSIDE OF STRUCTURE

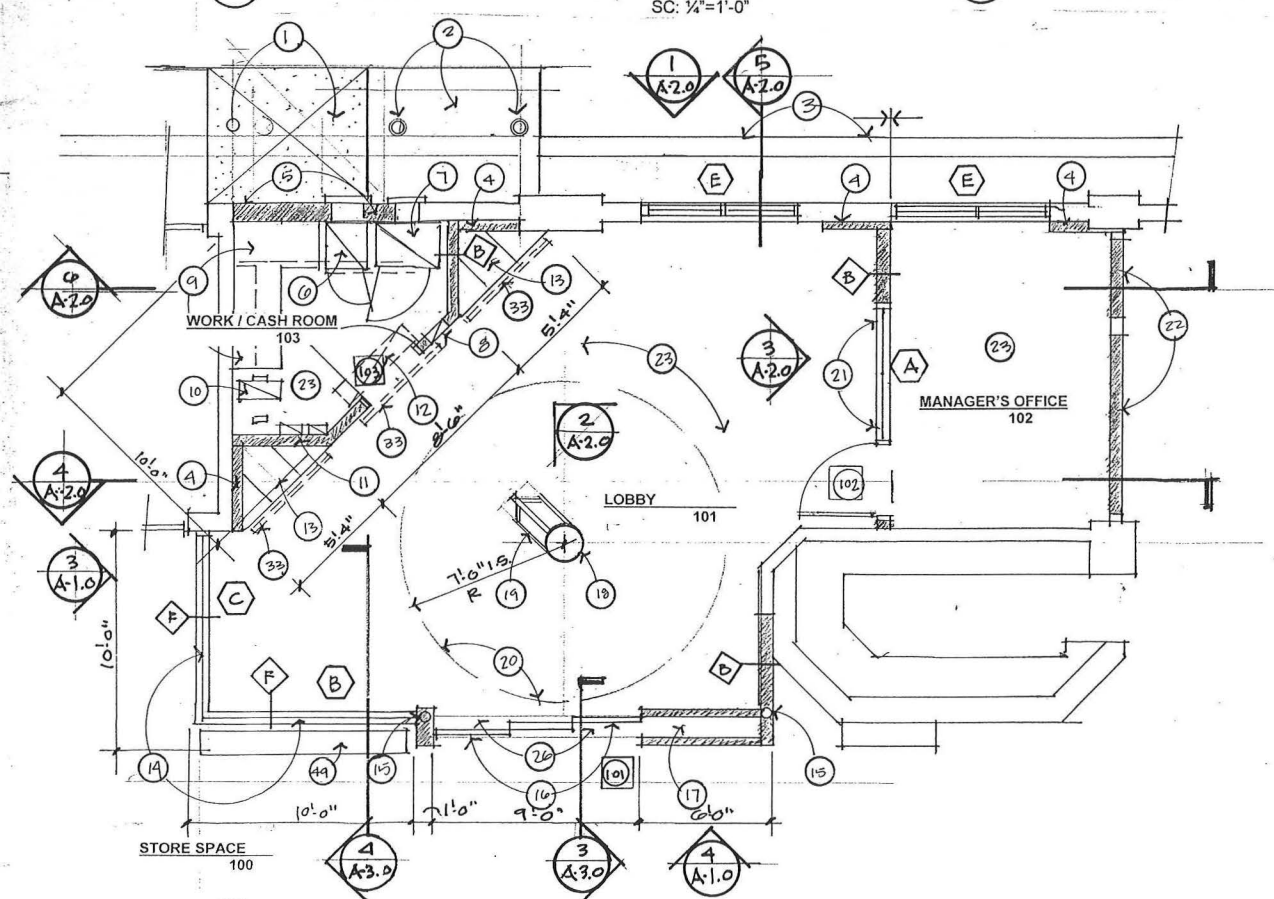


SECTION / ELEVATION

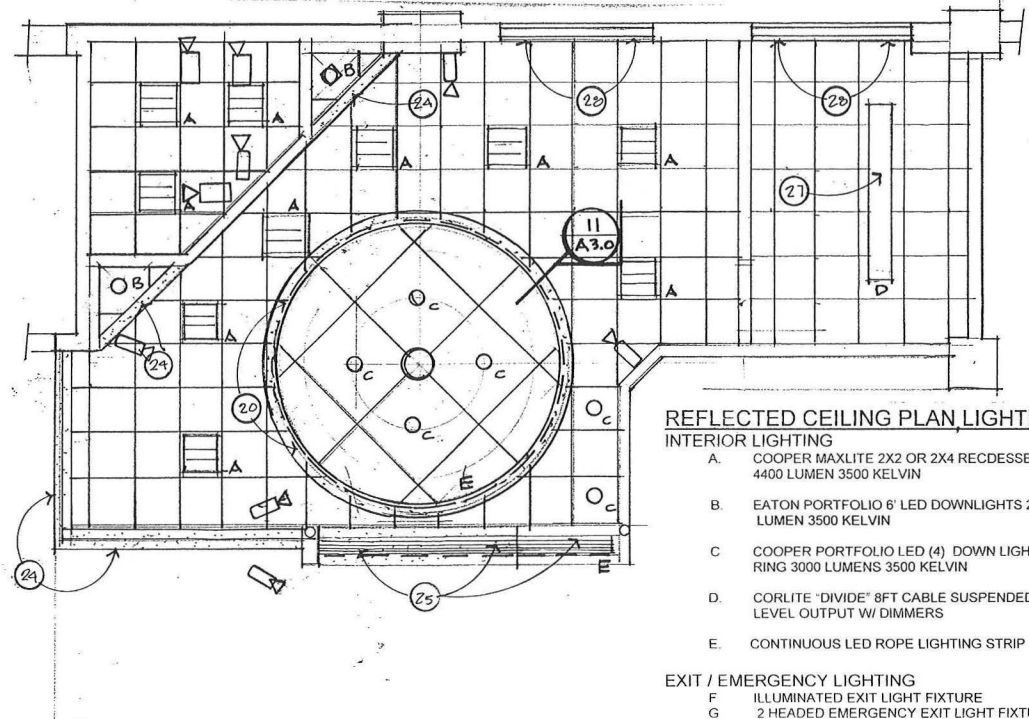
ELEVATION

VIDEO LEGEND

VIDEO SYSTEM	NO.	DESCRIPTION
	7	VIDEO CAMERA (IN ACCESSIBLE CEILING)
	1	VIDEO CAMERA IN ATM
	1	VIDEO CAMERA IN NIGHT DEPOSIT BOX
	1	VIDEO CAMERA IN ITM
	1	VIDEO CAMERA W/ EXTERIOR HOUSING
	1	VIDEO HEAD END



FLOOR PLAN



REFLECTED CEILING PLAN LIGHTING NOTES:

- INTERIOR LIGHTING**
- A. COOPER MAXLITE 2X2 OR 2X4 RECESSED LED 4400 LUMEN 3500 KELVIN
 - B. EATON PORTFOLIO 6" LED DOWNLIGHTS 2000 LUMEN 3500 KELVIN
 - C. COOPER PORTFOLIO LED (4) DOWN LIGHT IN CIRCLE ELEMENT W/ 8" TRIM RING 3000 LUMENS 3500 KELVIN
 - D. CORLITE "DIVIDE" 8FT CABLE SUSPENDED 3500 KELVIN WITH 2 LEVEL OUTPUT W/ DIMMERS
 - E. CONTINUOUS LED ROPE LIGHTING STRIP
- EXIT / EMERGENCY LIGHTING**
- F. ILLUMINATED EXIT LIGHT FIXTURE
 - G. 2 HEADED EMERGENCY EXIT LIGHT FIXTURE

GENERAL NOTES:

