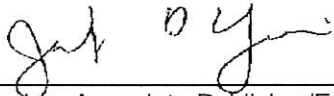


PROOF OF PUBLICATION

STATE OF WISCONSIN }
MILWAUKEE COUNTY } s.s.

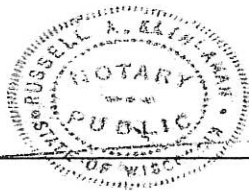
Joe Yovino, being the first duly sworn on oath, says that he or she is the Associate Publisher/Editor of THE DAILY REPORTER, which is a public newspaper of general circulation, printed and published daily in the English language in the City of Milwaukee, in said county, and fully complying with the laws of Wisconsin, relating to the publication of legal notices; that the notice of which the printed one attached is a true copy, which was clipped from the said newspaper, was inserted and published in said newspaper on

Jun. 28, 2019 Jul. 5, 2019



Joe Yovino, Associate Publisher/Editor

Sworn to me this 5th day of July 2019



Russell A. Klingaman
Notary Public, Milwaukee County, Wisconsin
My Commission Is Permanent

PROOF OF PUBLICATION

Notice is hereby given that an ordinance that was introduced at the May 29, 2019 meeting of the Milwaukee Common Council, the essence of which is as follows:

A substitute ordinance relating to zoning regulations for pergolas.

The Mayor and Common Council of the City of Milwaukee do ordain as follows:

Part 1. Table 295-505-3 of the code is amended to read:

| | Garage | Shed >> or fully-covered pergola << | Deck/stoop less than one foot above grade | Deck/stoop one to 3 feet above grade | Deck/stoop 3 to 7 feet above grade | Deck/stoop more than 7 feet above grade | Open trellis >> arbor or open-lattice-covered pergola << |
|---------------------------------------|---|--|---|--------------------------------------|------------------------------------|---|--|
| Included in lot coverage calculation? | Yes | Yes >> except for a fully-covered pergola << | No | No | Yes | Yes | No |
| Minimum front setback | Same as principal building; if the garage door faces the front of the lot, an additional 4 ft. shall be required. | Same as principal building. | No restriction. | Same as principal building. | Same as principal building. | Same as principal building. | No restriction. |
| Minimum side street setback | Same as principal building, but not closer to side street than any existing principal building. | No restriction. | No restriction. | Same as principal building. | Same as principal building. | No restriction. | No restriction. |

| Minimum rear street setback | Average in accordance with s. 295-505-2-e >>: no restriction for fully-covered pergola << | | | | | No restriction. | No restriction. |
|--|---|-----------------------------|-----------------|---|--|-----------------------------|-----------------------------|
| Minimum side setback when located in the side yard | Same as principal building. | Same as principal building. | No restriction. | Up to property line; however, all railings above 4 feet shall be at least 50% open. | 1.5 feet; however, all railings above 4 feet shall be at least 50% open. | Same as principal building. | Same as principal building. |

| | Garage | Shed >> or fully-covered pergola << | Deck/stoop less than one foot above grade | Deck/stoop one to 3 feet above grade | Deck/stoop 3 to 7 feet above grade | Deck/stoop more than 7 feet above grade | Open trellis >> arbor or open-lattice-covered pergola << |
|--|--|--|---|--------------------------------------|--|--|--|
| Minimum side setback when located in the rear yard | 1.5 feet; 4 feet if access crosses side lot line from an alley. | 1.5 feet >>: no restriction for fully-covered pergola << | No restriction. | No restriction. | 1.5 feet; however, all railings above 4 feet shall be at least 50% open. | 1.5 feet; however, all railings above 4 feet shall be at least 50% open. | No restriction. |
| Min. rear setback | 4 feet; may be reduced to 1.5 feet if there is no alley or no access from an alley | 4 feet; may be reduced to 1.5 feet if there is no alley or no access from an alley >>: no restriction for fully-covered pergola << | No restriction. | No restriction. | 1.5 feet; however, all railings above 4 feet shall be at least 50% open | 4 feet; may be reduced to 1.5 feet if there is no alley. | No restriction. |
| Max. height of sidewall | 10 feet | 8 feet >>: 10 feet for fully-covered pergola << | No restriction. | No restriction. | No restriction. | 10 feet | 8 feet |
| Max. overall height | 24 feet or the height of the principal building, whichever is less | 14 feet | Not applicable. | Not applicable. | Not applicable. | 14 feet | 14 feet |

