

**Malcolm X Redevelopment**

2760 N. 1st St.  
Milwaukee, WI 53212

**KORB TREDO ARCHITECTS**

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Project Team

**2760 JP/DK LLC**

Owner

4415 W. Mitchell Street  
Milwaukee, WI 53214  
p: 414.383.6100

**KORB TREDO ARCHITECTS**

Architect

790 N. Milwaukee Street, Suite 210  
Milwaukee, WI 53202  
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f: 414.273.8231  
Email: [jason@korbredo.com](mailto:jason@korbredo.com)  
[www.korbredo.com](http://www.korbredo.com)

**KBS CONSTRUCTION**

Construction Manager

4425 W. Mitchell Street  
Milwaukee, WI 53214  
p: 414.383.6100

**PIERCE ENGINEERS, INC.**

Structural Engineer

241 N. Broadway, Suite 500  
Milwaukee, WI 53202  
p: 414.278.6061

**DAAR ENGINEERING, INC.**

Civil Engineer

518 West Cherry Street  
Milwaukee, WI 53212  
p: 414.604.0674  
f: 414.604.0677

**IBC ENGINEERING SERVICES, INC.**

Plumbing, Fire Protection, Mechanical, Electrical

N8W22195 Johnson Drive, Suite 180  
Waukesha, WI 53186  
p: 414.549.1190

# Owner's Statement of Intent & Planned Development Project Description

## Owner's Statement of Intent:

2760 JP/DK LLC (owner) is an organization intent on creating neighborhood developments that add value to the surrounding community. This project intends to upgrade the existing former Malcolm X MPS school and grounds. Our organization has retained the services of an architectural design firm experienced in educational facility design in the City of Milwaukee. All applicable building codes, planning guidelines and educational best practices will be implemented in the renovation of the existing facility. Students, families, staff and residents within the surrounding neighborhoods will all benefit from the renovation of the now vacant building and property. The building will be leased to MPS to be used as a 600 student middle school. It will also be open to the surrounding community for events and ongoing community ventures.

Respectfully Submitted,  
James Phelps, President and Owner, 2760 JP/DK LLC  
4415 W. Mitchell Street, Milwaukee WI 53214

## Planned development Project Description:

The Malcolm X Academy Redevelopment Project will renovate and redevelop the former Milwaukee Public School (MPS) - Malcolm X Middle School. Major renovations include an update to all HVAC, electrical and plumbing equipment, interior renovations and, budget permitting, an exterior window replacement with perforated aluminum protection screens and an update to the entrances. A new certified survey map (CSM) will be created to bifurcate the site into two separate city lots. The Northern existing building will be part of this DPD submittal and the southern-most portion of the site will be part of a future development including housing and retail.

## Uses:

The project will continue to function as an MPS IBS 6th through 8th grade middle school. The school will have a total enrollment of approximately 780 students and will have a staff of approximately 71 teachers, support, and administration. The project will also function as a community center for various local entities. Community functions include Community Recreation and Family Fitness Center (CRFFC) and special art programming. The CRFFC will provide community enrichment through innovative fitness, recreational, and Community Learning Center Programs. These programs will be held in the gymnasium typically after school and would be accessed either by foot traffic or through the parking lot located on the East side of the building. Community art and performance programs will add another layer of enrichment to the community through instruction and play and will use the Auditorium and auxiliary surrounding spaces. There are several community groups currently in negotiations with the owner and MPS to use the building and both the owner and MPS have narrowed these groups to the Running Rebels to run the CRFFC and KoThi, Hansberry Sands, African American Children's Theater, and the UWM Peck school of the Arts.

## Design Standards:

The existing exterior envelope of the Malcolm X Academy Redevelopment Project shall remain consistent, however will have masonry repaired as necessary. Exterior changes may also include the following provided the budget will support the proposed work: new windows and entrance doors with clear anodized aluminum storefront, painted metal panel to match clear anodized aluminum, clear unobstructed glazing and spandrel glazing, and metal screens. The exterior canopies will be repainted as part of the exterior renovation.

## Space Between Structures:

A 10'-0" separation will be created between the existing one story southern-most structure and the north existing structure. This separation will be created by demolishing 10'-0" of the southern property. The space between structures

will hug the newly created property line as indicated on the CSM and both walls will be infilled with materials to match.

## Setbacks:

All existing setbacks will be maintained throughout the entire property. A 5'-0" setback (from the property line) will be created between adjacent properties as described above.

## Screening:

All utility and HVAC equipment for the project will remain in their existing locations - housed in the building or located on the roof.

## Open Spaces:

The project will create a 24,304 SF grass play area with walking path to the west of the parking lot and to the east of the existing structure.

## Circulation, Parking and Loading:

Currently the entire site is impervious and covered with asphalt. A large portion of the asphalt will be turned into a new grass play area as described above. In addition, a new parking lot will be created to the East of the building and will contain 71 parking stalls. School bus loading and unloading will take place along North 1st street across from the entry. Dumpster location / trash pick up will be located in its existing location - the corner of W. Hadley st. and N. 1st st. Bike parking will be added to the project near the west entry (N. 1st st.) and near the north entry (W. Hadley St.).

## Landscaping:

Currently the existing site is devoid of significant landscaping. In order to allow for maximum parking for both the school and community events and for greenspace for the school play area trees and shrubs have been concentrated at the street and around the play area. The grass play area and track will be pervious additions to this existing impervious site. A landscape buffer will also be added between the north and south properties. A rain garden is planned on the South portion of the site contingent on budgetary constraints and some MMSD funding. See landscape plan for further information.

## Lighting:

Adequate security lighting shall be provided for the project at all major entrances, exits and parking lot. New aesthetic LED entrance lighting is currently planned for all major entrances and may also be added to the rest of the exterior walls if budget allows.

## Utilities:

All utility lines used for the project will be existing. Any new HVAC or electrical units added to the project will be installed within the building or screened from view on the rooftop.

## Signs:

All existing signs shall be replaced and retain their square footage. New project identification signs will be added at all main entries. The signs shall be composed of raised letters that are front lit and shall not exceed 32 square feet. See elevations for locations and typical size. An approximately 64 SF sign and possible artwork may be included on the South elevation of the auditorium for community outreach. The school and community groups may have temporary signage for advertising that would be on the building for no longer than 60 days and would need to go through DCD approval for size and type.

Gross land area: ..... North Property: 147,039 SF (76% of Total SF)  
(South Property - Future Development: 45,015 SF  
(23% of Total SF)  
Easement between properties shown on site plan.

Maximum amount of land covered by principal building at North Property: ..... 68,464 SF (46.5% of Total SF)

Maximum amount of land devoted to parking, drives and parking structures: ..... 26,485 SF (18% of Total SF)

Minimum amount of land devoted to landscaped open space: ..... 24,304 SF (16.5% of Total SF)

Maximum proposed dwelling unit density if residential and/or total square footage devoted to non-residential uses: ..... Existing Building (School) GSF: 68,464 SF  
Mechanical Floor: 2,340 SF  
Ground Floor: 34,076 SF  
First Floor: 58,350 SF  
Second Floor: 66,148 SF

Proposed number of buildings: ..... 1 - Existing School

Maximum number of dwelling units per building: ..... N/A

Bedrooms per unit: ..... N/A

Parking spaces provided, whether surface or in structures: ..... 71 Stalls

Ratio per unit: ..... N/A













**CERTIFIED SURVEY MAP NO.**

Being Lot A in the PARTITION OF LOTS IN THE NORTHEAST 1/4 SECTION 17, TOWNSHIP 7 NORTH, RANGE 22 EAST, all of Block 6 of PERELES, BURKE & TOWNSEND'S SUBDIVISION, all of Block 8 of WECHSELBERG & ELLIOTT'S SUBDIVISION and also all the Vacated Alleys adjacent, located in the Southeast 1/4 of the Northeast 1/4 Section 17, Township 7 North, Range 22 East, City of Milwaukee, Milwaukee County, Wisconsin .

Property serviced by Public Sewer and Water.

Tax Key Number: 313-9999-100

Bearings refer to Grid North of the Wisconsin State Plane Coordinate System Grid, South Zone per N.A.D. 1927. The South line of the Northeast 1/4 of Section 17, Township 7 North, Range 22 East has a reference bearing of S 89°08'16" W. (CSSD December 2013)

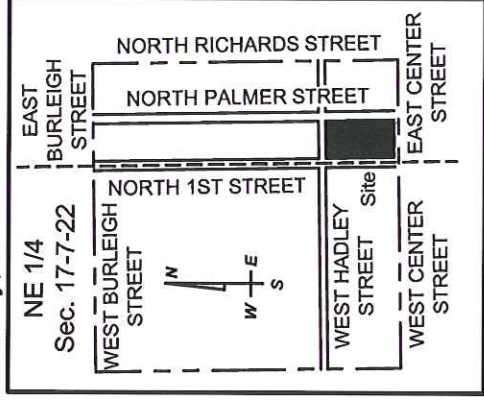
Zoning: PD - Planned Development

**GRAPHIC SCALE**



1 INCH = 150 FEET

VICINITY SKETCH  
SCALE: 1"=2000'



