



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 2006 E. LAFAYETTE PL. North Point South HD
Description of work Install new front and side fence iron atop stone curbing. Re-issued with negligible modifications per the approval granted in CCF 100127.
Date issued 6/21/2018 PTS ID 65653 COA: fence redux

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Dean Doerrfeld of the Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: Dean.Doerrfeld@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

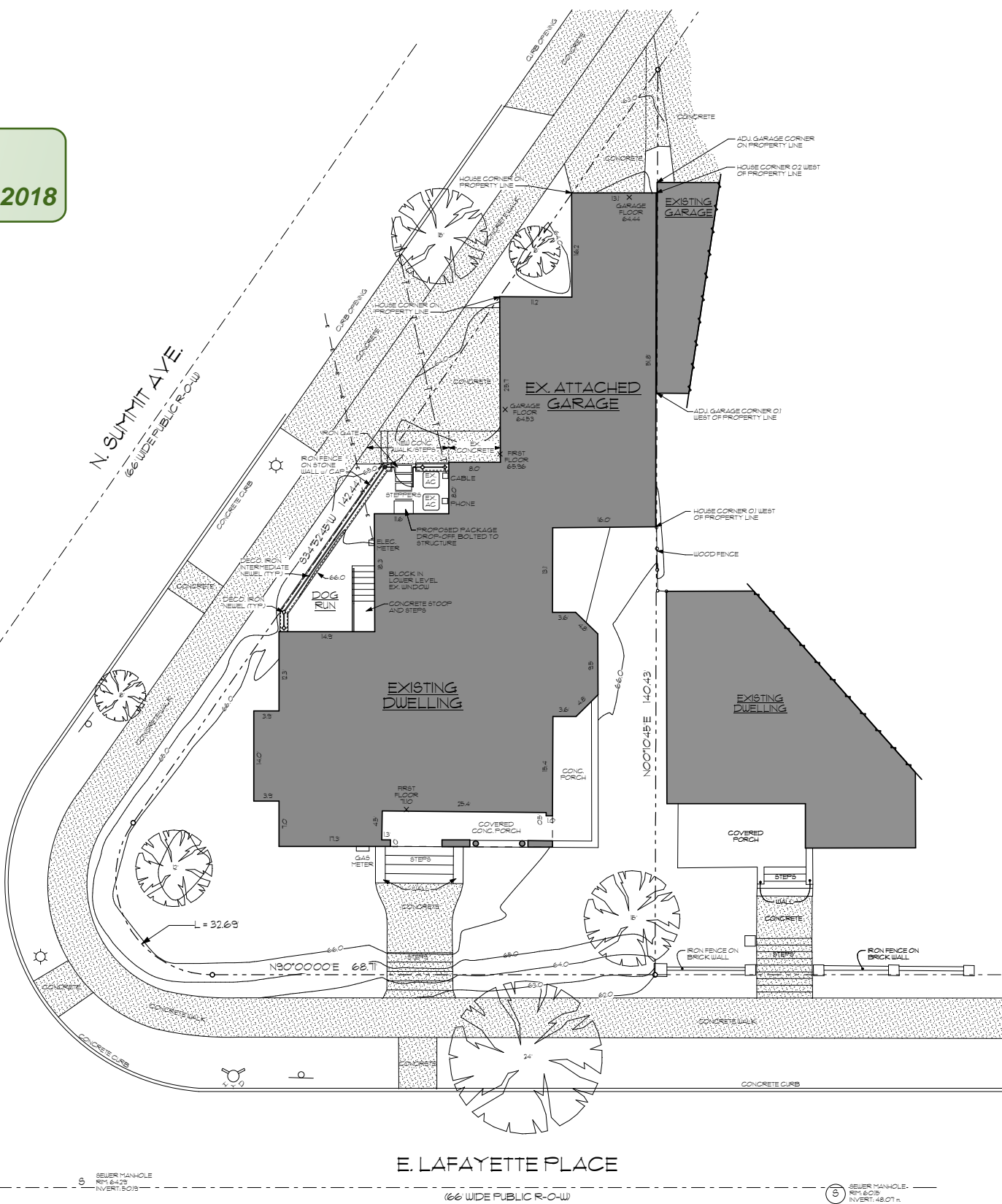
Copies to: Development Center, Ald. Nik Kovac, Contractor