- H. ALL FIXTURES TO HAVE "DULL SILVER" FINISH TRIM RINGS

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN _____

CHECKED _____

DATE APRIL 22, 2019

SCALE _____

JOB NO. _____

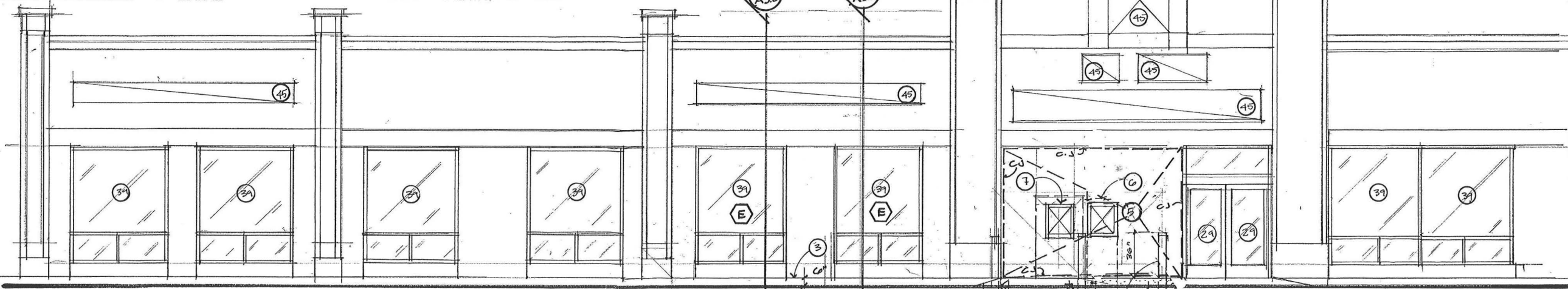
SHEET DESCRIPTION PLANS

SHEET NUMBER _____

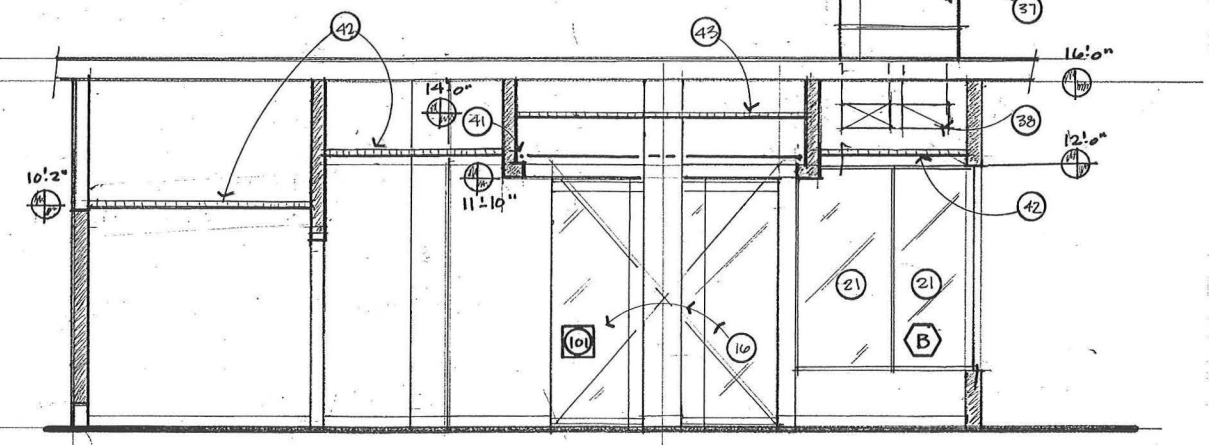
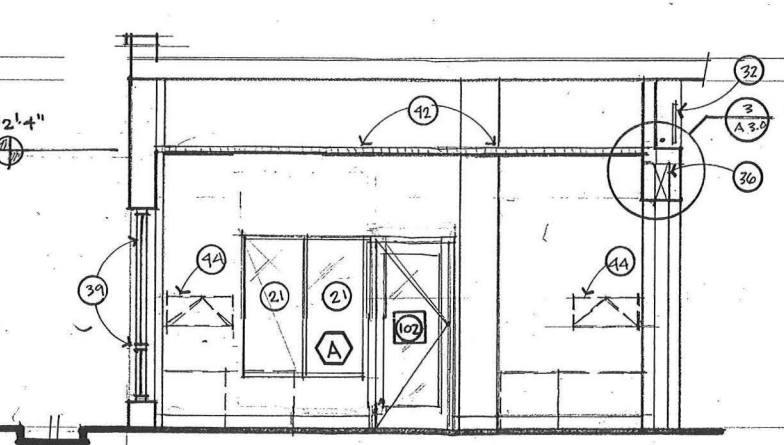
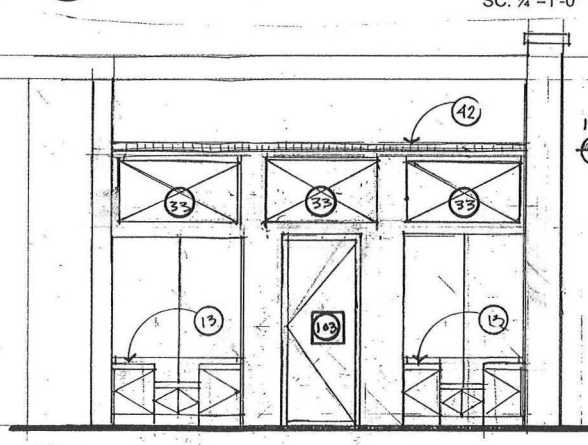
NOTES TO SHEETS:

1. Install new concrete ADA apron and 6" concrete filled bollard 36" H.
2. Existing concrete ADA apron and 6" concrete filled bollards.
3. Existing 6" curb.
4. New drywall furr-out.
5. New exterior wall framing and brick veneer to match existing.
6. Relocated thru-wall ATM with new wall opening.
7. Existing night deposit / cash combo chest to remain.
8. Relocated power panel.
9. New base and wall cabinet.
10. Relocated server tower.
11. Relocated alarm panels.
12. Relocated, wall mounted mechanical unit.
13. New printer base cabinet.
14. New frameless glazing on 24 knee wall.
15. Pipe column door header support.
16. Lockable frameless glass sliding doors.
17. Sliding glass door pocket.
18. Existing column.
19. New Check writing desk.
20. "Circle Element" drywall bulkhead above with continuous LED rope lighting.
21. For NSB logo.
22. Infill drywall partition opening, match existing.
23. New flooring and ceiling. See finish schedule.
24. Painted drywall cased bulkhead above.
25. New sliding glass door head track.
26. New sliding glass door recessed base track.
27. Suspended light fixture.
28. Window treatment.
29. Existing automatic entrance doors.
30. Existing "customer service counter" to remain.

31. Existing wall mounted display to remain.
32. New aluminum jet cut letter sign with continuous LED backlighting.
33. New wall mounted flat screen TV monitor.
34. Illuminated box sign with NSB logo.
35. Saw cut concrete slab for installation of the steel pipe column door header support and sliding glass door base track.
36. Sliding glass door top track.
37. New roof top package system with new roof penetration.
38. New ductwork under the roof deck.
39. Existing window to remain.
40. Adjustable shelving on wall standards with wood blocking.
41. Continuous LED rope lighting at the "Circle Element" bulkhead.
42. New 2x2 acoustical ceiling tile and grid.
43. New 4x4 acoustical ceiling tile and grid.
44. Wall mounted furniture storage unit with wood blocking.
45. Exterior illuminated sign box to remain.