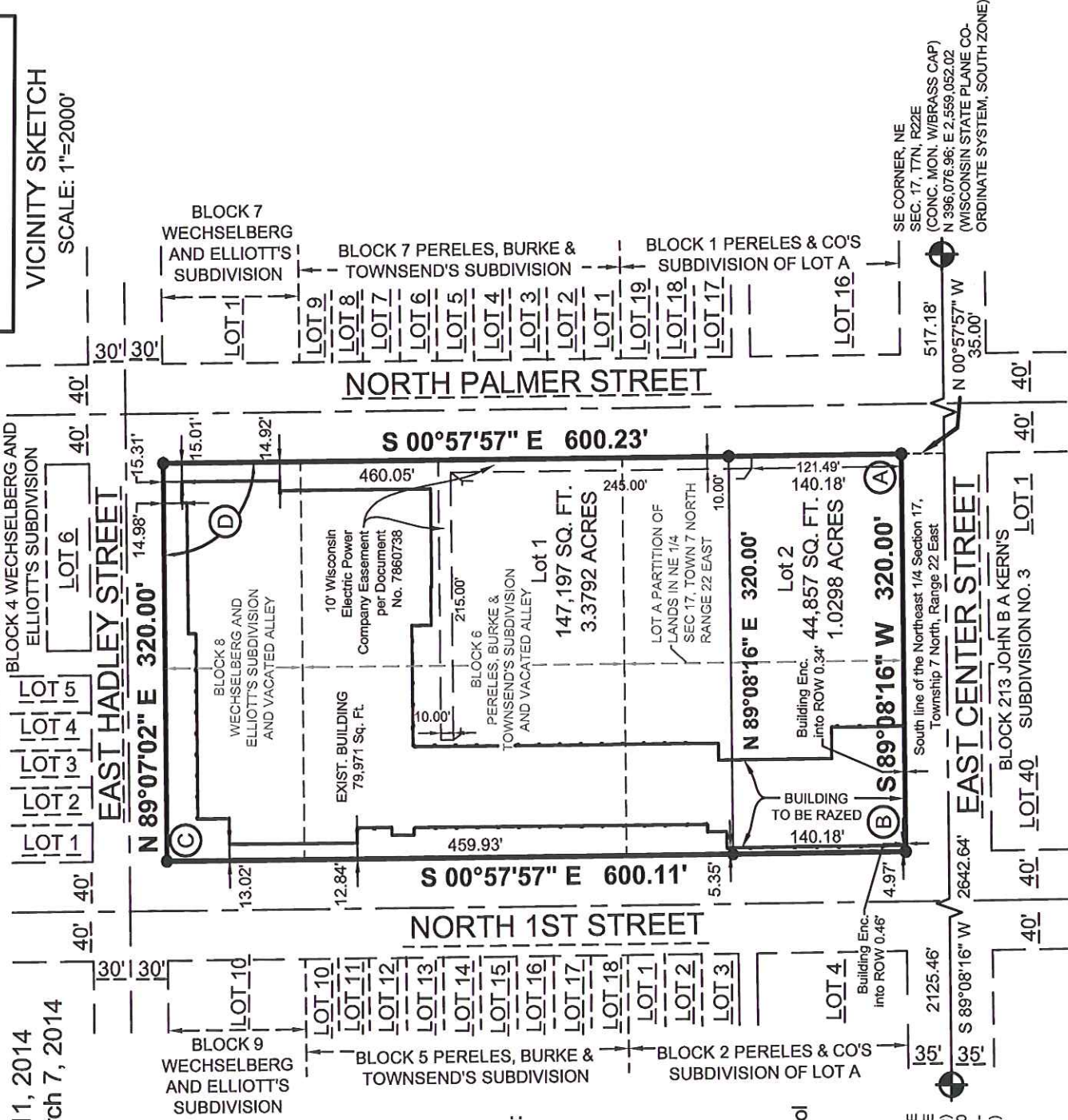
February 11, 2014  
Revised: March 7, 2014



- INTERIOR ANGLES:**  
 A - 89°53'47"  
 B - 90°06'13"  
 C - 89°55'01"  
 D - 90°04'59"

Prepared For:  
 City of Milwaukee School  
 5225 W Vliet Street  
 Milwaukee WI 53208

SW CORNER, NE  
 SEC. 17, T7N, R22E  
 (CONC. MON. W/BRASS CAP)  
 N 396.037 20; E 2.556 409.90  
 (WISCONSIN STATE PLANE CO-  
 ORDINATE SYSTEM, SOUTH ZONE)



**DAAR**  
**ENGINEERS**

PLANNERS SURVEYORS  
 518 West Cherry Street, Milwaukee, WI 53212  
 PHONE (414) 604-0674 FAX (414) 604-0677  
 www.daarcorp.com

**Notes:**

- Denotes 1" iron pipe found
- Denotes 1" x 24" iron pipe set, 1.68 lbs. per lin. ft.

This instrument drafted by  
 William R. Henrichs, RLS S-2419  
 Job Number: 140013  
 FEBRUARY 6, 2014  
 Sheet 1 of 4 Sheets

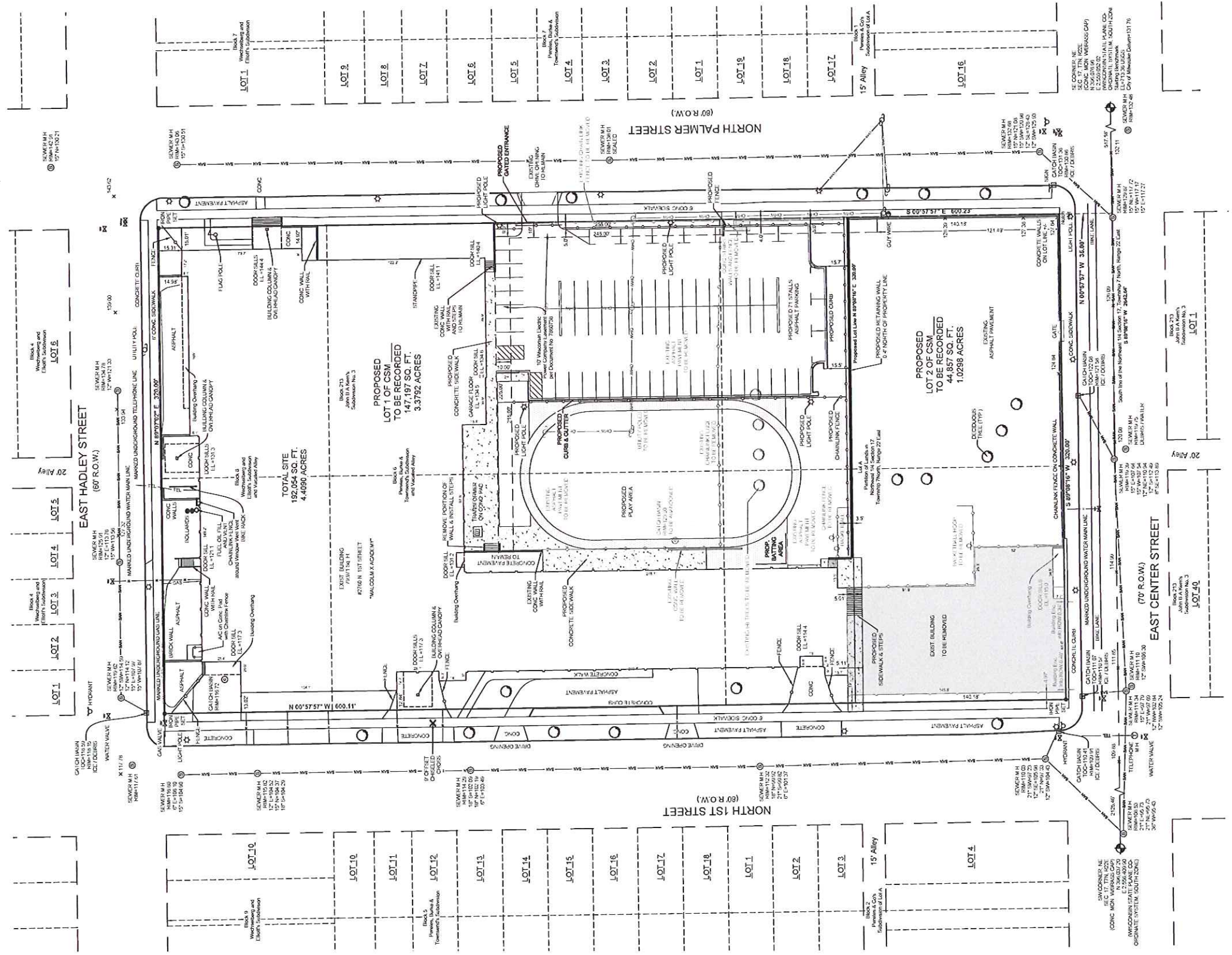
Survey No. - 140013  
Korb Tredo Architects - 13049  
Malcolm X Academy

PLAT OF SURVEY

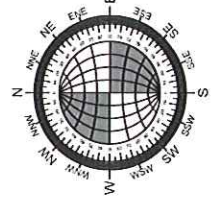
February 6, 2014  
LOCATION: 2760 N. 1st Street, Milwaukee, Wisconsin

LEGAL DESCRIPTION Tax Roll:  
Tax Key Number: 313-9999-100  
Lot A in PARTITION OF LOTS IN THE NORTHEAST 1/4 SECTION 17, TOWNSHIP 7 NORTH, RANGE 22 EAST, between North Palmer Street, East Center Street and North 1st Street, ALSO all of Block 6, PERELES, BURKE & TOMWSEN'S SUBDIVISION, ALSO all of Block 8, MECHSELBERG & ELLIOTT'S SUBDIVISION and all of Vacated Alley adjacent, located in the Southeast 1/4 of the Northeast 1/4 Section 17, Township 7 North, Range 22 East, City of Milwaukee, Milwaukee County, Wisconsin.

Project:  
March 7, 2014 - By ST - Added Easements from Title and Updated Proposed Lot Line.  
March 10, 2014 - By ST - Added Slip Plan.



Unimproved to the North of the  
West Side of North 1st Street  
Grid South Zone per N.O. 1027. The  
unimproved area is shown in  
17, Township 7 North, Range 22 East, City of Milwaukee, Milwaukee County, Wisconsin.