**240 N. Milwaukee Street
Suite #400
Milwaukee, WI 53202**
**(414) 276.8550
deep-river.com**

APPROVED
By Tim Askin at 10:25 am, Jun 21, 2018

NOTE:
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE CONTRACT DOCUMENTS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME. THE CONTRACTORS SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL WORK IS DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. THE CONTRACT DOCUMENTS UTILIZE A PROCESS CALLED FREE DESIGN OR DESIGN/BUILD FOR ROOF, WINDOW, PLUMBING, ELECTRICAL, HVAC DETAILS, AND AS DESIGNATED IN THE SPECIFICATION AS "TO BE COMPLETED ON A DESIGN/BUILD BASIS." THIS MEANS THAT THE CONTRACT DOCUMENTS DO NOT INCLUDE ALL REQUIRED DETAILS, AND THAT THE CONTRACTORS SHALL, USING THEIR OWN STAFF OR QUALIFIED SUBCONTRACTORS, DESIGN AND BUILD THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE WORK. THE CLIENT IS DIRECTLY CONTRACTING WITH THE CONTRACTORS AND THEREFORE THE CLIENT AND THE CONTRACTORS ARE ASSUMING THE DESIGN AND BUILD RESPONSIBILITY FOR THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE PROJECT. DEEP RIVER PARTNERS, LTD. IS NOT RESPONSIBLE FOR INSPECTING ANY ASPECT OF THE CONTRACTORS' WORK, OR FOR OBSERVATION OF THE CONTRACTORS' WORK FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.

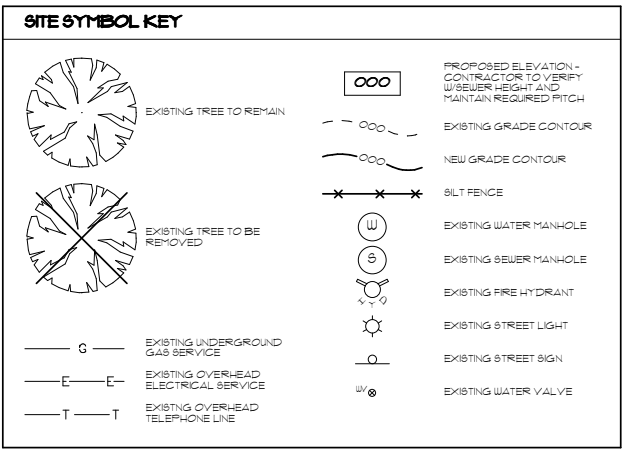


SHEET INDEX

C1.1	SITE PLAN
A1.1	1/4" FLOOR PLANS
A4.1	EXTERIOR ELEVATIONS
A8.1	EXTERIOR DETAILS

PROJECT TEAM

STRUCTURAL CONSULTANT
MICHAEL A. CORRIGAN P.E., A.L.A.
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SUITE 220
MILWAUKEE, WISCONSIN 53092
(262) 241-9100 VOICE - (262) 241-9101 FAX
corrigan@mllup.com EMAIL