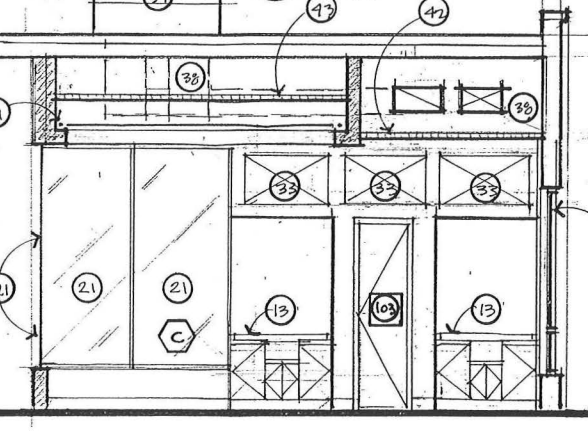
1 EXTERIOR ELEVATION
SC: 1/4"=1'-0"



2 ELEVATION
SC: 1/4"=1'-0"

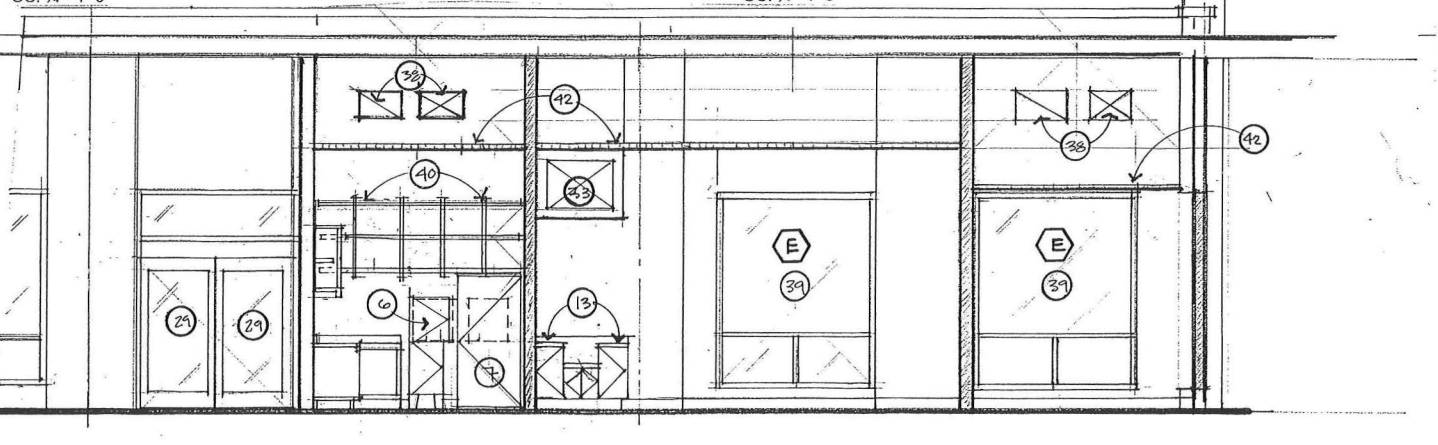
3 SECTION / ELEVATION
SC: 1/4"=1'-0"

4 SECTION / ELEVATION
SC: 1/4"=1'-0"



46. Coordinate new wall opening for the relocated ATM head.
47. Not used.
48. RTU power conduit roof penetration.
49. Fixed wood bench with steel supports sealed into cored concrete pockets.
50. Provide 45 degree steel angle kickers up the concrete deck both directions.
51. (2) 1 1/2" x 8" micro-lam beam door track support header.
52. 1/2" x 8" x 8" steel plate / flange support welded to the 4" steel pipe column. .h
53. 4" steel pipe column with 1/2" base plate with anchor bolts.
54. Framed drywall pocket door enclosure.
55. Existing split system rooftop condenser.
56. Decorative fabric covered homosote tackboard.
57. Open Plam base cabinet.
58. Open knee space below counter top.
59. Wall mounted Plam lockable cabinet.
60. Enclosed lockable Plam base cabinet with drawers.
61. Under wall cabinet continuous rope LED lighting.
62. Location of ne power and data boxes.
63. Countertop printer.
64. Adjustable shelves with wood blocking.
65. 9" dia. Under counter trash receptacle.
66. 5" dia. Countertop trash grommet.
67. Solid core wood door with hollow metal frame.
68. Frosted glass screen set in metal channel.
69. Plam check writing desk w/ solid surface.
70. Existing 18" ondrcrete column with drywall wrap.
71. Plam vision screen.
72. Plam check writing desk w/ solid surface and glass cover over form trays.
73. Solid surface counter top.
74. Teller Pod cash recycler.
75. Teller Pod cash recycler cassette shown deployed.
76. Thru wall head with new wall opening.
77. Teller Pod, see sheet A-4.0
78. 2 1/2" power / data wire grommet.

5 SECTION / ELEVATION
SC: 1/4"=1'-0"



6 SECTION / ELEVATION
SC: 1/4"=1'-0"

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Project Name:
NORTH SHORE BANK