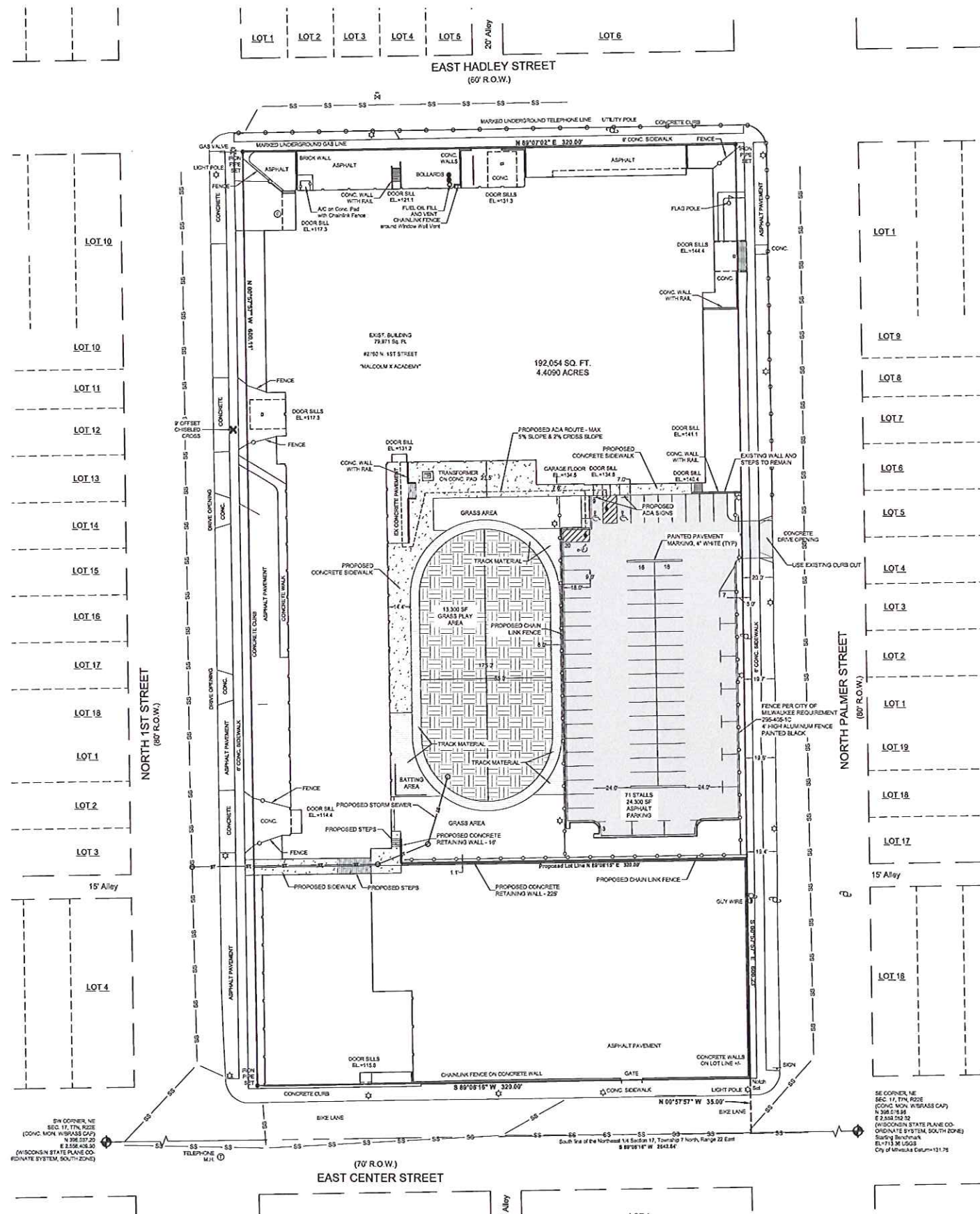


DAAR ENGINEERING, INC.  
111 West Cherry Street, Milwaukee, WI 53212  
PH: 414.224.1111  
www.daar.com

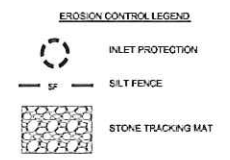
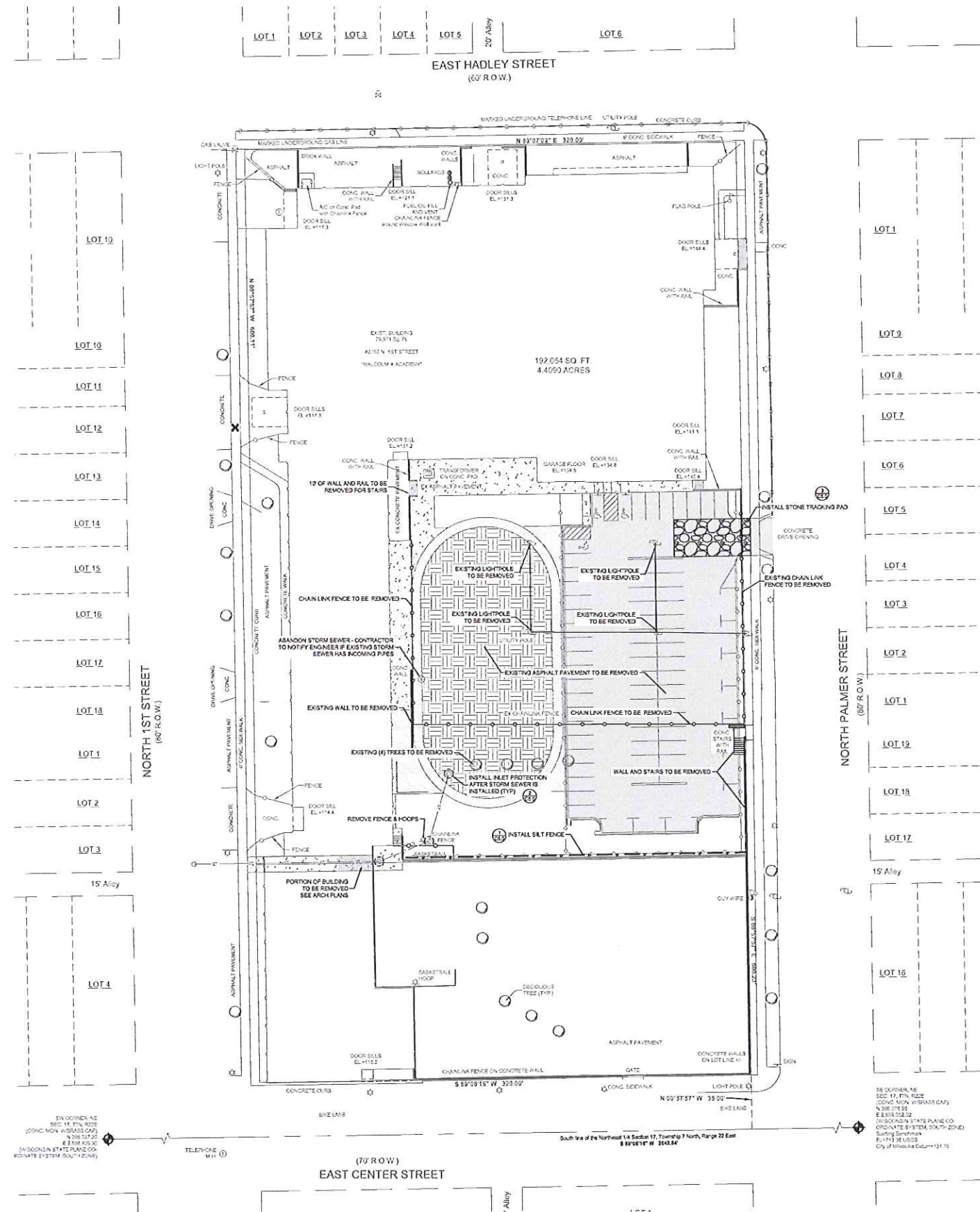
THIS SURVEY IS MADE ON THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY AND ALSO THEIR SURVEYING AND ENGINEERING EXPERTISE. THE LOCATION OF ALL MOBILE STRUCTURES AND UTILITIES AND NEIGHBORLY ADJACENT ENCROACHMENTS IF ANY.

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NOTE: FIELD CONDITIONS - SNOW/AND ICE



NOTES:  
 1. PIPE LENGTHS AS SHOWN ON THIS PLAN ARE MEASURED FROM CENTER TO CENTER OF MAIN LINES.  
 2. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THE EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.  
 3. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS (1309.1203). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED THROUGH CONSTRUCTION.  
 DISCLAIMER:  
 DAAR ENGINEERING, INC. ASSUMES NO LIABILITY FOR ALTERATIONS AND/OR CONSTRUCTION THAT DOES NOT CONFORM TO THE DESIGN DEPICTED ON THIS PLAN. NO CHANGES MAY BE MADE TO THIS PLAN WITHOUT EXPRESS WRITTEN CONSENT OF DAAR ENGINEERING, INC. IF ANY DEVIATIONS ARE REQUIRED FOR ANY REASON, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT MANAGER IMMEDIATELY.