1 SITE PLAN
SCALE: 1" = 10'

**Project #1812
LAFAYETTE RENOVATION - FENCE**
2006 E. LAFAYETTE PLACE
MILWAUKEE, WI 53202

DESCRIPTION	DATE
HISTORIC PRESERVATION COMMISSION	06-13-18

SITE PLAN

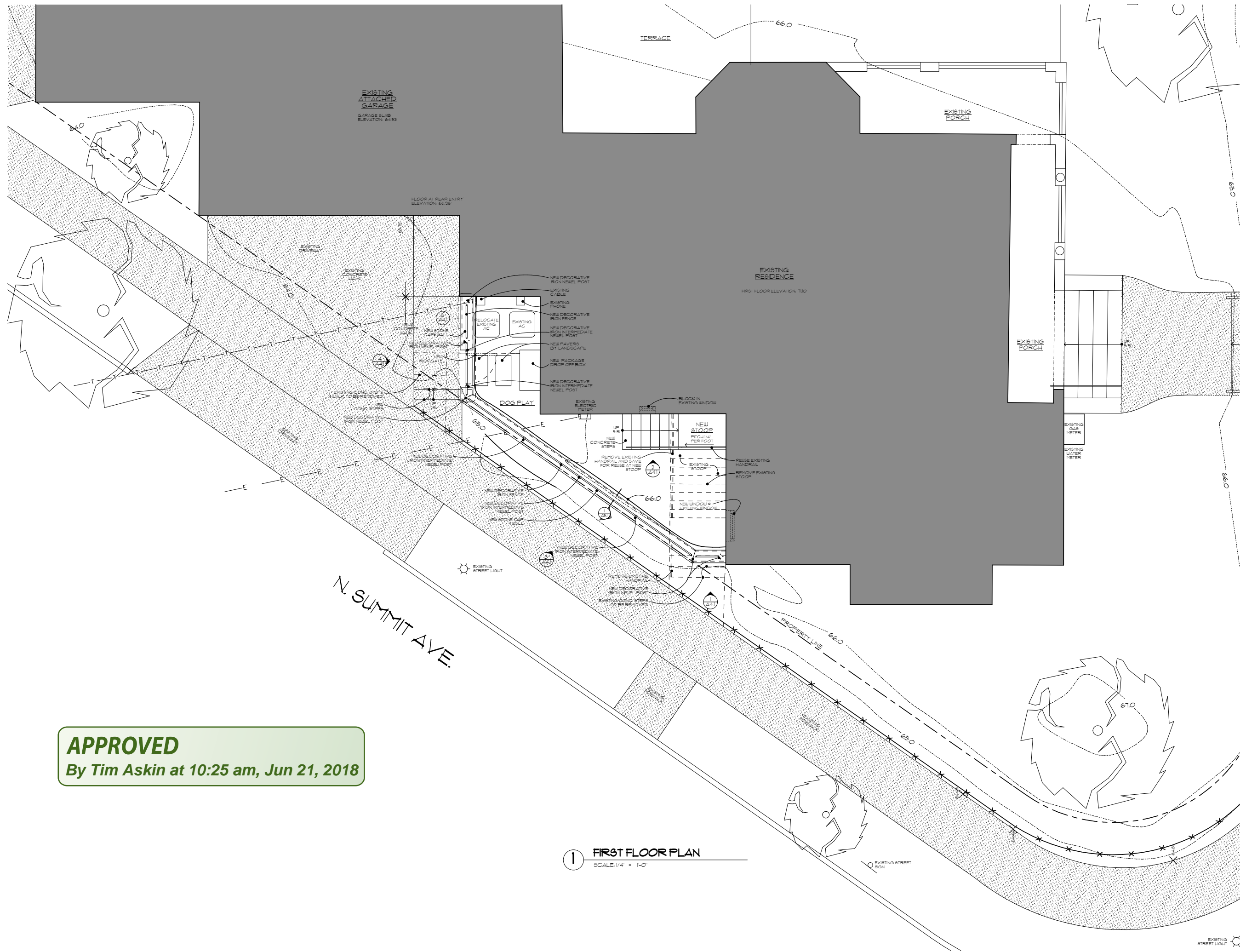
C1.1

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1 FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