EL REY BRANCH
1320 W. BURNHAM ST.
MILWAUKEE, WI 53204

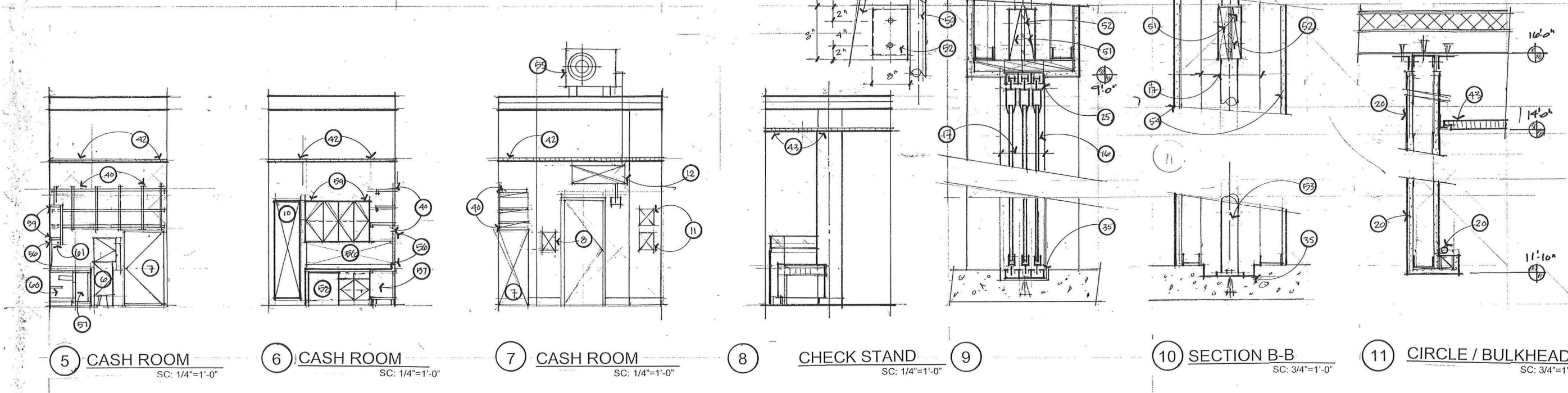
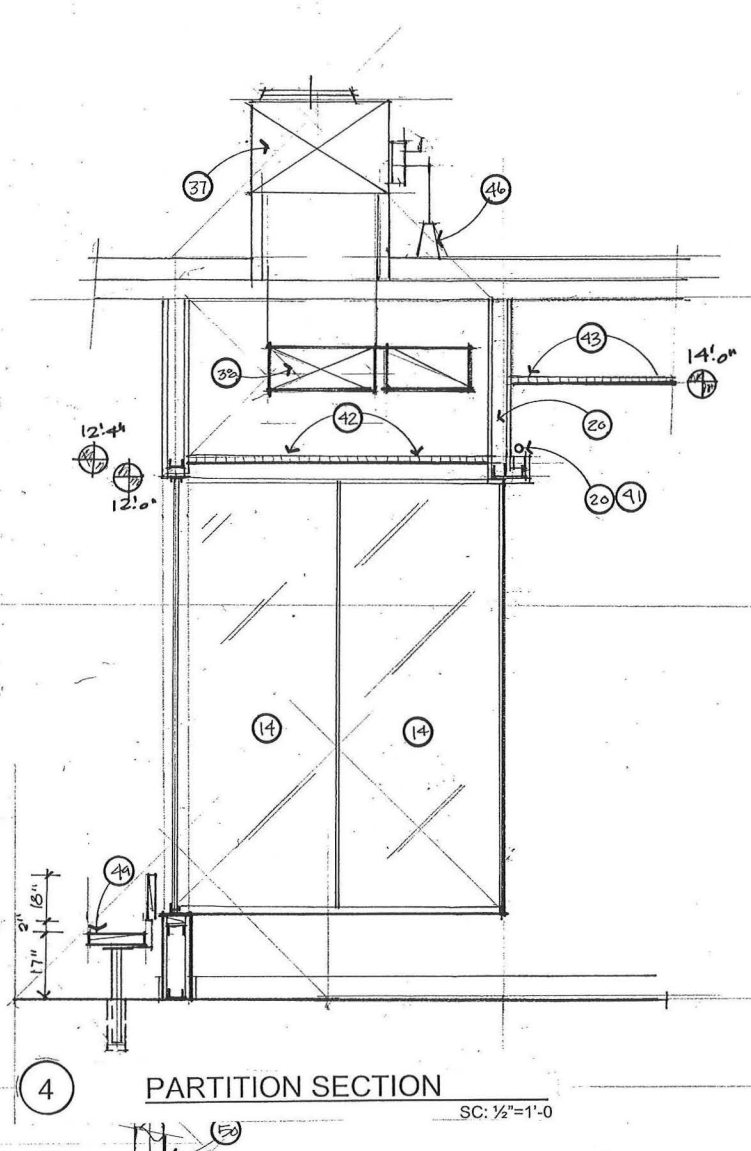
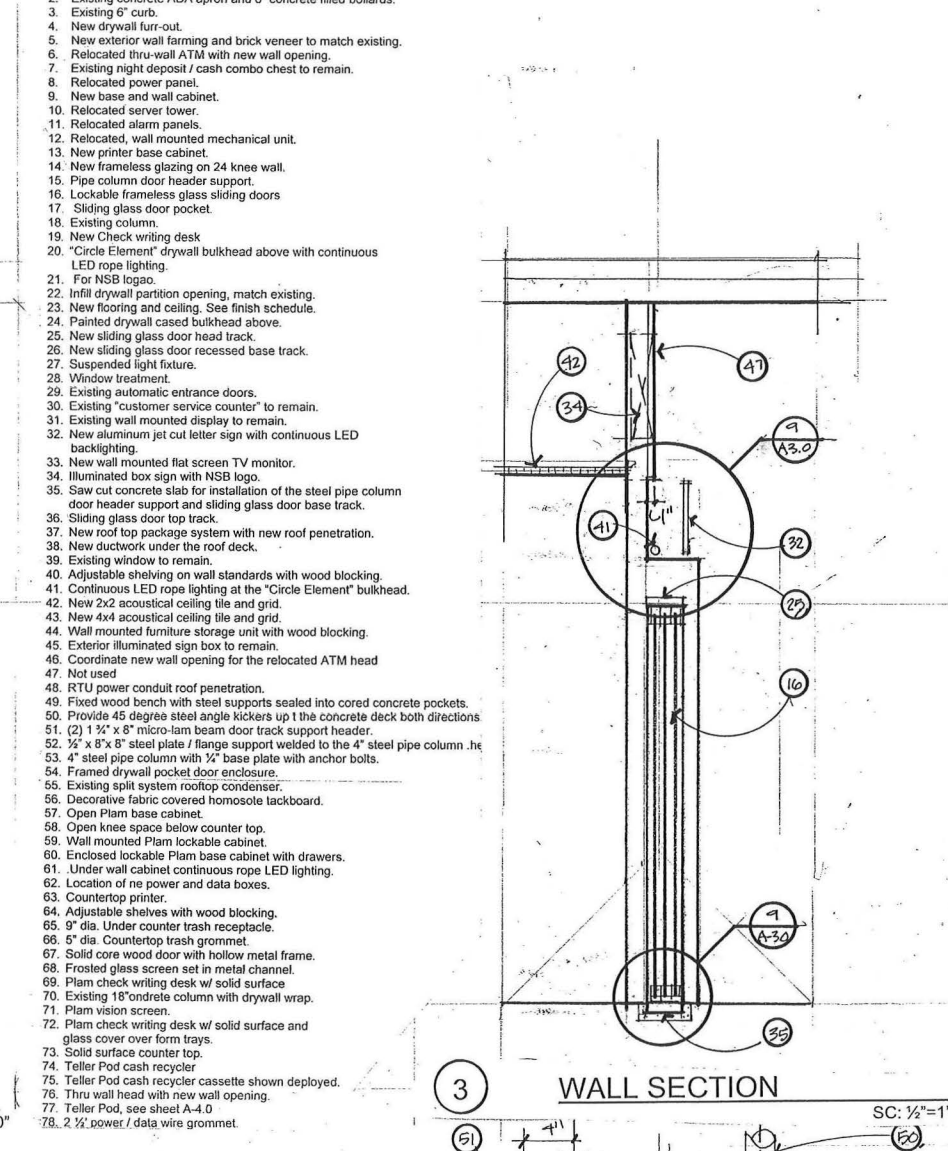
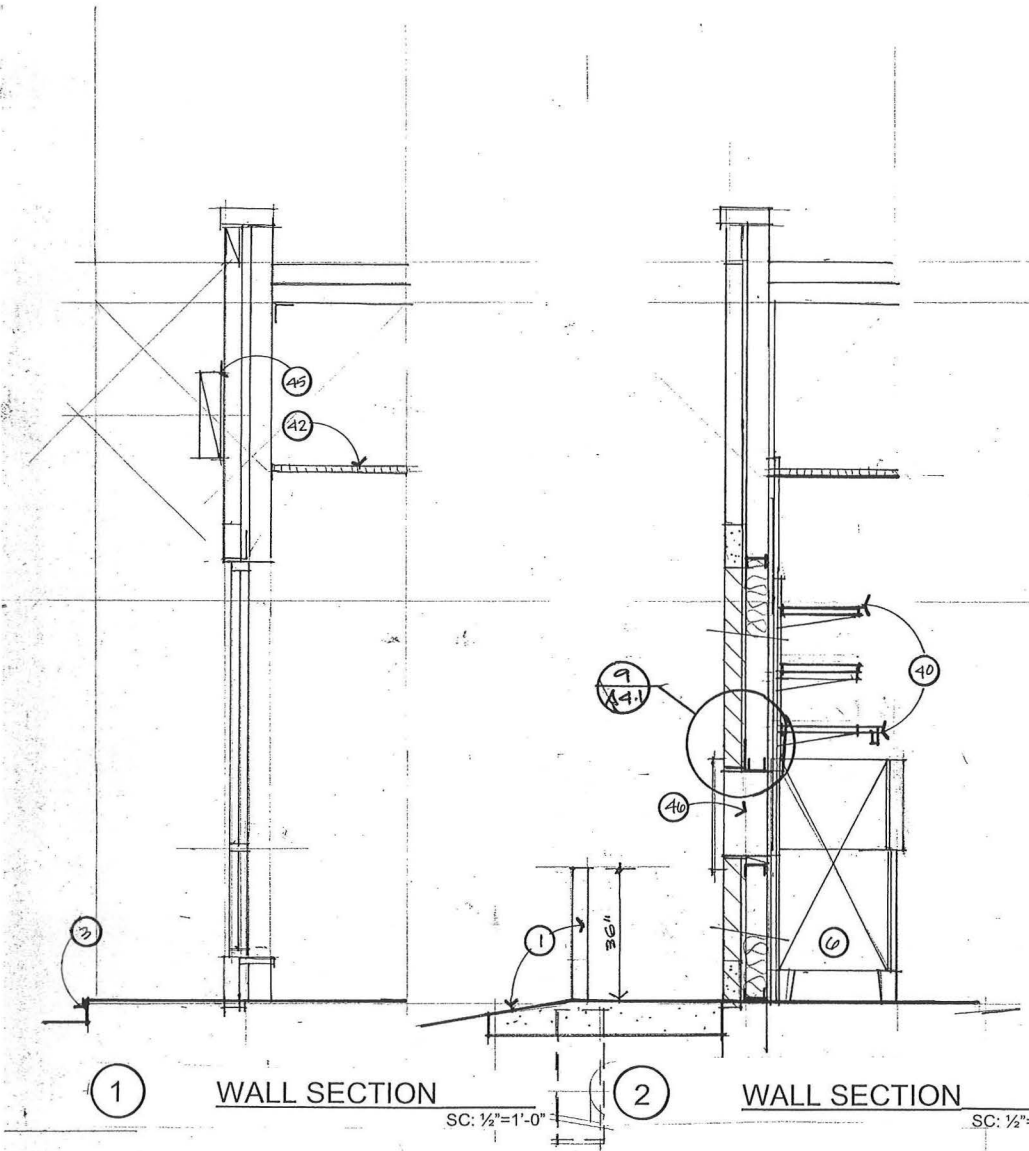