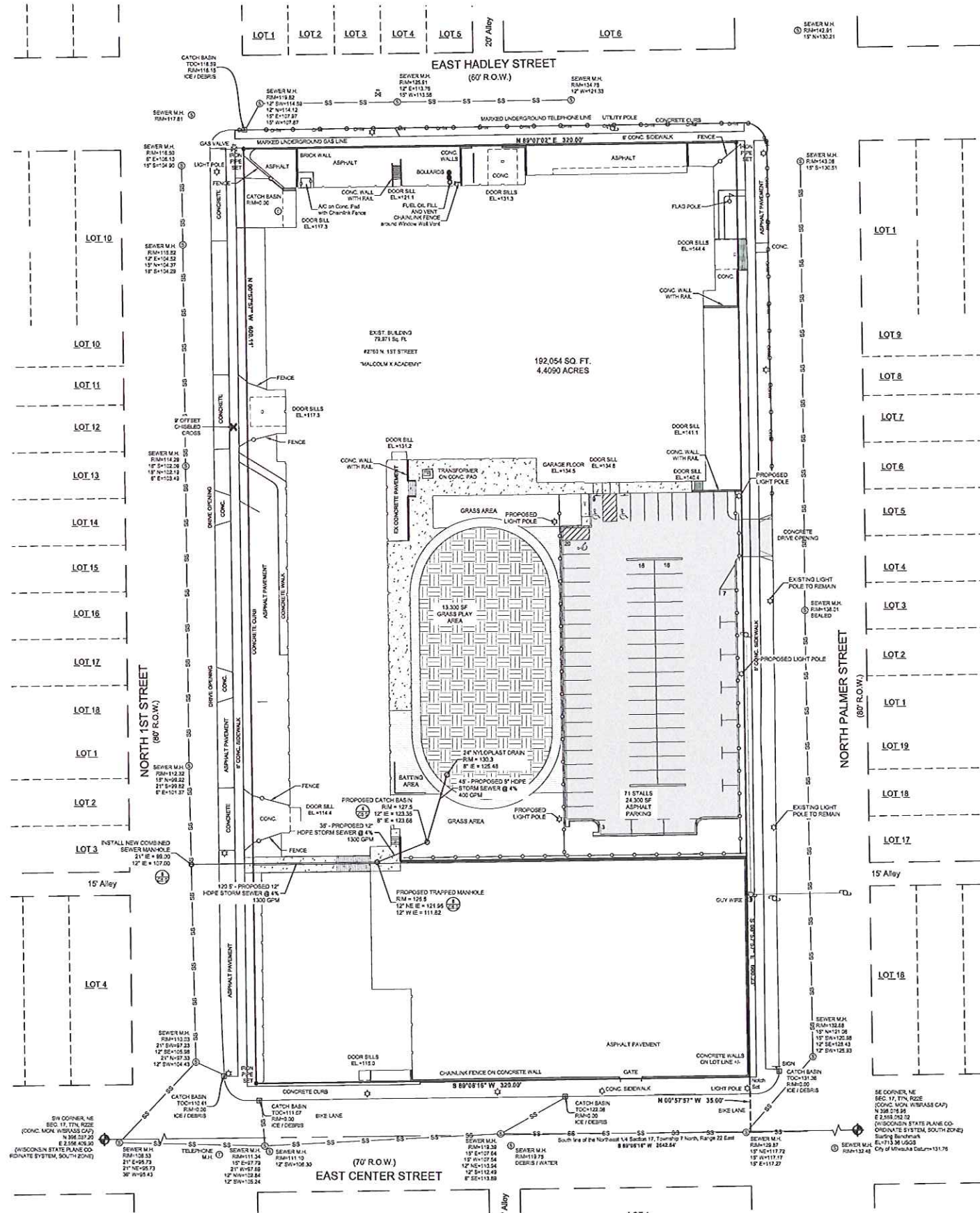
**NOTES**

1. PIPE RUN LENGTHS AS SHOWN ON THIS PLAN ARE MEASURED NODE TO NODE (I.E. CENTER-TO-CENTER OF MANHOLES).
2. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
3. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS (1009-1009). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED THROUGH CONSTRUCTION.

**DISCLAIMER**  
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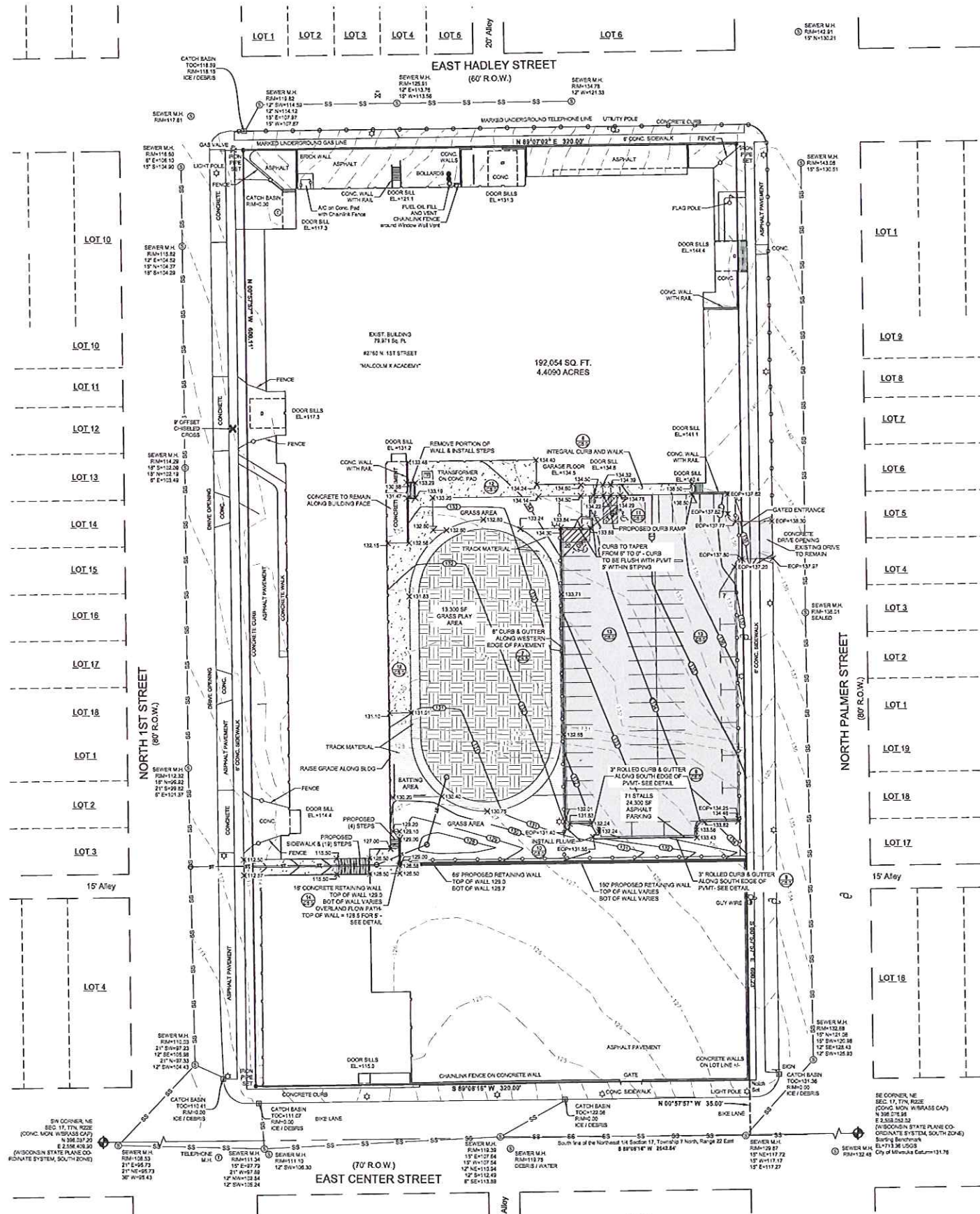
**EROSION NOTES**

1. INLET GRATE SCREENS SHALL BE INSTALLED PRIOR TO ANY WORK BEING PERFORMED.
2. INSPECT AFTER EVERY RAINFALL OF 0.5" OR MORE AND REPAIR OR REPLACE IMMEDIATELY IF NEEDED. THE CONTRACTOR SHALL KEEP COMPLETED INSPECTION RECORDS ON SITE.
3. THE EROSION CONTROL MEASURES SHOWN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL MONITOR THE SITE AND ADD CONTROLS IF NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. TRACKING OF MUD OR DEBRIS FROM THE SITE IS NOT ALLOWED. IMMEDIATELY POWERSWEEP TO REMOVE IF THIS OCCURS.
5. DISPOSE OF ALL REMOVALS, WASTE, AND EXTRA MATERIALS OFF SITE PROMPTLY. DO NOT STOCKPILE OR KEEP ON SITE.



NOTES:  
 1. PIPE RUN LENGTHS AS SHOWN ON THIS PLAN ARE MEASURED FROM CENTER-TO-CENTER OF MANHOLES.  
 2. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF DEVICES NOT SHOWN. CONTACT DIGERS HOLDING.  
 3. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS (1309.103). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.  
 DSD/AMER  
 DAAR ENGINEERING, INC. ASSUMES NO LIABILITY FOR ALTERATIONS AND/OR CONSTRUCTION THAT DOES NOT CONFORM TO THE DESIGN DEPICTED ON THIS PLAN. NO CHANGES MAY BE MADE TO THIS PLAN WITHOUT EXPRESS WRITTEN CONSENT OF DAAR ENGINEERING, INC. IF ANY DEVIATIONS ARE REQUIRED FOR ANY REASON, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT MANAGER IMMEDIATELY.

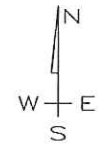
**DAAR ENGINEERING, INC.**  
 ENGINEERS PLANNERS SURVEYORS  
 518 WEST CHERRY STREET  
 MILWAUKEE, WI 53212  
 PHONE (414) 624-0874 FAX (414) 624-0877  
 www.daarengineering.com



**GRADING LEGEND**

- 165 --- EXISTING MAJOR CONTOUR
- 164 --- EXISTING MINOR CONTOUR
- (165) PROPOSED MAJOR CONTOUR
- (164) PROPOSED MINOR CONTOUR
- X 868.9 PROPOSED SPOT GRADE AT TOP OF CURB
- X 868.9 PROPOSED SPOT GRADE ON EDGE OF PAVEMENT

**SPOT GRADES TO TOP OF CURB UNLESS OTHERWISE NOTED**

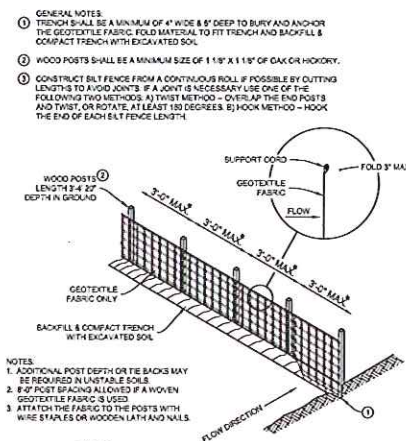


**NOTES:**

- PIPE RUN LENGTHS AS SHOWN ON THIS PLAN ARE MEASURED NOSE TO NOSE (I.E. CENTER-TO-CENTER OF MANHOLES).
- THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OPENINGS NOT SHOWN. CONTACT DIGGERS HOTLINE.
- ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE REVISIONS DEPARTMENT OF NATURAL RESOURCES (CONSTRUCTION) ACT, EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS (1309-1025). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED THROUGH CONSTRUCTION.