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FENCE PLAN

A1.1

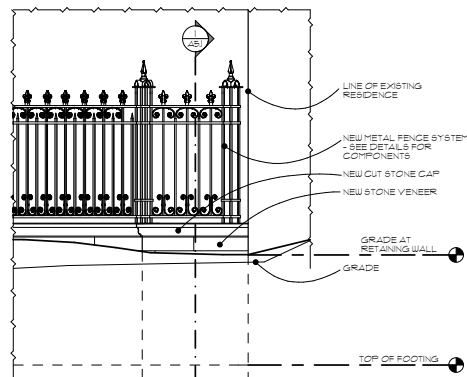
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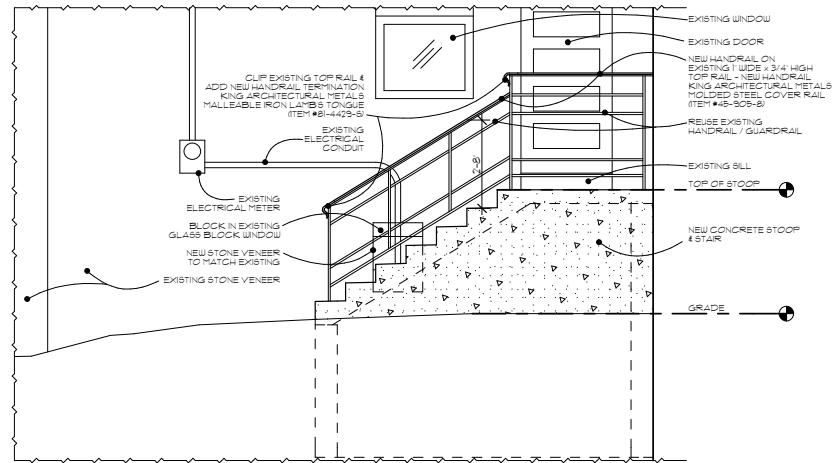
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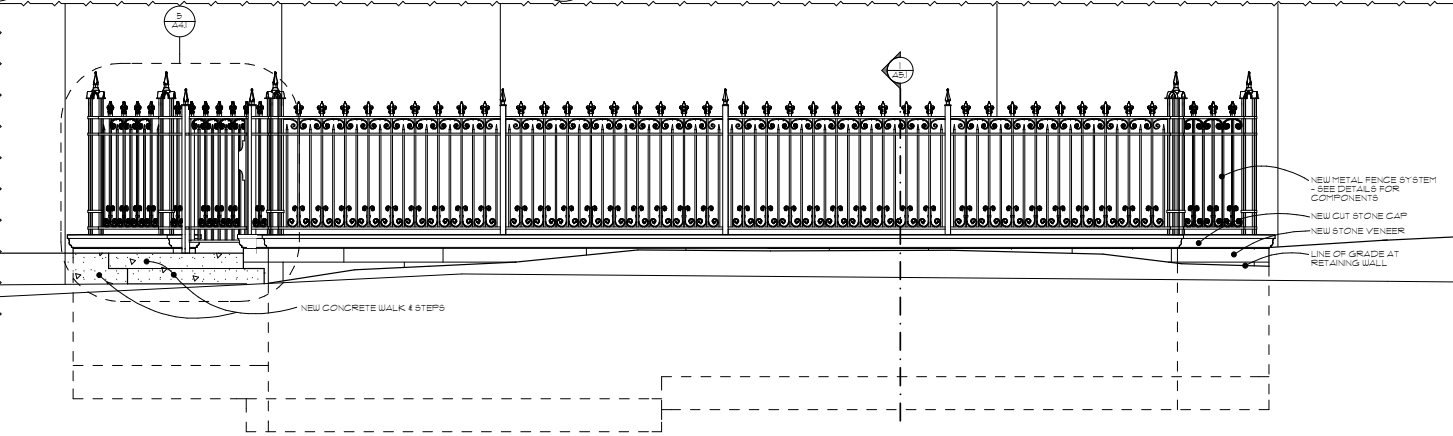
1 SOUTHWEST ELEVATION

SCALE: 3/8" = 1'-0"