NORTH SHORE BANK
EL REY BRANCH
SECTIONS AND ELEVATIONS

REVISIONS	
DRAWN	
CHECKED	MPA
DATE	APRIL 22, 2019
SCALE	
JOB NO.	
	MPA 2019.10
SHEET DESCRIPTION	SECTIONS AND ELEVATIONS
SHEET NUMBER	

NOTES TO SHEETS:

- 1. Install new concrete ADA apron and 6" concrete filled bollard
- 2. Existing concrete ADA apron and 6" concrete filled bollards.
- 3. Existing 6" curb.
- 4. New drywall furr-out.
- 5. New exterior wall framing and brick veneer to match existing.
- 6. Relocated thru-wall ATM with new wall opening.
- 7. Existing night deposit / cash combo chest to remain.
- 8. Relocated power panel.
- 9. New base and wall cabinet.
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Owner: 

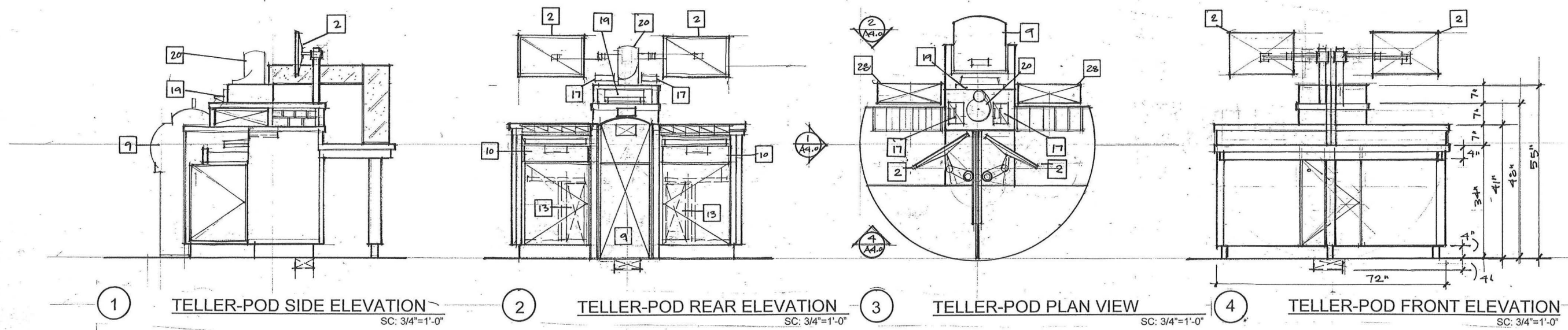
**NORTH SHORE BANK
EL REY BRANCH
SECTIONS AND DETAILS**

REVISIONS	

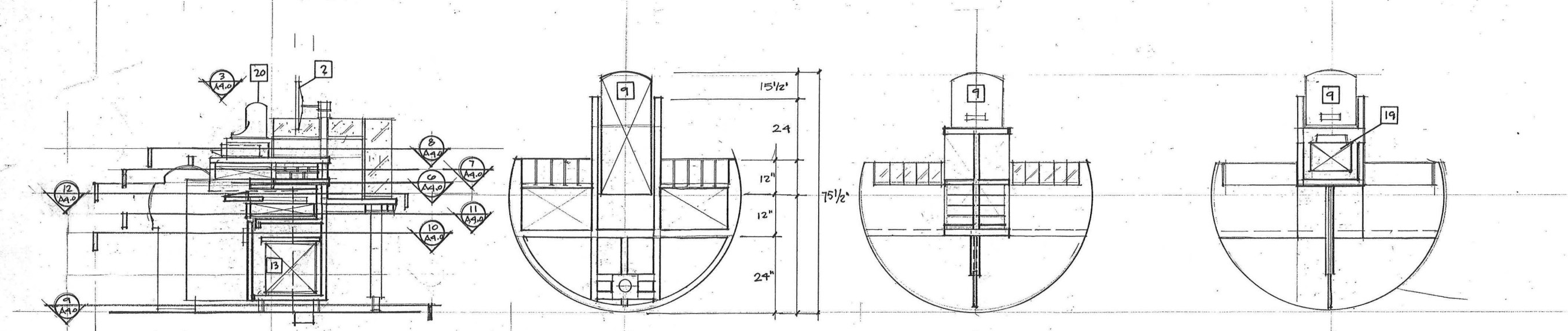
DRAWN	
CHECKED	MPA
DATE	APRIL 22, 2019
SCALE	
JOB NO.	MPA 2019.10
SHEET DESCRIPTION	SECTIONS AND DETAILS
SHEET NUMBER	



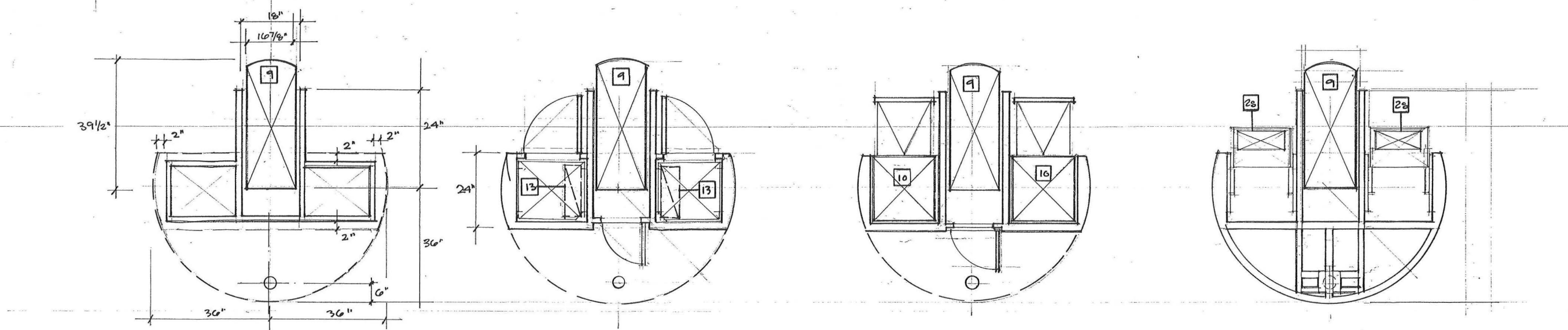
NORTH SHORE BANK
 EL REY BRANCH
 DETAILS AND CASEWORK



1 TELLER-POD SIDE ELEVATION SC: 3/4"=1'-0"
 2 TELLER-POD REAR ELEVATION SC: 3/4"=1'-0"
 3 TELLER-POD PLAN VIEW SC: 3/4"=1'-0"
 4 TELLER-POD FRONT ELEVATION SC: 3/4"=1'-0"



5 TELLER-POD SECTION C-C SC: 3/4"=1'-0"
 6 TELLER-POD PLAN @ FORM TRAY SC: 3/4"=1'-0"
 7 TELLER-POD PLAN @ STORAGE SC: 3/4"=1'-0"
 8 TELLER-POD PLAN @ PRINTER SC: 3/4"=1'-0"