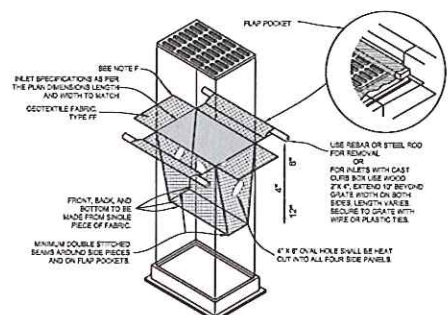
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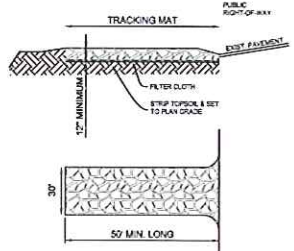
1 C5.0 SILT FENCE DETAIL

PER WISCONSIN DNR TECHNICAL STANDARD #1058

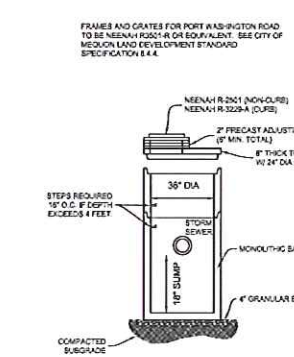


2 C5.0 INLET PROTECTION DETAIL - TYPE D

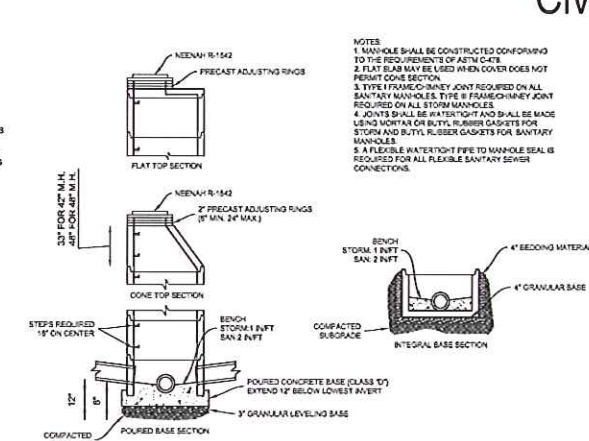
PER WISCONSIN DNR TECHNICAL STANDARD #1060



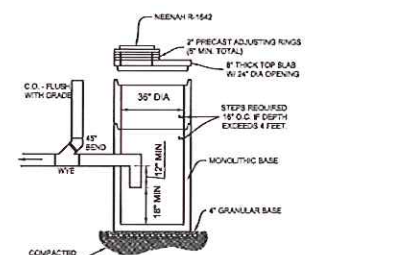
3 C5.0 STONE TRACKING MAT DETAIL



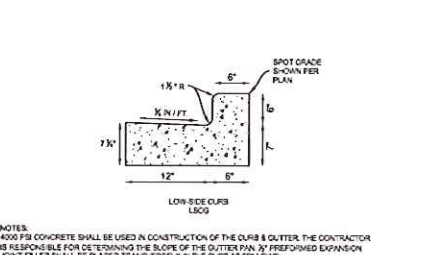
4 C5.0 PRECAST ROUND CATCH BASIN DETAIL



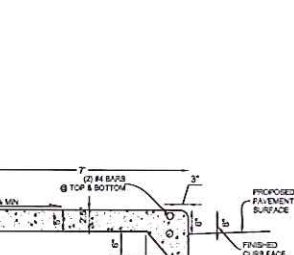
5 C5.0 PRECAST MANHOLE DETAIL



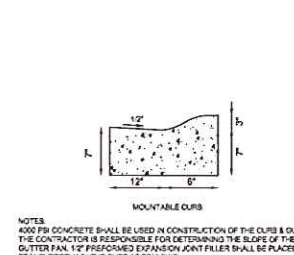
6 C5.0 PRECAST ROUND TRAPPED MANHOLE DETAIL



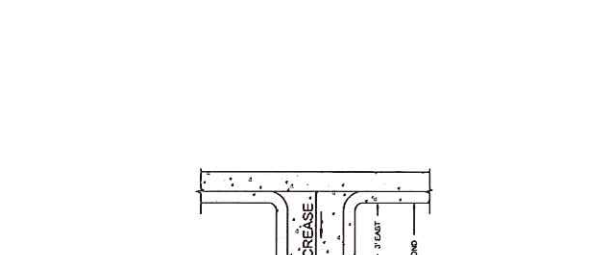
7 C5.0 16\"/>



8 C5.0 CONCRETE WALK W/ INTEGRAL CURB DETAIL



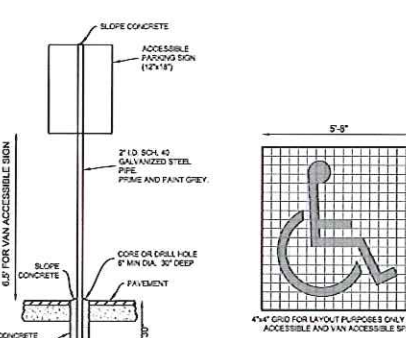
9 C5.0 ROLLED CURB



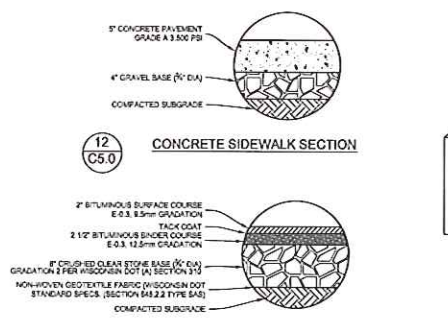
10 C5.0 CONCRETE FLUME PLAN VIEW



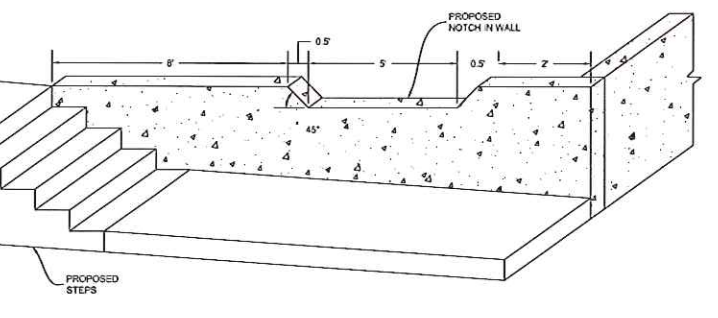
ACCESSIBLE PARKING SIGNS



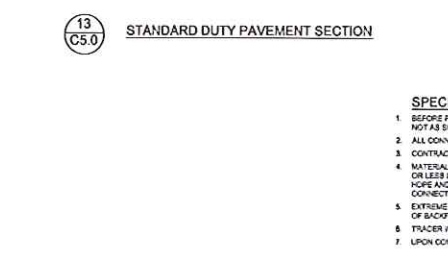
11 C5.0 ACCESSIBLE PARKING SIGN AND POST INSTALLATION



12 C5.0 CONCRETE SIDEWALK SECTION



14 C5.0 NOTCH IN WALL DETAIL



13 C5.0 STANDARD DUTY PAVEMENT SECTION

**SPECIFICATIONS FOR PRIVATE UTILITIES**

- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXAMINE EACH EXISTING LATERAL OR FRONT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE COPED CONNECTIONS. CONNECTIONS TO WATERMAIN SHALL BE WET TAPED WITH A STAINLESS STEEL TAPPING BLEEVE.
- CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUMBING SERVICE TO WATERMAIN LINES WITHOUT PRIOR APPROVAL.
- MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48\"/>

**SPECIFICATIONS FOR GRADING & EROSION CONTROL**

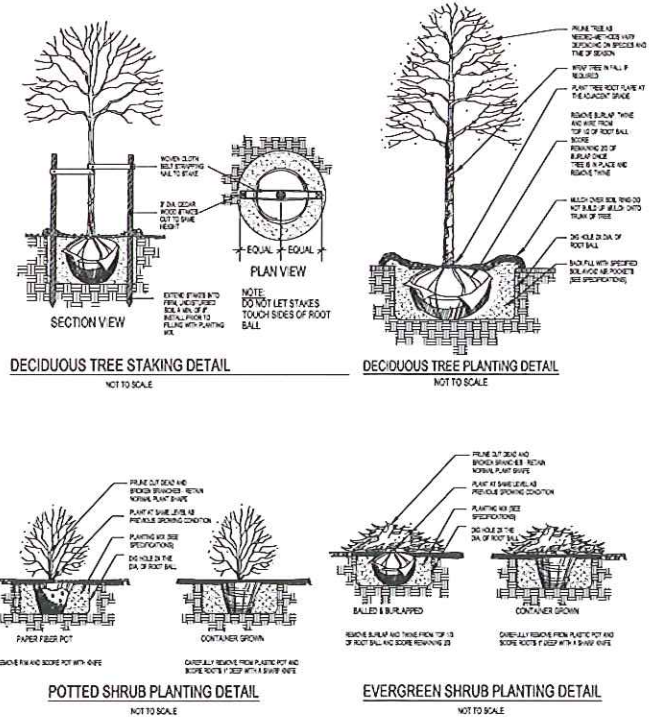
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL BALANCE, HOLDING UTILITY THROUGH SPACED. THE CONTRACTOR SHALL REPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HULL OFF SOIL. ON-SITE LOCATIONS BUT NOT FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING COMPACT AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY REPROCESS THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPANDED REPORT MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY REVISIONS ARE MADE.
- IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATION SHALL APPLY. ALL FILL SHALL BE CONSOLIDATED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF 10\"/>

**DAAR ENGINEERING, INC.**  
 ENGINEERS PLANNERS SURVEYORS  
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PLANT MATERIAL SCHEDULE					
*Landscape contractor responsible for verifying plant quantities					
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	MAINTAINED ROOT
<b>SHADE TREES</b>					
3	AF	Acer fraxinifolium 'Autumn Blaze'	Autumn Blaze Freeman Maple	3" cal	47'
2	AR	Acer rubrum 'Autumn Flame'	Autumn Flame Maple	4" cal	35'
1	LL	Liriodendron tulipifera	Littleleaf Linden	3" cal	42'
4	UR	Ulmus hybridus ssp. 'Regal'	Regal Elm	3" cal	50'
<b>DECIDUOUS SHRUBS</b>					
3	EJA	Eucosmia alata 'compacta'	Dwarf Burning Bush	24" x 30"	5'
7	RVA	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	18" x 24"	3'
18	VIG	Viburnum caryocarpum 'Compact'	Compact Kowassapa Viburnum	24" x 30"	2-3'
<b>EVERGREEN SHRUBS</b>					
7	JK	Juniperus chinensis 'Kitty's Compact'	Pfeizer Juniper	2 gal	2-3'
<b>PERENNIALS</b>					
33	GSS	Schizachyrium scoparium	Little Bluestem	4.5"	-