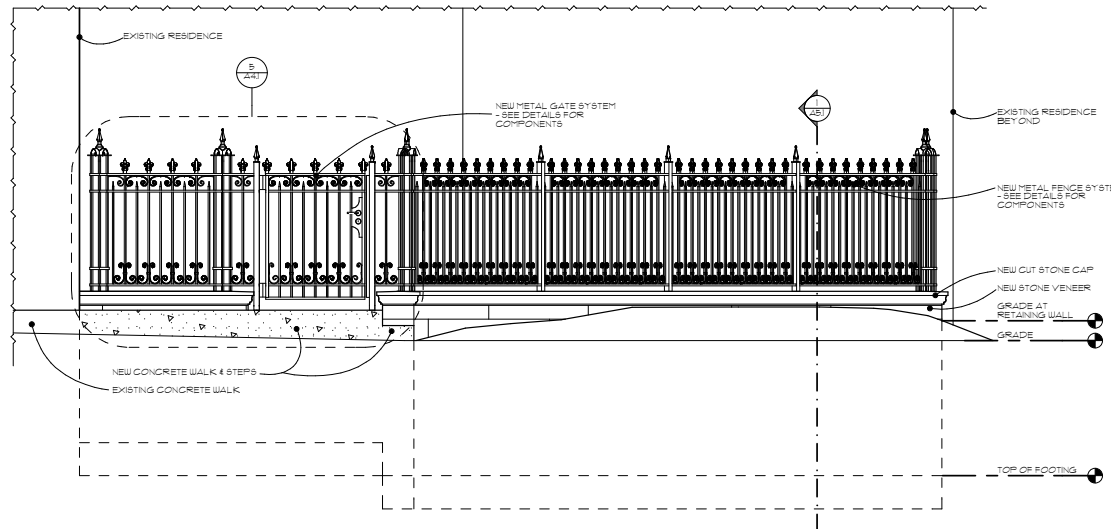
2 WEST ELEVATION - NEW STOOP

SCALE: 3/8" = 1'-0"