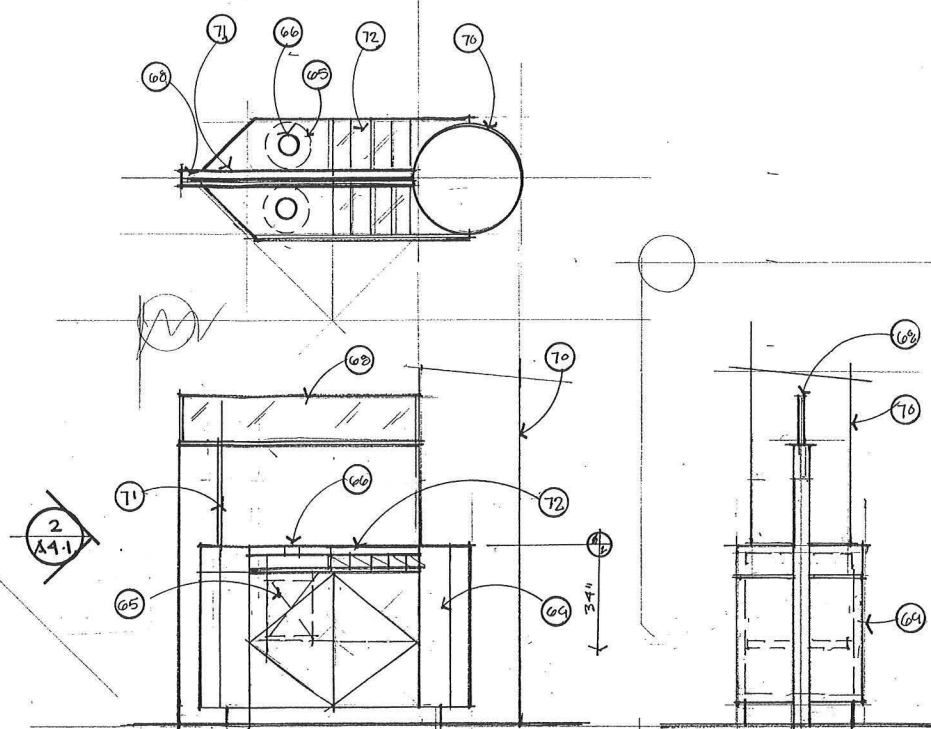


9 TELLER-POD PLAN @ BASE / FLOOR SC: 3/4"=1'-0"
 10 TELLER-POD PLAN @ COMPUTER SC: 3/4"=1'-0"
 11 TELLER-POD PLAN @ CASH DWR SC: 3/4"=1'-0"
 12 TELLER-POD PLAN @ KEY BOARD SC: 3/4"=1'-0"

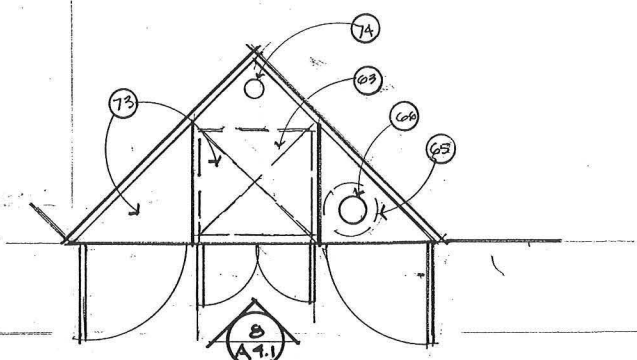
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SHEET NUMBER	

NOTES TO SHEETS:

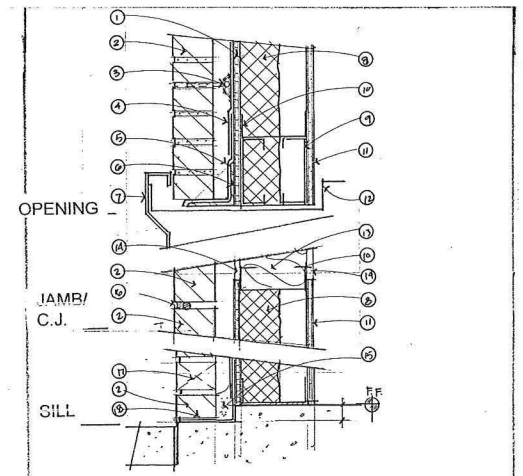
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75. Teller Pod cash recycler cassette shown deployed.
76. Thru wall head with new wall opening.
77. Teller Pod, see sheet A-4.0
78. 2 1/2" power / data wire grommet.



1 CHECK DESK SIDE VIEW SC: 3/4"=1'-0"
2 CHECK DESK END VIEW SC: 3/4"=1'-0"



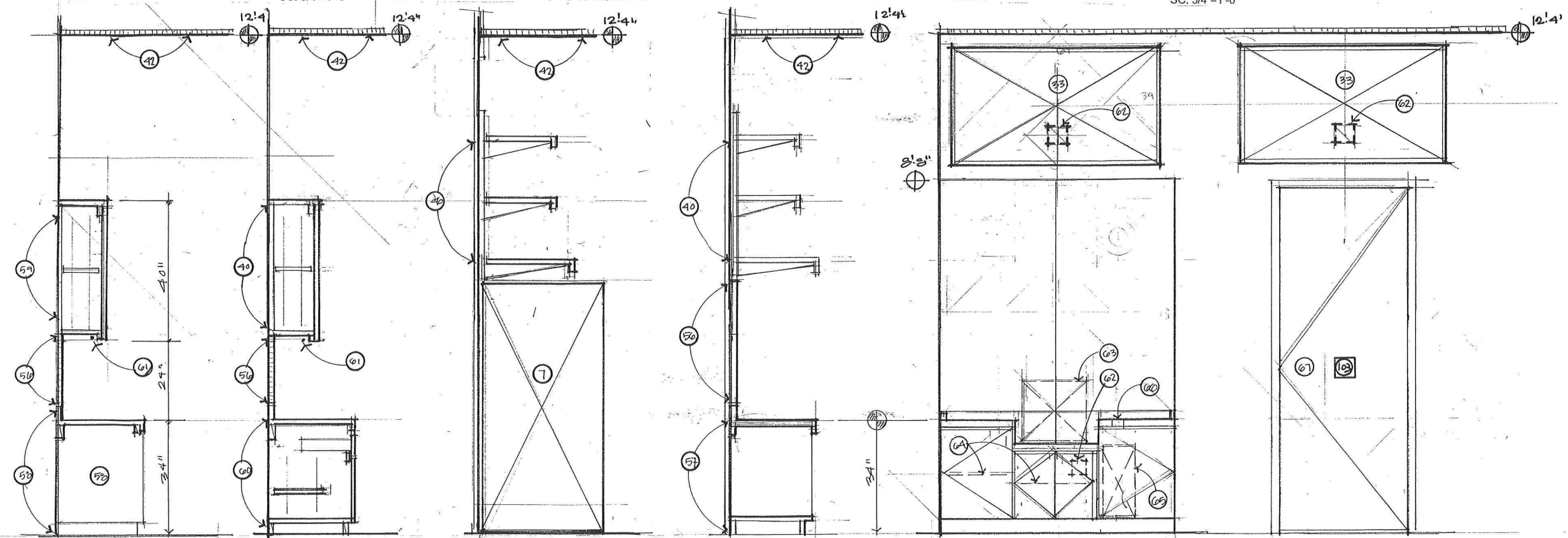
3 PRINTER CABINET PLAN SC: 3/4"=1'-0"



9 WALL DETAIL AT ATM SC: 1 1/2"=1'-0"

NOTES TO DETAIL:

1. 5/8" DENSBOARD SHEATHING
2. BRICK VENEER, TAWNY BIEGE S32 S/S WITH SAND MORTAR
3. MECHANICAL WIRE MASONRY WALL TIES AT 24" OC VERT AND HORIZ
4. 15 # FELL I MOISTURE BARRIER
5. FLEXIBLE MASONRY FLASHING
6. 4x4x3/16" STEEL LINTELE ANGLE OVER ATM / ND WALL OPENING. PROVIDE 4" BEARING EACH SIDE OF OPENING
7. ATM / ND ESCUTCHEON HEAD AT WALL OPENING
8. 3" JOHNS MANVILLE CORBOND III CLOSEWVCELL SPRAY FOAM R-25 INSULATION AND VAPOR BARRIER
9. (2) 6" LIGHT GA. METAL HEADER OVER WALL OPENING.
10. 6" 24 GA. LT GA METAL FRAMING AT 16" OC.
11. 5/8" GYPSUM WALL BOARD
12. ATM OR NIGHT DEPOSIT CHEST
13. EXISTING BATT INSULATION
14. EXISTING 5/8" GYPSUM BOARD
15. GROUT AT BOTTOM COURSE AT BOTTOM OF AIR SPACE
16. 5/8" MASONRY CONTROL / EXPANSION JOINT WITH ROD AND SEALANT. SEALANT TO MATCH GROUT COLOR
17. BRICK WEEPS AT 32" OC HORIZ WITH SCREEN.
18. FLEXIBLE FLASHING AT THE WALL BASE.



4 WALL / BASE SC: 3/4"=1'-0"
5 WALL / BASE SC: 3/4"=1'-0"
6 SHELF / EQUIPMENT SC: 3/4"=1'-0"
7 WALL / BASE SC: 3/4"=1'-0"
8 PRINTER BASE SC: 3/4"=1'-0"

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 DETAILS AND CASEWORK

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DOOR SCHEDULE												
NO.	DOOR / WINDOW					FRAME				HARDWARE SET		NOTES
	SIZE	TYPE	MAT'L	FINISH	COL.	GLAZ.	TYPE	MAT'L	FINISH	GLAZ.	SET #	
101	(2) 3'-0" x 7'-0"	1	GL/AL	-	-	1/2" TEMP	-	-	-	-	-	10260D MFG LOCK SET
102	3'-0" x 8'-0" x 13'-4"	2	SCVD	ST-1	-	1/4" TEMP	2	HM	PT-4	1/2" TEMP	102	U526D REINE HM JAMB
103	3'-0" x 8'-0" x 13'-4"	3	SCVD	ST-1	-	-	1	HM	PT-4	-	103	U526D
A	(2) 3'-0" x 6'-0"	A	1/2" TEMP	-	-	1/2" TEMP	-	-	-	-	-	HEAD/SILL CHANNEL
B	(2) 4'-6" x 9'-0"	B	1/2" TEMP	-	-	1/2" TEMP	-	-	-	-	-	HEAD/SILL CHANNEL
C	(2) 4'-6" x 9'-0"	C	1/2" TEMP	-	-	1/2" TEMP	-	-	-	-	-	HEAD/SILL CHANNEL
104	(1) 3'-0" x 7'-0"	2	SCVD	ST-1	-	-	1	HM	PT-4	-	104	U526D

FINISH KEY

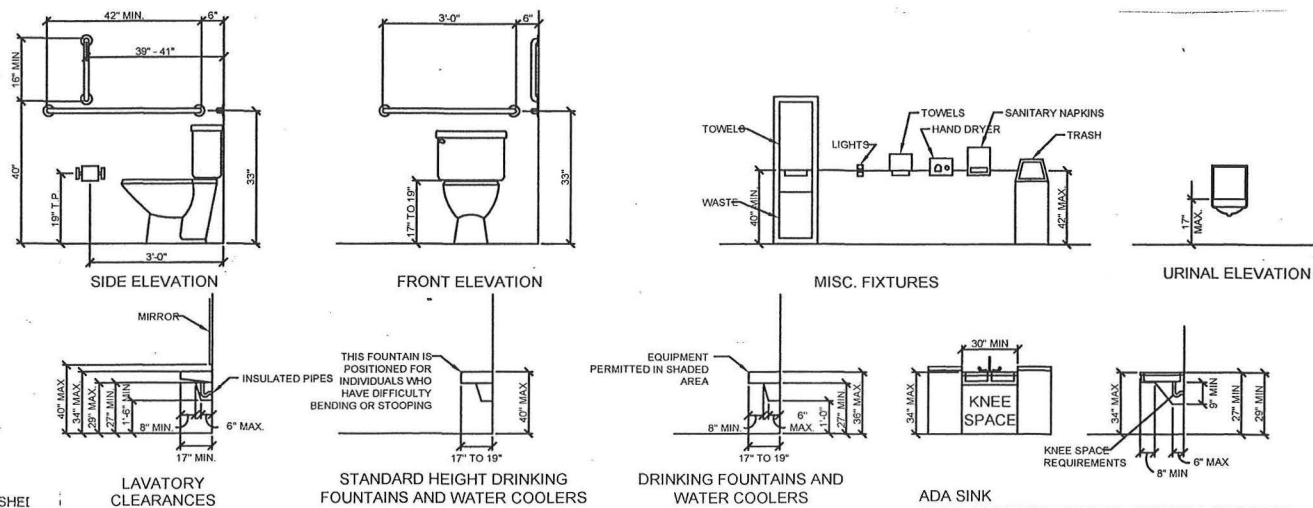
Code	Description	Manufacturer	Style	Color	General Notes	Location
CPT-1	CARPET	MILLIKEN	REMIX 2.0, BACKBEAT BKB141 MODULAR TILE 1M X 1M	52 ROLLOFF WITH APPLE	MONOLITHIC INSTALLATION	OFFICE
CPT-2	WALK OFF CARPET	MILLIKEN	GRAVITY GRA-27	23 CONVERGE	MONOLITHIC INSTALLATION	VESTIBULES
LVT-1	LUXURY VINYL TILE	MILLIKEN	SERPEGIANTE SER204 12 X 24	SER204	BRICK ASHLAR	LOWER LEVEL BREAKROOM
VB-1	VINYL BASE	JOHNSONITE	4" COVE BASE	#09 CLAY		OFFICE, LOWER LEVEL BREAKROOM, VESTIBULES
PT-1	PAINT (GENERAL WALL)	SHERWIN WILLIAMS	EGGSHELL FINISH	SW 6140 MODERATE WHITE		GENERAL WALL PAINT
PT-2	PAINT (ACCENT)	SHERWIN WILLIAMS	EGGSHELL FINISH	SW 6517 REGATTA		ACCENT WALLS
PT-3	PAINT (ACCENT)	SHERWIN WILLIAMS	EGGSHELL FINISH	SW 6712 LUAU GREEN		ACCENT WALLS AND HALO
PT-4	PAINT (DOORS, TRIM)	SHERWIN WILLIAMS	ENAMEL FINISH	SW 9111 ANTLER VELVET (TO BE VERIFIED)		PAINTED METAL DOORS, TRIM AND RAILINGS
CT-1	CERAMIC TILE	DAL TILE	HAUT MONDE HM04 12 X 24	HM04 LEISURE BEIGE - UNPOLISHED		FIRST FLOOR RESTROOMS
CTB-1	CERAMIC TILE BASE	DAL TILE	HAUT MONDE HM04 6 X 12 COVE BASE	HM04 LEISURE BEIGE - UNPOLISHED		FIRST FLOOR RESTROOMS
SS-1	SOLID SURFACE	CORIAN QUARTZ	VENETIA CREAM			KIOSK COUNTERTOPS
PL-1	PLASTIC LAMINATE	FORMICA	MATTE FINISH	SHOJI SCREEN 3696-58		LOWER LEVEL COUNTERTOPS IN BREAK ROOM AND RESTROOM
PL-2	PLASTIC LAMINATE	WILSONART	MATTE FINISH	FUSION MAPLE #7909-60		FIRST FLOOR CABINETS
PL-3	PLASTIC LAMINATE	WILSONART	MATTE FINISH	#419 WALLABY		FIRST FLOOR COUNTERTOPS
RTR-1	RUBBER TREAD/RISER	NORA		SLATE 0319		STAIR 102
ACT-1	2X2 CLG TILE	ARMSTRONG	TEGULAR OPTIMA INTERLUDE CEILING GRID	WHITE		
ACT-2	4X4 CLG TILE	ARMSTRONG	TEGULAR OPTIMA INTERLUDE CEILING GRID	WHITE		