**GENERAL NOTES:**

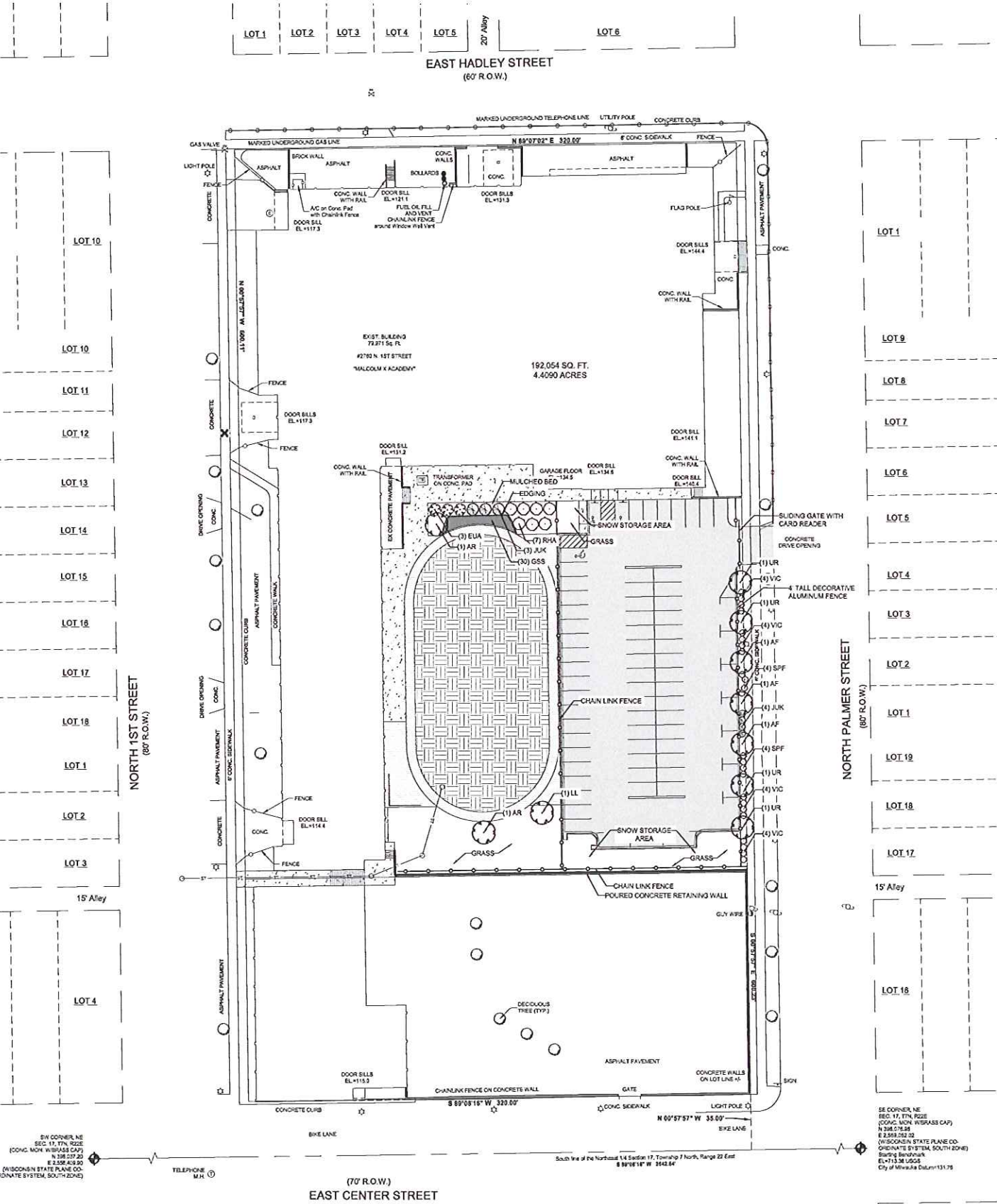
1. ALL FINISHED GRADES TO BE 1 INCH BELOW TOP OF CURBS OR PAVEMENT.
2. BACKFILL AND GRADE ALL PLANTING AREAS WITH MINIMUM 4 INCHES BLENDED TOPSOIL.
3. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK.
4. ALL TREES NOT IN A PLANTING BED SHALL BE MULCHED WITH A MINIMUM 1 FOOT RADIUS FOR EACH 1 INCH CALIBER. USE BRANDED HARDWOOD MULCH AT 2 INCHES DEPTH.
5. PROVIDE MINIMUM 2 YEAR WARRANTY ON ALL PLANT MATERIAL.
6. USE BRANDED HARDWOOD MULCH IN ALL PLANTING BEDS AT MINIMUM 2 INCHES DEPTH.
7. ALL PLANTING BEDS TO BE EDGED WITH COMMERCIAL GRADE PLASTIC EDGING.
8. LAWN: GRASS SEED MIX SHALL BE PLACED USING HYDRO SEEDING OR OTHER APPROVED METHODS. GRASS SEED MIX SHALL BE NO MORE THAN 50% KENTUCKY BLUEGRASS WITH THE REMAINING 50% TO BE AN EQUAL PARTS COMBINATION OF PERENNIAL RYE, FINE FESCUE AND TALL FESCUE. ESTABLISH MINIMUM OF 4 INCH BLENDED TOPSOIL PRIOR TO PLACING SEED MIX.

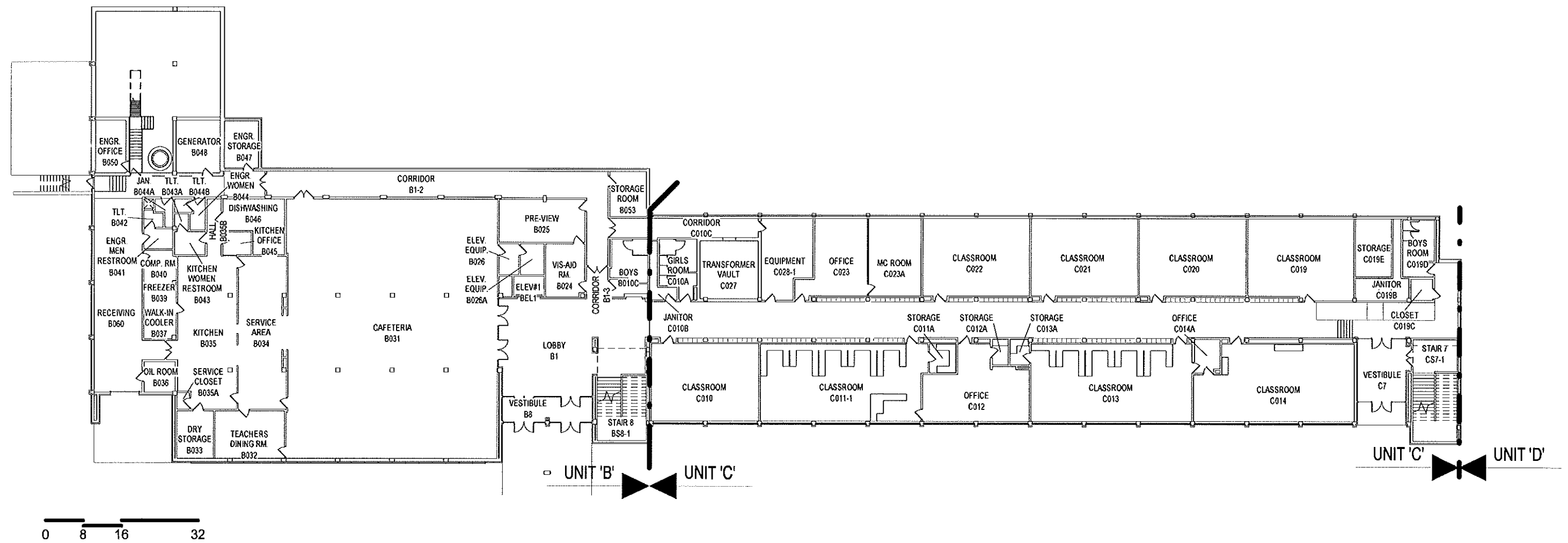


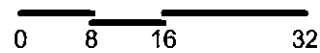
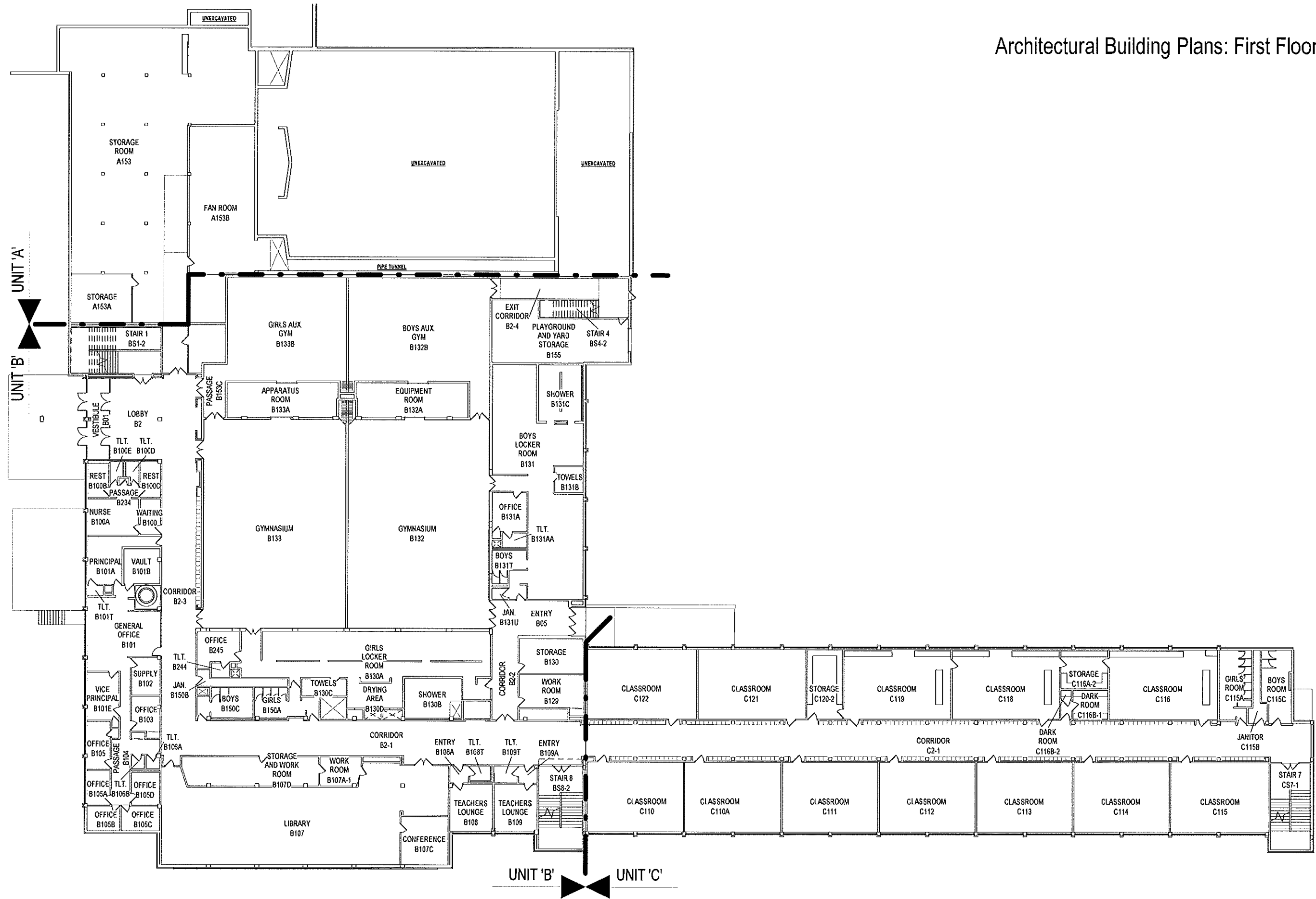
**NOTES:**