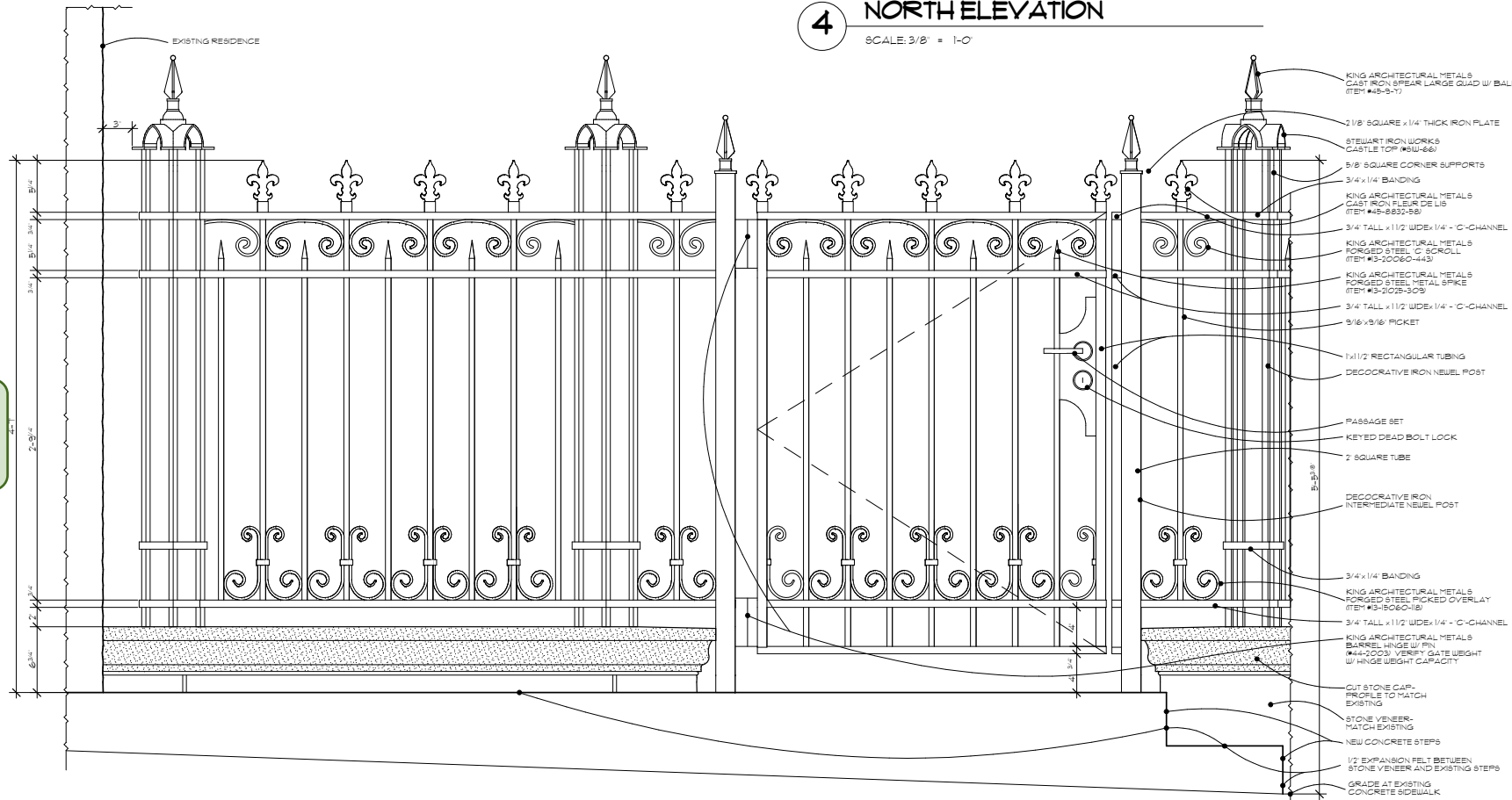
3 WEST ELEVATION

SCALE: 3/8" = 1'-0"



4 NORTH ELEVATION

SCALE: 3/8" = 1'-0"



5 DOG PLAY GATE - PARTIAL NORTH ELEVATION

SCALE: 1/2" = 1'-0"

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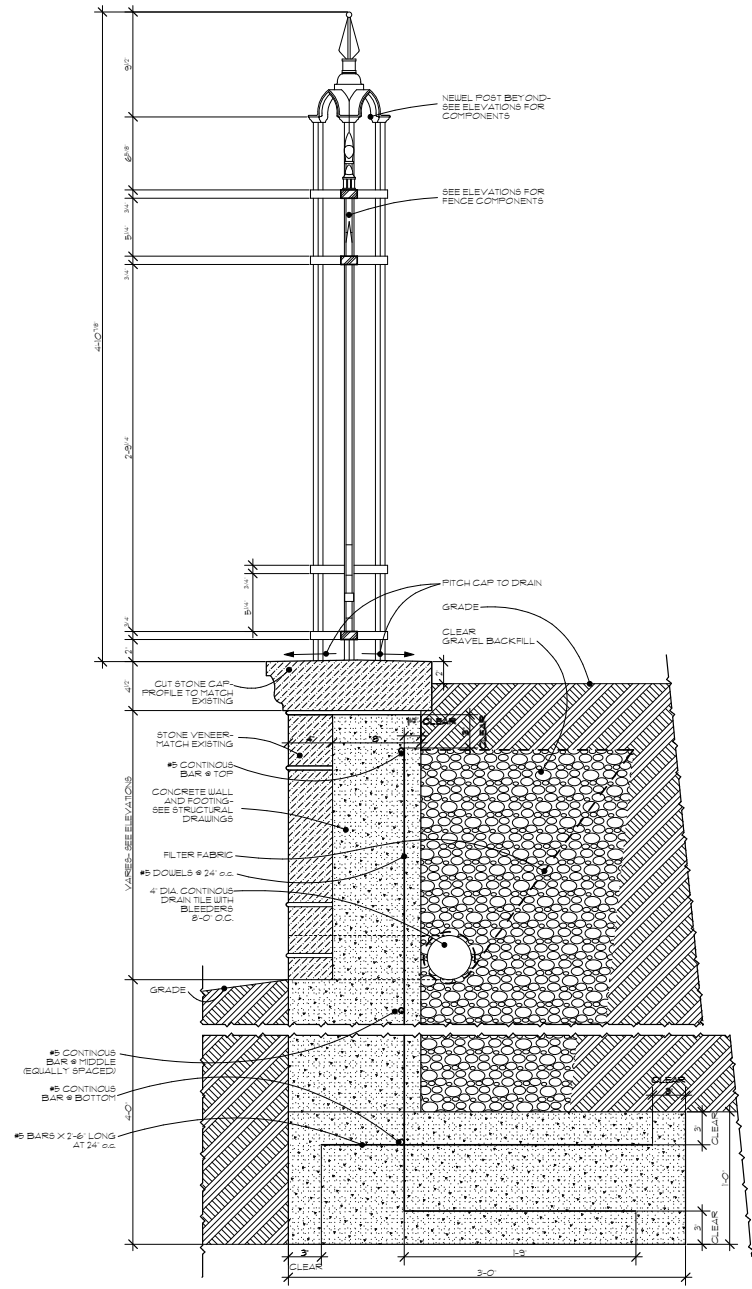
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EXTERIOR ELEVATIONS