ROOM FINISH SCHEDULE														
RM. NO.	ROOM NAME	NORTH WALL		SOUTH WALL		EAST WALL		WEST WALL		CEILING HEIGHT	CEILING MAT'L	BASE MAT'L	FLOOR FINISH	NOTES
		MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH					
100	STORE	GVB	PT-1	GVB	-	GVB	-	GVB	-	-	NONE	VB-1	-	
101	LOBBY	GVB	PT-1	GVB	PT-1	GVB	PT-2	GVB	PT-1	12'-2" / 14'-0"	ACT-1 / ACT-2	VB-1	CPT-1	PT-3 CIRCLE
102	MGR OFF.	GVB	PT-1	GVB	PT-1	GVB	PT-1	GVB	PT-2	10'-2"	ACT-1	VB-1	CPT-1	
103	CASH ROOM	GVB	PT-1	GVB	PT-1	GVB	PT-1	GVB	PT-1	12'-2"	ACT-1	VB-1	CPT-1	

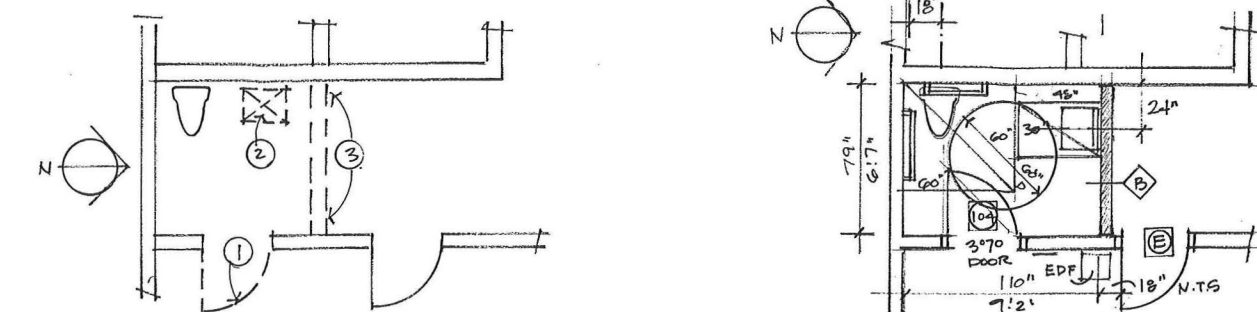
HARDWARE LEGEND:

DR. NO.	RM. NAME	HARDWARE
101	LOBBY	(See door mfg.)
102	MGR'S OFF.	3 EA. - HINGES BB1279-41/4"x41/2"x 261 1 EA. - CLASSROOM LOCK AU5308LN-626 1 EA. - CLOSER 51 00H-889 1 EA. - WALLSTOP - 409-321
103	CASH / WORK ROOM	3 EA. - HINGES BB1279-41/4"x41/2"x 261 1 EA. - MECHANICAL PUSH BUTTON COIU OO-CYL626 1 EA. - CLOSER 51 00H-889 1 EA. - WALLSTOP - 409-321
104	UNISEX ADA TOILET	3EA. - HINGES 13B 1279-4 1/2" x 4 1/2" X261 1EA. - MORTISE PRIVACY WITH INDICATOR AU8802FL -IND-626 1EA. - WALL STOP 409-321

LEVER HARDWARE AT ALL OPERABLE DOORS



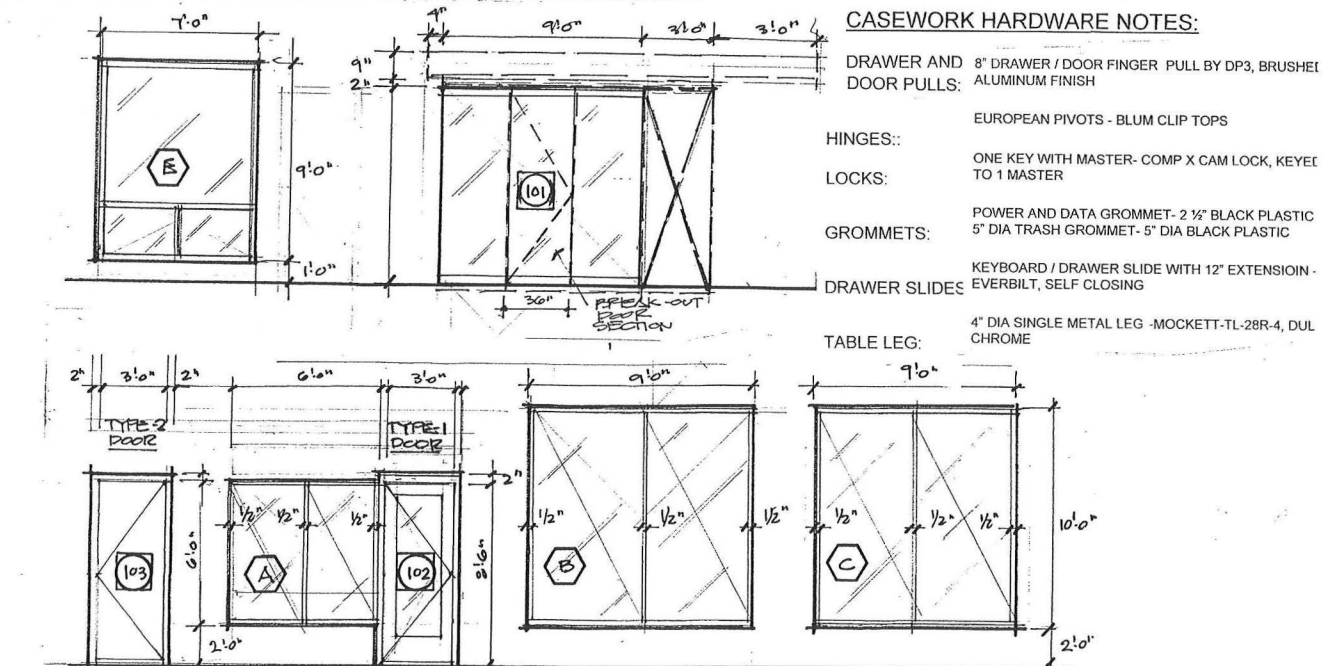
FIXTURE MOUNTING HEIGHTS



NOTES TO DEMO PLAN:
 1. REMOVE EXISTING DOOR AND FRAME
 2. REMOVE EXISTING LAVATORY
 3. REMOVE EXISTING PARTITION

NOTES TO DEMO PLAN:
 1. INSTALL NEW DOOR AND FRAME
 2. INSTALL NEW LAVATORY
 3. INSTALL NEW PARTITION
 4. INSTALL NEW WALL MOUNTED MIRROR
 5. INSTALL NEW FLOOR FINISH
 6. INSTALL NEW ADA UNISEX TOILET WALL TACTILE SIGN AT 60" ABOVE FLOOR TO TOP OF SIGN
 7. INSTALL NEW VINYL FACED 2X2 GYPSUM CEILING TILES AND GRID.

GENERAL NOTE TO PLAN:
 SEE SHEET A-5.0 FOR ADA MOUNTING LOCATIONS AND HEIGHTS FOR TOILET FIXTURES



DOOR AND WINDOW TYPES

SC: 1/4" = 1'-0"

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NORTH SHORE BANK
EL REY BRANCH
SCHEDULES AND DETAILS

REVISIONS
DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET DESCRIPTION
SHEET NUMBER

A-5.0