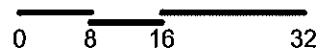
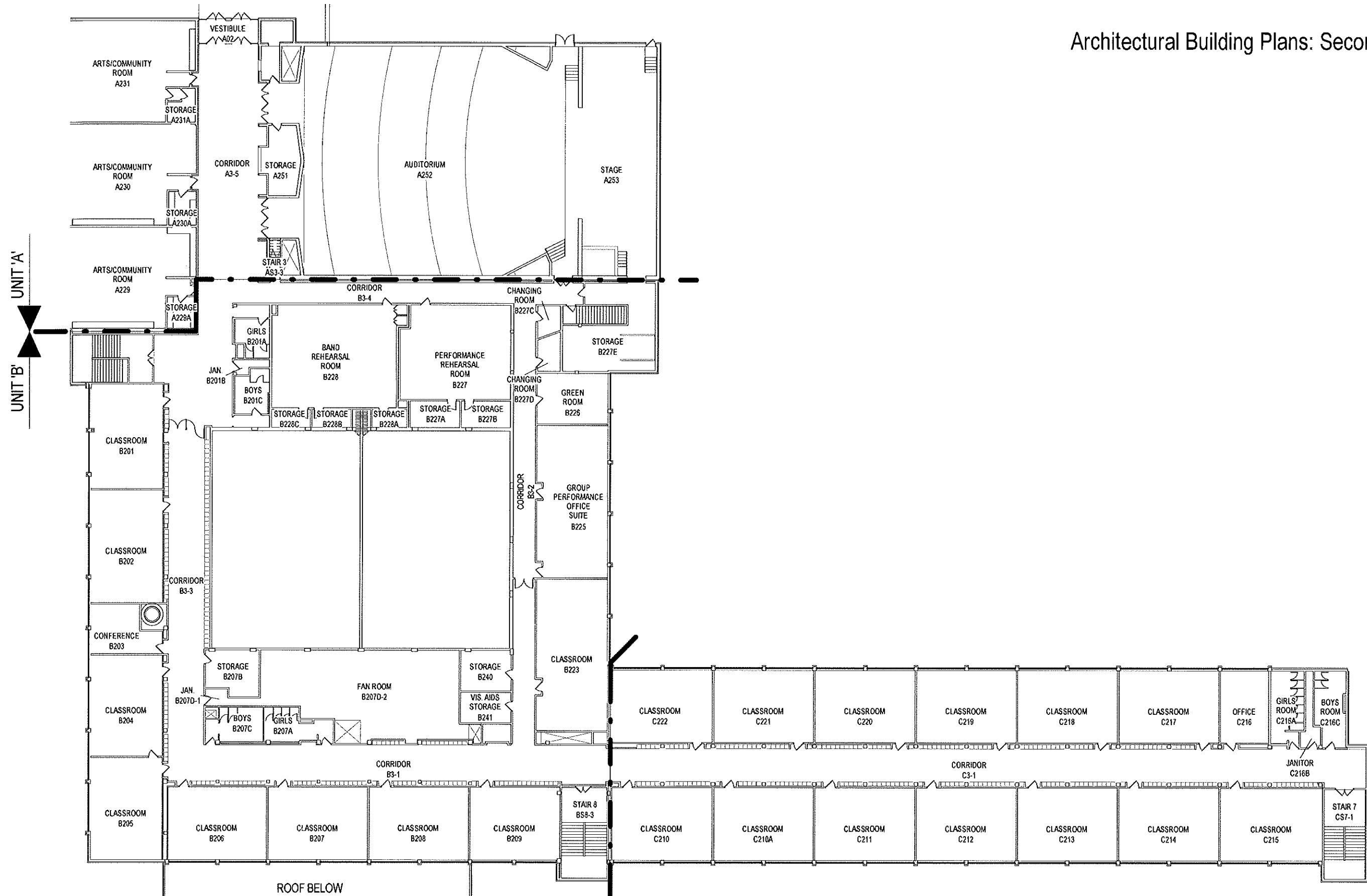
1. PIPE RUN LENGTHS AS SHOWN ON THIS PLAN ARE MEASURED NODE TO NODE (I.E. CENTER-TO-CENTER OF MANHOLES).
2. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHER NOT SHOWN. CONTACT UTILITIES NOTICING.
3. ALL EROSION CONTROL AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE DISCRETIONARY REQUIREMENTS OF NATURAL RESOURCE CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS (NRCS 2012). ALL EROSION CONTROL MEASURES MUST BE PLACED BEFORE CONSTRUCTION OF FINAL GRASS AND SOIL STABILIZATION DURING CONSTRUCTION.

**DISCLAIMER:**  
 DAAR ENGINEERING, INC. ASSUMES NO LIABILITY FOR ALTERATIONS AND/OR CONSTRUCTION THAT DOES NOT CONFORM TO THE DESIGN DEFINED ON THIS PLAN. NO CHANGES MAY BE MADE TO THIS PLAN WITHOUT EXPRESS WRITTEN CONSENT OF DAAR ENGINEERING, INC. IF ANY DEVIATIONS ARE REQUIRED FOR ANY REASON, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT MANAGER IMMEDIATELY.

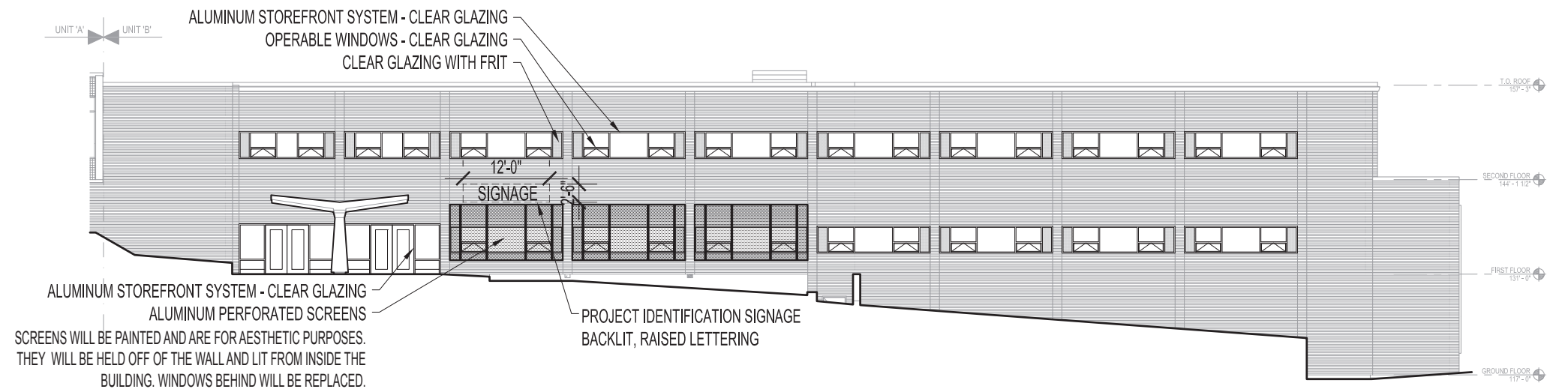
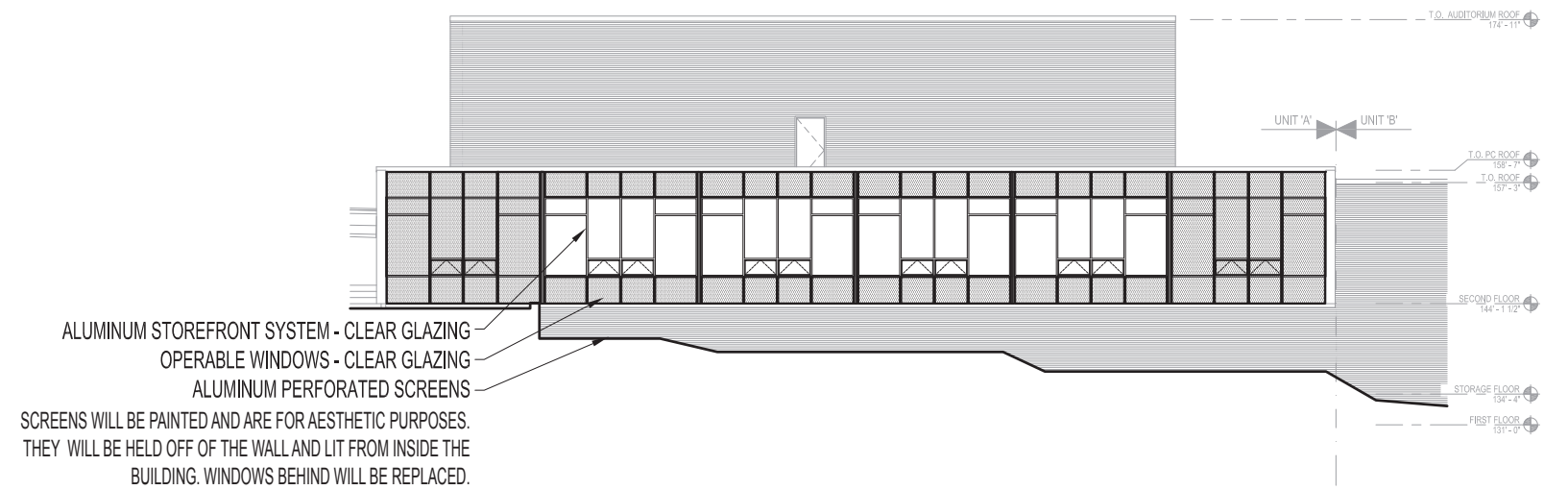