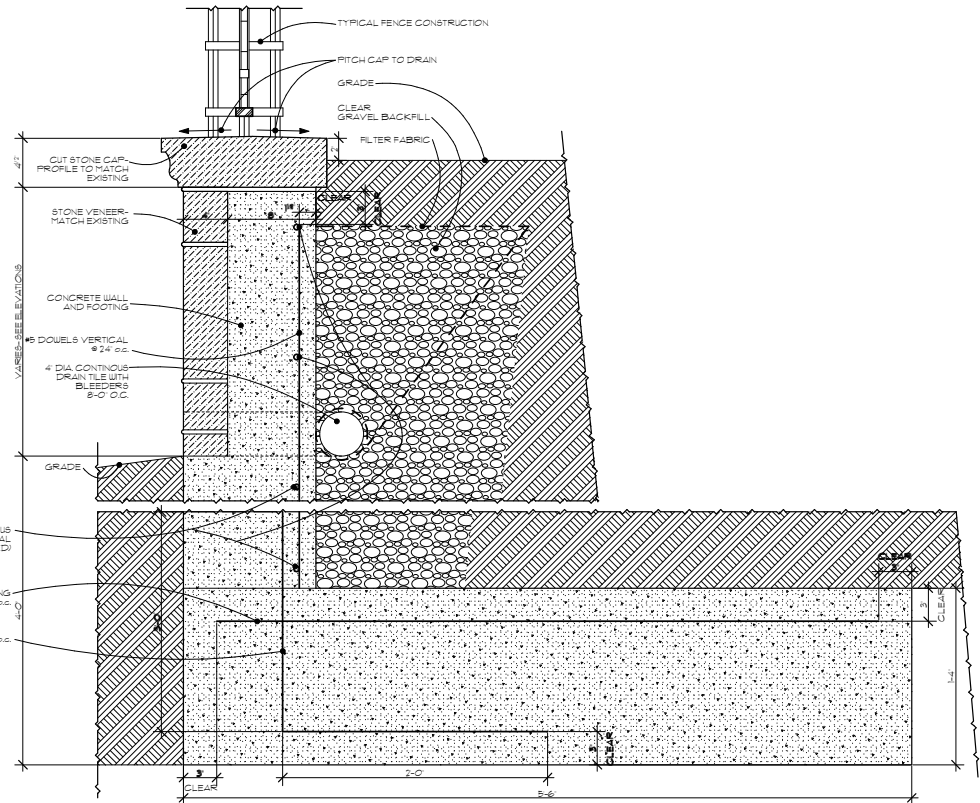
A4.1

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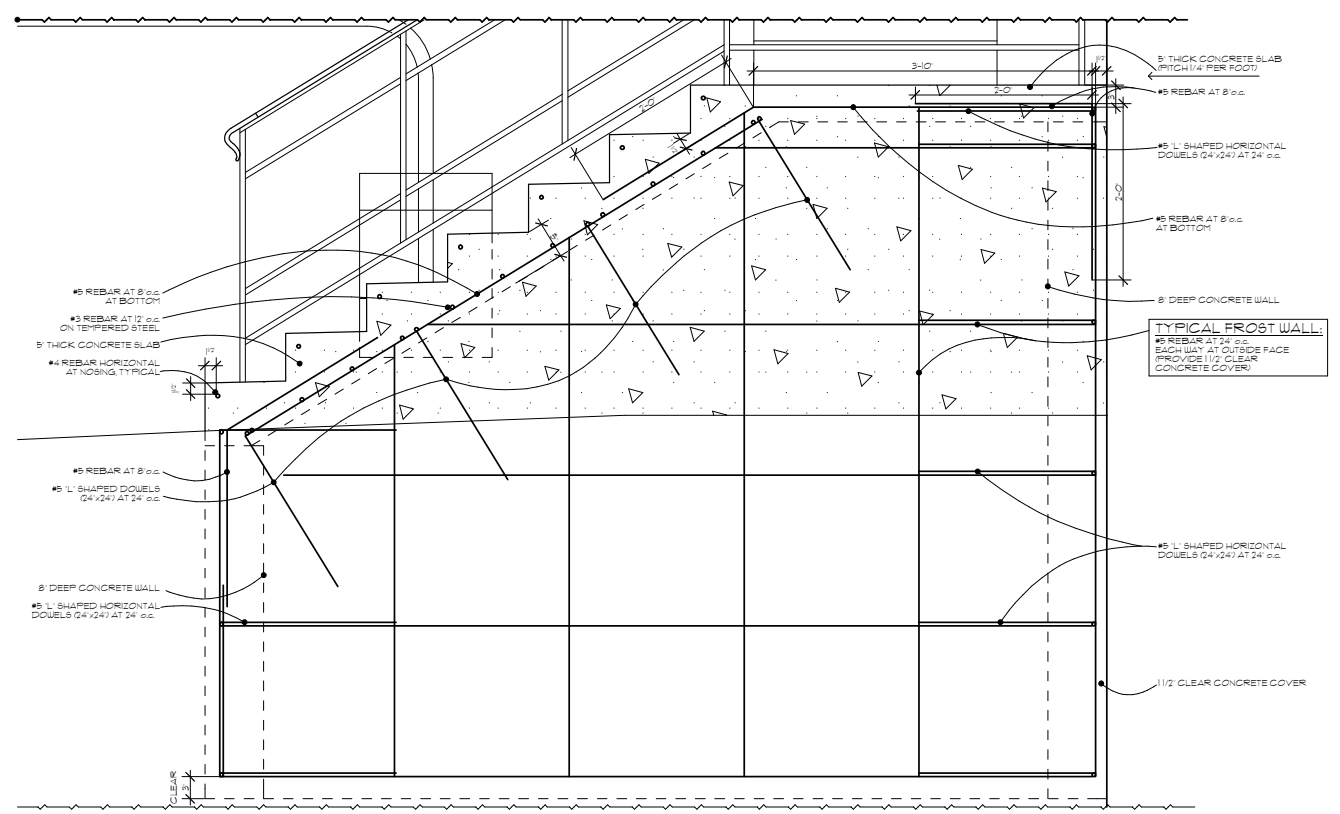


1 TYPICAL FENCE / RETAINING WALL DETAIL
SCALE: 1/2" = 1'-0"

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2 TYPICAL FENCE / TALL RETAINING WALL DETAIL
SCALE: 1/2" = 1'-0"



3 NEW STOOP REINFORCING DETAIL
SCALE: 1" = 1'-0"

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EXTERIOR DETAILS

A5.1



A SOUTH ELEVATION



LOCATION OF PROPOSED FENCED DOG RUN

C SOUTHWEST ELEVATION



- EXISTING WINDOW
- LOCATION OF PROPOSED FENCE
- PROPOSED NEW LOCATION OF STOOP
- REMOVE EXISTING STOOP & REUSE EXISTING HANDRAIL

E WEST ELEVATION



LOCATION OF PROPOSED GATE AND FENCE

LOCATION OF PROPOSED WALK

F WEST ELEVATION



EXISTING CONDENSING UNITS

LOCATION OF PROPOSED FENCE

LOCATION OF PROPOSED WALK

G NORTH ELEVATION



I DETAIL - EX. RAILING AT PORCH



J DETAIL - EX. RAILING AT FRONT STEPS



EXISTING HANDRAIL PROPOSED TO BE REUSED @ NEW STOOP

PROPOSED NEW WINDOW @ EXISTING LOCATION

REMOVE EXISTING RAIL

REMOVE EXISTING STOOP

K DETAIL - EX. RAILING AT STOOP