Part 2. Section 295-505-3-f-0 to 2, 5 and 9 of the code is amended to read:

295-505. Design Standards.

3. ACCESSORY STRUCTURE STANDARDS.

f. Garages [ar] >>: << Sheds >> and Fully-Covered Pergolas << .

f-1. General. An accessory building that is 150 square feet or less in area >> or a fully-covered pergola of any size << shall meet the requirements for sheds set forth in table 295-505-3. An accessory building that is greater than 150 square feet in area shall meet the requirements for garages set forth in table 295-505-3. A carport or similar roofed structure shall meet the requirements for either garages or sheds, depending on the size of the structure.

f-2. Location. A garage [ar] >>: << shed >> or fully-covered pergola << may be located in the rear yard of the principal structure. A garage [ar] >>: << shed >> or fully-covered pergola << may also be located in the side yard, provided it is not in the required side setback area of the principal structure. Garages [ar] >>: << sheds >> and fully-covered pergolas << shall not be permitted in front yards.

f-5. Sidewall Height. The maximum height of a garage [ar] >>: << shed >> or fully-covered pergola << sidewall shall be as specified in table 295-505-3. The height of a sidewall shall be measured from the level of the grade to a horizontal line even with the bottom edge of the fascia board. Where rafters are exposed, measurement shall be to a horizontal line even with the bottom edge of the rafters.

f-9. Attachment to Principal Building. A garage [ar] >>: << shed >> or fully-covered pergola << may be attached to a principal building. If an attached garage [ar] >>: << shed >> or fully-covered pergola << has no second-floor living space, it shall be included in the lot coverage calculation for accessory structures, rather than the lot coverage calculation for the principal building. In addition, an attached garage [ar] >>: << shed >> or fully-covered pergola << with no second-floor living space shall be subject to the setback requirements for an accessory building, rather than the setback requirements for a principal building.

Part 3. Section 295-503-3-i of the code is amended to read:

i. Open Trellises [ar] >>: << Arbors >> and Open-Lattice-Covered Pergolas << . An open trellis [ar] >>: << arbor >> or open-lattice-covered pergola << may be located in the front yard, side yard or rear yard in accordance with table 295-505-3.

Notice is hereby further given that the foregoing matter will be given a public hearing by the City Plan Commission in the First Floor Boardroom, 809 North Broadway, Milwaukee, Wisconsin, on Monday, July 15, 2019 at 1:50 P.M., pursuant to the provision of Sub-Section (7)(d) of Section 62.23 of the Revised Statutes of the State of Wisconsin.

PLEASE NOTE: a) Members of the Common Council, and members of its Standing Committees who are not members of either Committee, may attend this meeting to participate or to gather information. Therefore, notice is given that either meeting may constitute a meeting of the Common Council or any of its Standing Committees, and must be noticed as such, although they will not take any formal action at this meeting.

b) If you have difficulty with the English language, you may bring an interpreter with you, at your own expense, so that you can answer questions and participate in the hearing.

c) Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at 266-2998, (FAX) 266-3456, (TDD) 266-2025 or by writing to the ADA Coordinator at Room 205, City Hall, 200 E. Wells Street, Milwaukee, WI 53202.

d) Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in Room 205, (City Clerk's Office) or the first floor Information Booth in City Hall.

e) This meeting will be web-cast live at www.milwaukee.gov/channel25.