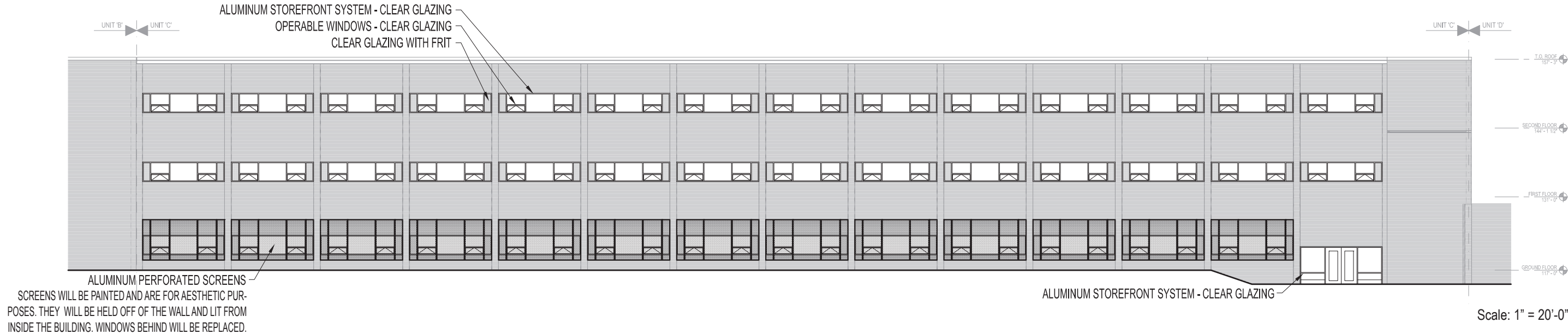
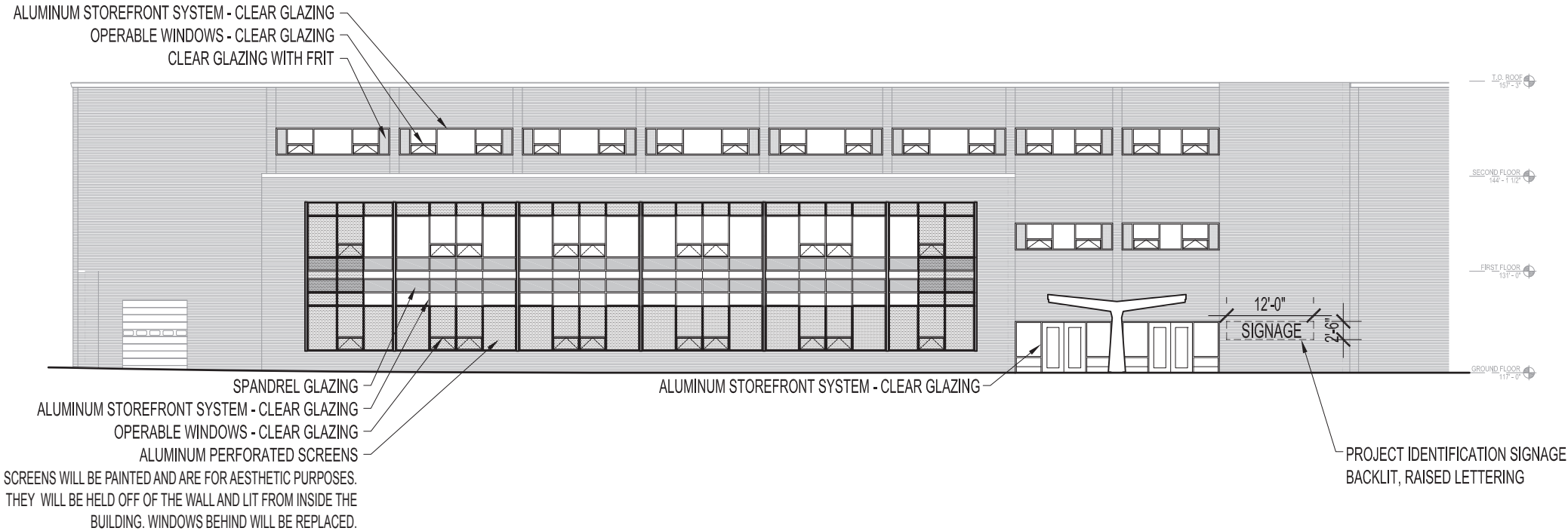




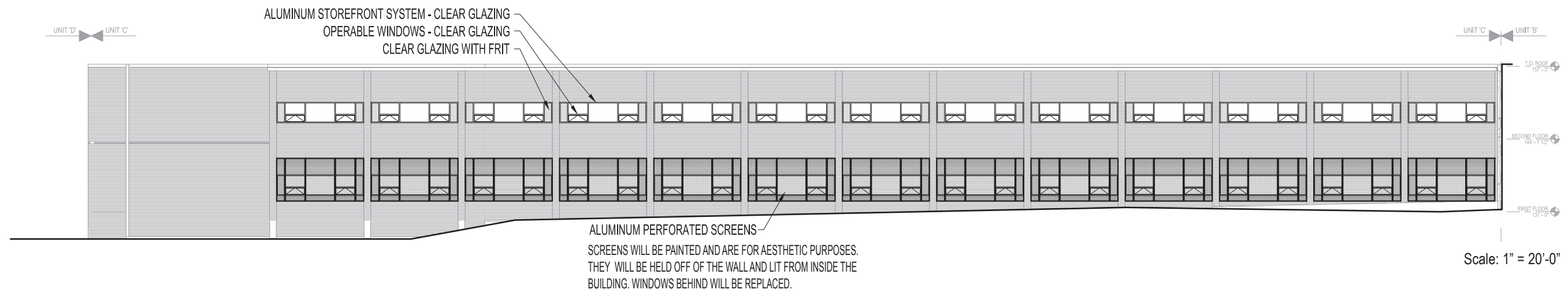
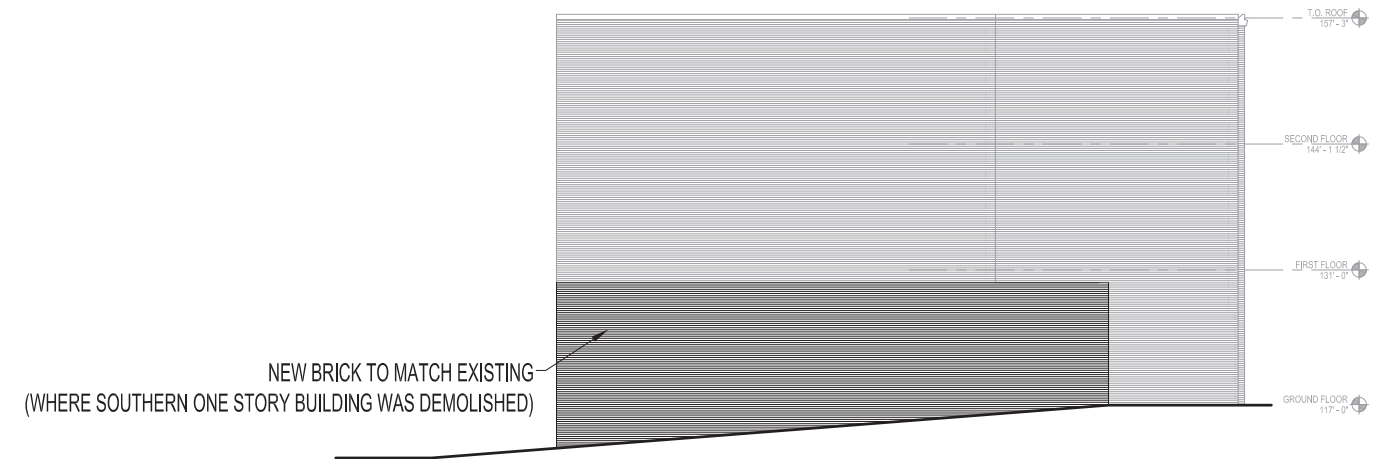
# Architectural Building Elevations: North Elevations



Scale: 1" = 20'-0"

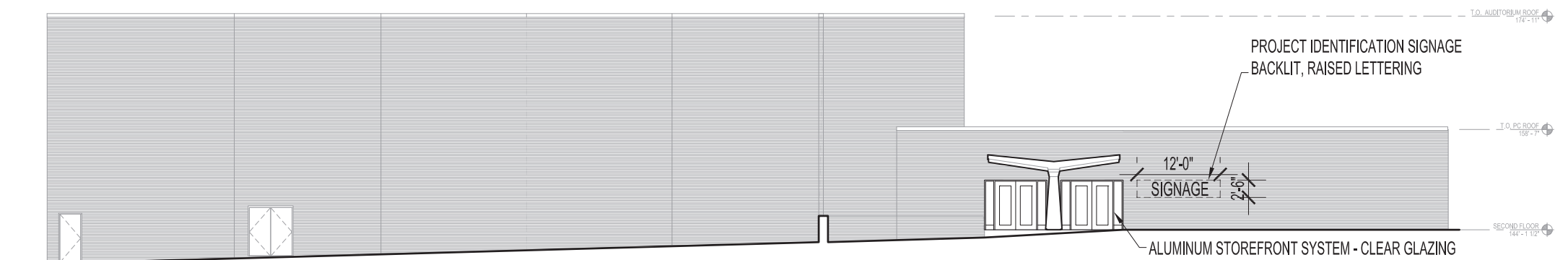


# Architectural Building Elevations: South and East Elevations





# Architectural Building Elevations: South and East Elevations



Scale: 1" = 20'-0"